

2810 SF.

**STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS**

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

**FOOTINGS ON ENGINEERED FILL**

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW PARTY WALLS.

(REFER TO ENGINEER FILL FOOTING DETAIL)

**ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**VENEER CUT**

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**EXPOSED CONCRETE (FLATWORK)**

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

**BRICK VENEER LINTELS (WL)**

WL1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6" x 4" x 3/8" L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL8 = 5" x 3-1/2" x 5/16" L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL9 = 6" x 4" x 3/8" L (150x100x10.0L) + 3-2"x10" SPR. No.2

**WOOD LINTELS AND BEAMS (WB)**

WB1 = 2-2"x8" (2-38x184) SPR. No.2  
WB2 = 3-2"x8" (3-38x184) SPR. No.2  
WB3 = 2-2"x10" (2-38x235) SPR. No.2  
WB4 = 3-2"x10" (3-38x235) SPR. No.2  
WB5 = 2-2"x12" (2-38x286) SPR. No.2  
WB6 = 3-2"x12" (3-38x286) SPR. No.2  
WB7 = 5-2"x12" (5-38x286) SPR. No.2  
WB11 = 4-2"x10" (4-38x235) SPR. No.2  
WB12 = 4-2"x12" (4-38x286) SPR. No.2

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)  
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)  
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)  
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)  
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)  
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)  
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)  
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)  
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)  
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)  
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)  
LVL8 = 2-1 3/4"x14" (2-45x356)  
LVL9 = 3-1 3/4"x14" (3-45x356)

**LOOSE STEEL LINTELS (L)**

L1 = 3-1/2" x 3-1/2" x 1/4" L (90x90x6.0L)  
L2 = 4" x 3-1/2" x 5/16" L (100x90x8.0L)  
L3 = 5" x 3-1/2" x 5/16" L (125x90x8.0L)  
L4 = 6" x 3-1/2" x 3/8" L (150x90x10.0L)  
L5 = 6" x 4" x 3/8" L (150x100x10.0L)  
L6 = 7" x 4" x 3/8" L (180x100x10.0L)

**DOOR SCHEDULE**

NOS.	WIDTH	HEIGHT 8' TO 9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	INSULATED EXT. SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

**CERAMIC TILE FOR CONVENTIONAL LUMBER**

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

**NOTE: ROOF FRAMING**

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

**NOTE: ENGINEERED FLOOR FRAMING**

REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS. UNLESS OTHERWISE NOTED.

**TOWN OF EAST GWILLIMBURY****BUILDING STANDARDS BRANCH**

THIS PERMIT APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE ZONING BY-LAW 2018-043, AS AMENDED

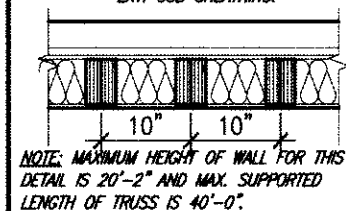
FOR Model Review

BY cfooster

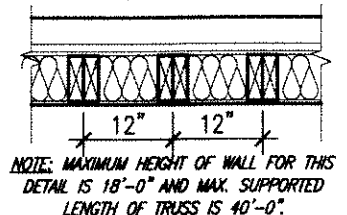
DATE 20/01/2021

**TWO STOREY HEIGHT WALL DETAIL**

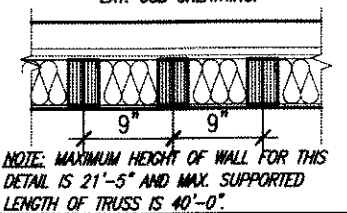
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.

**TWO STOREY HEIGHT WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, c/w SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:

**ENERGY STAR V-17**

COMPONENT	NOTE
CEILING WITH ATTIC SPACE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE	5.46 (R31)
EXPOSED FLOOR	5.46 (R31)
WALLS ABOVE GRADE	4.75 (R22+R5)
BASEMENT WALLS	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS	ENERGY STAR @ ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV	75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% IE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

**UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))**

BRENTWOOD 2, ELEV. 1	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	679.32 S.F.	126.97 S.F.	18.69 %
LEFT SIDE	1102.50 S.F.	63.04 S.F.	5.72 %
RIGHT SIDE	1102.50 S.F.	0.0 S.F.	0.00 %
REAR	626.50 S.F.	149.34 S.F.	23.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3510.82 S.F.	339.35 S.F.	9.67 %
TOTAL SQ. M.	326.16 S.M.	31.53 S.M.	9.67 %

**UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))**

BRENTWOOD 2, ELEV. 2	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	666.27 S.F.	137.55 S.F.	20.64 %
LEFT SIDE	1102.50 S.F.	63.04 S.F.	5.72 %
RIGHT SIDE	1102.50 S.F.	0.0 S.F.	0.00 %
REAR	626.50 S.F.	149.34 S.F.	23.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3497.77 S.F.	349.93 S.F.	10.00 %
TOTAL SQ. M.	324.95 S.M.	32.51 S.M.	10.00 %

**UNINSULATED OPENINGS (PER OBC. SB-12.3.1.1(7))**

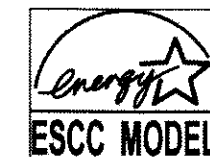
BRENTWOOD 2, ELEV. 3	ENERGY EFFICIENCY - ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	633.74 S.F.	126.40 S.F.	19.95 %
LEFT SIDE	1102.50 S.F.	63.04 S.F.	5.72 %
RIGHT SIDE	1102.50 S.F.	0.0 S.F.	0.00 %
REAR	626.50 S.F.	149.34 S.F.	23.84 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	3465.24 S.F.	338.78 S.F.	9.78 %
TOTAL SQ. M.	321.93 S.M.	31.47 S.M.	9.78 %

W Architect Inc.  
DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: [Signature]

This stamp is only for the purposes of design control and carries no other professional obligations.



ENERGY STAR- V 17

FEB 06 2019

BRENTWOOD 2  
ENERGY STAR



STRUDET INC.  
FOR STRUCTURE ONLY

no.	description	Discipline	Reviewer	BCIN	Date
18		Building Code	H. Authier	43236	2021-02-04
17		Sewage System			
16		Zoning			
15					
14					
13					
12					
11					
10					

no.	description	date	by
9			
8			
7			
6			
5	E-STAR UPDATED.	JAN 31/19	GW
4	ISSUED FOR PERMIT.	FEB. 20/18	GW
3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT
1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 24488 BCIN

name registration information

VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

Greenpark.

project name  
TRINAR HALL HOMES INC. EAST GWILLIMBURY

date  
AUG. 2017

drawn by  
GW

checked by  
3/16" = 1'-0"

17026-BRENTWOOD-2

BRENTWOOD 2

project no.  
14034

drawing no.  
A0

GENERAL CHARTS & NOTES

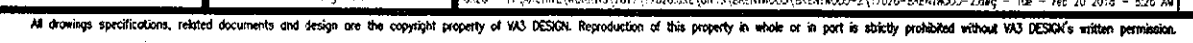
17026-BRENTWOOD-2

17026-BRENTWOOD-2.dwg - Thu - Jan 31 2019 - 10:55 AM

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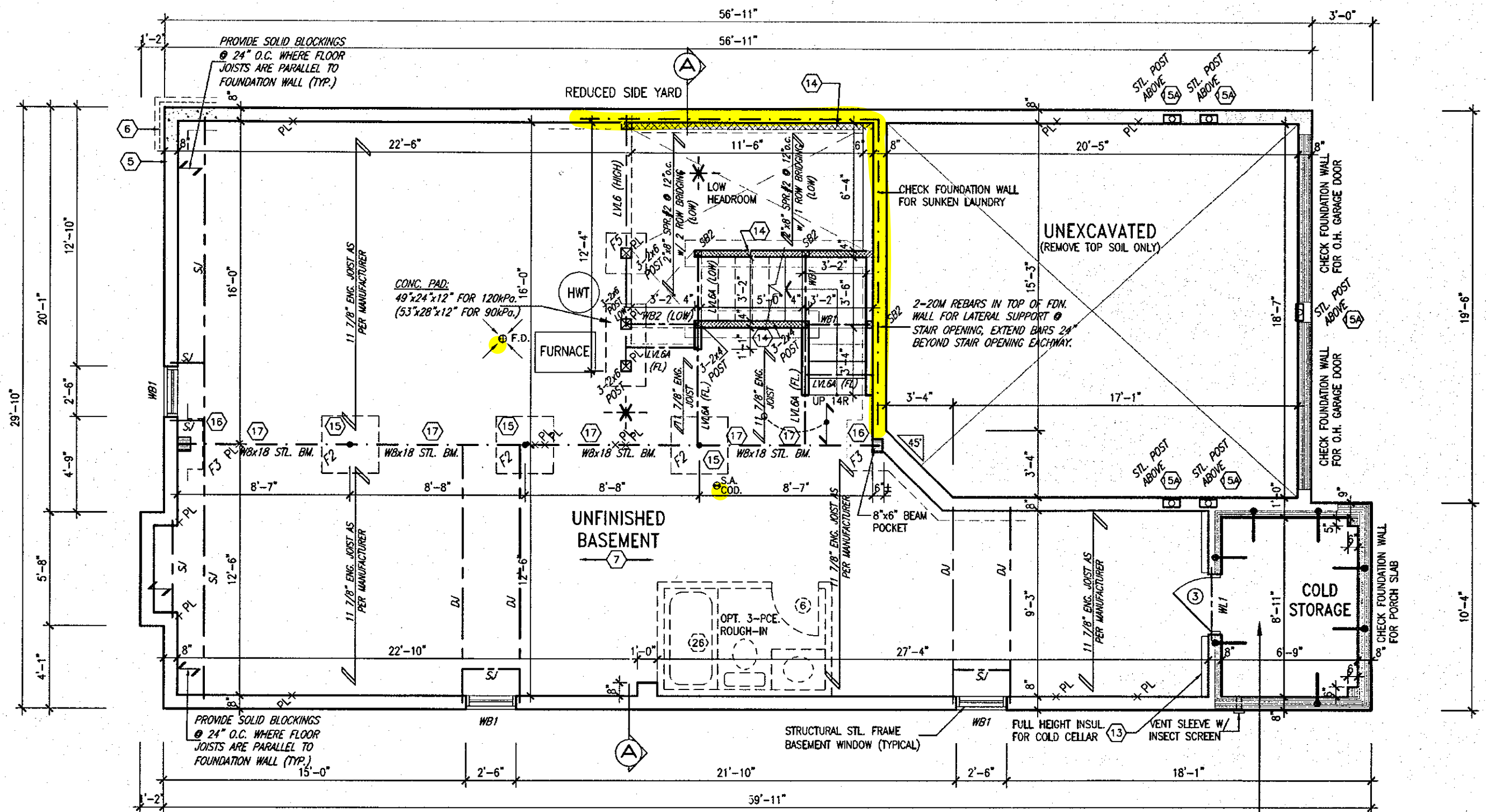


2810 SF.



INDICATES REDUCED SIDE YARD CONDITION

2810 SF.



BASEMENT PLAN - ELEV. 2



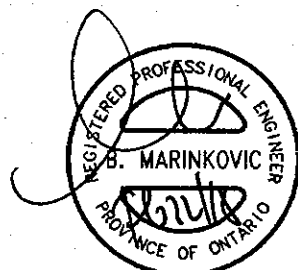
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-04
Seepage System			
Zoning			

**COLD STORAGE SLAB**  
5" REINFORCED CONCRETE SLAB  
WITH 10M BARS @ 7 7/8" o.c.  
EACH WAY WITH MIN. 1 1/4"  
CONC. COVER AND 10M BENT  
(24"x24") DOWELS SPACED NOT  
MORE THAN 23 5/8" o.c.

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STRUDET INC.  
FOR STRUCTURE ONLY

FEB 22 2018

**BRENTWOOD 2**  
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

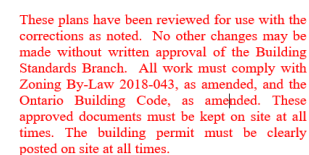
**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
TRINAR HALL HOMES INC. EAST GWILLIMBURY  
date  
AUG. 2017  
checked by  
GW  
scale  
3/16" = 1'-0"

**BRENTWOOD 2**  
project no.  
17026  
drawing no.  
A1a  
file name  
17026-BRENTWOOD-2  
date  
FEB 20 2018 - 8:27 AM



2810 SF.




Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-01
Sewage System			
Zoning			

**BRENTWOOD 2**  
**ENERGY STAR**

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.



