FOR SINGLES & SEMIS UP TO 2 STOREY

<u>8" OR 10" FOUNDATION WALLS WITH 2"X8" / 2"X10" FLOOR JOISTS</u> 20"X6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEEED JOISTS OVER 16' SPANS

FOOTINGS ON ENGINEERED FILL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORGING BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

90 KPa ENGINEERED FILL SOIL 120 KPa NATIVE SOIL

FI = 42"x42"x18" CONCRETE PAD F2 = 36"x36"x16" CONCRETE PAD

FI = 48"x46"x20" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F3 = 30"x30"x12" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONG. FDTN, WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT

BRICK VENEER LINTELS

 $\overline{\text{WL}1} = 3 - \frac{1}{2} \times 3 - \frac{1}{2} \times 1 + \frac{1}{2} \times \frac{1}{2} \times$

WOOD LINTELS AND BEAMS

MBI = 2-2"x8" SPR. No.2 (2-36x164 SPR. No.2) MB2 = 3-2"x8" SPR. No.2 (3-36x164 SPR. No.2)

MB3 = 2-2"x10" SPR. No.2 (2-36x235 SPR. No.2) MB4 = 3-2"x10" SPR. No.2 (3-36x235 SPR. No.2) MB5 = 2-2"x12" SPR. No.2 (2-36x286 SPR. No.2) MB6 = 3-2"x12" SPR. No.2 (3-36x286 SPR. No.2)

WBT = 5-2"x12" SPR. No.2 (5-36x286 SPR. No.2) WBII = 4-2"x10" SPR. No.2 (4-38x285 SPR. No.2) WBI2 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVLIA = I-I 3/4" x 7 |/4" (I-45x|84) LVLI = 2-I 3/4" x 7 |/4" (2-45x|84) LVL2 = 3-I 3/4" x 7 |/4" (3-45x|84) LVL3 = 4-I 3/4" x 7 |/4" (4-45x|84) LVL4A = I-I 3/4" x 9 |/2" (1-45x240) LVL4 = 2-I 3/4" x 9 |/2" (3-45x240) LVL5 = 3-I 3/4" x 9 |/2" (3-45x240) LVL6A = I-I 3/4" x 9 |/2" (4-45x240) LVL6A = I-I 3/4" x 1 |/2" (4-45x240)

LYL6A = 1-1 3/4" x || 7/8" (1-45x300) LYL6 = 2-1 3/4" x || 7/8" (2-45x300) LYL7 = 3-1 3/4" x || 7/8" (3-45x300) LYL7 = 4-1 3/4" x || 7/8" (4-45x300) LYL7A = 4-1 3/4" x || 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356) LVL9 = 3-1 3/4" x 14" (3-45x356)

LVLIO = 2-1 3/4" x 18" (3-45x456)

Loose Steel Lintels

LI = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)

L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)

L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)

L5 = 6"x4"x3/8"L (150x100x10.0L) 1.6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR

|a = 2'-|0" x 7'-|0" (b|5x2387) - INSULATED FRONT DOORS 2 = 2'-8" x 6'-8" (b|5x2033) - WOOD & GLASS DOOR 3 = 2'-8" x 6'-8 x 1-3/4" (b|5x2033x45) - EXTERIOR SLAB DOOR

4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR

5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR

2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR $= 1'-6" \times 6'-6" \times 1-3/6" (460 \times 2033 \times 35) - INTERIOR SLAB DOOR$

8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

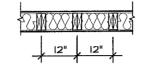
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE I ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN T'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

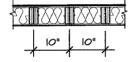
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/M SOLID BLOCKING 4'-O" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL.) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. &'-0"O.C. VERTICAL AND 1/16" EXT. 09B SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1,5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @9"O.C. FULL HT C/M SOLID BLOCKING MAX. 8'-O"O.C. VERTICAL 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

CI = 4"X4"XI/4" H.S.S.

W/ IO"X8"XI/2" BASE PLATE \$ 2-3/4" DIA.

