

# STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

# FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

# PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD F3 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F4 = 34"x34"x14" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD F5 = 28"x28"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F6 = 18"x18"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

# BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL8 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

# WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

# LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (2-45x456)

# LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)  
L2 = 4"x3'-1/2"x5/16" (100x90x8.0L)  
L3 = 5"x3'-1/2"x5/16" (125x90x8.0L)  
L4 = 6"x3'-1/2"x3/8" (150x90x10.0L)  
L5 = 6"x4"x3/8" (150x100x10.0L)  
L6 = 7"x4"x3/8" (175x100x10.0L)

# DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR  
1a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS  
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR  
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR  
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

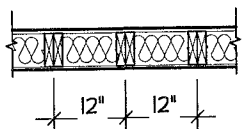
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

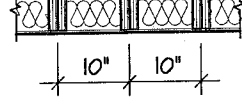
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 1/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 10'-0"

# TWO STORY HEIGHT WALL DETAIL

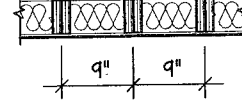
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

# TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 9" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 1/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS  
40'-0"

# TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.  
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA. ANCHOR  
BOLTS  
C2 = 5"x5"x1/4" H.S.S.  
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA. ANCHOR  
BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN = 35 kNm

# TOWN OF EAST GWILLIMBURY BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN  
REVIEWED FOR COMPLIANCE WITH  
THE ZONING BY-LAW 2018-043, AS  
AMENDED

FOR Model Review  
BY cfooster  
DATE 20/01/2021

BRENTWOOD 3		ELEV.1		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	635.08	59.00	74.07	6.88	11.66 %
LEFT SIDE	1269.33	117.92	42.50	3.93	7.29 %
RIGHT SIDE	1269.33	117.92	42.25	3.93	3.33 %
REAR	543.71	55.16	129.83	12.06	21.87 %
TOTAL	3167.51	350.01	338.65	31.46	8.99 %

BRENTWOOD 3		ELEV.2		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	635.08	59.00	72.97	6.78	11.49 %
LEFT SIDE	1269.33	117.92	42.50	3.93	7.29 %
RIGHT SIDE	1269.33	117.92	42.25	3.93	3.33 %
REAR	543.71	55.16	129.83	12.06	21.87 %
TOTAL	3167.51	350.01	331.55	31.36	8.96 %

BRENTWOOD 3		ELEV.3		ENERGY STAR	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	635.08	59.00	75.69	7.03	11.92 %
LEFT SIDE	1269.33	117.92	42.50	3.93	7.29 %
RIGHT SIDE	1269.33	117.92	42.25	3.93	3.33 %
REAR	543.71	55.16	129.83	12.06	21.87 %
TOTAL	3167.51	350.01	340.27	31.61	9.03 %



These plans have been reviewed for use with the  
corrections as noted. No other changes may be  
made without written approval of the Building  
Standards Branch. All work must comply with  
Zoning By-Law 2018-043, as amended, and the  
Ontario Building Code, as amended. These  
approved documents must be kept on site at all  
times. The building permit must be clearly  
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Seismic System			
Zoning			

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT  
SHALL CONFORM TO THE FOLLOWING

# ENERGY STAR V-11

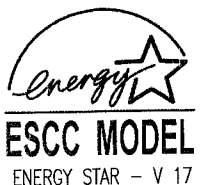
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 24/MV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: [Signature]  
This stamp is only for the purposes of design  
control and carries no other professional obligations.



FOR STRUCTURE ONLY

APR 01 2019



It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the Town of  
EAST GWILLIMBURY.

# BRENTWOOD 3 ENERGY STAR



PROJECT NAME  
TRINAR HALL HOMES INC.

5.		
4.		
3.		
2.	ENERGY STAR CHART	APR. 01/19
1.	ISSUED FOR REVIEW	NOV 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4098  
F (905) 660-0746

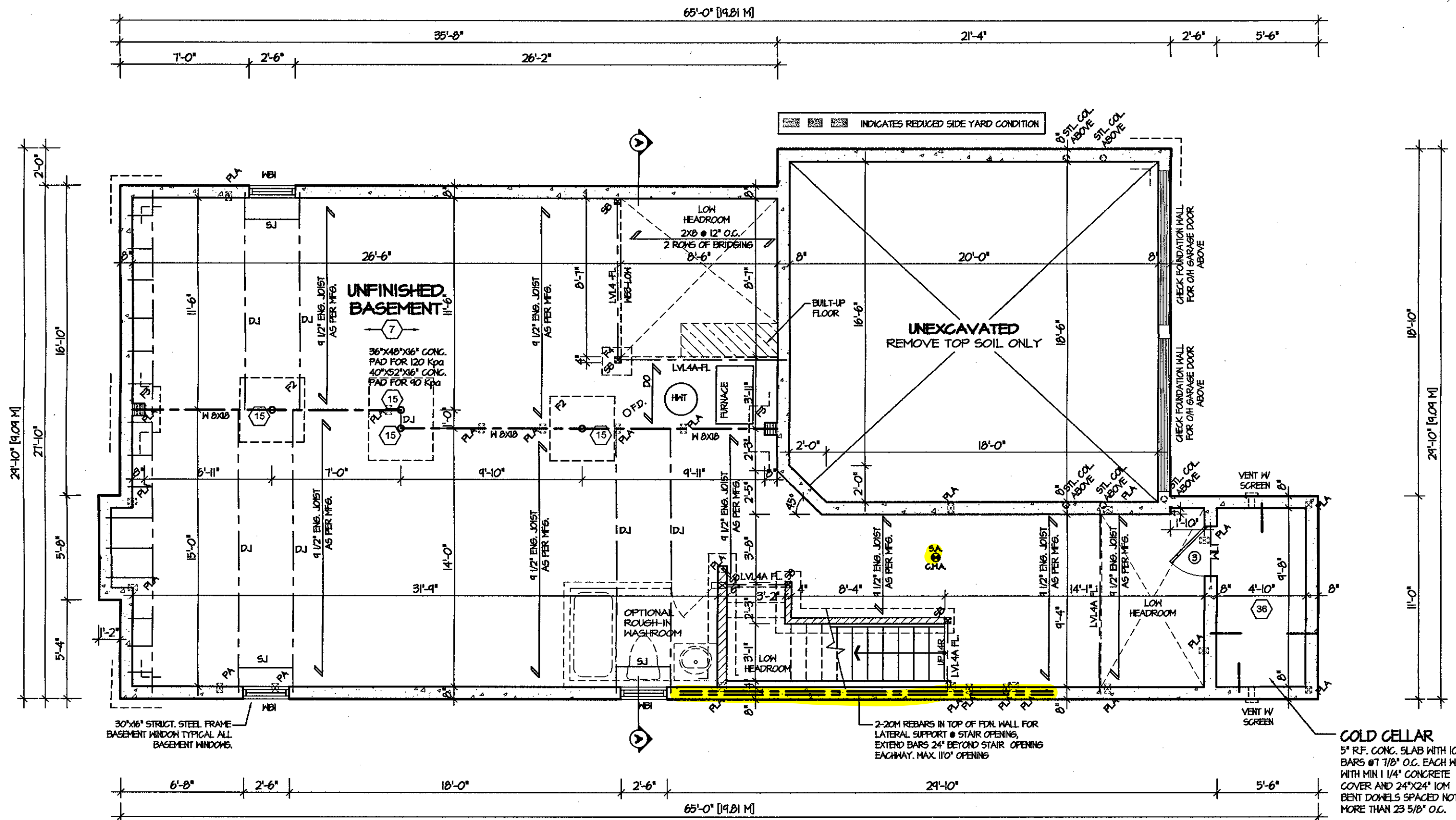


SHEET TITLE  
AREA CHARTS  
SCALE 3/16"=1'-0"  
DATE NOV 2017

BY V.G. / BK  
TYPE  
PROJECT 05-15-01

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.  
AREA 2815  
PAGE No. 0





# **BASEMENT PLAN I**

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 1'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-05
Sewage System			
Zoning			

STRUDET INC.



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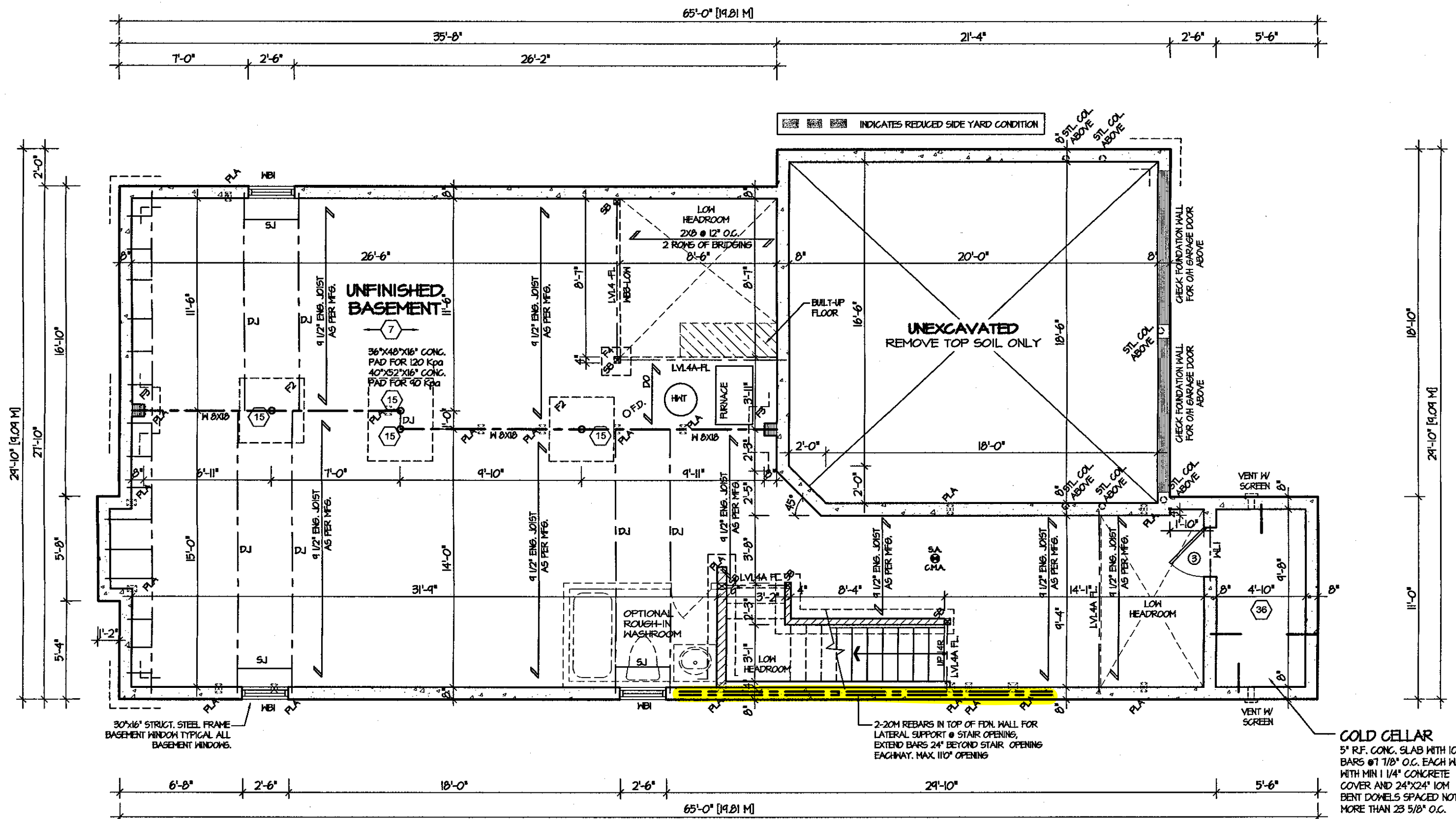
MAR 08 2018

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

**BRENTWOOD 3**  
ENERGY STAR

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. _____</p> <p>1. ISSUED FOR REVIEW NOV 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>SHEET TITLE</p> <p><b>BASEMENT PLAN</b></p> <p>ELEV. 1</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE NOV 2017</p> <p>BY V.G. / BK</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2815</p> <p>PAGE No. 1</p> <p>PROJECT 05-15-01</p>	<p><b>Greenpark.</b></p> <p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC.</p>
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## BASEMENT PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



MAR 08 2018

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**BRENTWOOD 3**  
ENERGY STAR



PROJECT NAME  
TRINAR HALL HOMES INC.