18				9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink  2448- name registration information YAS Design Inc. 4265-BC
17				8	-	-	-	
16				7	-	-	-	
15				6	-	-	-	
14				5	-	-	-	
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work of the project and not to be stored.
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description		date	by	no.	description	date	by

**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
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va3design.com

# Greenpark.

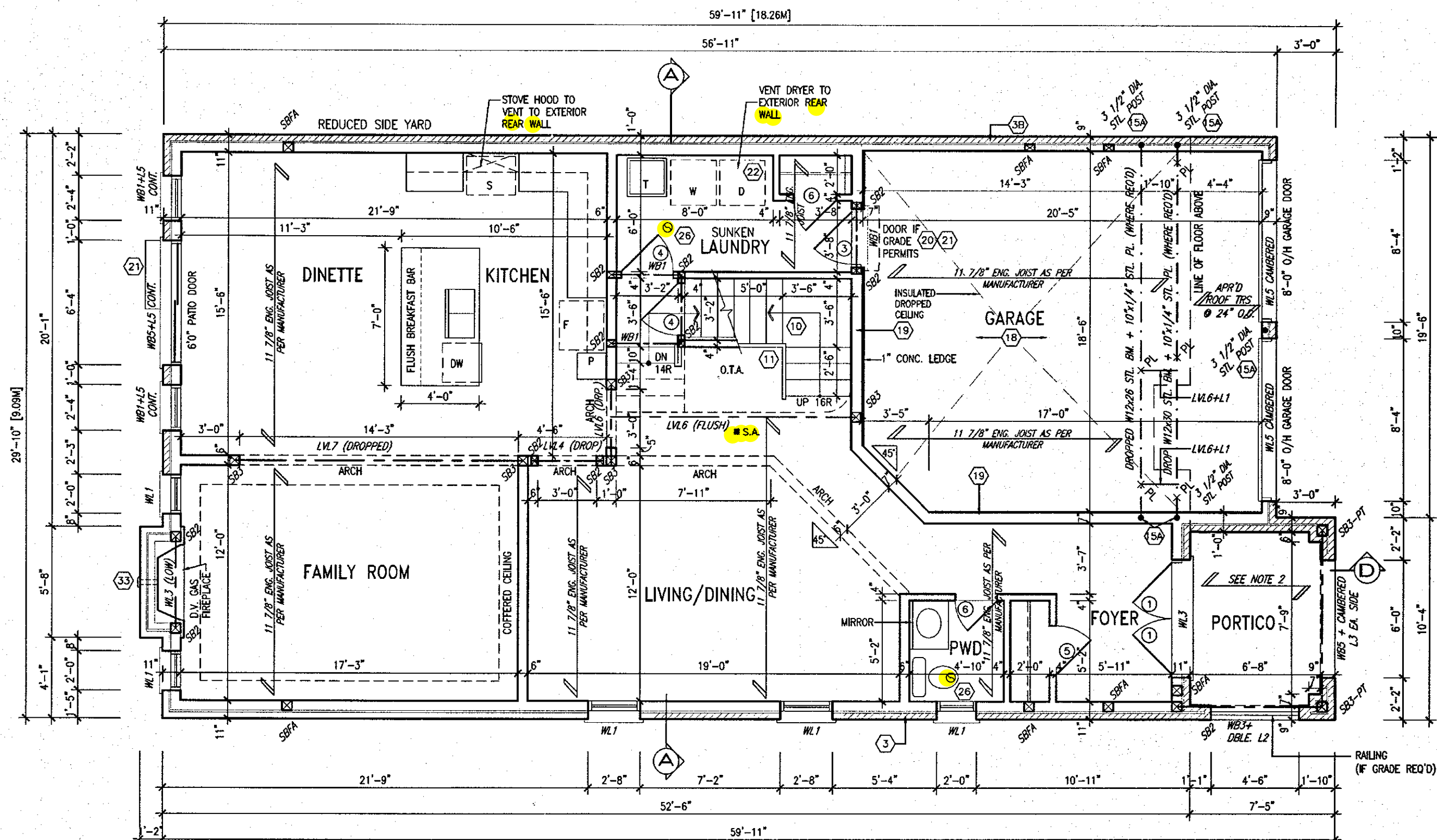
**BRENTWOOD 2**

project name	municipality	project no.
TRINAR HALL HOMES INC.	EAST GWILLIMBURY	17022
date	drawing no.	
AUG. 2017	BASEMENT PLAN - ELEV. '3'	
drawn by	checked by	scale
GW	-	3/16" = 1'-0"
file name		A1b
17022-BRENTWOOD-2		

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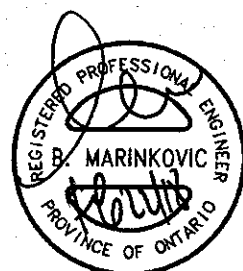
2810 SF.



GROUND FLOOR PLAN - ELEV. 1

**NOTE 2:**  
3 PLY BITUMINOUS (OR ONE PLY RUBBER)  
MEMBRANE ADHERED TO EXT. TYPE  $\frac{3}{8}$ "  
T&G PLYWOOD SHEATHING ON 2"x2" SPR.  
PURLINS (LAID PERPENDICULAR TO JOISTS)  
ON 2"x8" P.T. SPR. FL.R. JOISTS @ 16"  
O.C. SLOPE TO SCUPPER. PREFINISHED  
ALUM. SOFFIT ON U/S.

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STRUDET INC.  
FOR STRUCTURE ONLY





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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-4
Sewage System			
Zoning			

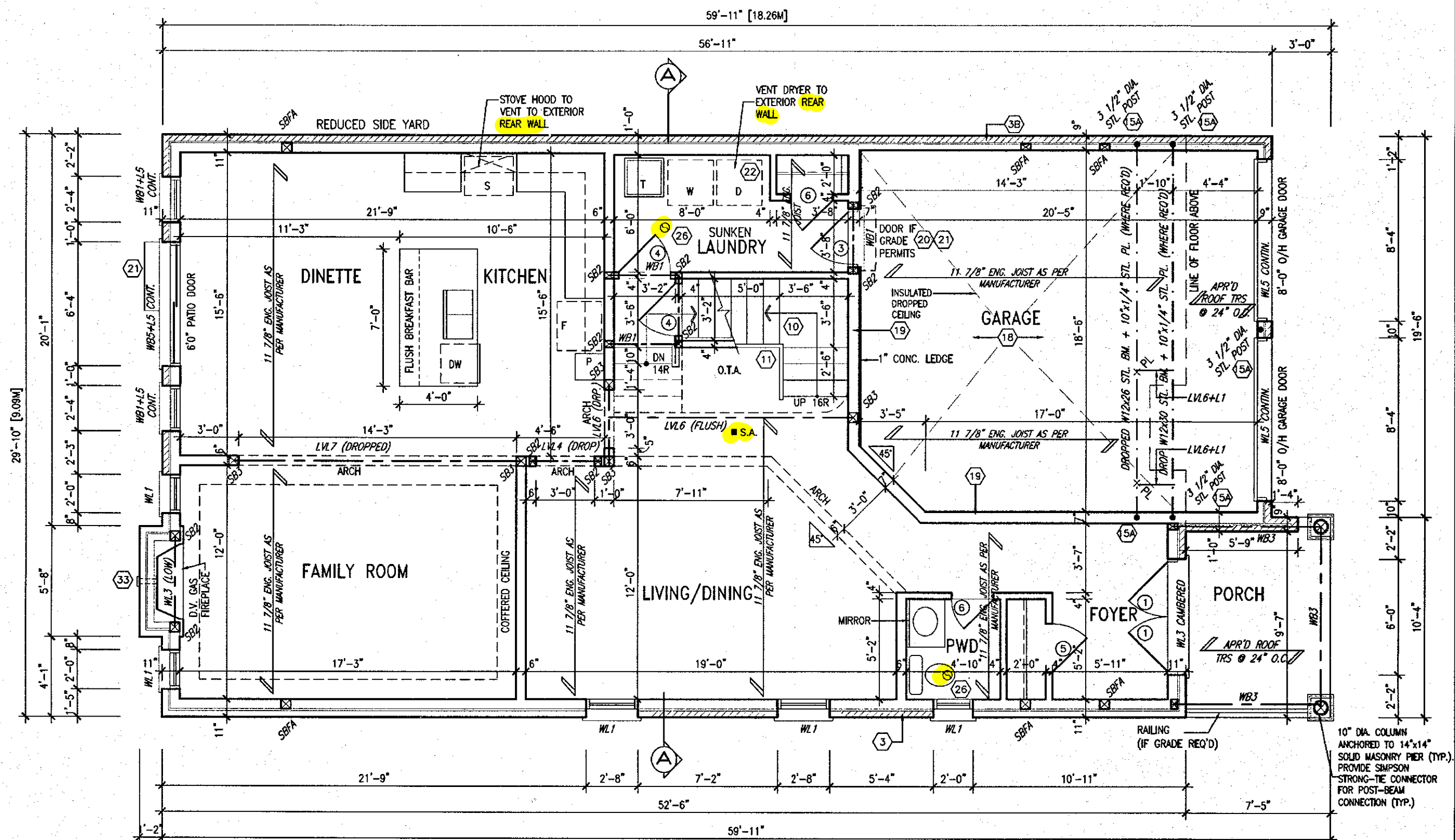
FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

18		9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 <b>BRENTWOOD 2</b>	project name <b>TRINAR HALL HOMES INC.</b>	municipality <b>EAST GWILLIMBURY</b>	project no. <b>1702</b>	drawing no. <b>A2</b>	
17		8	-	-	-	qualification information							
16		7	-	-	-	Richard Vink 24488							
15		6	-	-	-	signature							
14		5	-	-	-	name							
13		4	ISSUED FOR PERMIT.	FEB. 20/18	GW	registration information VA3 Design Inc. 42558							
12		3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.							
11		2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT								
10		1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW								
no.	description	date	by	no.	description	date	by						

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2810 SF.



Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			

BRENTWOOD 2  
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.


REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO

STRUDET INC.  
FOR STRUCTURE ONLY

18				9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8	-	-	-	qualification information
16				7	-	-	-	Richard Vink
15				6	-	-	-	244
14				5	-	-	-	name
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW	signature
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	426
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description	date	by	no.	description	date	by	

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qualification information

Richard Vink		244
name	signature	B
registration information		
VA3 Design Inc.		426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Dimensions are not to be applied.

**VA3  
DESIGN**

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com

## Greenpark.

project name **TRINAR HALL HOMES INC.** municipality **EAST GWILLIMBURG**  
date **AUG. 2017** **GROUND FLOOR PLAN**  
drawn by **GW** checked by **-** scale **3/16" = 1'-0"**  
SPEC - H:\ARCHIVE\PGN\AUG2017 - 7026.GND\DWG\BENTWOOD2.BENTWOOD2-217026-BENTWOOD2-2.dwg

**BRENTWOOD 2**

project no.  
17026

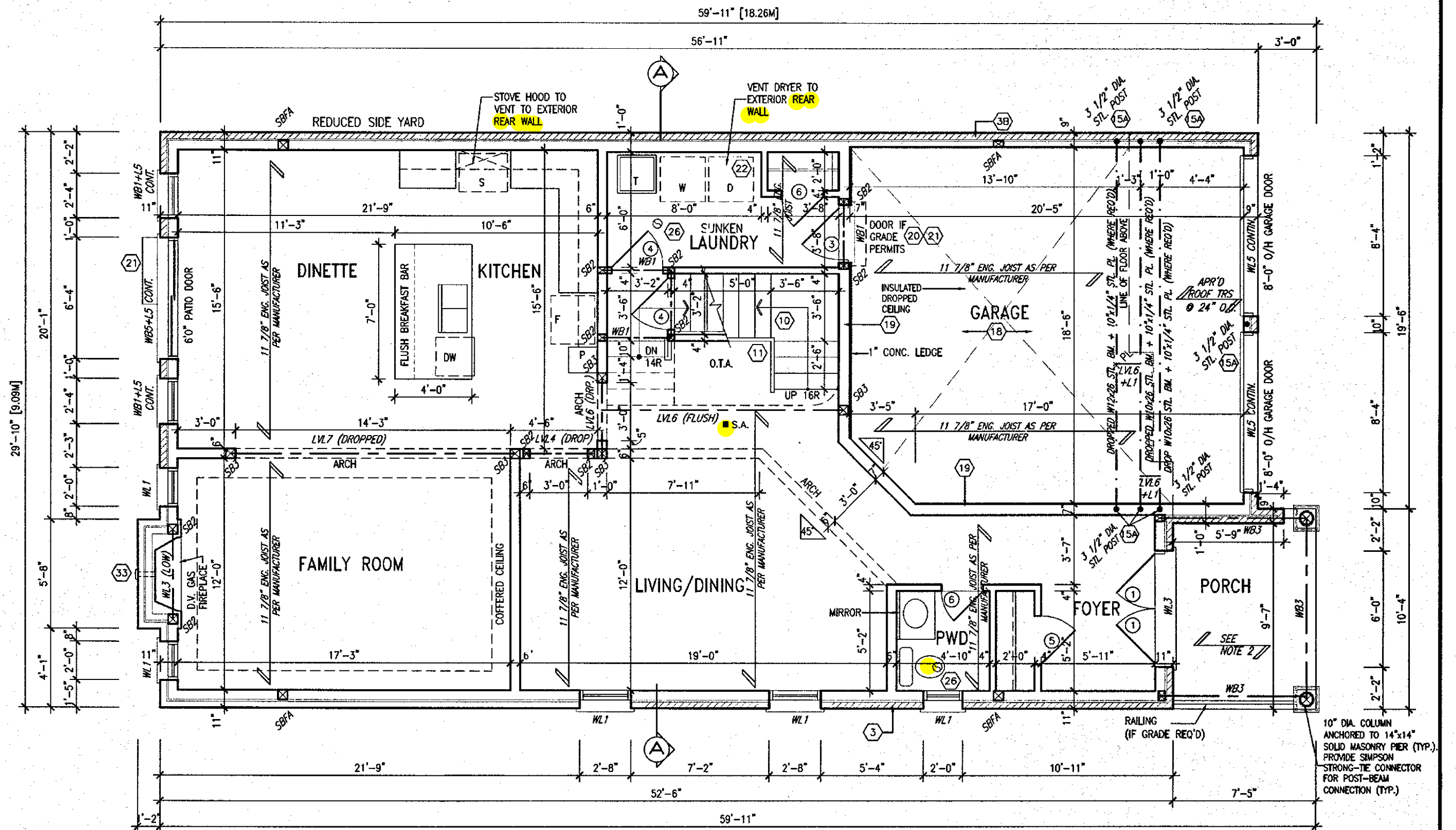
drawing no.  
A2a

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INDICATES REDUCED SIDE YARD CONDITION

2810 SF.

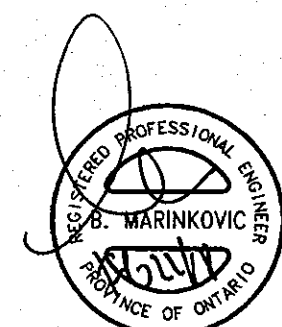


GROUND FLOOR PLAN - ELEV. 3

NOTE 2:  
3 PLY BITUMINOUS (OR ONE  
PLY RUBBER) MEMBRANE  
ADHERED TO EXT. TYPE 3/8"  
T&G PLYWOOD SHEATHING  
ON 2"x2" SPR. PURLINS  
(LAID PERPENDICULAR TO  
JOISTS) ON 2"x8" P.T. SPR.  
FLR. JOISTS @ 16" O.C. W/  
PREFIN. ALUM. SOFFIT ON  
U/S.