ANCHOR BOLTS

C2 = 5"X5"XI/4" H.S.S.W 12"XI2"XI/2" BASE PLATE \$ 4-3/4" DIA. ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COULMN 35 kNm

TOWN OF EAST GWILLIMBURY BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE ZONING BY-LAW 2018-043, AS **AMENDED**

Model Reviewcfoster.. BY

AREA CALCULATIONS ELEV. I 1251 Sq. Ft. GROUND FLOOR AREA 1432 Sq. Ft. SECOND FLOOR AREA 2683 Sq. Ft. TOTAL FLOOR AREA 249.26 Sq. M. IST FLOOR OPEN AREA Sq. Ft. Sq. Ft. = 0 2ND FLOOR OPEN AREA ADD TOTAL OPEN AREAS 0 Sq. Ft. ADD FIN. BASEMENT AREA 0 Sq. Ft. 2683 Sq. Ft. GROSS FLOOR AREA 249.26 Sq. M. SROUND FLOOR COVERAGE = 1251 Sq. Ft. GARAGE COVERAGE /AREA = 406 Sq. Ft. 89 Sq. Ft. PORCH COVERAGE / AREA = 1746 Sq. Ft. TOTAL COVERAGE W PORCH 162.21 Sq. m. 1657 Sq. Ft. TOTAL COVERAGE WO PORCH 153.94 Sq. m.

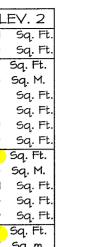
AREA CALCULATIONS			EL	EV. 3
GROUND FLOOR AREA	=		1251	Sq. Ft.
SECOND FLOOR AREA	=		1466	Sq. Ft.
TOTAL FLOOR AREA	=		2717	Sq. Ft.
			252.42	5q. M.
IST FLOOR OPEN AREA	=	0		Sq. Ft.
2ND FLOOR OPEN AREA	=	0		Sq. Ft.
ADD TOTAL OPEN AREAS	=		0	Sq. Ft.
ADD FIN. BASEMENT AREA	=		0	Sq. Ft.
GROSS FLOOR AREA	=		2717	Sq. Ft.
GROSS FLOOR AREA	=		2717 252.42	5q. Ft. 5q. M.
GROSS FLOOR AREA GROUND FLOOR COVERAGE	=			
	11 11		25 <mark>2.42</mark>	5q. M.
GROUND FLOOR COVERAGE	=		25 <mark>2.42</mark> 25	5q. M. 5q. Ft. 5q. Ft. 5q. Ft.
GROUND FLOOR COVERAGE GARAGE COVERAGE /AREA	=======================================		25 <mark>2.42</mark> 25 406	Sq. M. Sq. Ft. Sq. Ft.
GROUND FLOOR COVERAGE GARAGE COVERAGE /AREA PORCH COVERAGE / AREA	= =		25 <mark>2.42</mark> 25 406 80	5q. M. 5q. Ft. 5q. Ft. 5q. Ft.
GROUND FLOOR COVERAGE GARAGE COVERAGE /AREA PORCH COVERAGE / AREA	= =		25 <mark>2.42</mark> 25 406 80	5q. M. 5q. Ft. 5q. Ft. 5q. Ft. 5q. Ft.
GROUND FLOOR COVERAGE GARAGE COVERAGE /AREA PORCH COVERAGE / AREA TOTAL COVERAGE W PORCH	= = = = = = = = = = = = = = = = = = =		25 <mark>2.42</mark> 25 406 80 <mark>1737</mark> 6 .37	5q. M. 5q. Ft. 5q. Ft. 5q. Ft. 5q. Ft. 5q. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R3I)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R3I)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	352 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB £ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (RIO)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (RIO)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRY MINIMUM EFFICIENCY	TIER 2 '15% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL I (2.5 ACH/O.18 NLR) ATTACHED LEVEL I (3.0 ACH/O.26 NLR)

AREA CALCULATIONS			EL	.EV. 2
GROUND FLOOR AREA	=		1251	Sq. F
SECOND FLOOR AREA	=		1448	Sq. F
TOTAL FLOOR AREA	=		2699	Sq. Ft.
			250.75	Sq. M.
IST FLOOR OPEN AREA	= (0		Sq. F
2ND FLOOR OPEN AREA	= (0		Sq. F
ADD TOTAL OPEN AREAS	=		0	Sq. F
ADD FIN. BASEMENT AREA	=		0	Sq. F
GROSS FLOOR AREA	=		2699	Sq. Ft.
			250.75	5q. M.
GROUND FLOOR COVERAGE	=		1251	Sq. F
GARAGE COVERAGE /AREA	=		406	Sq. F
PORCH COVERAGE / AREA	= ,		80	Sq. F
TOTAL COVERAGE W PORCH	=		1737	Sq. Ft
	=		161.37	5q. m.
TOTAL COVERAGE WO PORCH	=		1657	Sq. Ft.
	=		153.94	5q. m.





Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			

GLENWAY 2A		ELEV.I					
ELEVATION	WALL FT2	WALL MT ²	OPENING FT2	OPENING MT2	PERCENTAGE		
FRONT	679.41	63.12	96.67	8.98	14.23 %		
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %		
RIGHT SIDE	969.33	90.05	23.00	2.14	2.37 %		
REAR	671.37	62.37	138.00	12.82	20.55 %		
TOTAL	3311.69	307.67	349.17	32.44	10.54 %		

GLENWAY	2A	ELEV.2			
ELEVATION	WALL FT2	WALL MT2	OPENING FT2	OPENING MT2	PERCENTAGE
FRONT	679.41	63.12	103.92	9.65	15.30 %
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %
RIGHT SIDE	983.17	91.34	23.00	2.14	2.34 %
REAR	671.37	62.37	138.00	12.82	20.55 %
TOTAL	3325.53	308.95	356.42	33.11	10.72 %

GLENWAY	2A	ELEV.3			
ELEVATION	MALL FT2	WALL MT ²	OPENING FT ²	OPENING MT2	PERCENTAGE
FRONT	679.42	63.12	105.66	9.82	15.55 %
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %
RIGHT SIDE	983.83	91.40	23.00	2.14	2.34 %
REAR	671.37	62.37	138.00	12.82	20.55 %
TOTAL	3326.20	309.01	358.16	33.27	10.77 %

W Architect Inc. **DESIGN CONTROL REVIEW** DEC. 04, 2020 FINAL BY: All:



STRUDET INC. PROFESSIONAL MARINKOVIC A NCE OF ON FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

APR 0 1 2019

ESCC MODEL ENERGY STAR - V 17

GLENWAY 2A

ENERGY STAR

5.		
4.		
3.	ENERGY STAR CHART	APR. OVIG
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
	REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

DATE20/0.1/2021...

QUALIFICATION INFORMATION n 3.2.5 of the building code

VIKAS GAJJAR SIGNATURE NAME

28770

BCIN

DUCT SEALING

REGION DESIGN INC

8700 DUFFERIN ST

CONCORD ONTARIO

P (416) 736-4096

F (905) 660-0746

L4K 4S6

LIGHTS

IEGION **ESIGN** **AREA CHARTS**

ZMP

·NΑ

AUG 2017

ALL SUPPLY DUCTS AND I M OF RETURN

75% CFLs OR LEDS

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPOR ANY DISCREPANCIES TO THE DESIGNER PRINTS ARE NOT TO BE SCALED.

0

2683

DECT 05-15-056



is the builder's complete responsibility to insure that all plans submitted for approval ally comply with the Architectural Gudelines and all applicable regulations and requirements cluding zoning provisions and any provisions the subdivision agreement. The Control tribulation of the provisions are vamining or approving site (lotting) plans or orking drawings with respect to any zoning or utilding code or permit matter or that any ouse can be properly built or located on its lot.