REVISIONS	NOV 2017	28770
1. ISSUED FOR REVIEW		
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION		
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
VIKAS GAJJAR	SIGNATURE	BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
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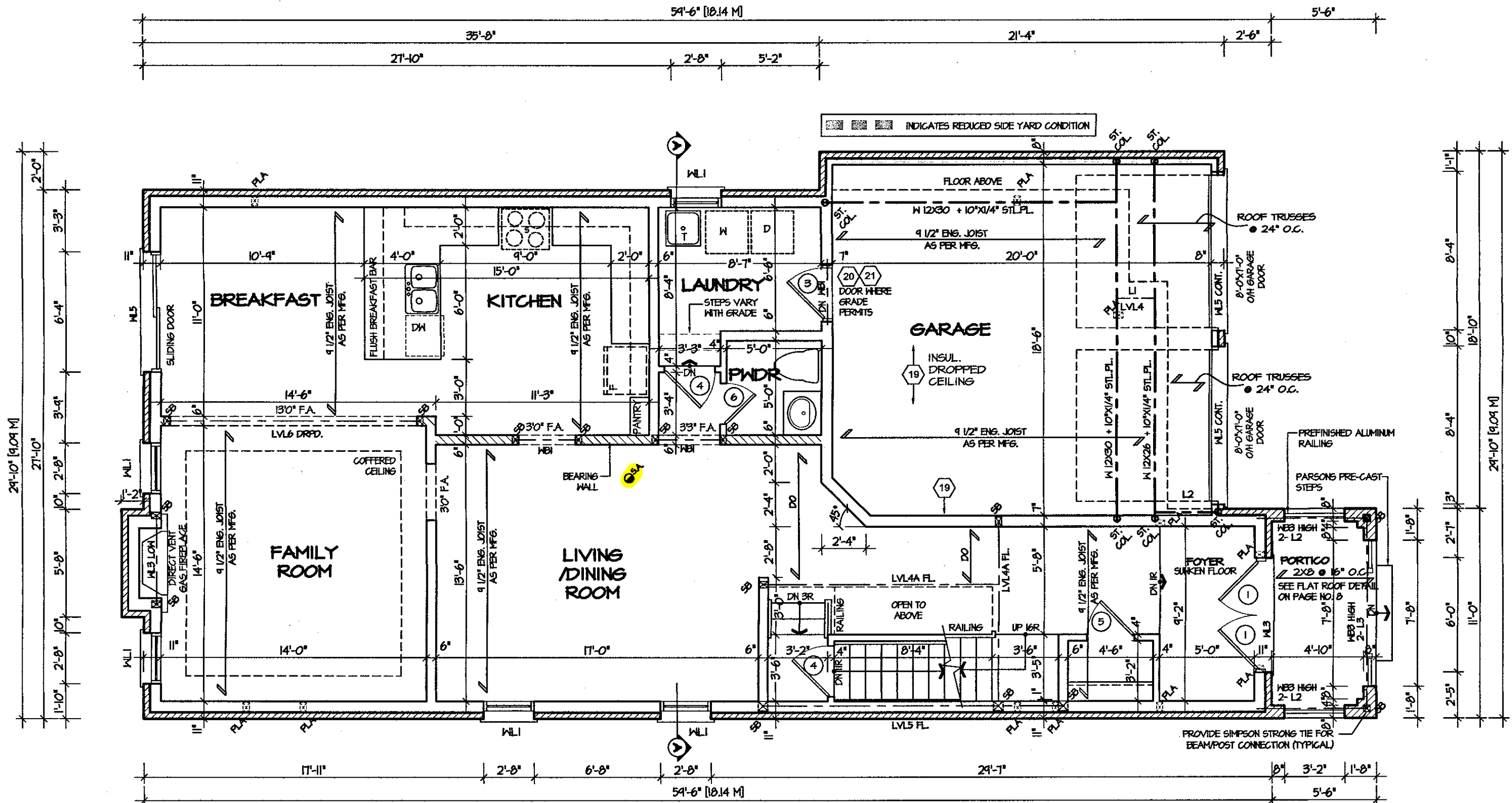
**REGION DESIGN INC.**

SHEET TITLE	
BASEMENT PLAN ELEV. 2	
SCALE	3/16"=1'-0"
DATE	NOV 2017
BY	V.G. / BK
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2815
PAGE No.	1-2
PROJECT	05-15-01







FIRST FLOOR PLAN I

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

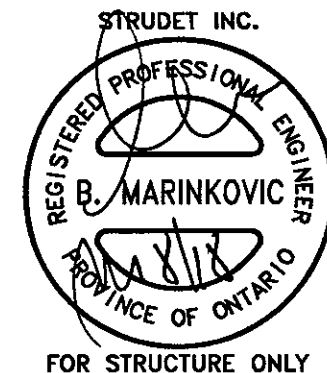
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FOR STRUCTURE ONLY

MAR 08 2018

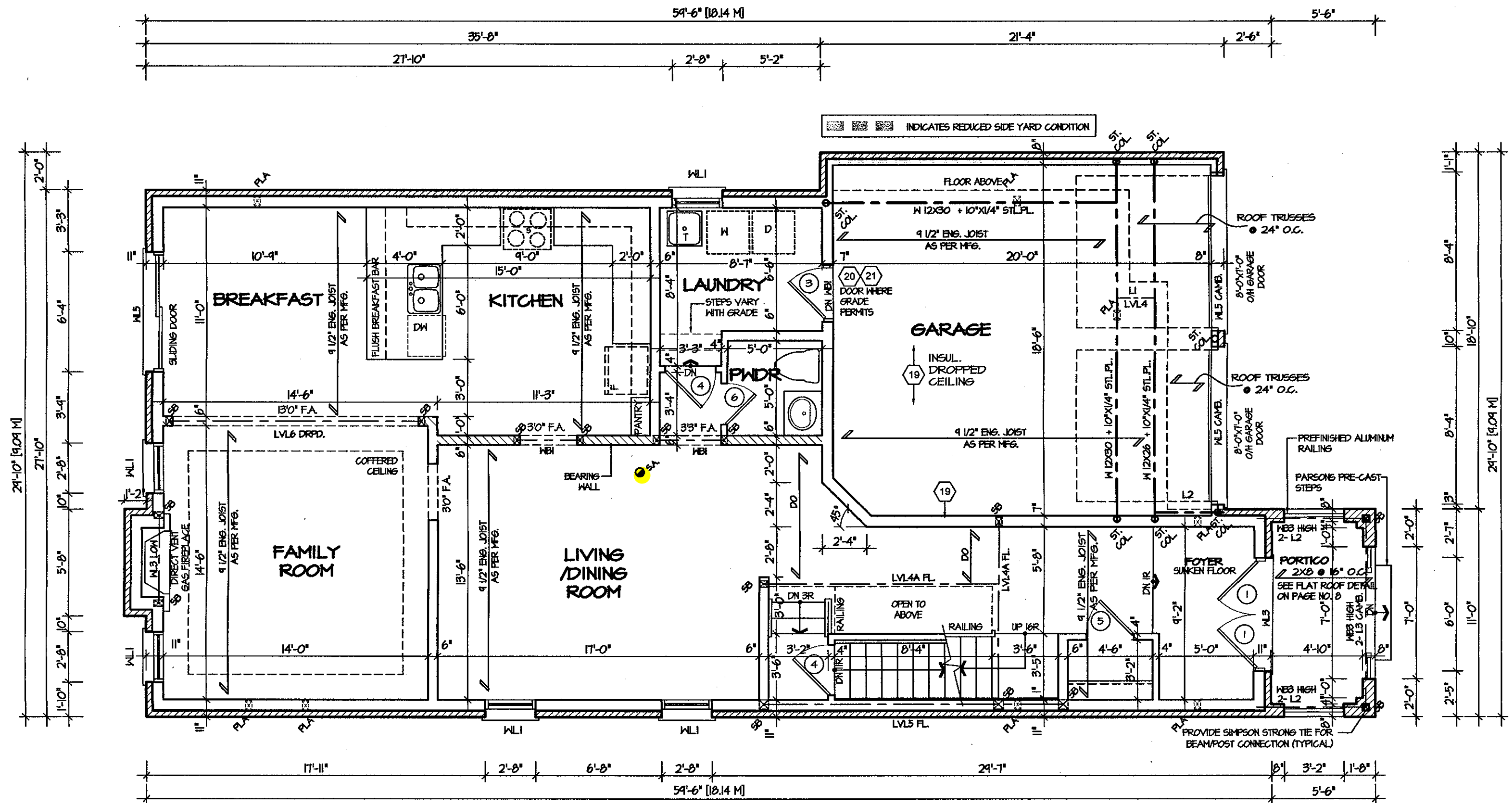
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**BRENTWOOD 3**  
ENERGY STAR



<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. _____</p> <p>1. ISSUED FOR REVIEW NOV 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	<p>SHEET TITLE</p> <p><b>FIRST FLOOR PLAN ELEV. 1</b></p> <p>SCALE 3/16"=1'-0"</p> <p>DATE NOV 2017</p> <p>BY V.G. / BK</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2815</p> <p>PAGE NO. 2</p> <p>PROJECT 05-15-01</p>	<p>PROJECT NAME</p> <p><b>TRINAR HALL HOMES INC.</b></p>
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FIRST FLOOR PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

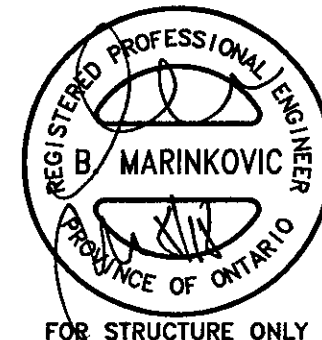
ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-06
Sewage System			
Zoning			

STRUDET INC.



MAR 08 2018

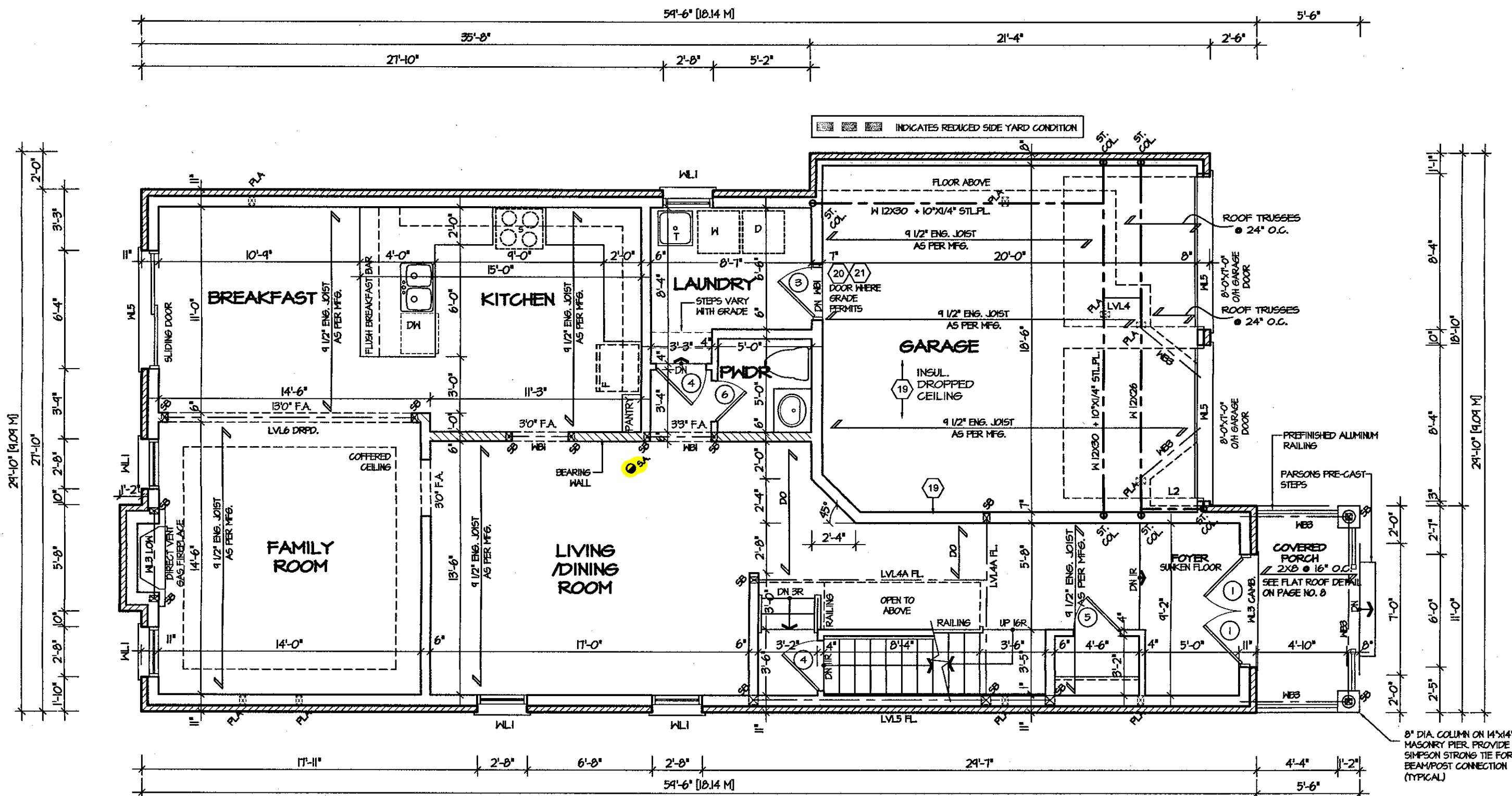
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BRENTWOOD 3  
ENERGY STAR

<p>5.</p> <p>4.</p> <p>3.</p> <p>2.</p> <p>1. ISSUED FOR REVIEW</p> <p>NOV 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR</p> <p>NAME</p> <p>SIGNATURE</p> <p>28770</p> <p>BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>FIRST FLOOR PLAN ELEV. 2</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE NOV 2017</p> <p>BY V.G. / BK</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2815</p> <p>PAGE NO. 2-2</p> <p>PROJECT 05-15-01</p>	<p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC.</p>
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FIRST FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

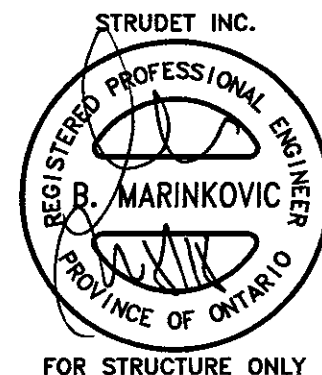
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