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STRUDET INC.  
FOR STRUCTURE ONLY



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-04
Sewage System			
Zoning			

FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5			
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
Richard Vink  
signature  
24488  
BCIN  
42658  
VA3 Design Inc.

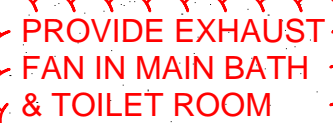
VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

Greenpark.  
project name  
TRINAR HALL HOMES INC.  
date  
AUG. 2017  
drawn by  
GW  
checked by  
3/16" = 1'-0"

BRENTWOOD 2  
project no.  
17026  
drawing no.  
A2b  
file name  
17026-BRENTWOOD-2

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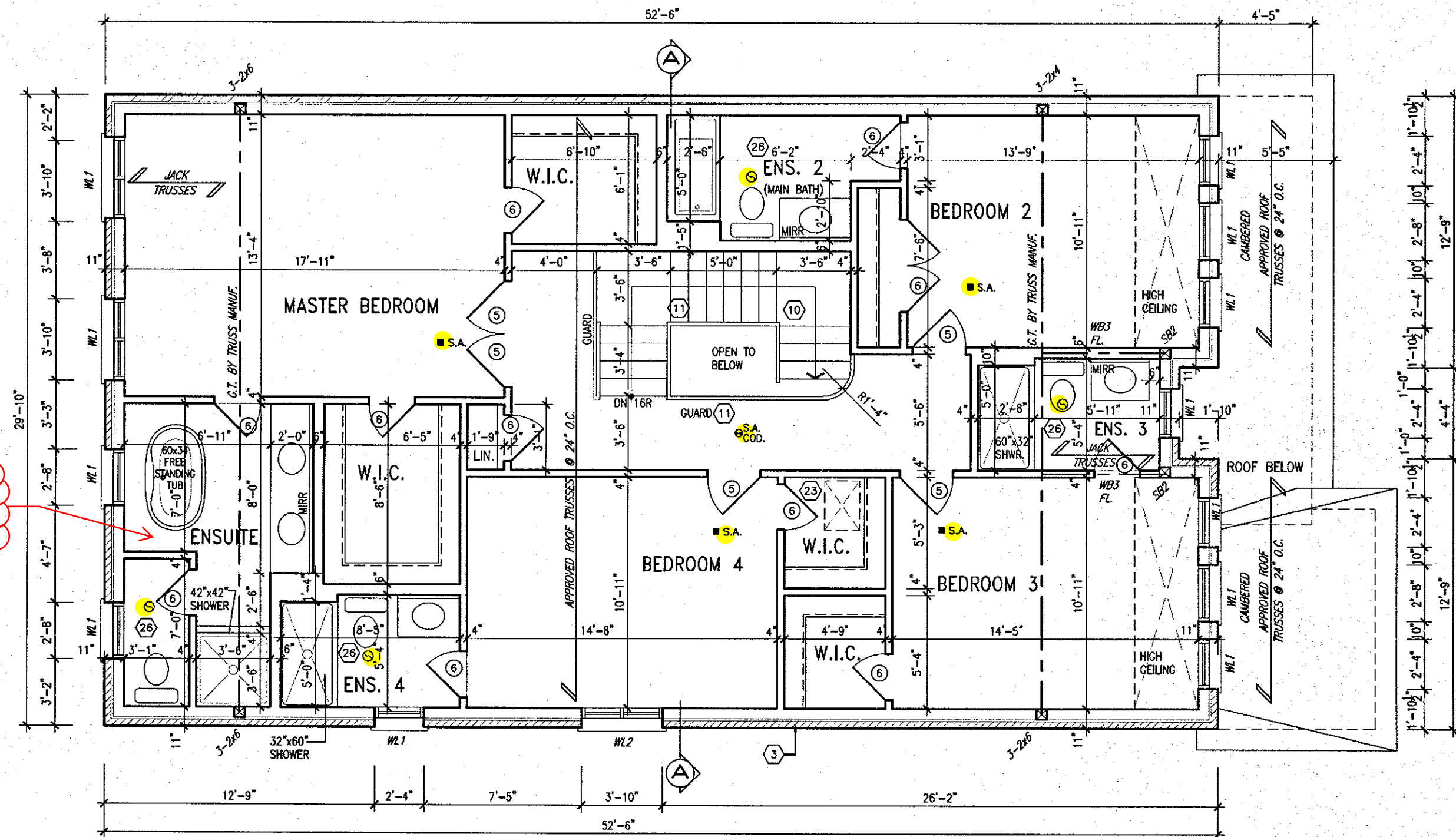
2810 SF.



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2810 SF.



✓ PROVIDE EXHAUST  
FAN IN MAIN BATH  
& TOILET ROOM

STUD WALL REINFORCEMENT FOR FUTURE  
GRAB BARS IN MAIN BATHROOM  
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED  
ADJACENT TO WATER CLOSETS AND SHOWER OR  
BATHTUB IN MAIN BATHROOM. REFER TO OBC. 9.5.2.3,  
3.8.3.8.(i)(d) & 3.8.3.13.(i)(f).

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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SECOND FLOOR PLAN - ELEV. 2



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			

FEB 22 2018

**BRENTWOOD 2**  
**ENERGY STAR**

STRUDET INC.  
FOR STRUCTURE ONLY

18				9				
17				8				
16				7				
15				6				
14				5				
13				4	ISSUED FOR PERMIT.		FEB. 20/18	GW
12				3	REV. PER CLIENT COMMENTS.		SEP. 05/17	GW
11				2	REVISED AS PER CLIENT COMMENTS.		AUG. 30/17	WT
10	description	date	by	1	ISSUED FOR CLIENT REVIEW.		AUG. 14/17	GW
no.	description	date	by	no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink *R Vink* 244

name signature 8

W	registration information / VA3 Design Inc.	426
---	-----------------------------------------------	-----

Contractor must verify all dimensions on the job and report any

discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the proper

of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All drawings specifications, n

**VA3**  
**DESIGN**

**255 Consumers Rd Suite 120**  
**Toronto ON M2J 1R4**  
**t 416.630.2255 f 416.630.478**  
**va3design.com**

**Greenpark..**

**BRENTWOOD 2**

project name	municipality
TRINAR HALL HOMES INC.	EAST GWILLIMBURY

date \_\_\_\_\_ SECOND FLOOR PLAN

AUG. 2017 SECOND FLOOR PLAN

drawn by	checked by	score
GW	-	3/16" = 1'-0"

GREC - H:\ARCHIVE\WORKING\2017\7026.GRE\UNITS\BREN74002\BREN74000-2\7026-BREN74000-2.dwg - 1

ing no.

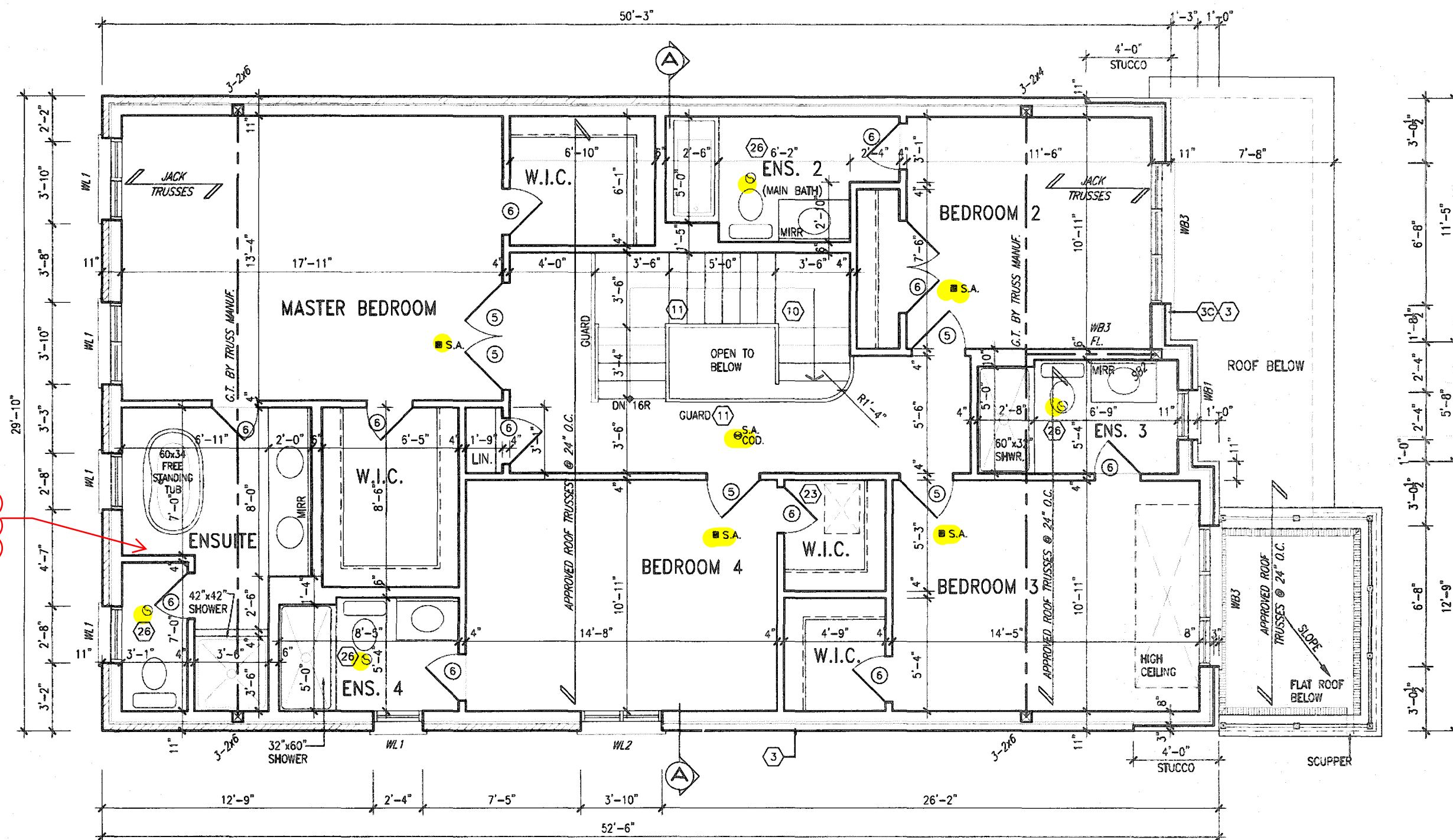
**7**

5a |

10

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2810 SF.



- ✓ PROVIDE EXHAUST
- ✓ FAN IN MAIN BATH
- ✓ & TOILET ROOM

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SECOND FLOOR PLAN - ELEV. 3



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with the Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



STRUDET INC.  
FOR STRUCTURE ONLY

FEB 22 2018

**BRENTWOOD 2**  
**ENERGY STAR**

[illegible]

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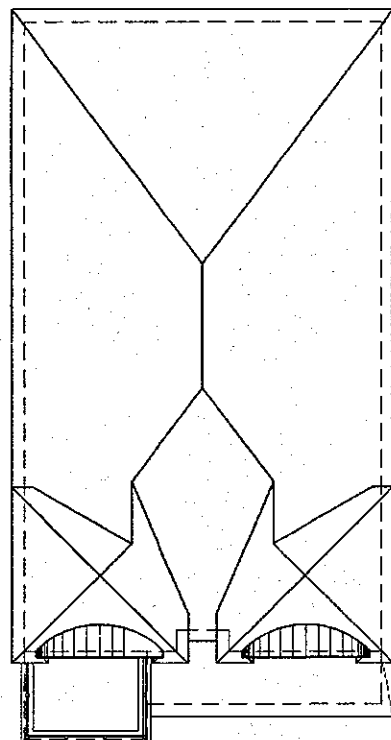