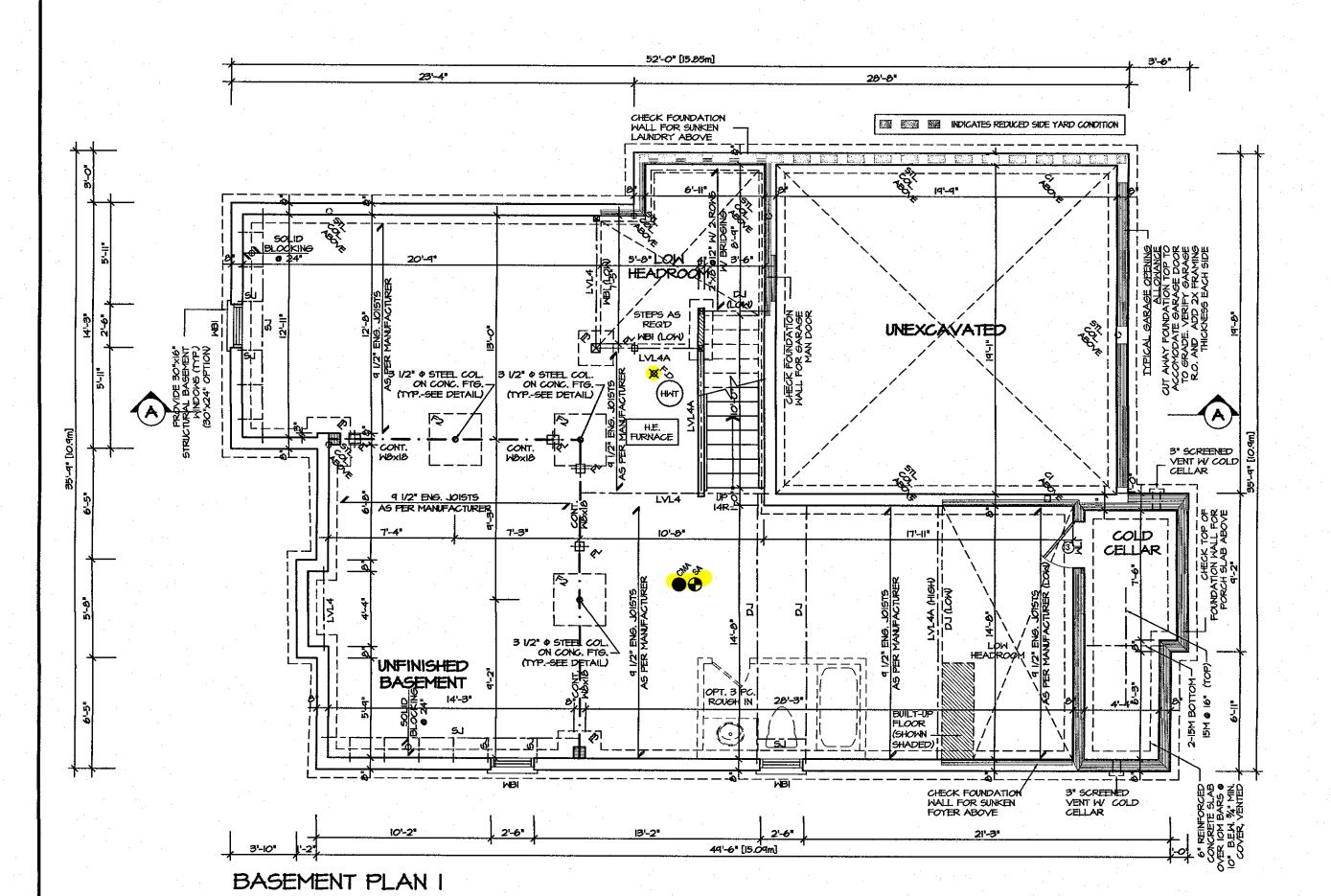
This is to certify that these plans com with the applicable Architectural Desi Guidelines approved by the Town EAST GWILLIMBURY.

GLENWAY 2A

FEB 1 5 2018

ENERGY STAR







These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Buildin Standards Branch. All work must comply wit Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. Thes approved documents must be kept on site at a times. The building permit must be clear posted on site at all times.

Discipli	ne	Reviewer	BCIN	Date
Buildin	g Code	H. Authier	43236	2021-02-08
Sewage	System			
Zoning				



is the builder's complete responsibility to neure that all plans submitted for approval illy comply with the Architectural Guidelines and all applicable regulations and requirements cluding zoning provisions and any provisions it the subdivision agreement. The Control richitect is not responsible in any way for xamining or approving site (lotting) plans or orking drawings with respect to any zoning or uilding code or permit matter or that any ouse can be properly built or located on its lot.