MAR 08 2018

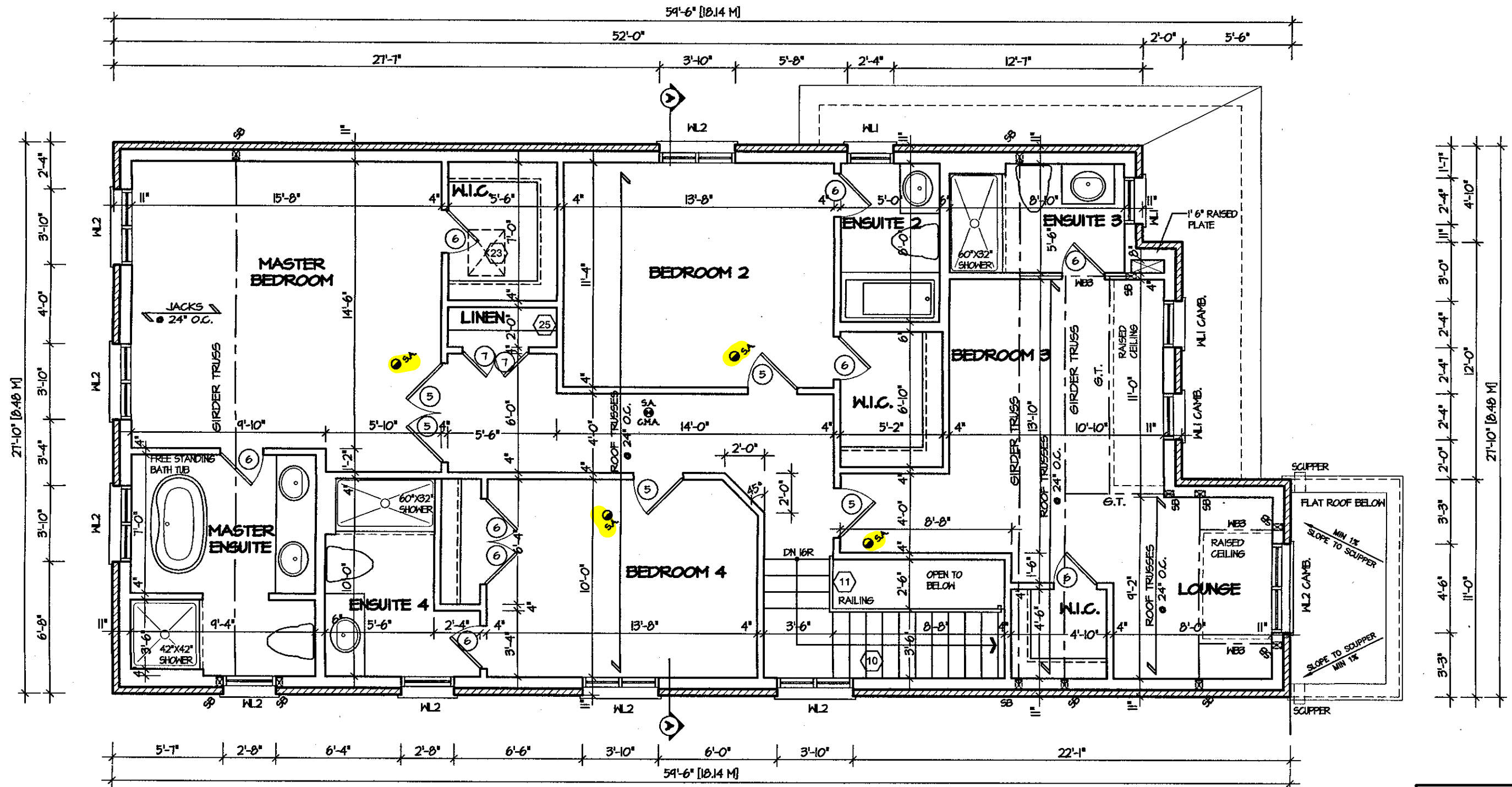
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BRENTWOOD 3  
ENERGY STAR



5. 4. 3. 2. 1. ISSUED FOR REVIEW	REVISIONS	NOV 2017	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE BCIN 28770	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	<b>REGION DESIGN INC.</b>	SHEET TITLE <b>FIRST FLOOR PLAN ELEV. 3</b>	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2815 PAGE No. 2-3	PROJECT NAME <b>TRINAR HALL HOMES INC.</b>
						SCALE 3/16"=1'-0" DATE NOV 2017	BY V.G. / BK TYPE		



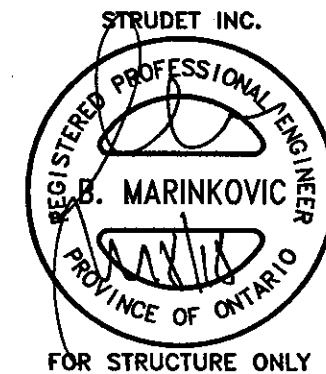
SECOND FLOOR PLAN I

PROVIDE  
EXHAUST  
FANS IN ALL  
BATHROOMS



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Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-05
Sewage System			
Zoning			



FOR STRUCTURE ONLY

MAR 08 2018

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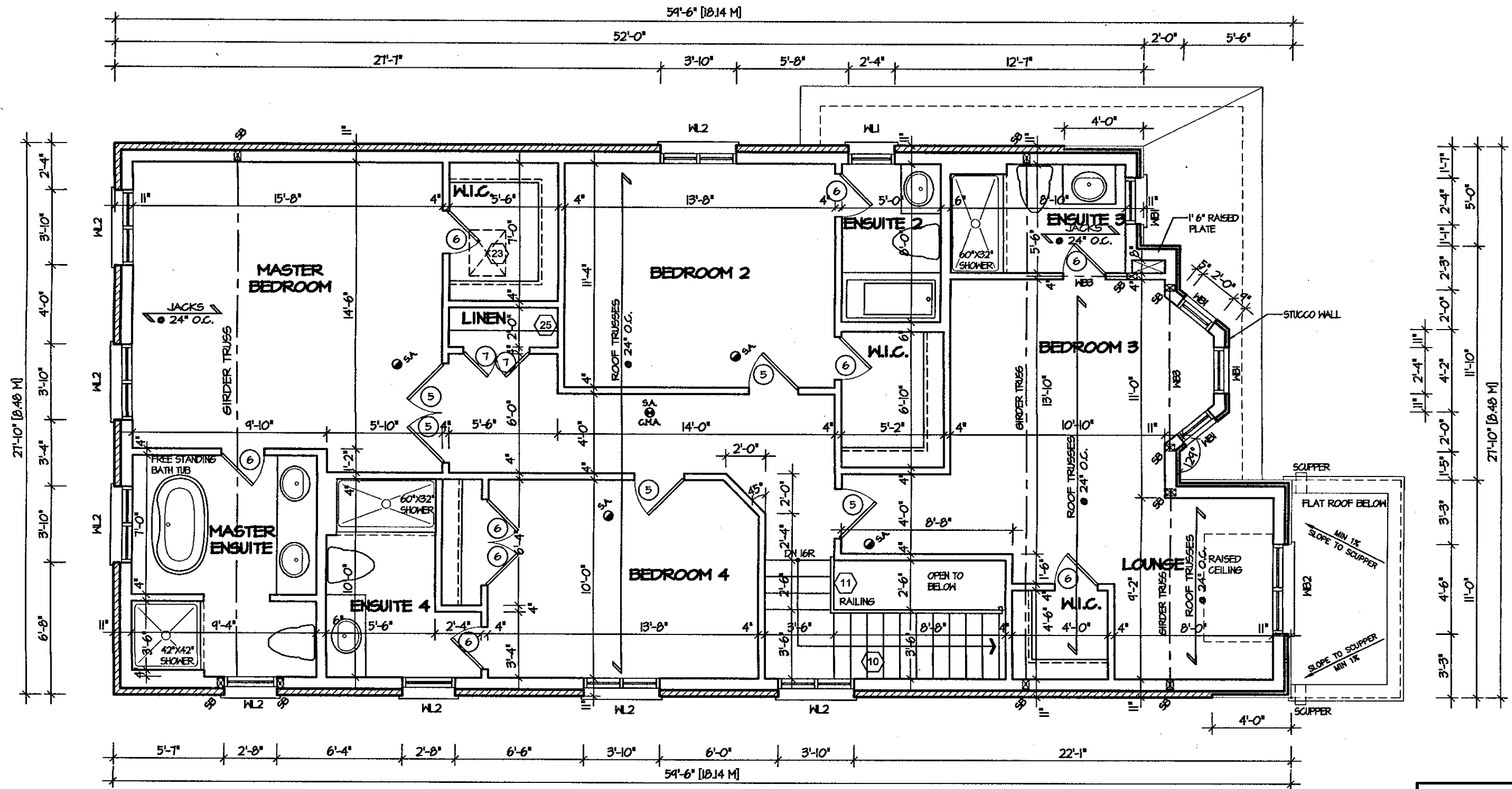
**BRENTWOOD 3**  
ENERGY STAR



<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. _____</p> <p>1. ISSUED FOR REVIEW NOV 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	<p>SHEET TITLE</p> <p><b>SECOND FLOOR PLAN</b></p> <p>ELEV. 1</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE NOV 2017</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>BY V.G. / BK</p> <p>AREA 2815</p> <p>PAGE No. 3</p>	<p>PROJECT NAME</p> <p><b>TRINAR HALL HOMES INC.</b></p>
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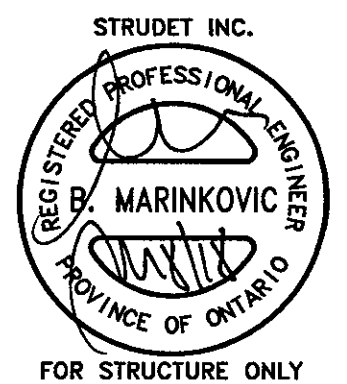
SECOND FLOOR PLAN 3



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PROVIDE EXHAUST FANS IN ALL BATHROOMS

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



MAR 08 2018

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BRENTWOOD 3  
ENERGY STAR



REVISIONS	NOV 2017
5.	
4.	
3.	
2.	
1. ISSUED FOR REVIEW	

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Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 3  
SCALE 3/16"=1'-0"  
BY V.G. / BK  
DATE NOV 2017  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 2815  
PAGE No. 3-3  
PROJECT 05-15-01