2810 SF.

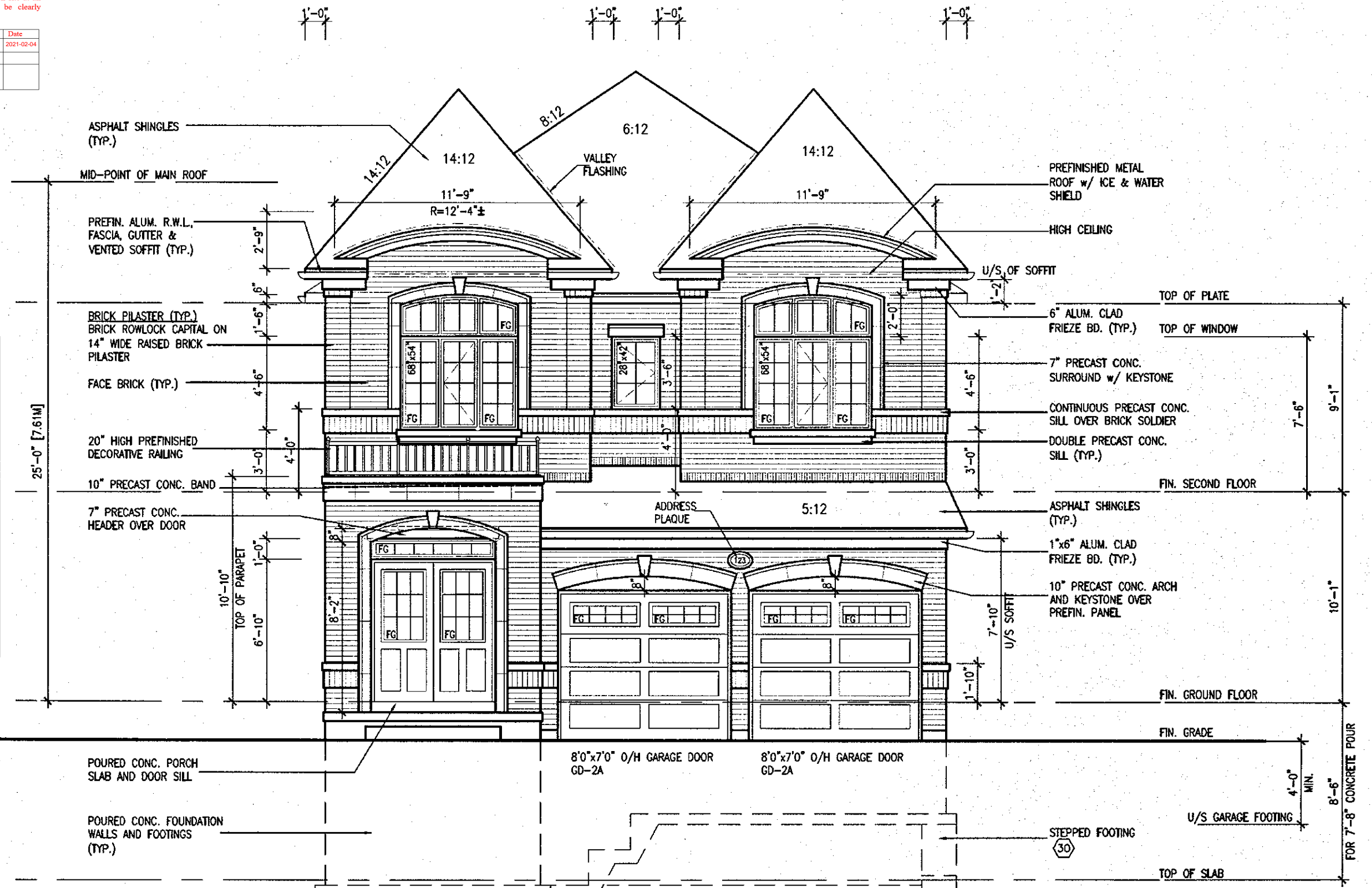
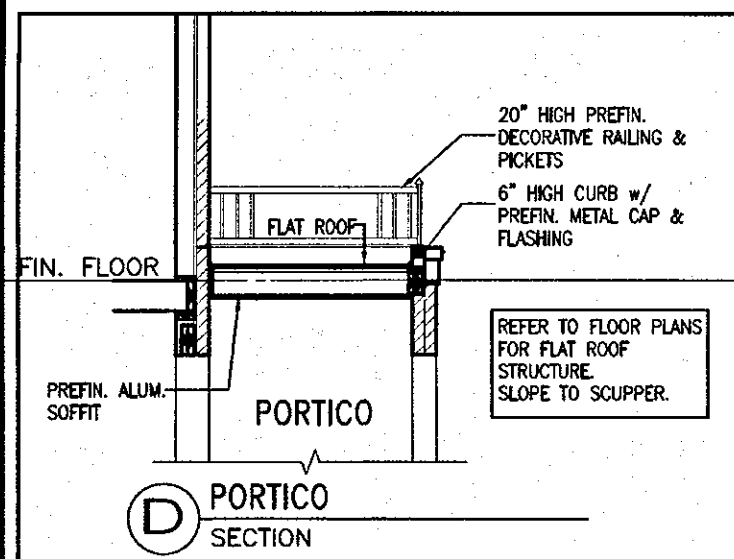


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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



ROOF PLAN 1



FRONT ELEVATION '1'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

PORCH STEPS (TYP.) POURED IN PLACE CONCRETE STEPS WHERE GRADE REQUIRES.

**W Architect Inc.**  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *ACE*  
This stamp is only for the purposes of design control and carries no other professional obligations.

FEB 22 2018

**BRENTWOOD 2**  
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5			
13		4	ISSUED FOR PERMIT.	FEB. 20/18	GW
12		3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11		2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT
10		1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW
no.	description	date	by	no.	description

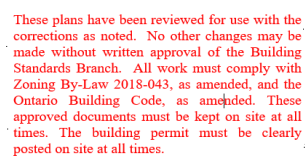
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink 24488  
name  
signature  
VA3 Design Inc. 42658  
registration information  
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3**  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
1 416.630.2255 | 416.630.4782  
va3design.com

**Greenpark.**  
project name  
TRINAR HALL HOMES INC. EAST GWILLIMBURY  
date  
AUG. 2017  
checked by  
GW  
scale  
3/16" = 1'-0"

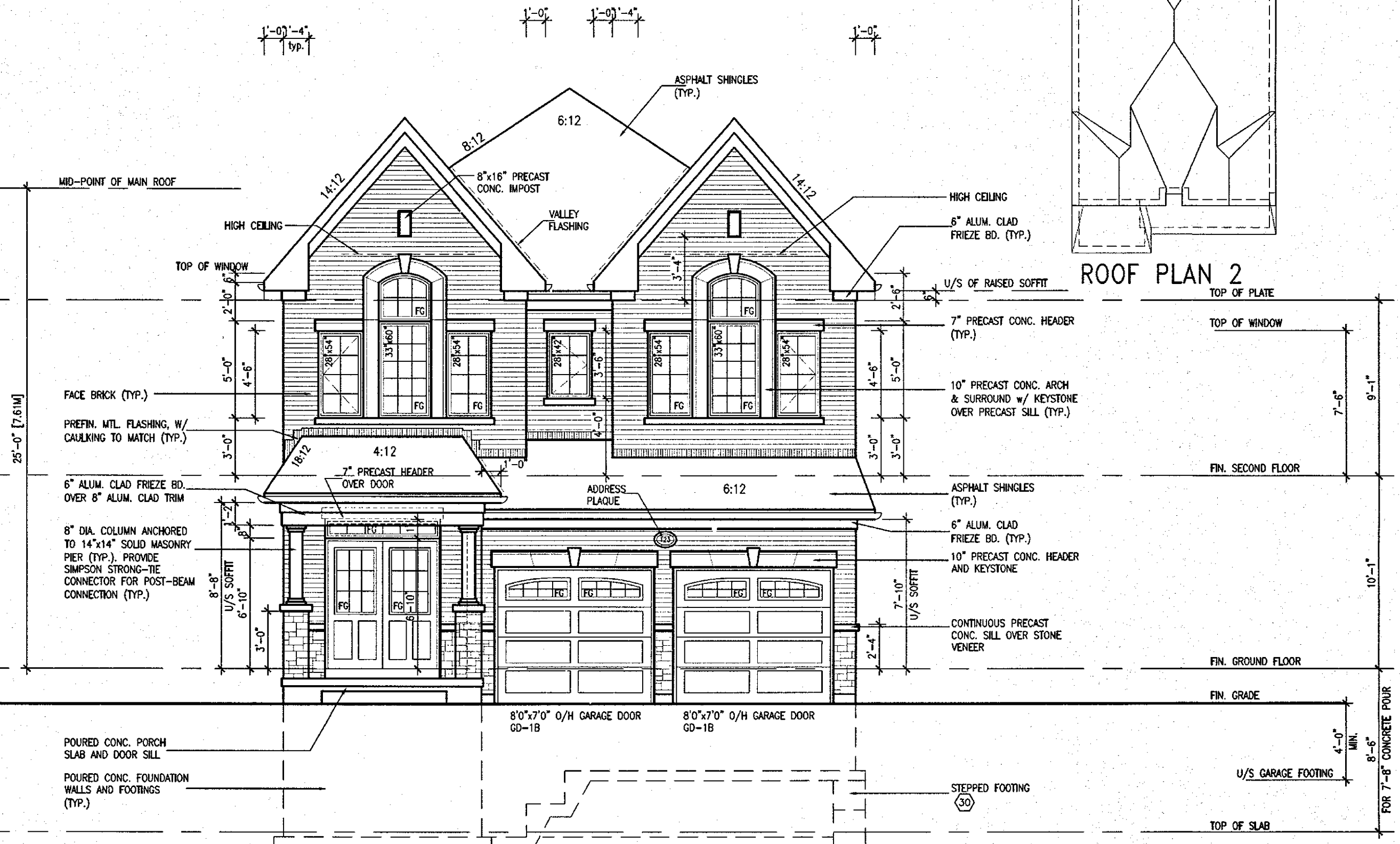
**BRENTWOOD 2**  
project no.  
17026  
drawing no.  
A4  
17026-BRENTWOOD-2  
FILE NAME  
17026-BRENTWOOD-2.dwg  
TUE - FEB 20 2018 - 3:27 AM

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			

ROOF PLAN 2



FRONT ELEVATION '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

PORCH STEPS (TYP.)  
POURED IN PLACE  
CONCRETE STEPS WHERE  
GRADE REQUIRES.

W Architect Inc.  
DESIGN CONTROL REVIEW

DEC. 04, 2020

**FINAL** BY: AE  
This stamp is only for the purposes of designating a final design. It is not to be used for any other purpose.

FEB 22 2018

**BRENTWOOD 2**  
ENERGY STAR

18				9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				qualification information
16				7				Richard Vink
15				6				name
14				5				signature
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW	registration information
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	VA3 Design Inc.
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. (Drawings are not to be copied)
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
	no.	description	date	by	no.	description	date	by

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**VA3  
DESIGN**

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**

project name **TRINAR HALL HOMES INC.** municipality **EAST GWILLIMBURY**

date **AUG. 2017** FRONT ELEVATION

drawn by \_\_\_\_\_ checked by \_\_\_\_\_ scale **3/16" = 1'-0"**

GW 14-28-HVLE-WOODCEN-21-7026-CRE-UNITS-BSENTHAL-BSENTHWOO-21-7026-BSENTHWOO-21-7026-BSENTHWOO-2 desc -

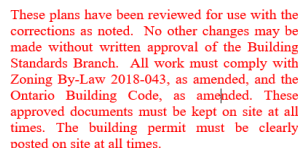
**BRENTWOOD 2**

project no.  
17026

Drawing no.

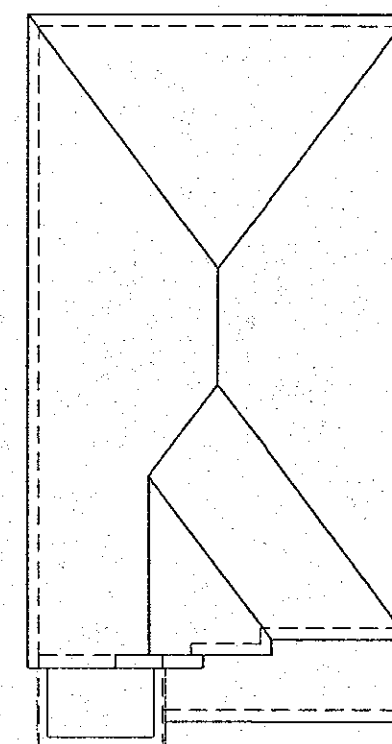
**A4a**



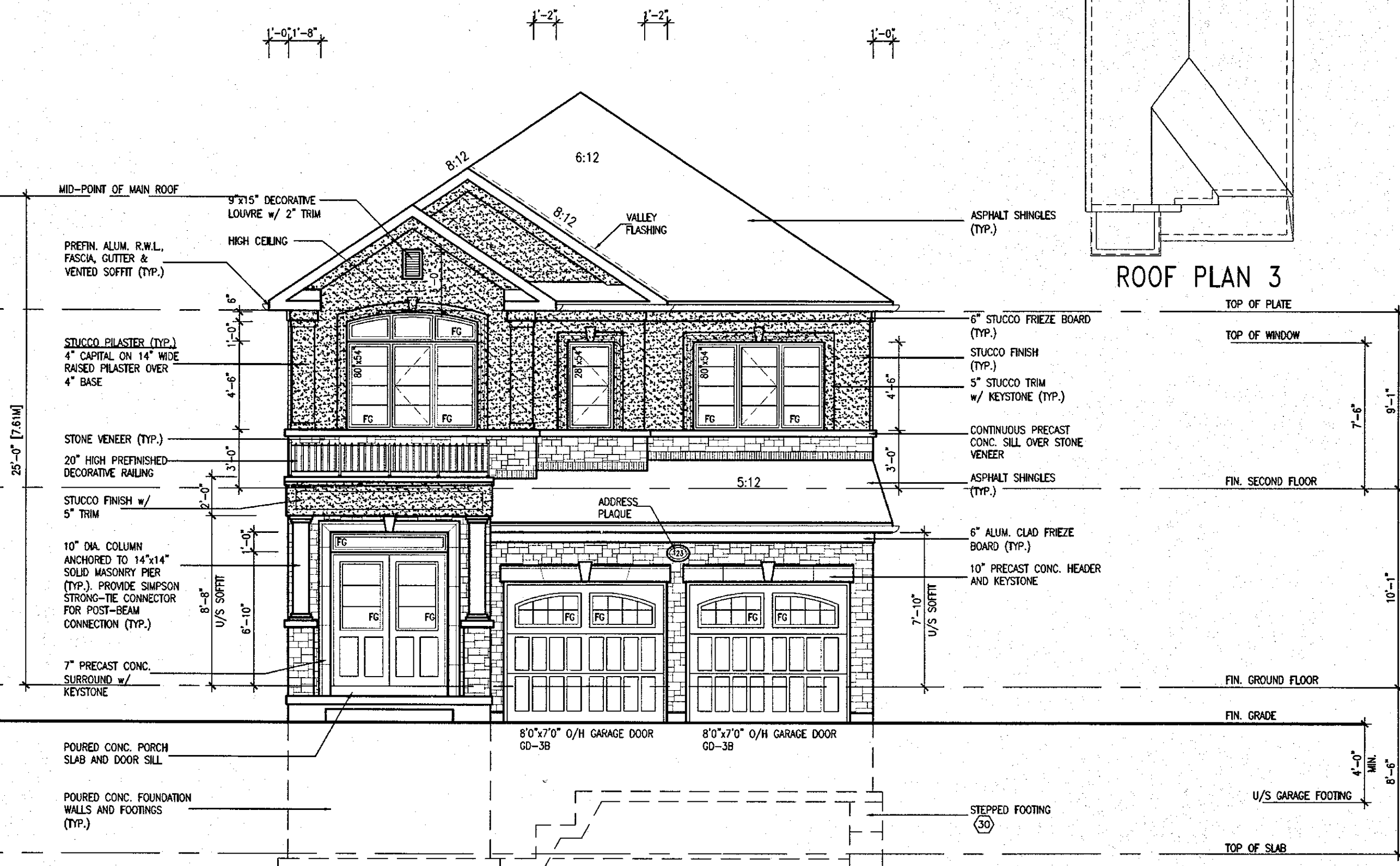


Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			

2810 SF.



ROOF PLAN 3



FRONT ELEVATION '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

PORCH STEPS (TYP.)  
POURED IN PLACE  
CONCRETE STEPS WHERE  
GRADE REQUIRES.