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FEB 1 5 2018 GL

GLENWAY 2A

ENERGY STAR

5.			
4.			C
3.			
2.	ISSUED FOR COORDINATION	SEP 2017	R
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017	
	REVISIONS		Ĭ
ı			

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION of unless design is exempt under Division C, Subsection 3.2.5 of the building code as GAJJAR

SIGNATURE

BCIN

REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746

52'-0" [I5.85m]

CHECK FOUNDATION WALL FOR SUNKEN LAUNDRY ABOVE

HEADROOM!

STEPS AS REQ'D

NBI (LON)

HIVIT

LVL4

●⊕ Chres

UP 0

POUGH IN

49'-6" [15.09m]

28'-3'

_MB)

UN HE.

ON CONC. FTG. (TYP.-SEE DETAIL)

3 1/2" \$ STEEL COL. ON CONG. FTAIL)

CONT. Wexie

23'-4"

ON CONC. FTG.

4 1/2" ENG. JOISTS
AS PER MANUFACTURER

UNFINISHED BASEMENT

14'-3"

LVL4

BASEMENT PLAN 2

EGION ESIGN TO THE PROPERTY OF THE PROPERTY OF

BASEMENT PLAN 2

CALE
3/16"=1'-0"

BY

ZMP

^{lE}AUG 2017

CHECK FOUNDATION WALL FOR SUNKEN FOYER ABOVE

COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA

2683

PROJECT
05-15-056

PROJECT
1-2

2'-6"

3" SCREENED VENT W COLD CELLAR

COLD

3" SCREENED VENT W COLD CELLAR

INDICATES REDUCED SIDE YARD CONDITION

UNEXCAVATED

17'-11"

4 1/2" ENG. JOISTS AS PER MANUFACTURE

> BUILT-UP FLOOR (SHOWN --SHADED)

> > Greenpark





3" SCREENED VENT W COLD CELLAR

FEB 1 5 2018

CELLAR

3" SCREENED VENT W COLD CELLAR

ENERGY STAR

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. **BASEMENT PLAN 3** Greenpark **EGION** QUALIFICATION INFORMATION **ESIGN** 2. ISSUED FOR COORDINATION SEP 2017 CALE 3/16"=1'-0" ZMP 2683 AUG 2017 1. REVISED GLENWAY 2 FROM FARTHINGALE 1-3 28770 P (416) 736-4096 NC. TRINAR HALL HOMES INC **REVISIONS** 05-15-056 SIGNATURE BCIN AUG 2017

52'-0" [I5*85*m]

CHECK FOUNDATION WALL FOR SUNKEN LAUNDRY ABOVE

HEADRO

STEPS AS

WEN (LOW LVL4A

HWT

LVL4

OM₂ est

UP 0

OPT, 3 PC. ROUGH IN

49'-6" [15.09m]

MBI

H.E. Σ FURNACE

TYP.-SEE DETAIL)

9 1/2" ENG. JOISTS AS PER MANUFACTURER

UNFINISHED

BASEMENT

14'-3"

CONT.

₩

BASEMENT PLAN 3

3 1/2" Ø STEEL COL. ON CONC. FTG. -(TYP.-SEE DETAIL)

3 1/2" \$ STEEL COL. ON CONC. FTG. (TYP.-SEE DETAIL)