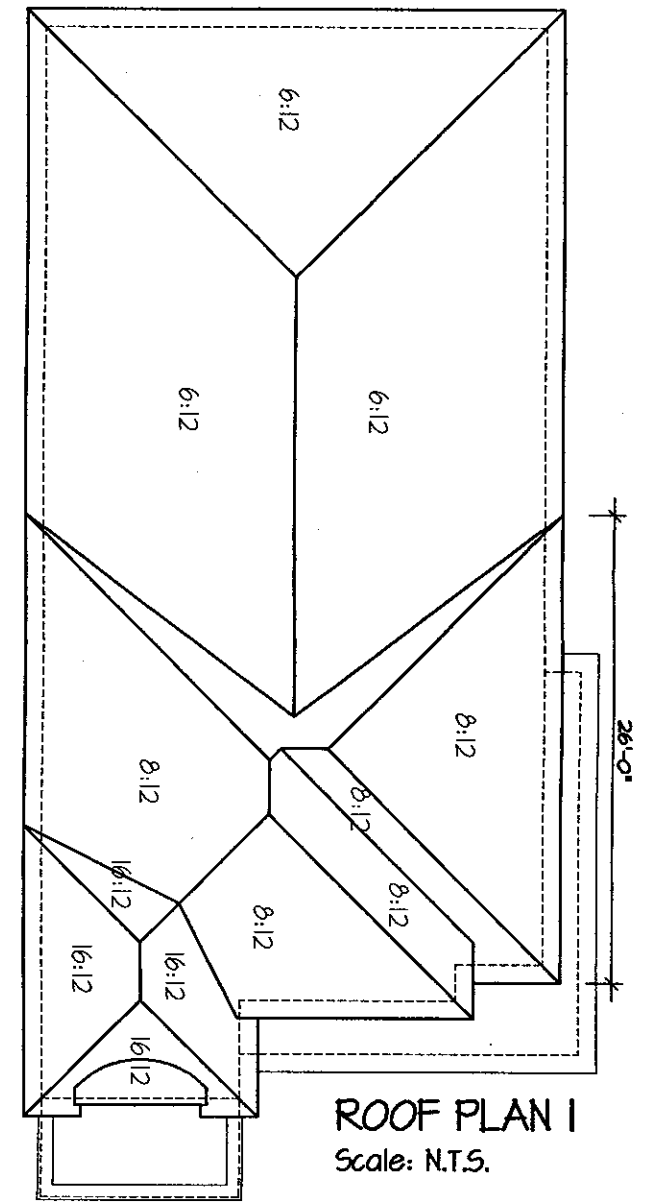
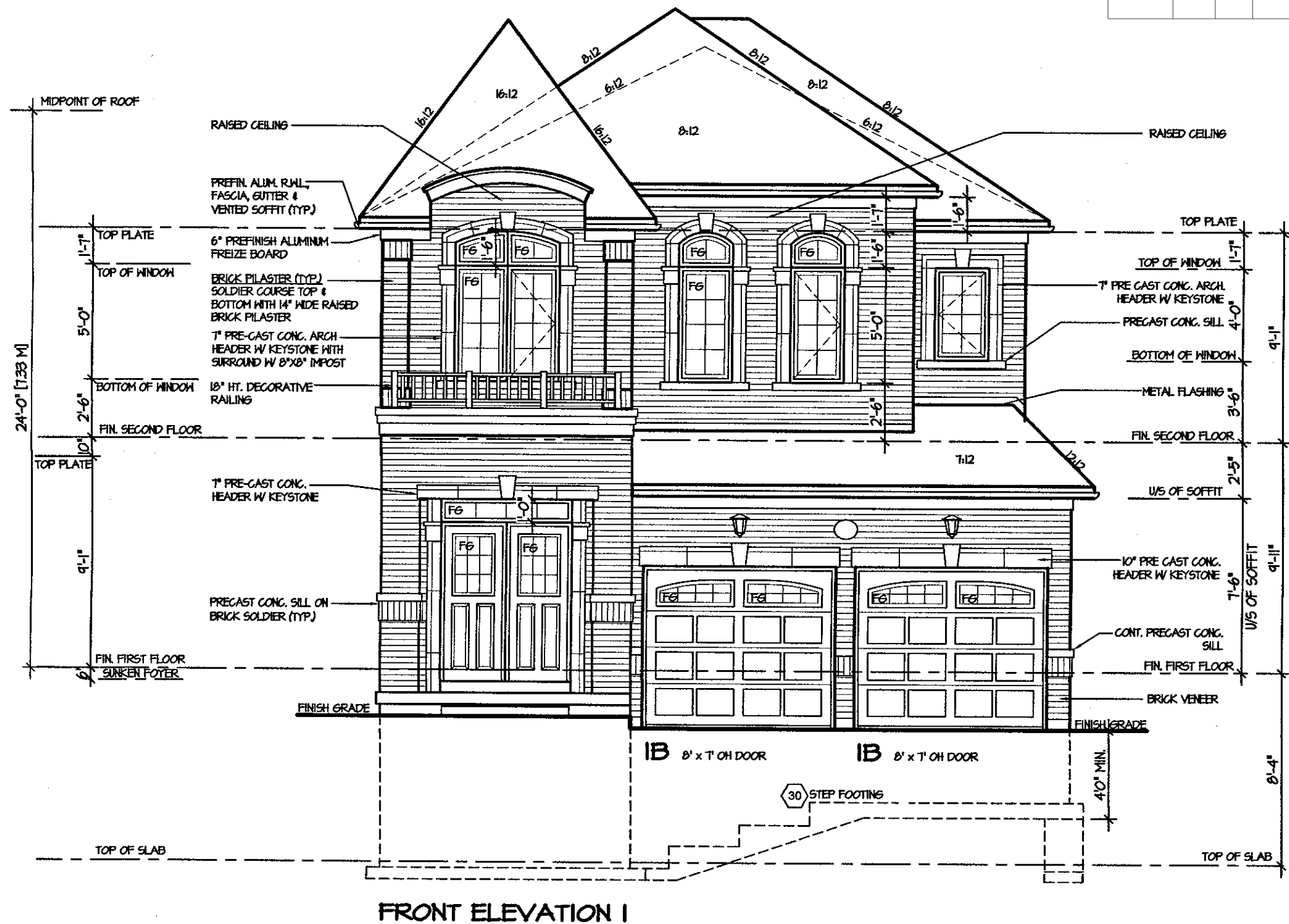
PROJECT NAME  
TRINAR HALL HOMES INC.





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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *W.A.*  
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MAR 08 2018

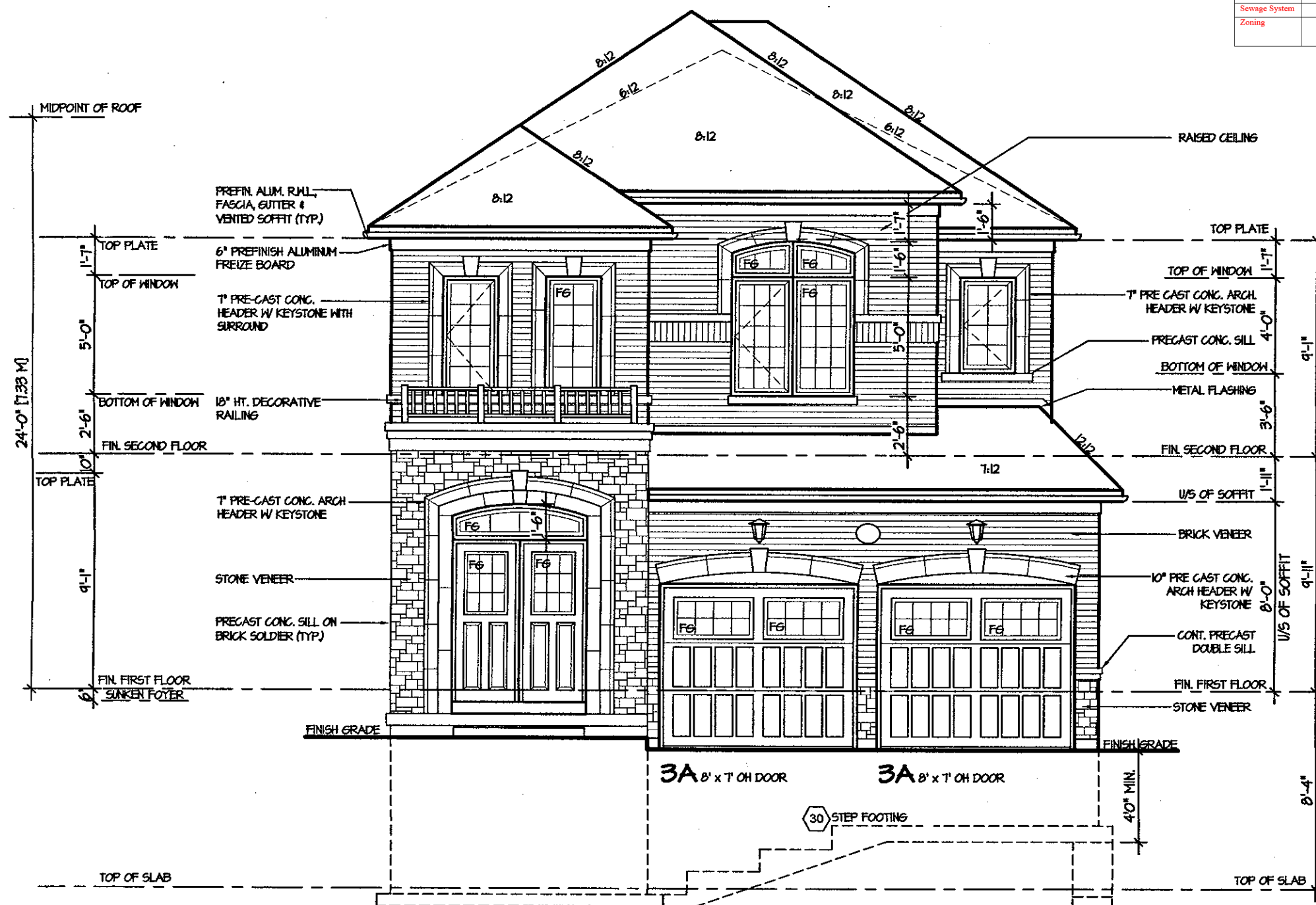
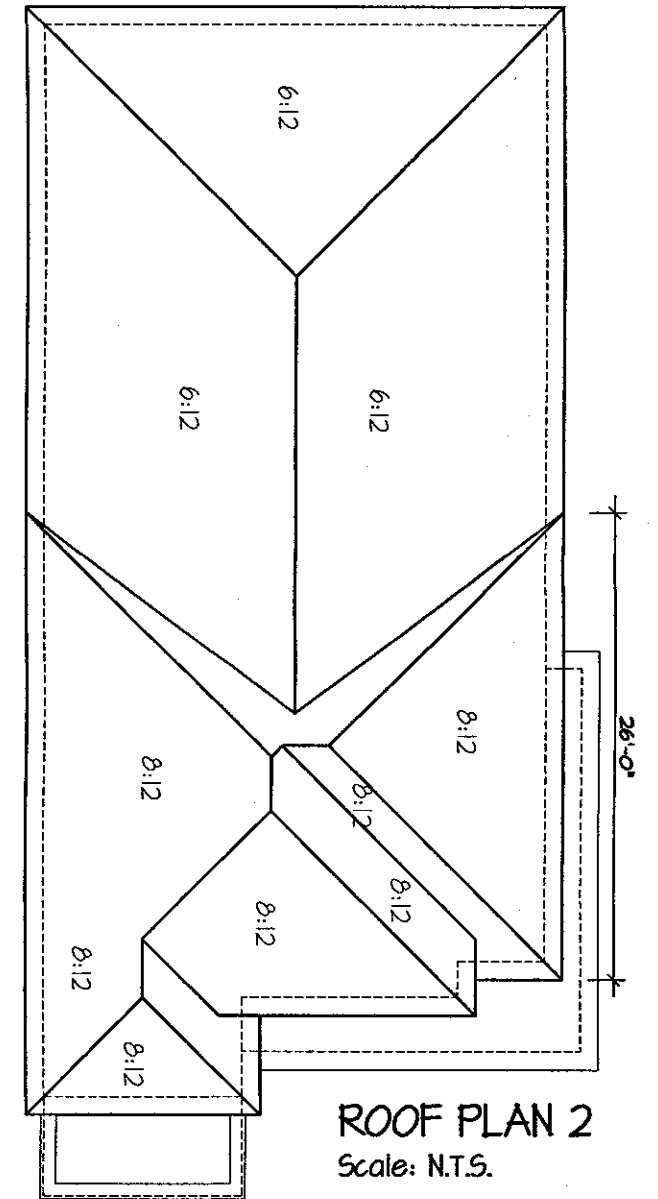
BRENTWOOD 3  
ENERGY STAR

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4.				SCALE 3/16"=1'-0"	BY V.G. / BK	AREA 2815	PAGE No. 4	
3.				DATE NOV 2017	TYPE	PROJECT 05-15-01		
2.								
1. ISSUED FOR REVIEW	NOV 2017							
REVISIONS								