W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020

**FINAL** BY: AE  
This stamp is only for the purposes of design control and carries no other professional obligation.

FEB 22 2018

**BRENTWOOD 2**  
**ENERGY STAR**

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18				9	.	.	.	The undersigned has reviewed and takes responsibility for this design
17				8	.	.	.	and has the qualifications and meets the requirements set out in the
16				7	.	.	.	Ontario Building Code to be a Designer.
15				6	.	.	.	qualification information
14				5	.	.	.	Richard Vink 244
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW	name signature B
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	registration information 426
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description	date	by	no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings not to be scaled.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink *R Vink* 244

name	signature	B
registration information		
VA3 Design Inc.		426

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3**  
DESIGN

**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

**Greenpark.**

project name	municipality
TRINAR HALL HOMES INC.	EAST GWILLIMBURY

date AUG. 2017		
drawn by GW	checked by -	scale 3/16" = 1'-0"

Case - H-AB0686-638 (CA 2017) : 7026 CSE UNITS; ESS: 10000; RES: 570

**BRENTWOOD 2**

project no.  
17026

drawing no. 441

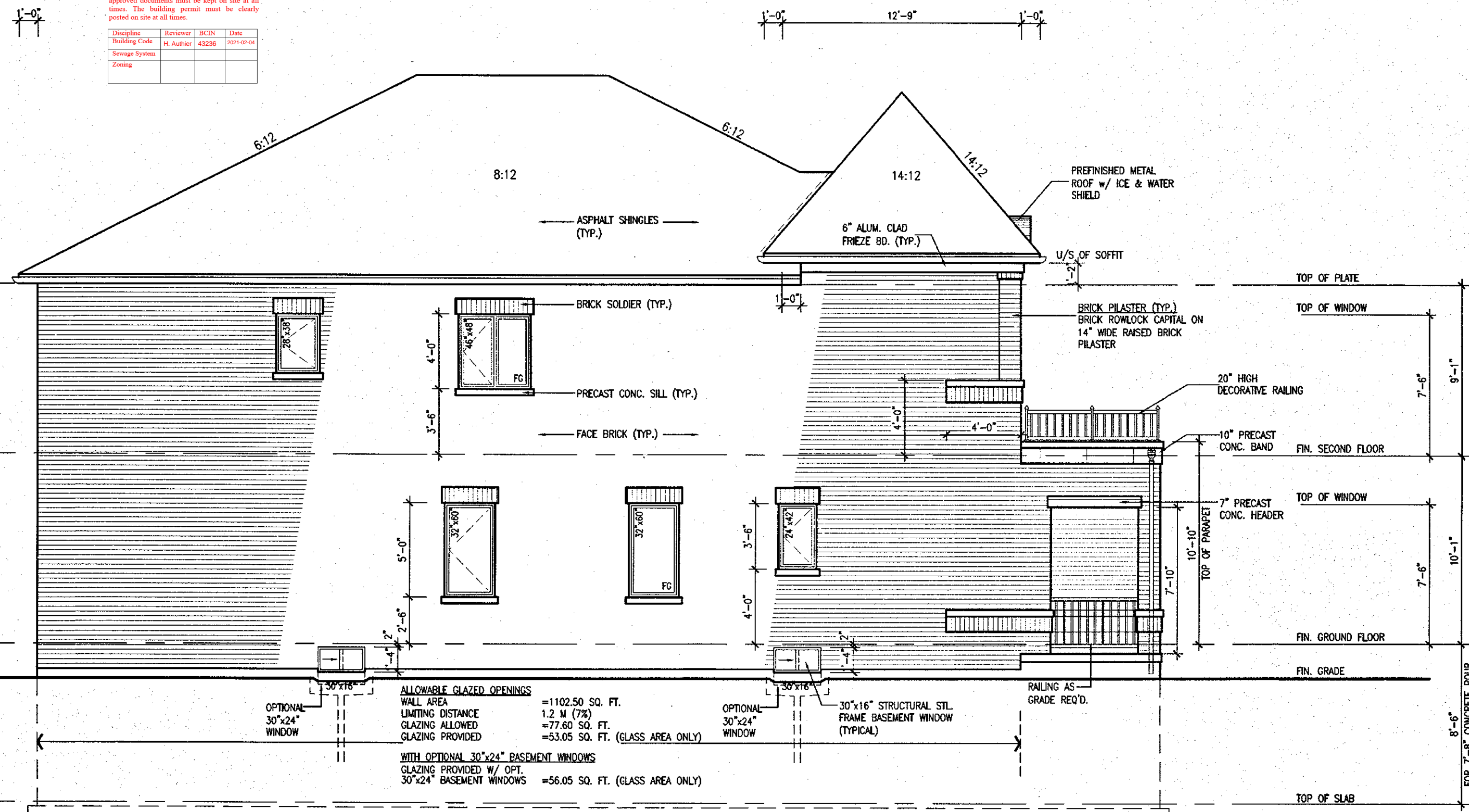
**A4b**

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



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LEFT SIDE ELEVATION - ELEV. 1

W Architect Inc.  
DESIGN CONTROL REVIEW

DEC. 04, 2020



**FINAL** BY: Alc  
This stamp is only for the purposes of design control and carries no other professional obligations

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com	 project name <b>TRINAR HALL HOMES INC.</b> municipality <b>EAST GWILLIMBURY</b>	project no. <b>17026-BRENTWOOD-2</b>	drawing no. <b>A5</b>
17		8								
16		7								
15		6								
14		5								
13		4	ISSUED FOR PERMIT.	FEB. 20/18	GW	name registration information VA3 Design Inc.	24488 BCN 42658			
12		3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW					
11		2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT					
10		1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW					
no. description			date	by	no. description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.		

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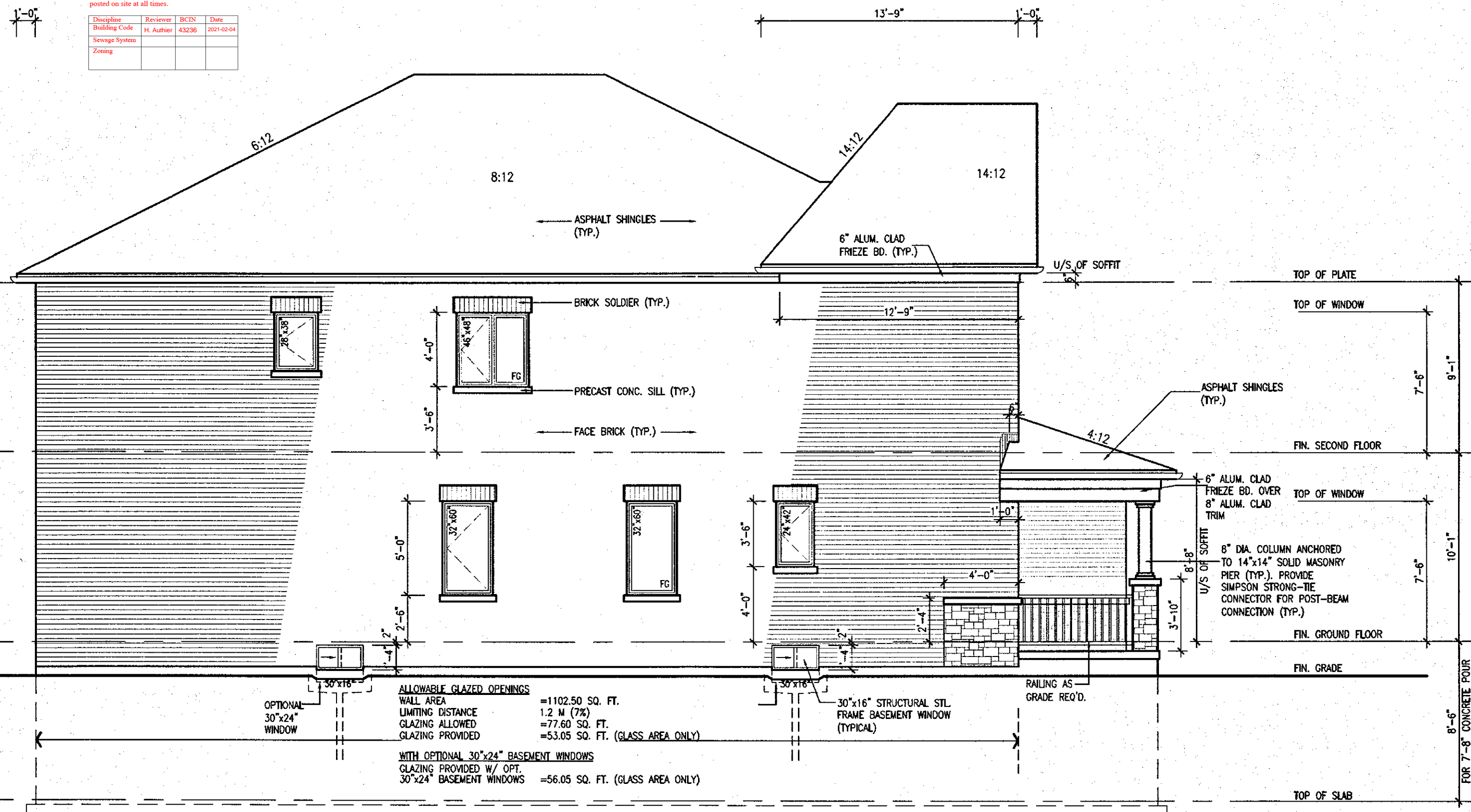




Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

DEC. 04, 2020

**FINAL** BY: AE

This stamp is only for the purposes of design

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

FEB 22 2018 BRENTWOOD 2  
ENERGY STAR

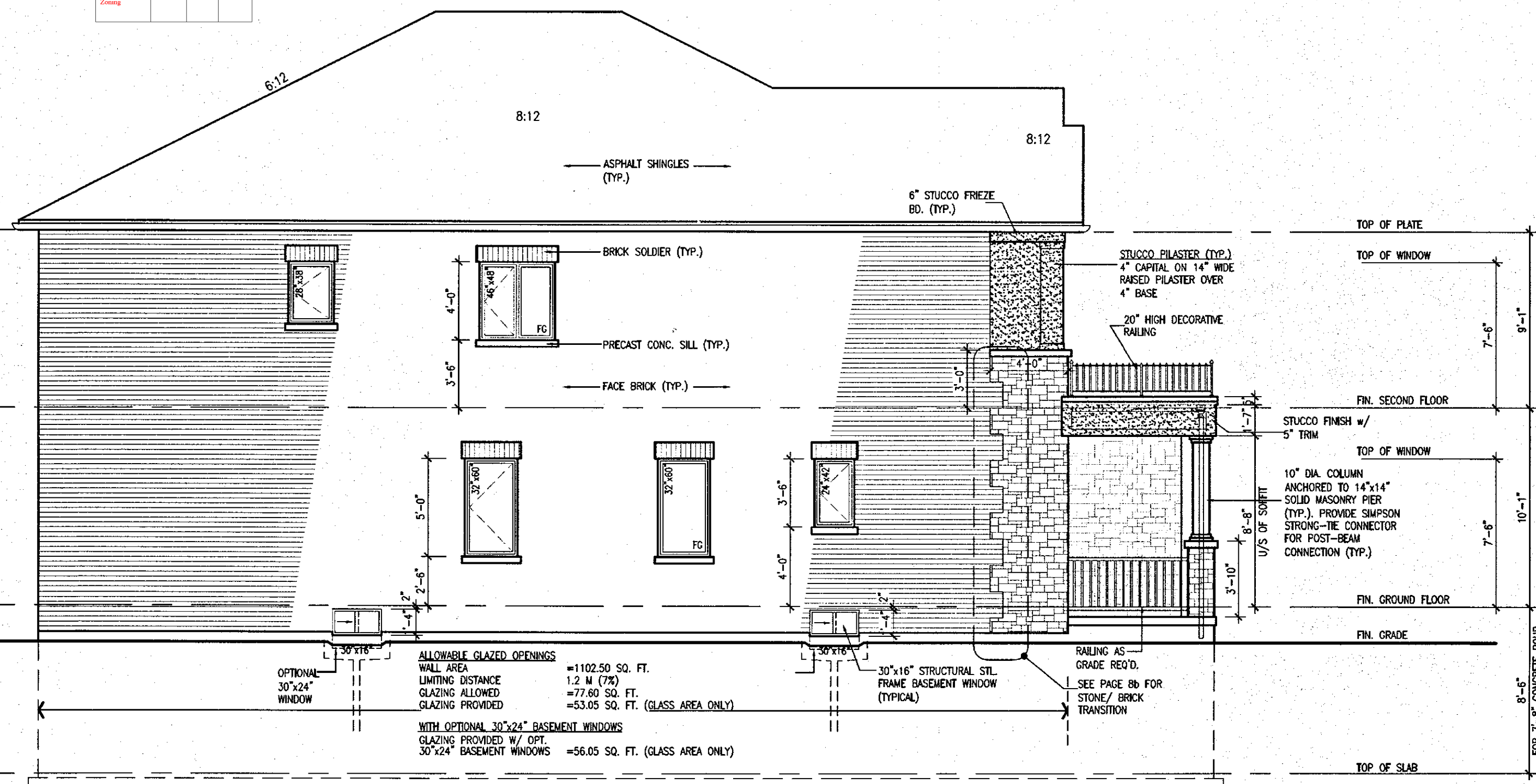
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