INDICATES REDUCED SIDE YARD CONDITION

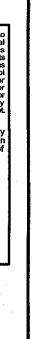
UNEXCAVATED

17 -11

CHECK FOUNDATION WALL FOR SUNKEN FOYER ABOVE

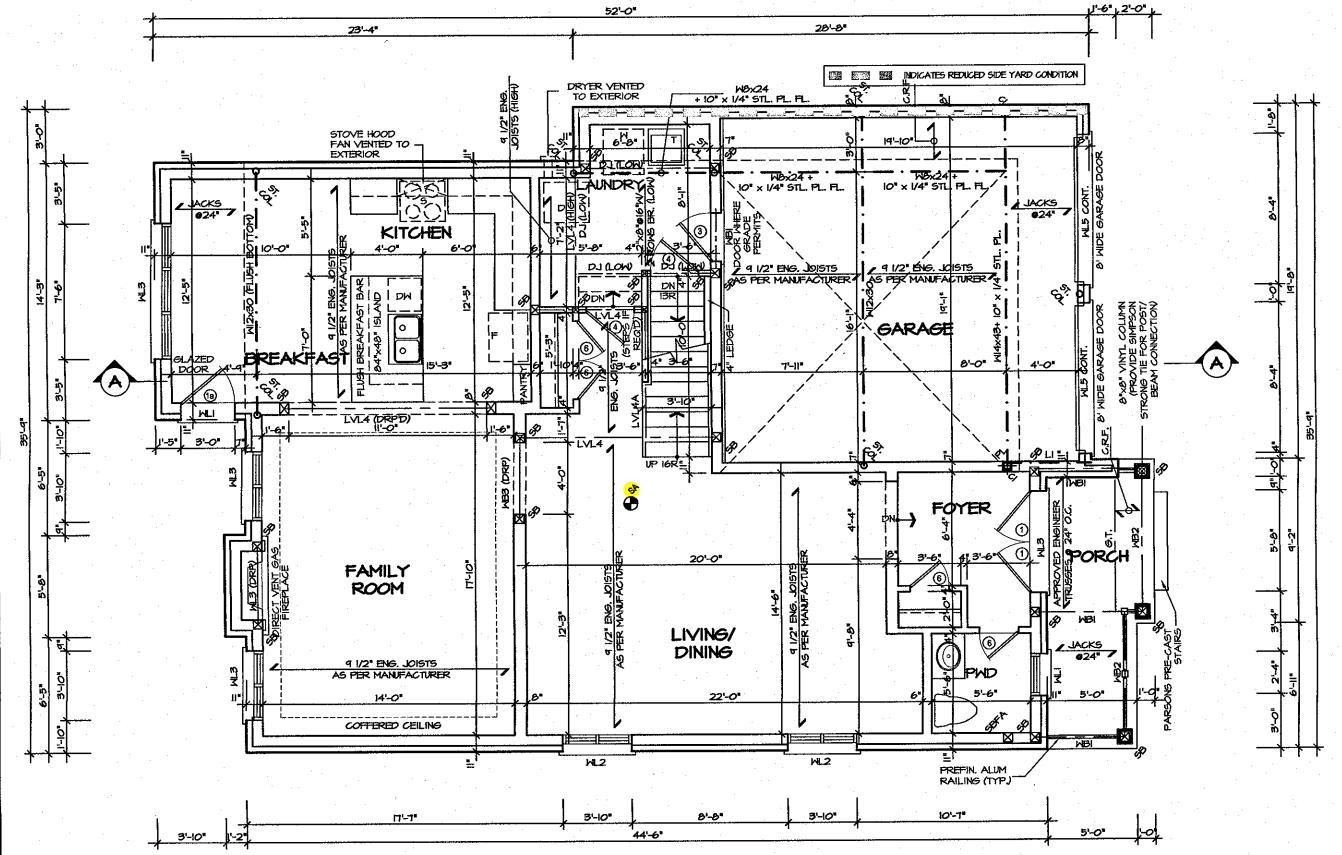
FOR STRUCTURE ONLY

GLENWAY 2A





Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



STRUDET INC. PROFESSIONA B. MARINKOVIC FOR STRUCTURE ONLY

This is to certify that these plans comply with the applicable Architectural Design Suidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

2

GLENWAY 2A

ENERGY STAR

	REVISIONS		NAM
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017	 VIK
2.	ISSUED FOR COORDINATION	SEP 2017	Requi
3.			
4.			desi
5.			Th

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

GROUND FLOOR PLAN ELEV. I

QUALIFICATION INFORMATION

Observed to the building code 28770

L4K 4S P (416) 736-4096 F (905) 660-0746

EGION ESIGN NC.