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FRONT ELEVATION 2

MAR 08 2018

BRENTWOOD 3  
ENERGY STAR

W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *[Signature]*  
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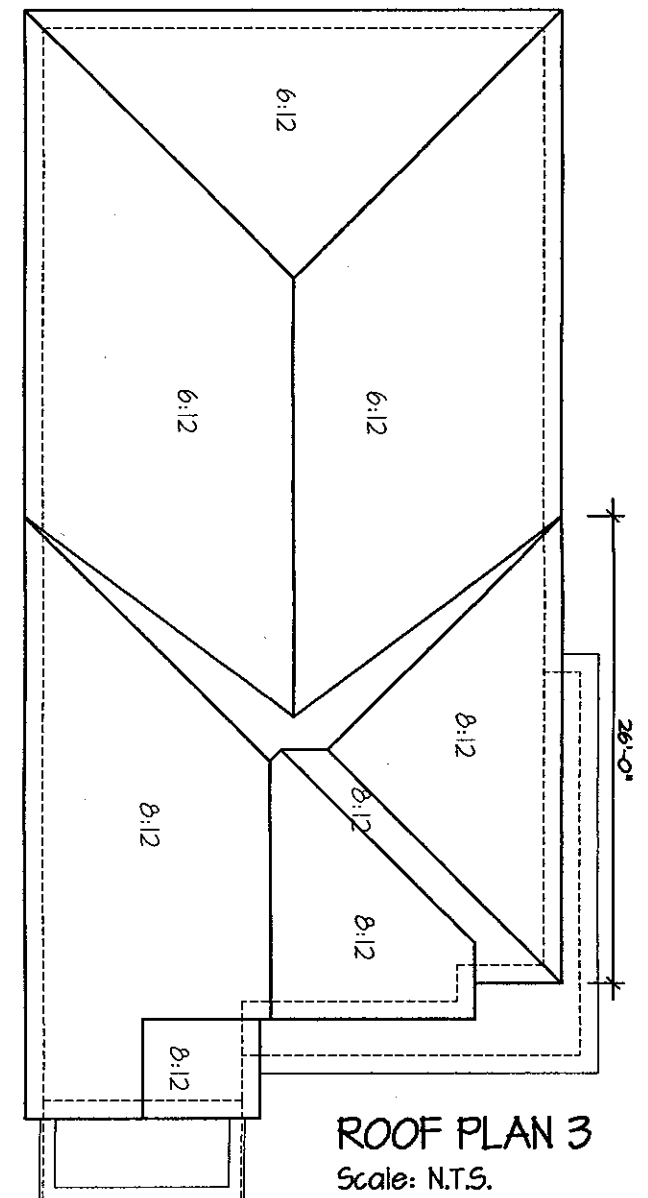
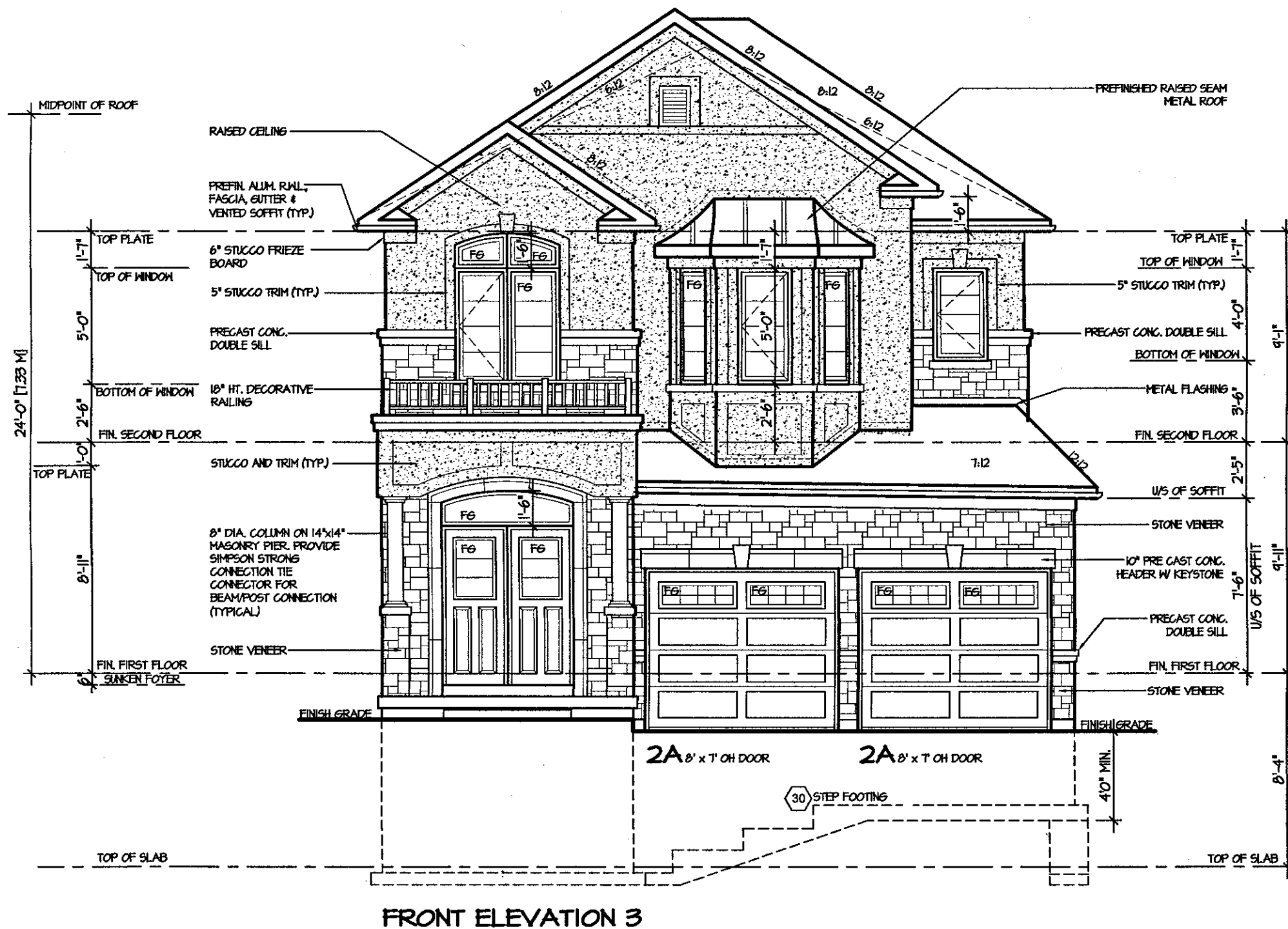
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4.				SCALE 3/16"=1'-0"	BY V.G. / BK	AREA 2815	PAGE No. 4-2
3.				DATE NOV 2017	TYPE	PROJECT 05-15-01	PROJECT NAME TRINAR HALL HOMES INC.
2.							
1.	ISSUED FOR REVIEW						
REVISIONS							





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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



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DESIGN CONTROL REVIEW  
DEC. 04, 2020  
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MAR 08 2018

BRENTWOOD 3  
ENERGY STAR

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4.					<p>SCALE</p> <p>3/16"=1'-0"</p>	<p>BY</p> <p>V.G. / BK</p>	<p>AREA</p> <p>2815</p>	<p>PAGE No.</p> <p>4-3</p>	
3.					<p>DATE</p> <p>NOV 2017</p>	<p>TYPE</p>	<p>PROJECT</p> <p>05-15-01</p>	<p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC.</p>	
2.									
1.	ISSUED FOR REVIEW				NOV 2017				
REVISIONS									



Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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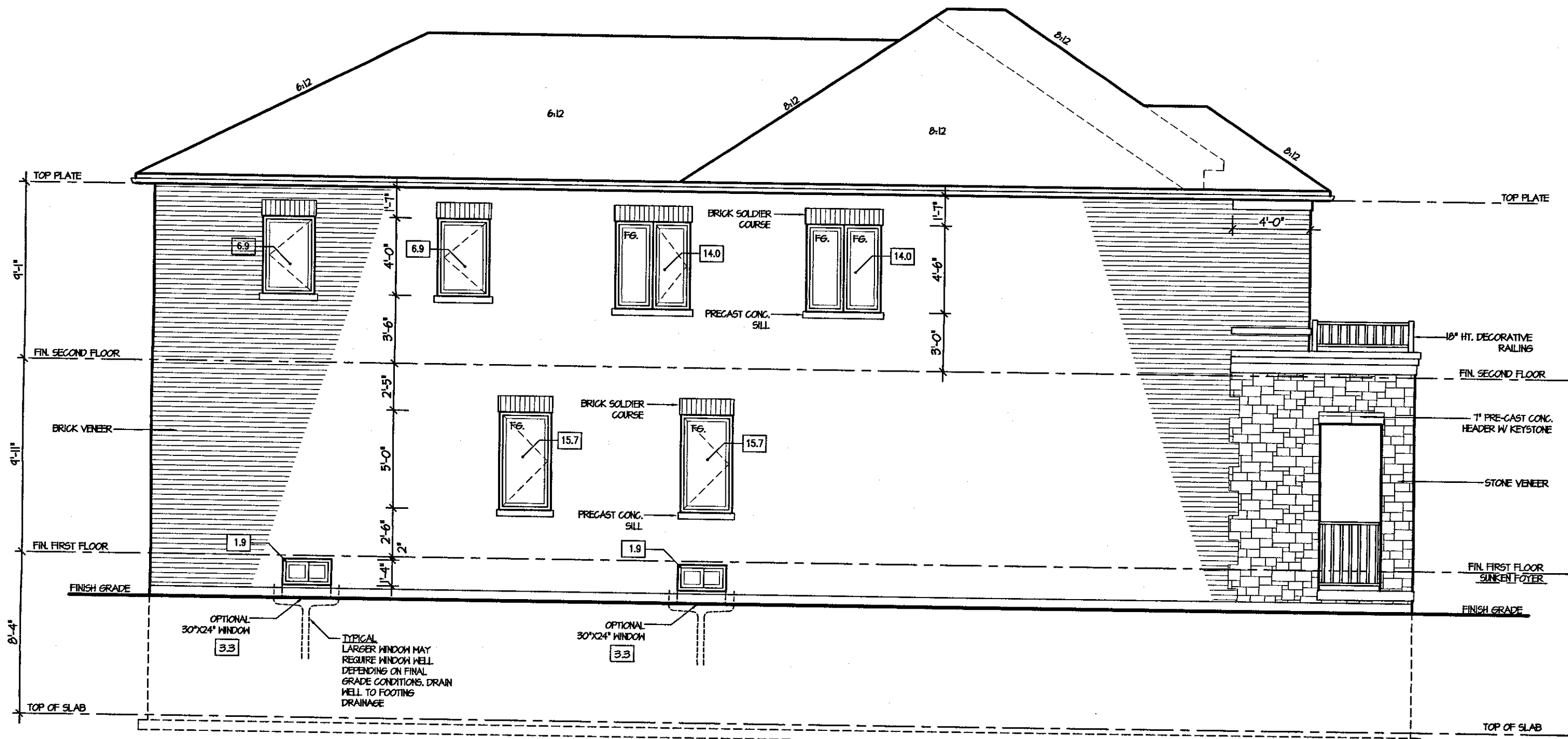
**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
DEC. 04, 2020  
**FINAL** BY: ALL  
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MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

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4.					LEFT SIDE ELEVATION					PAGE No. <div>5</div>
3.					ELEV. 1					
2.					SCALE	BY	AREA			
1.	ISSUED FOR REVIEW				NOV 2017	3/16"=1'-0"	V.G. / BK	2815		
REVISIONS						DATE	TYPE	PROJECT		
						NOV 2017		05-15-01		





LEFT ELEVATION 2

ALLOWABLE GLAZING			
WALL AREA	=	1264	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M SIDE YARD	=	88.23	Sq. Ft.
ACTUAL GLAZED AREA	=	60.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	71.4	Sq. Ft.



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *ALL*  
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MAR 08 2018

**BRENTWOOD 3**  
 ENERGY STAR

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REVISIONS	
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**QUALIFICATION INFORMATION**  
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VIKAS GAJJAR  
 NAME SIGNATURE  
 28770  
 BCIN

REGION DESIGN INC.  
 8700 DUFFERIN ST.  
 CONCORD, ONTARIO  
 L4K 4S6  
 P (416) 736-4096  
 F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**LEFT SIDE ELEVATION ELEV. 2**

SCALE 3/16"=1'-0" BY V.G. / BK  
 DATE NOV 2017 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

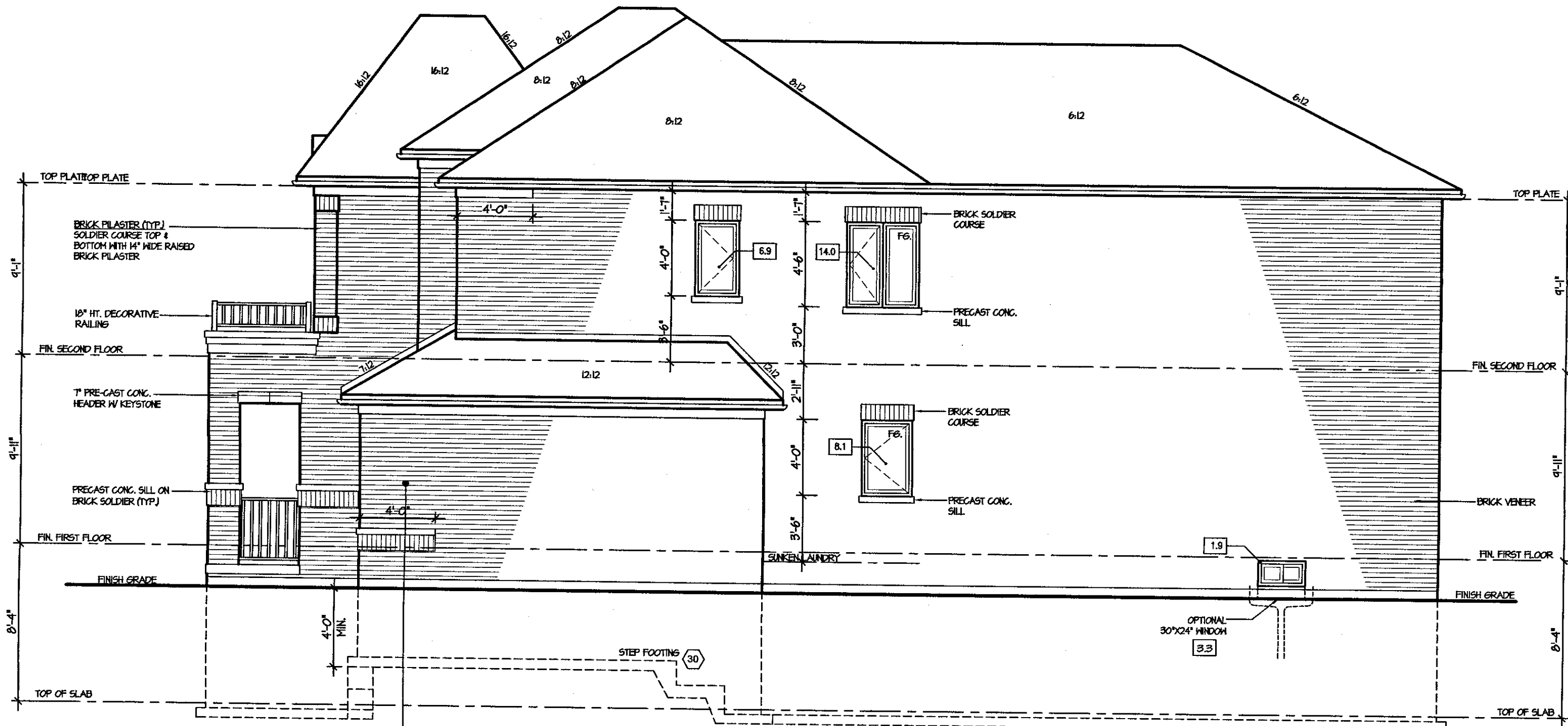
AREA 2815 PAGE No. 5-2  
 PROJECT 05-15-01

**Greenpark.**

PROJECT NAME  
 TRINAR HALL HOMES INC.