LEFT SIDE ELEVATION - ELEV. 3

W Architect Inc.  
**DESIGN CONTROL REVIEW**

DEC. 04, 2020

**FINAL** BY: ACE

This stamp is only for the purposes of design control and carries no other professional obligations


ELEVATIONS NOT DRAWN TO ACTUAL GRADE.  
REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

**BRENTWOOD 2**

18		9.	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div><div>VA3</div><div>DESIGN</div><div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 T 416.630.2255 / F 416.630.4782 va3design.com</div></div>	<div><div>Greenpark.</div><div>project name <b>TRINAR HALL HOMES INC.</b> municipality <b>EAST GWILLIMBURY</b> project <b>1702E</b></div></div>	drawing no. <b>A5b</b>
17		8.	-	-	-	qualification information			
16		7.	-	-	-	Richard Vink			
15		6.	-	-	-	signature <i>R Vink</i> 24488 BCN			
14		5.	-	-	-	name registration information VA3 Design Inc. 42658			
13		4.	ISSUED FOR PERMIT.	FEB. 20/18	GW				
12		3.	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW				
11		2.	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT				
10		1.	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW				
no.	description	date	by	no.	description	date	by		

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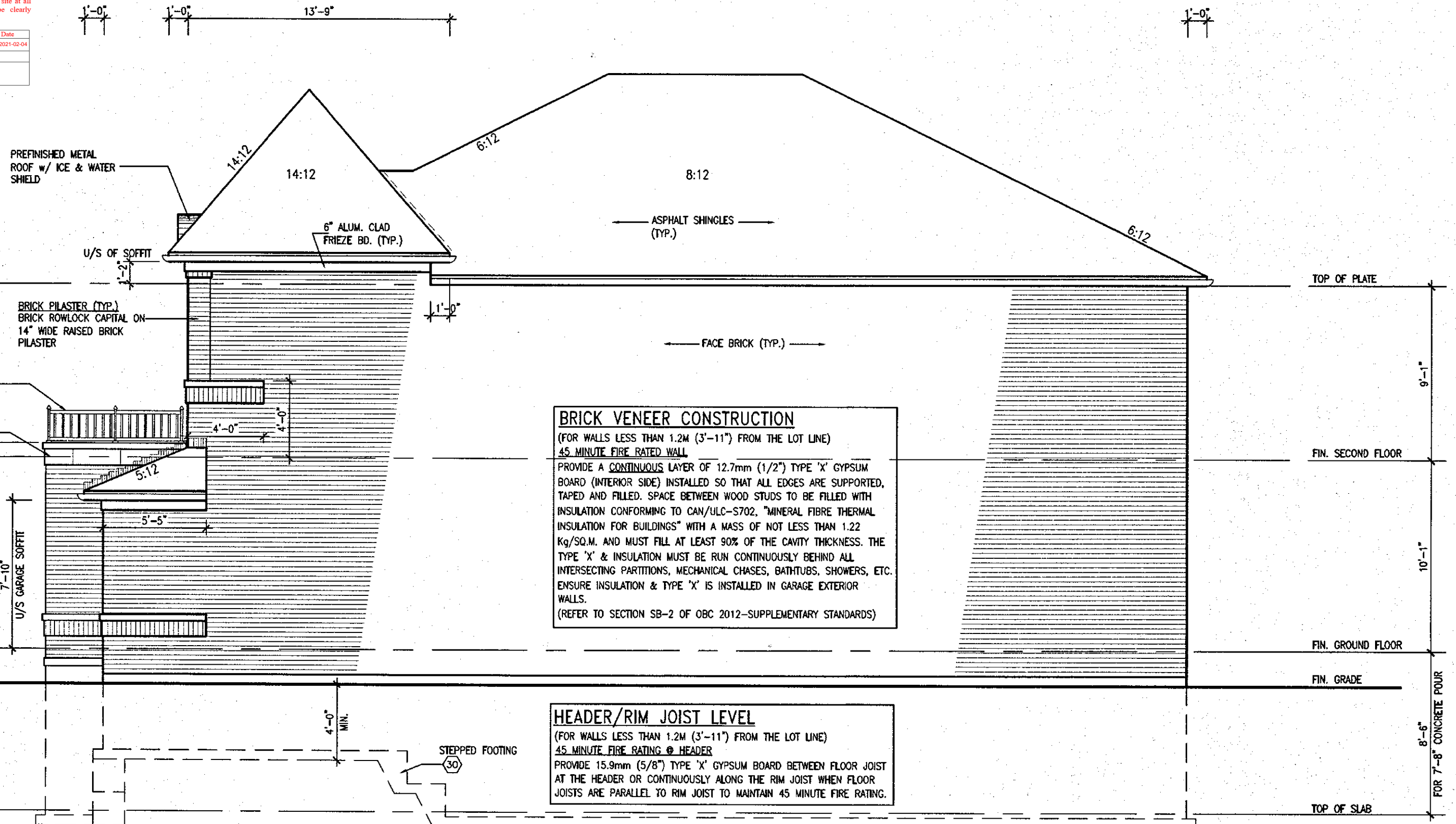


2810 SF.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6\"/>

RIGHT SIDE ELEVATION - ELEV. 1

W Architect Inc.  
DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: *Ally*

This stamp is only for the purposes of design control and carries no other professional obligations.

FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

18		9			
17		8			
16		7			
15		6			
14		5			
13		4	ISSUED FOR PERMIT.	FEB. 20/18	GW
12		3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11		2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT
10		1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information  
Richard Vink 24488  
signature  
VA3 Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

**VA3**  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark.**  
project name  
TRINAR HALL HOMES INC. EAST GWILLIMBURY  
date  
AUG. 2017  
drawn by  
checked by  
scale  
3/16\"/>

BRENTWOOD 2  
project no.  
17026  
drawing no.  
A6  
17026-BRENTWOOD-2  
date  
FEB 20 2018 - 8:27 AM

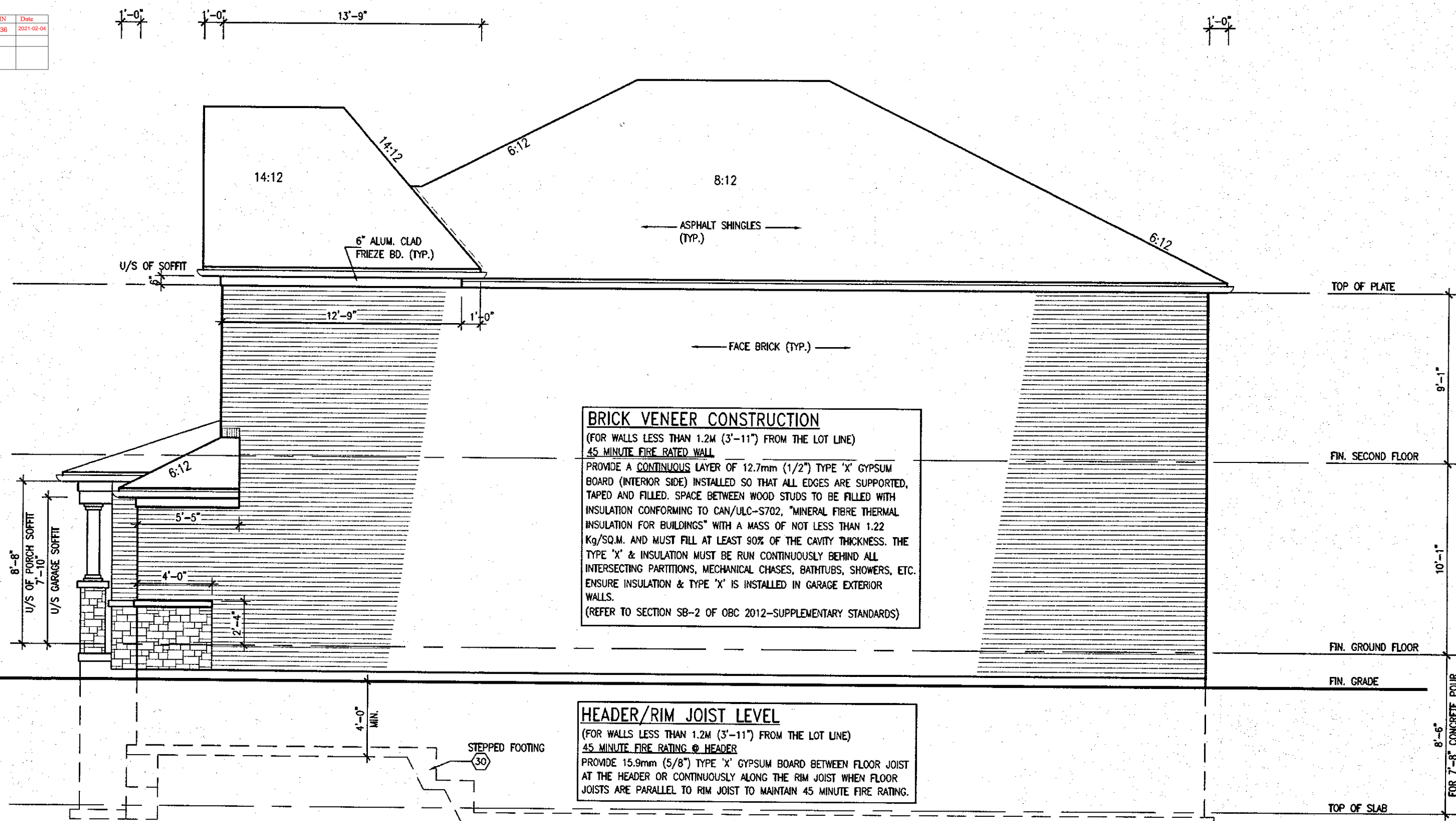
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			

2810 SF.



**BRICK VENEER CONSTRUCTION**  
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATED WALL  
PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.  
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

**HEADER/RIM JOIST LEVEL**  
(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)  
45 MINUTE FIRE RATING @ HEADER  
PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

3'-6" HIGH RAILING IF PORCH SLAB IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN PORCH SLAB IS LESS THAN 5'-11" ABOVE FINISHED GRADE

RIGHT SIDE ELEVATION - ELEV. 2

W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *W. Vink*  
This stamp is only for the purposes of design control and carries no other professional obligations.

FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

18				9					
17				8					
16				7					
15				6					
14				5					
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW		
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW		
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT		
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW		
no.	description	date	by	no.	description	date	by		

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.  
qualification information  
Richard Vink  
signature  
24488  
BCIN  
42658  
VA3 Design Inc.

**VA3 DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
vo3design.com

**Greenpark.**  
Project Name  
TRINAR HALL HOMES INC.  
date  
AUG. 2017  
drawn by  
CW  
checked by  
-  
scale  
3/16" = 1'-0"

**BRENTWOOD 2**  
municipality  
EAST GWILLIMBURY  
project no.  
17026  
RIGHT SIDE ELEVATION - ELEV. 2  
file name  
17026-BRENTWOOD-2  
drawing no.  
A6a



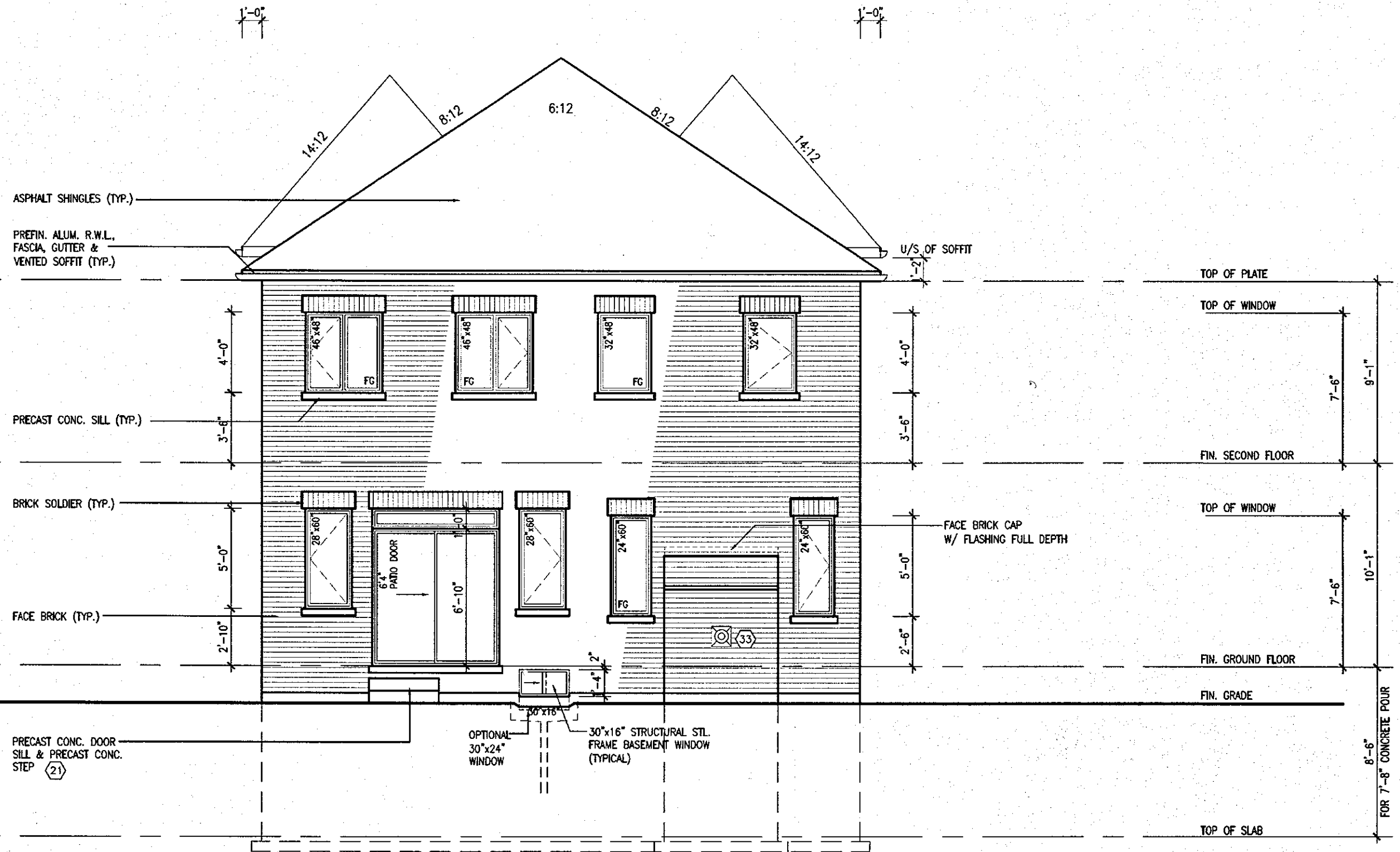
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2810 SF.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