RIGHT ELEVATION I

**BRICK VENEER CONSTRUCTION**  
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATED WALL**  
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/Sq.M. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**HEADER / RIM JOIST LEVEL**  
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATING AT HEADER**  
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.  
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**ALLOWABLE GLAZING**

WALL AREA	=	1264	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	88.83	Sq. Ft.
ACTUAL GLAZED AREA	=	68.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	71.4	Sq. Ft.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**

DEC. 04, 2020

**FINAL** BY: *ALL*  
This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

5.		
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2.		
1.	ISSUED FOR REVIEW	NOV 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE 28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**RIGHT SIDE ELEVATION ELEV. 1**

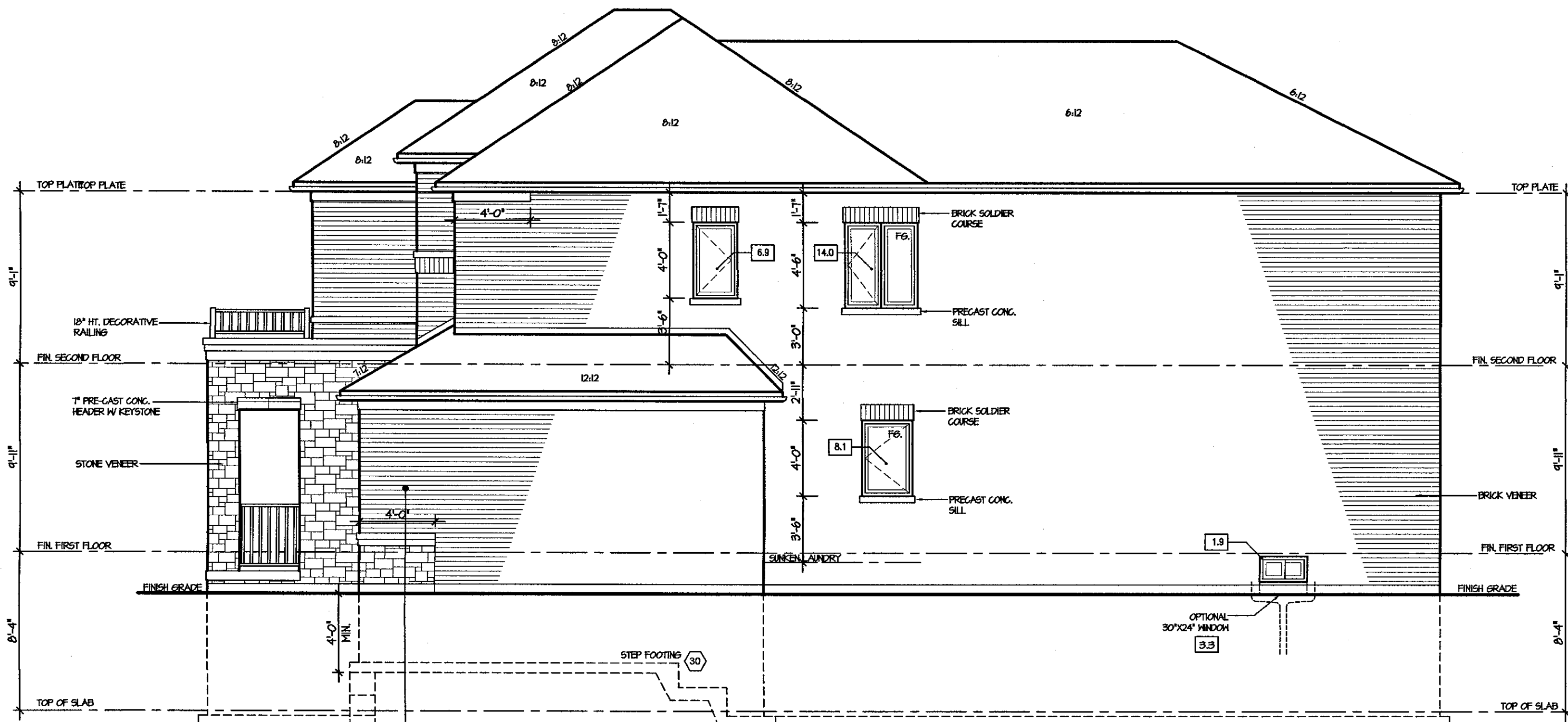
SCALE 3/16"=1'-0" BY V.G. / BK  
DATE NOV 2017 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2815 PAGE No. 6  
PROJECT 05-15-01

**Greenpark™**

PROJECT NAME  
TRINAR HALL HOMES INC.



RIGHT ELEVATION 2

**BRICK VENEER CONSTRUCTION**  
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATED WALL**  
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/Sq.M. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**HEADER / RIM JOIST LEVEL**  
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATING AT HEADER**  
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.  
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

<b>ALLOWABLE GLAZING</b>	
WALL AREA	= 126.9 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	= 88.83 Sq. Ft.
ACTUAL GLAZED AREA	= 68.6 Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	= 71.4 Sq. Ft.

INDICATES REDUCED SIDE YARD CONDITION



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
DEC. 04, 2020  
**FINAL** BY: *ALL*  
This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

REVISIONS	
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

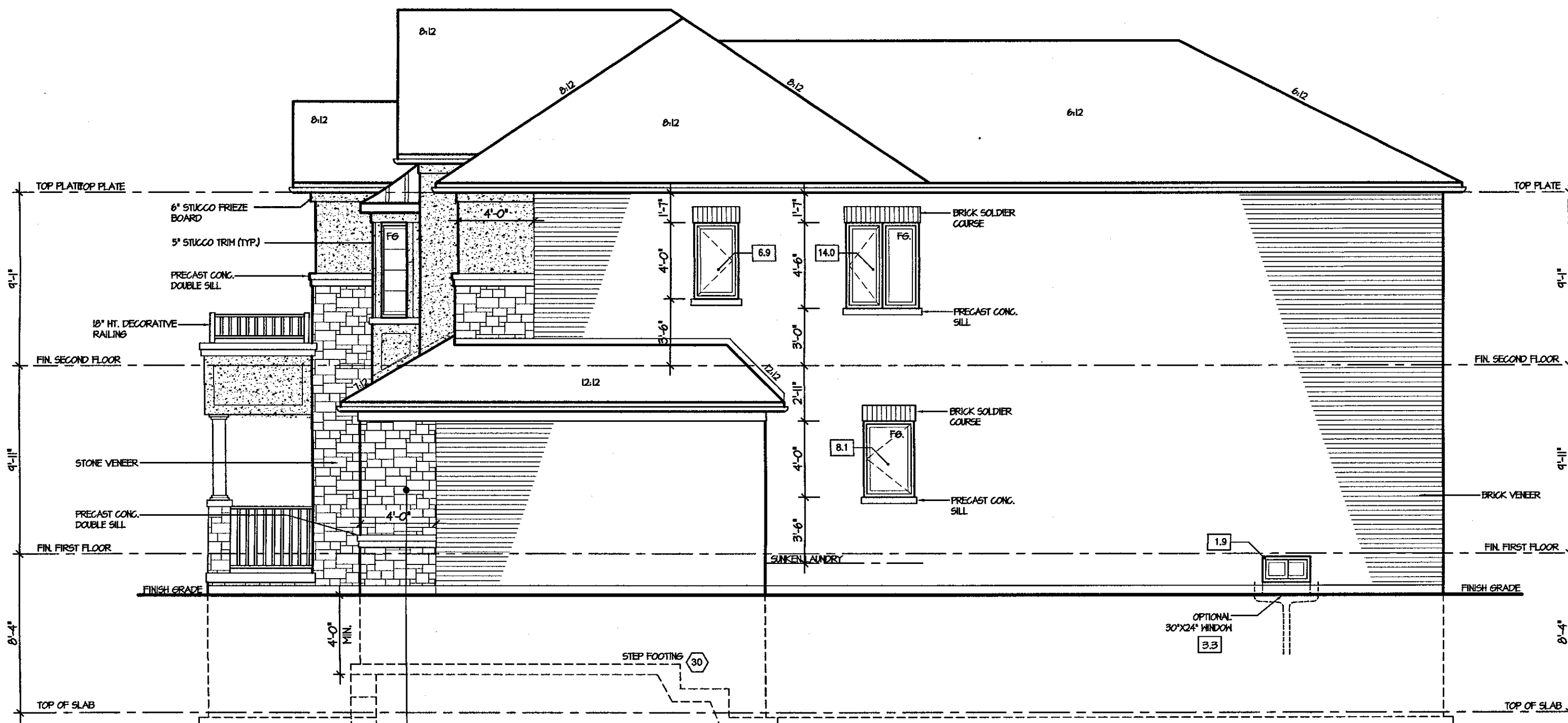
**REGION DESIGN INC.**

**SHEET TITLE**  
**RIGHT SIDE ELEVATION**  
**ELEV. 2**  
SCALE 3/16"=1'-0"  
DATE NOV 2017  
BY V.G. / BK  
TYPE  
PROJECT 05-15-01

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA C\_AREA  
PAGE No. 6-2

**Greenpark**  
PROJECT NAME  
TRINAR HALL HOMES INC.





RIGHT ELEVATION 3

**BRICK VENEER CONSTRUCTION**  
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATED WALL**  
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQM. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**HEADER / RIM JOIST LEVEL**  
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
**45 MINUTE FIRE RATING AT HEADER**  
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**ALLOWABLE GLAZING**

WALL AREA	=	1264	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1/2 M SIDE YARD	=	88.83	Sq. Ft.
ACTUAL GLAZED AREA	=	60.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	71.4	Sq. Ft.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**

DEC. 04, 2020

**FINAL** BY: *ALL*

This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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5.		
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2.		
1.	ISSUED FOR REVIEW	NOV 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

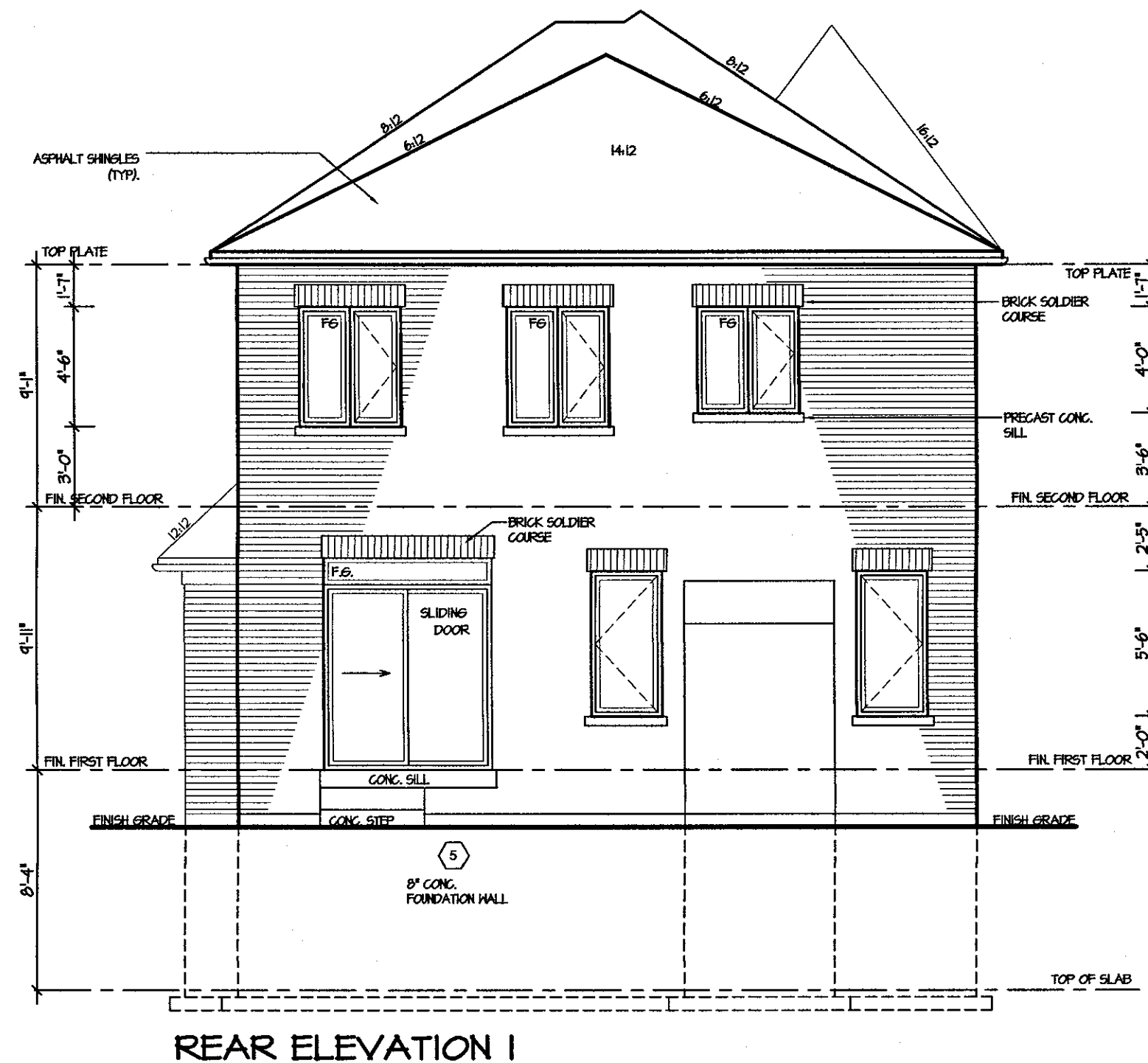
**REGION DESIGN INC.**

SHEET TITLE <b>RIGHT SIDE ELEVATION ELEV. 3</b>	
SCALE 3/16"=1'-0"	BY V.G. / BK
DATE NOV 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA C_AREA	PAGE No. 6-3
PROJECT 05-15-01	

**Greenpark**

PROJECT NAME  
TRINAR HALL HOMES INC.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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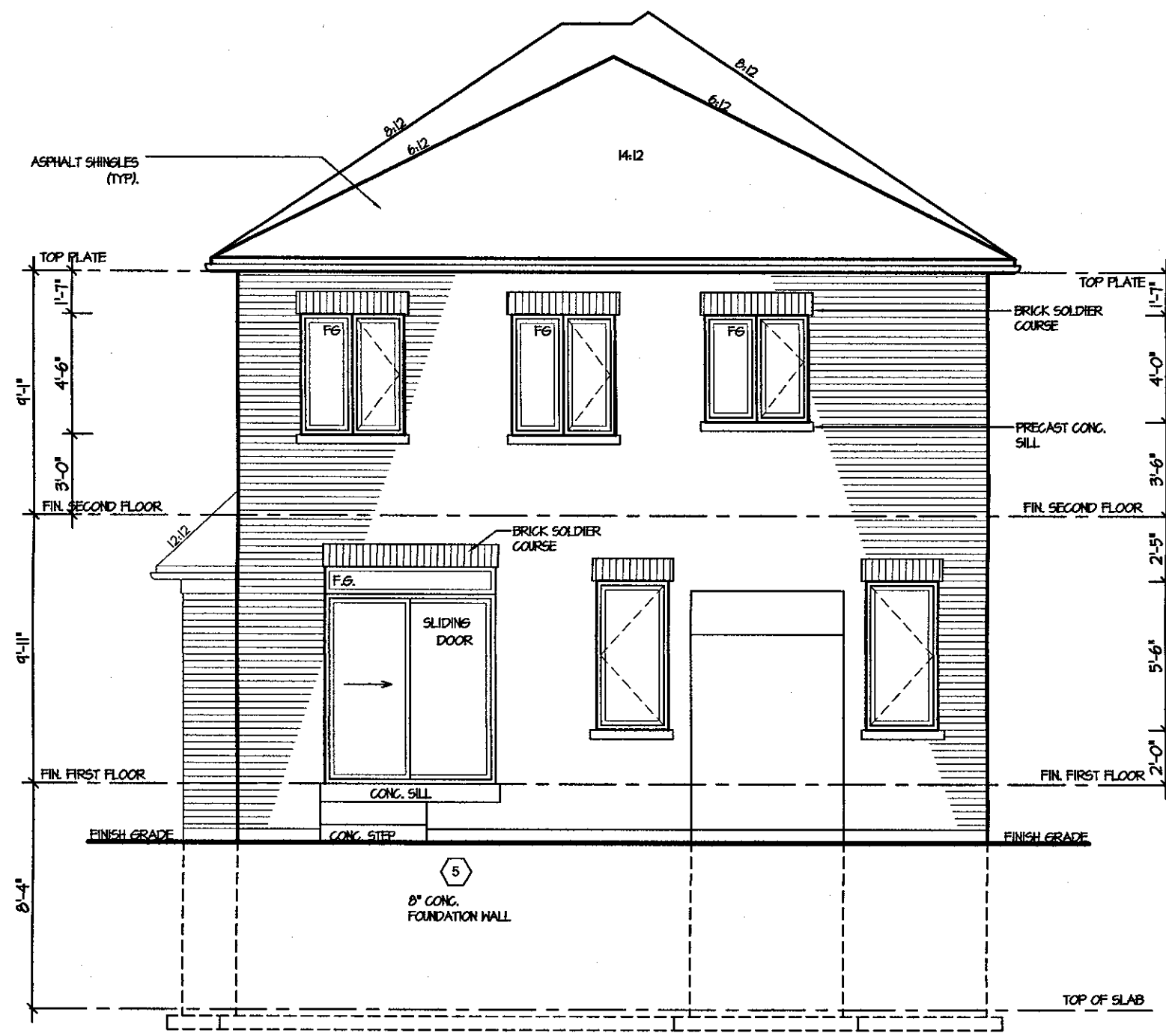
W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *Alb*  
This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018


BRENTWOOD 3  
ENERGY STAR

5.			<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div><div>VIKAS GAJJAR</div><div></div><div>28770</div></div> <div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		REAR ELEVATION 1		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.				
4.						SCALE	3/16"=1'-0"	BY	V.G. / BK	AREA	2815		PAGE No.	7
3.						DATE	NOV 2017	TYPE		PROJECT	05-15-01			
2.														
1.	ISSUED FOR REVIEW	NOV 2017												
REVISIONS											PROJECT NAME	TRINAR HALL HOMES INC.		





REAR ELEVATION 2

 **East Gwillimbury**  
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

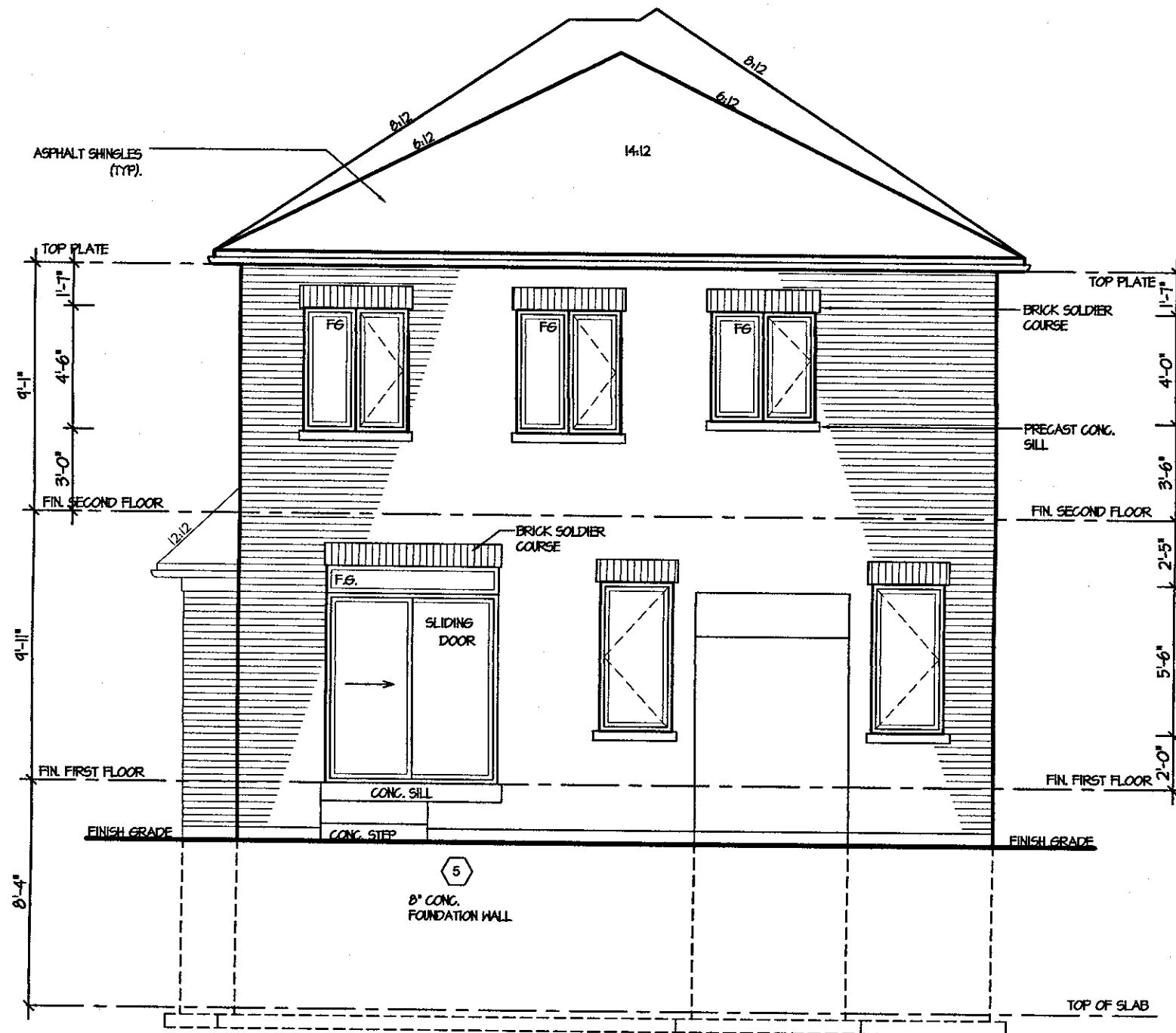
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
DEC. 04, 2020  
**FINAL** BY:   
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MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> <p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <p><b>Greenpark</b><sup>TM</sup></p> <p>PROJECT NAME</p> <p><b>TRINAR HALL HOMES INC.</b></p>
4.					REAR ELEVATION 2				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/16"=1'-0"	V.G. / BK	2815	7-2	
1.	ISSUED FOR REVIEW	NOV 2017			DATE	TYPE	PROJECT		
REVISIONS			NOV 2017		05-15-01				



REAR ELEVATION 3



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

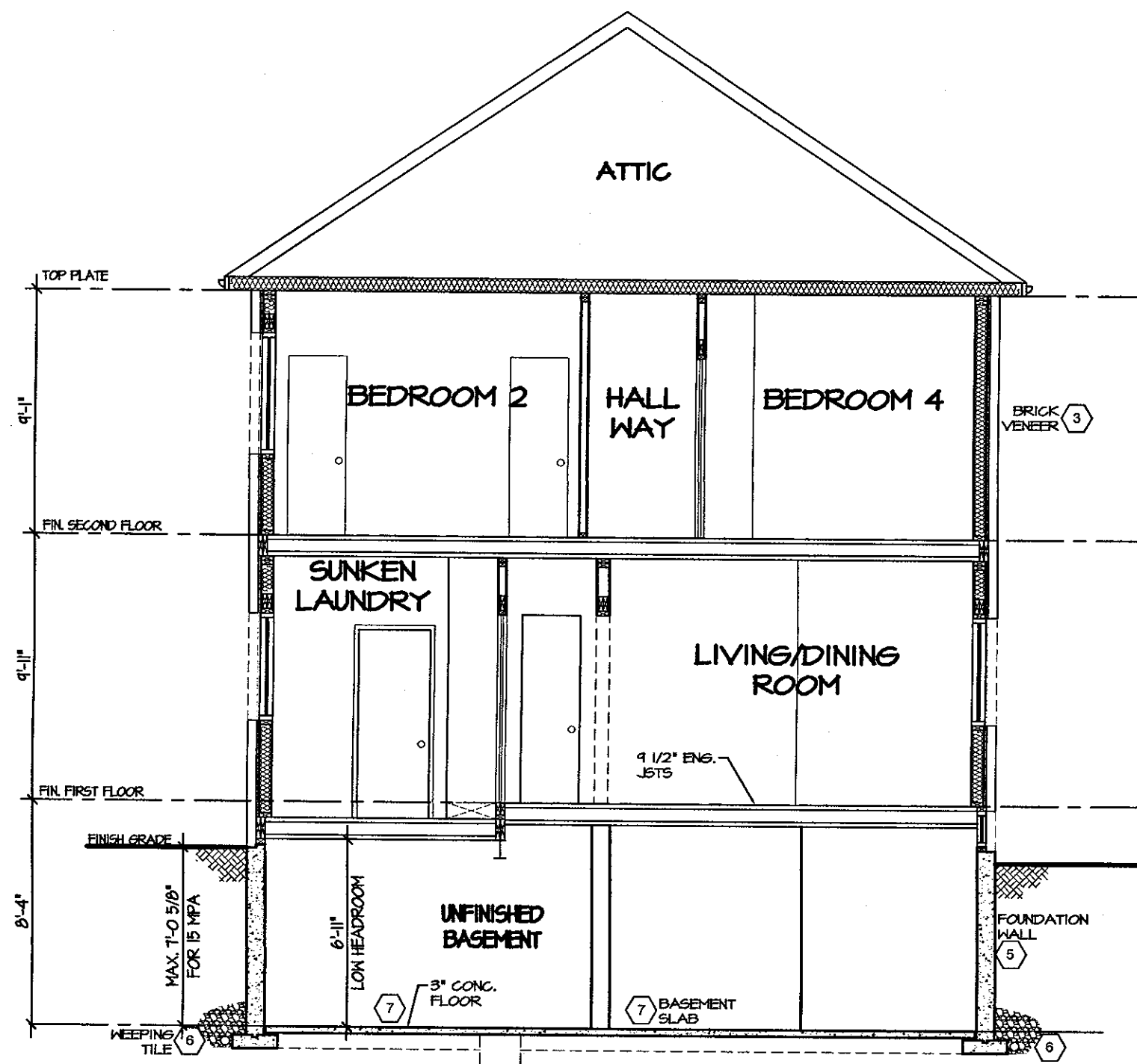
**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *ALL*  
This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018

**BRENTWOOD 3**  
 ENERGY STAR

5. 4. 3. 2. 1. ISSUED FOR REVIEW NOV 2017		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. <b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR 28770 NAME SIGNATURE BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		<b>REGION DESIGN INC.</b>		SHEET TITLE <b>REAR ELEVATION 3</b> SCALE 3/16"=1'-0" DATE NOV 2017		BY V.G. / BK TYPE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. AREA 2815 PROJECT 05-15-01		PAGE No. 7-3 PROJECT NAME TRINAR HALL HOMES INC.	
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SECTION A-A