REAR ELEVATION '1'

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W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *ACE*  
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FEB 22 2018

BRENTWOOD 2  
ENERGY STAR

18			9						
17			8						
16			7						
15			6						
14			5						
13			4	ISSUED FOR PERMIT.	FEB. 20/18	GW			
12			3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW			
11			2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT			
10			1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW			
no.	description	date	by	no.	description	date	by		

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qualification information  
Richard Vink 24488  
name  
signature  
VA3 Design Inc. 42658  
registration information  
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VA3  
DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
va3design.com

Greenpark.  
project name  
TRINAR HALL HOMES INC.  
municipality  
EAST GWILLIMBURY  
date  
AUG. 2017  
drawn by  
GW  
checked by  
scale  
3/16" = 1'-0"  
file name  
17026-BRENTWOOD-2  
17026-BRENTWOOD-2.dwg - Tue - Feb 20 2018 - 5:27 AM

BRENTWOOD 2  
project no.  
17026  
drawing no.  
A7

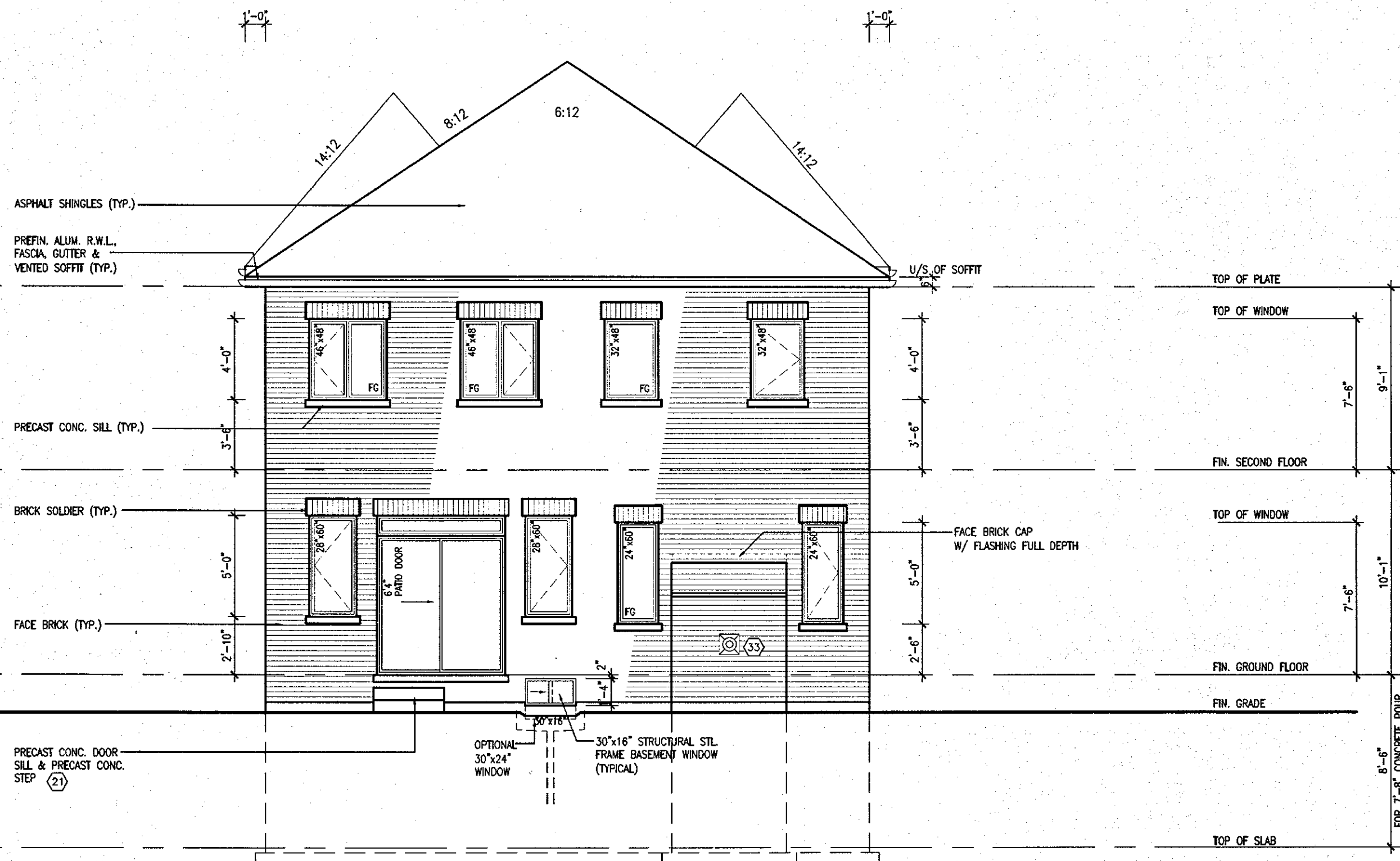




Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



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DEC. 04, 2020

**FINAL** BY: Alc  
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FEB 22 2018

**BRENTWOOD 2.**  
**ENERGY STAR**

18					9 .	- -	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17					8 .	- -	qualification information	
16					7 .	- -		
15					6 .	- -	Richard Vink	244B
14					5 .	- -	home signature R.Vink	BCL
13					4 ISSUED FOR PERMIT.	FEB. 20/18 GW	registration information VA3 Design Inc.	426S
12					3 REV. PER CLIENT COMMENTS.	SEP. 05/17 GT		
11					2 REVISED AS PER CLIENT COMMENTS.	AUG. 30/17 WT		
10					1 ISSUED FOR CLIENT REVIEW.	AUG. 14/17 GW		
no.	description		date	by no.	description	date	by	

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information *R. Vink* 2448

name signature BCI

registration information

VA3 Design Inc. 4265

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**VA3**  
**DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.478  
va3design.com

# Greenpark.

**BRENTWOOD 2**

project name <b>TRINAR HALL HOMES INC.</b>	municipality <b>EAST GWILLIMBURY</b>	project no. <b>17021</b>
date <b>AUG. 2017</b>	drawing no. <b>17028-BRENTWOOD-2</b>	
drawn by <b>_____</b>	checked by <b>_____</b>	scale <b>3/16" = 1'-0"</b>
file name <b>17028-BRENTWOOD-2</b>		<b>A7a</b>
SPEC: <b>ARCHIVE: 2017.08.02.GREYVINT3.BRENTWOOD.BRENTWOOD-2.17028-BRENTWOOD-2.dwg - Tue - Feb 20 2018 - 8:27 AM</b>		

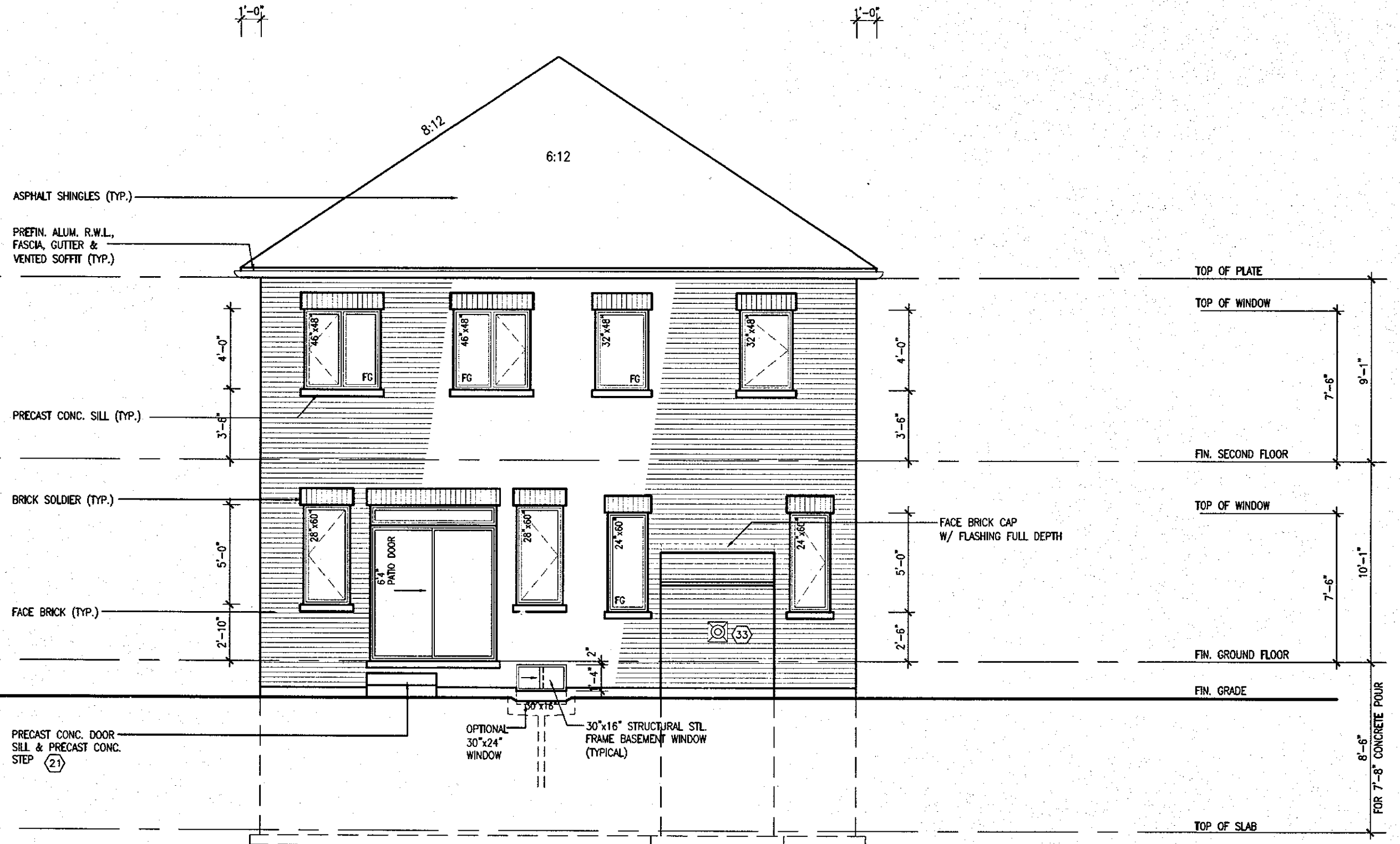
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2810 SF.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



REAR ELEVATION '3'

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**W Architect Inc.**  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *W. Vink*  
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FEB 22 2018

**BRENTWOOD 2**  
ENERGY STAR

18			9	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
17			8	qualification information		
16			7	Richard Vink		
15			6	signature		
14			5	24488		
13			4	BCIN		
12			3	42658		
11			2	ISSUED FOR PERMIT.		
10			1	FEB. 20/18 GW		
9			1	REV. PER CLIENT COMMENTS.		
8			1	SEP. 05/17 GW		
7			1	REVISED AS PER CLIENT COMMENTS.		
6			1	AUG. 30/17 WT		
5			1	ISSUED FOR CLIENT REVIEW.		
4			1	AUG. 14/17 GW		
3			1	no. description		
2			1	date		
1			1	by		

**VAS DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 f 416.630.4782  
vasdesign.com

**Greenpark.**  
project name  
TRINAR HALL HOMES INC.  
date  
AUG. 2017  
drawn by  
GW  
checked by  
-  
scale  
3/16" = 1'-0"

**BRENTWOOD 2**  
drawing no.  
17026-BRENTWOOD-2  
A7b

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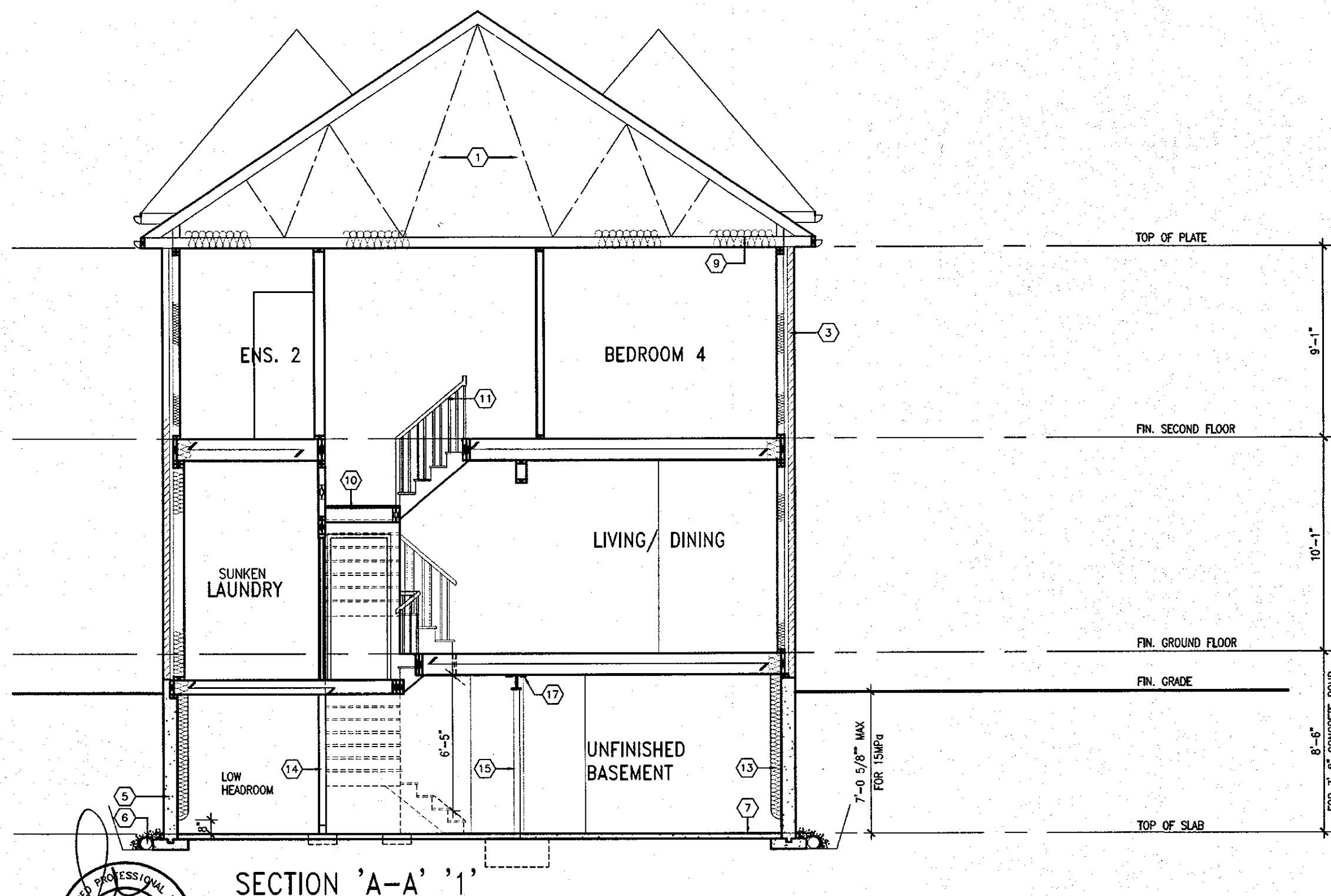




Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



SECTION 'A-A' '1'

**BRENTWOOD 2**  
**ENERGY STAR**

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STRUDET INC.  
FOR STRUCTURE ONLY

18		9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		8				qualification information	
16		7				Richard Vink	
15		6				signature <i>R Vink</i> 24488	
14		5				home registration information BCN	
13		4	ISSUED FOR PERMIT.	FEB. 20/18	GW	VAS Design Inc. 42658	
12		3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawing not to be used.	
11		2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT		
10		1	ISSUED FOR DESIGN REVIEW.	AUG. 14/17	GW		
no.	description	date	by	no.	description	date	by

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

BRENTWOOD 2

project name		municipality		project no.	
TRINAR HALL HOMES INC.		EAST GWILLIMBURY		1702	
date		SECTION A-A - ELEV. '1'		drawing no.	
AUG. 2017				A8	
drawn by	checked by	scale	file name		
		3/16" = 1'-0"	1702S-BRENTWOOD-2		
CWC - H:\ARCHIVE\OFFICE\2017_2006.GZE\LINTS\BRENTWOOD\2\1702S-BRENTWOOD-2.dwg - Tue - Feb 20 2018 - 8:27 AM					

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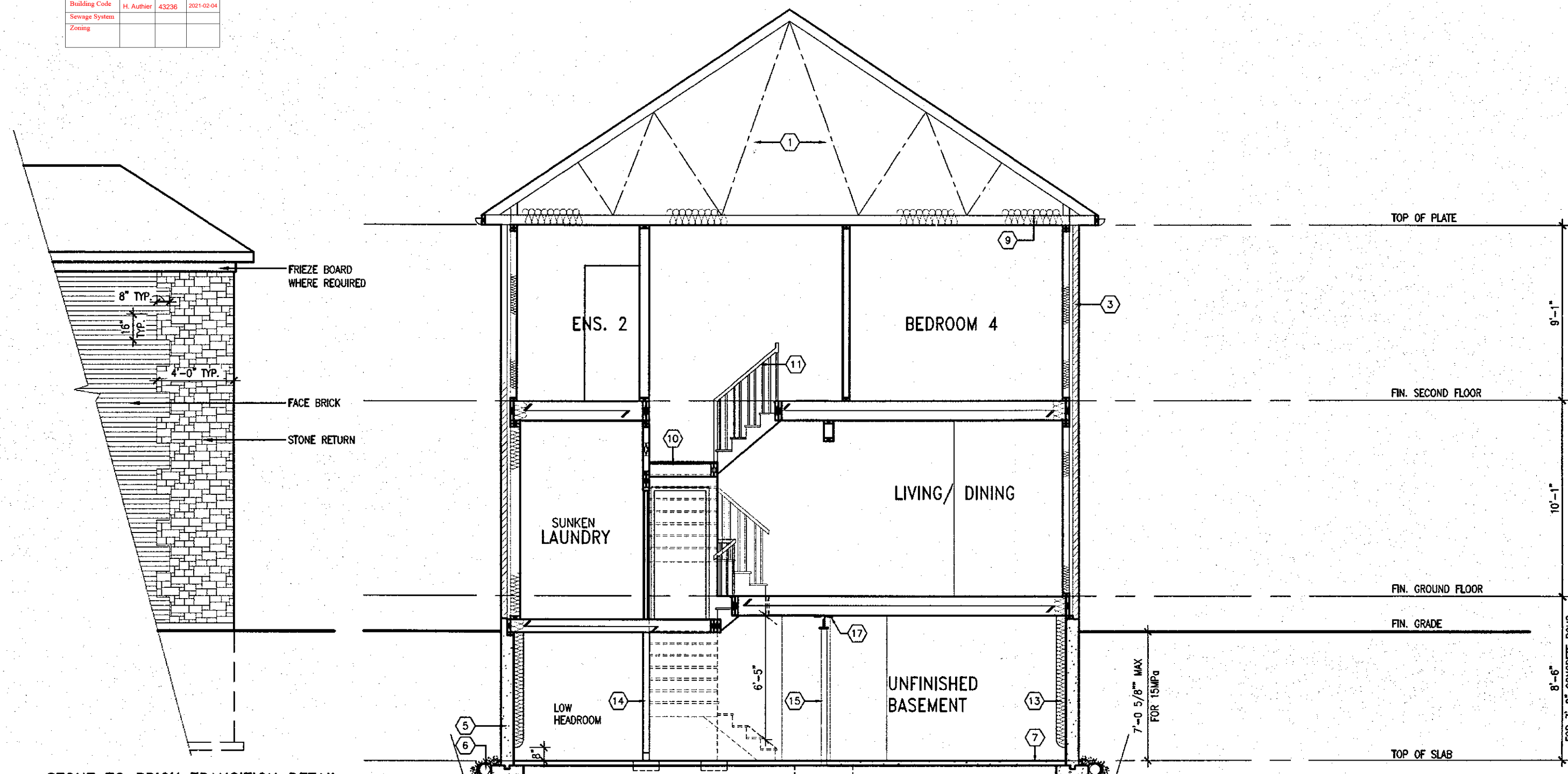




Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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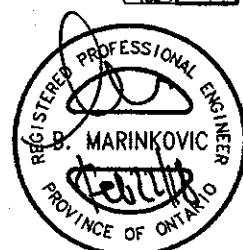
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



## STONE TO BRICK TRANSITION DETAIL

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STRUDET INC.  
FOR STRUCTURE ONLY


SECTION 'A-A' '3'

FEB 22 2018

**BRENTWOOD 2**  
**ENERGY STAR**

18				9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8					
16				7					qualification information
15				6					Richard Vink
14				5					signature
13				4	ISSUED FOR PERMIT.	FEB. 20/18	GW	name	24488
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	registration information	9C9
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	VA3 Design Inc.	42658
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW		
	no. description	date	bv	no. description	date	bv			

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Forfeited.



255 Consumers Rd Suite 120  
Toronto, ON M2J 1R4  
t 416.630.2255 / f 416.630.4782  
va3design.com

**Greenpark.**

project name: **TRINAR HALL HOMES INC.** municipality: **EAST GWILLIMBURY** project no.: **17025**

date: **AUG. 2017** SECTION A-A - ELEV. '3'

drawn by: **—** checked by: **—** scale: **3/16" = 1'-0"** file name: **17025-BRENTWOOD-2**

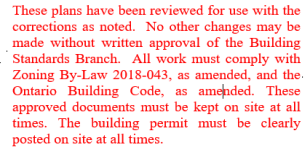
PLS - H:\ARCHIVED\2017\2017 CREW\17025 BRENTWOOD\BRENTWOOD-2\17025-BRENTWOOD-2.dwg - Tue - Feb 20 2018 - 8:27 AM

**BRENTWOOD 2**

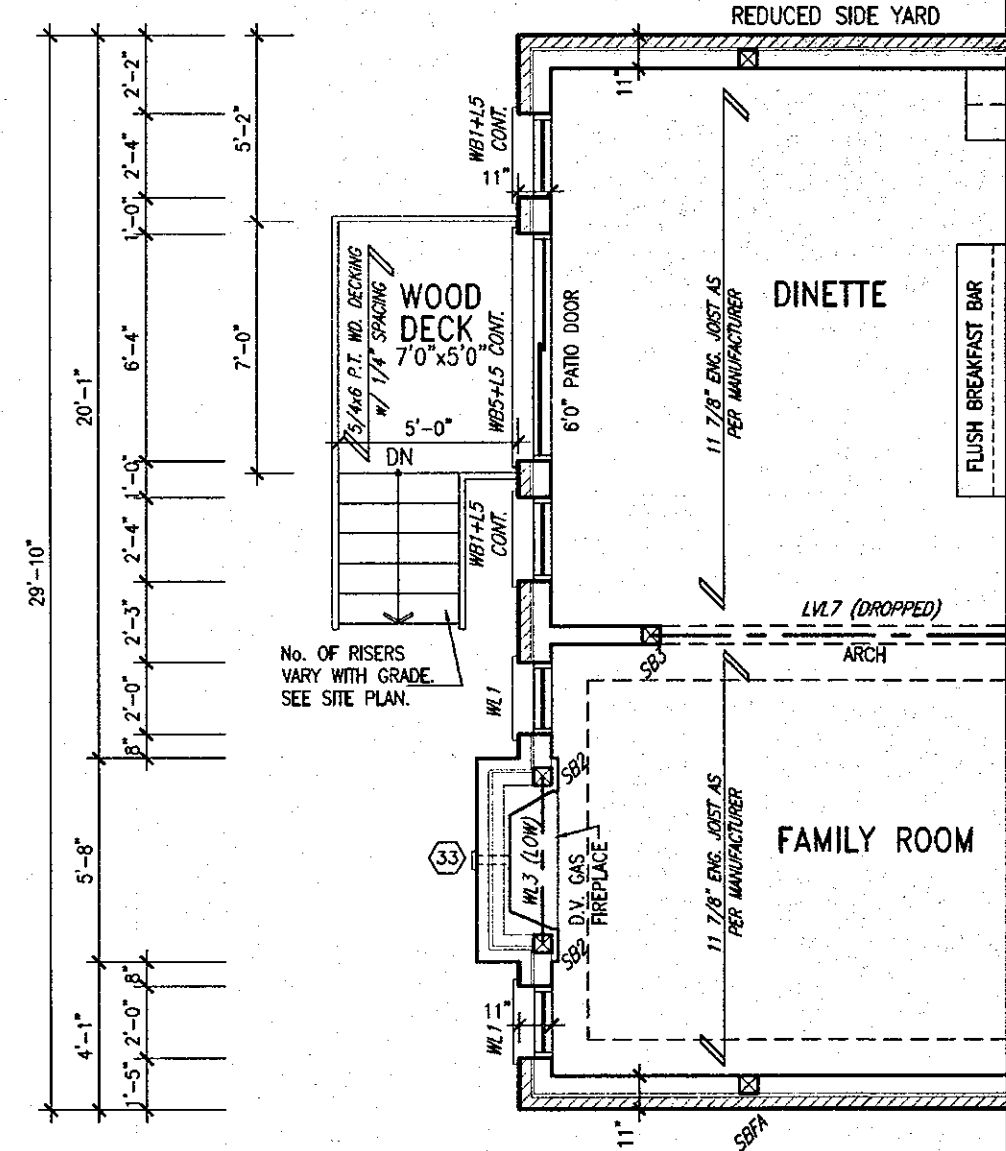
**A8b**

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INDICATES REDUCED SIDE YARD CONDITION



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			



PARTIAL GROUND FLOOR PLAN  
W.O.D. CONDITION

REFER TO STANDARD BASEMENT  
PLAN FOR WINDOWS THAT MAY BE  
ELIMINATED WITH UPGRADED REAR  
WINDOWS OF DECK CONDITION.

NOTE:  
REFER TO STANDARD FLOOR PLANS  
FOR ADDITIONAL INFORMATION.

**WOOD DECK DETAILS**  
REFER TO STANDARD DETAIL PACKAGE (PAGE 5)  
FOR ADDITIONAL WOOD DECK INFORMATION.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 22 2018

**BRENTWOOD 2**  
**ENERGY STAR**

[illegible]

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