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

STUDIOS INC  
  
 For [unclear] [unclear]

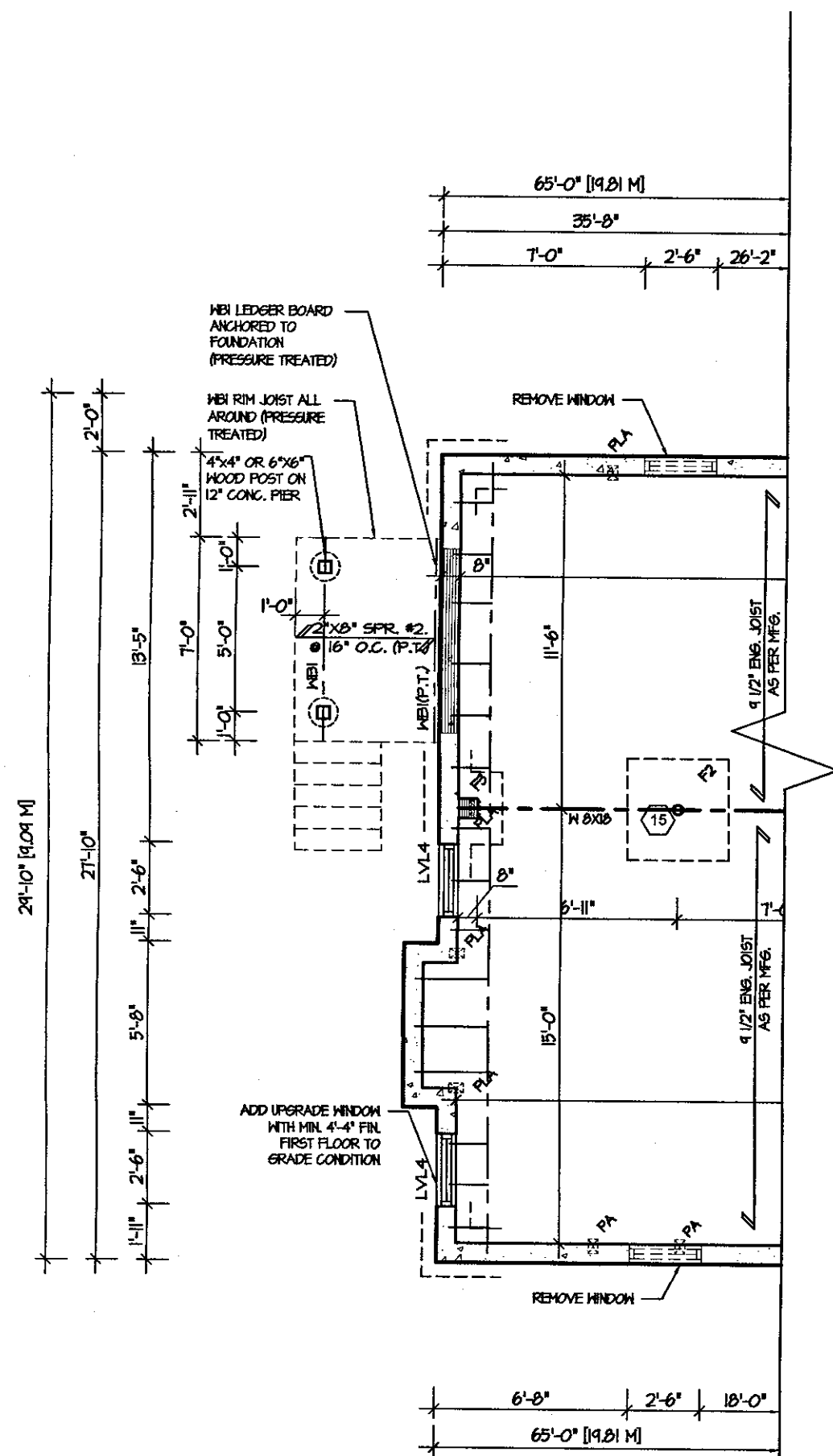
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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MAR 08 2018

**BRENTWOOD 3**  
 ENERGY STAR

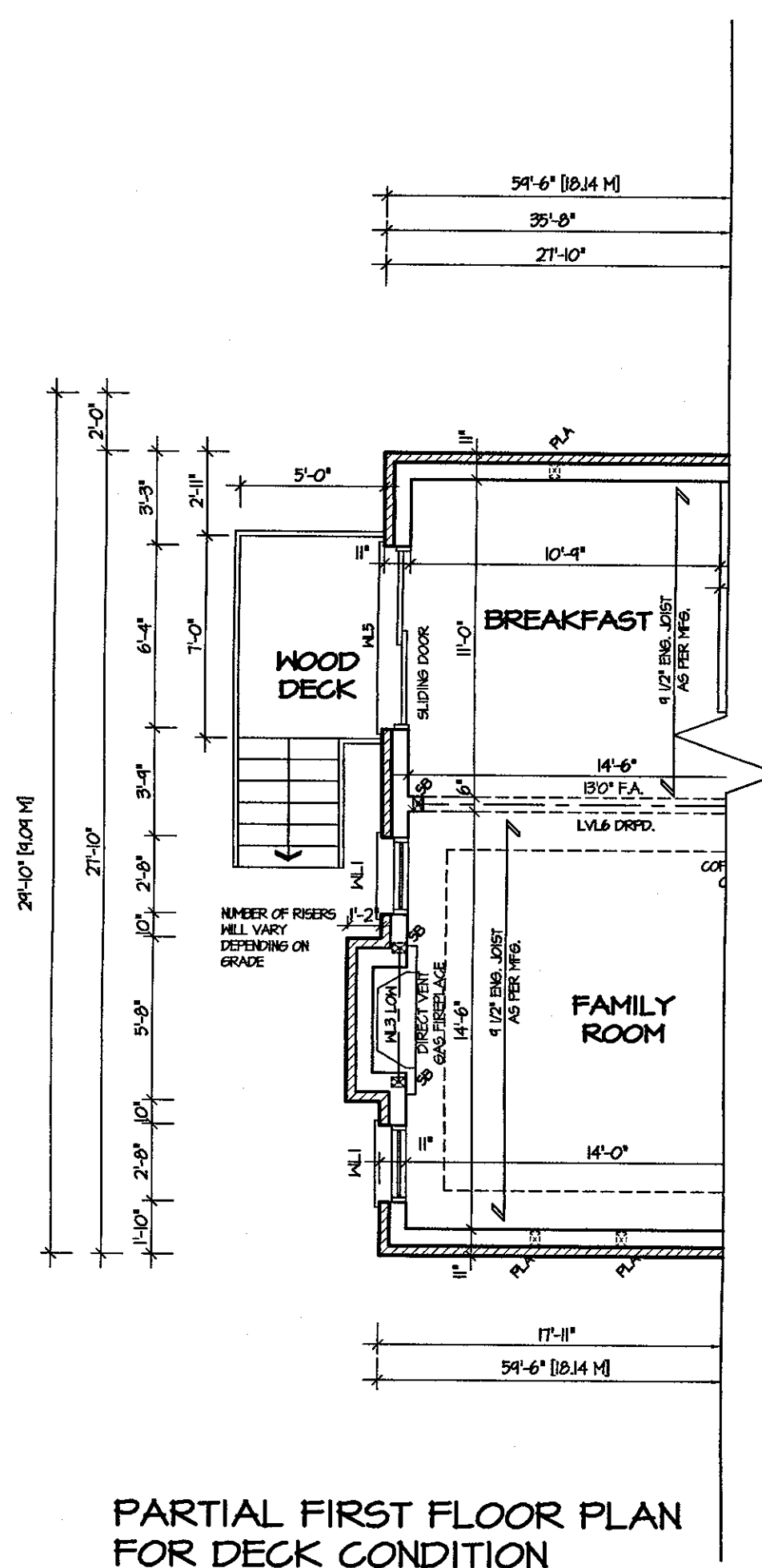
5. 4. 3. 2. 1. ISSUED FOR REVIEW		NOV 2017 REVISIONS		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. <b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE		28770 BCIN		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		<b>REGION DESIGN INC.</b>		SHEET TITLE <b>CROSS SECTION</b>		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		AREA C_AREA		PAGE No. <b>8</b>		PROJECT 05-15-01		PROJECT NAME <b>TRINAR HALL HOMES INC.</b>	
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Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



STANLEY INC



For Enclosure

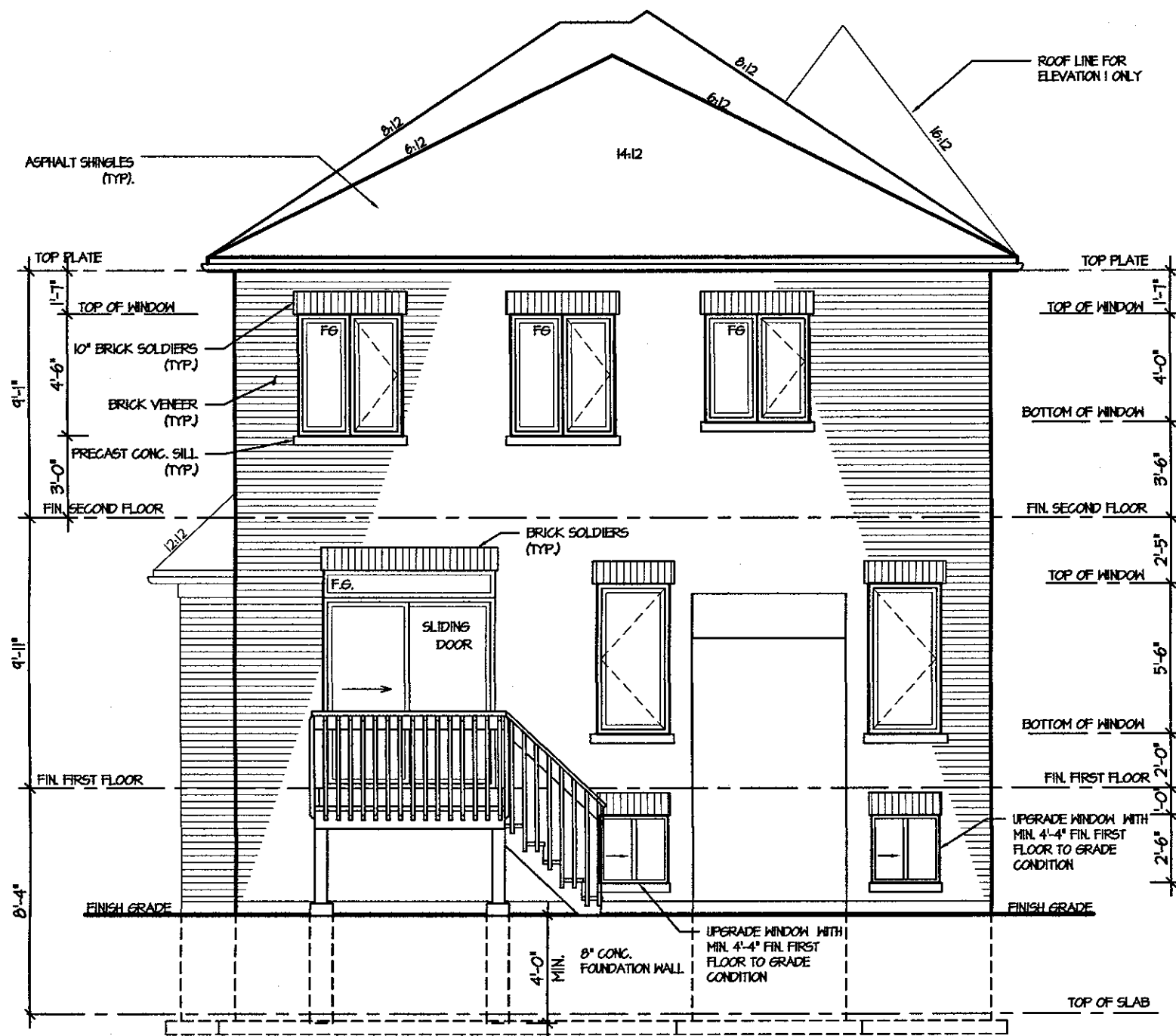
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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MAR 08 2018

**BRENTWOOD 3**  
ENERGY STAR

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>			
4.					PARTIAL PLANS FOR DECK CONDITION					
3.					SCALE	BY	AREA	PAGE No.	PROJECT NAME	
2.					3/16"=1'-0"	V.G. / BK	2815	9		TRINAR HALL HOMES INC.
1.	ISSUED FOR REVIEW				DATE	TYPE	PROJECT			
	NOV 2017	NOV 2017		05-15-01						
REVISIONS										



REAR ELEVATION 1,2&3  
DECK CONDITION



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-06
Sewage System			
Zoning			

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W Architect Inc.  
DESIGN CONTROL REVIEW  
DEC. 04, 2020  
FINAL BY: *ALL*  
This stamp is only for the purposes of design control and carries no other professional obligations.

MAR 08 2018

BRENTWOOD 3  
ENERGY STAR

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p>			
4.						REAR ELEVATION FOR DECK CONDITION					
3.						SCALE 3/16"=1'-0"	BY V.G. / BK	AREA 2815	PAGE No. 9-2		PROJECT NAME TRINAR HALL HOMES INC.
2.						DATE NOV 2017	TYPE	PROJECT 05-15-01			
1.	ISSUED FOR REVIEW	NOV 2017				REVISIONS					