FIRST FLOOR PLAN 2 3/16"=1'-0"

EAUG 2017

ZMP

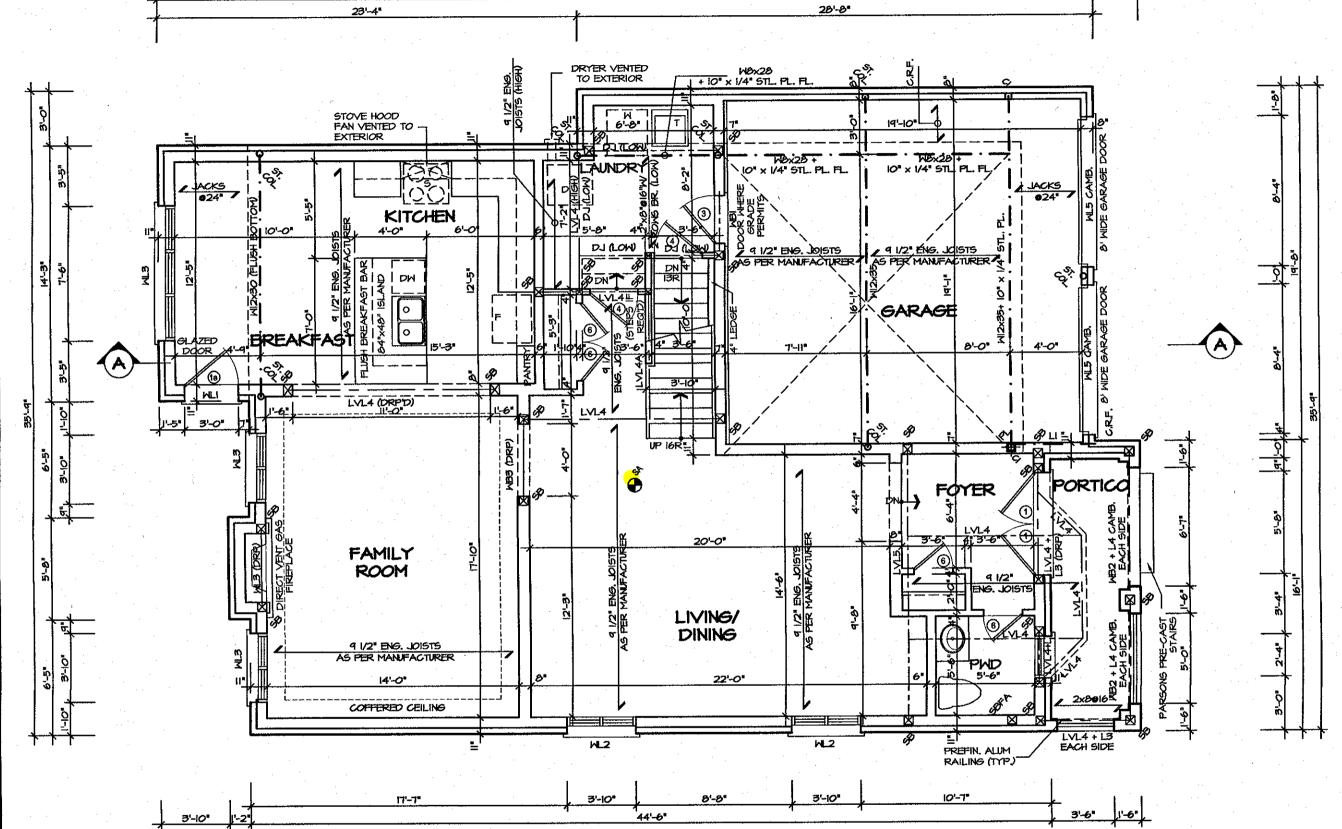
2683

05-15-056



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



52'-0"

FOR STRUCTURE ONLY

STRUDET INC.

is the builder's complete responsibility to naure that all plans submitted for approval illy comply with the Architectural Guldelines and all applicable regulations and requirements cluding zoning provisions and any provisions the subdivision agreement. The Control rchitect is not responsible in any way for xamining or approving site (lotting) plans or orking drawings with respect to any zoning or uilding code or permit matter or that any ouse can be properly built or located on its lot.

This is to certify that these plans comp with the applicable Architectural Designation of Guidelines approved by the Town EAST GWILLIMBURY.

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

5.			The undersigned ha
4.			design, and has the o out in the On
3.	·		
2. ISSUED FOR CO	ORDINATION	SEP 2017	QUA Required unless design is ex
1. REVISED GLENV	VAY 2 FROM FARTHINGALE	AUG 2017	\#\\\
	REVISIONS		VIKAS GAJJAR S NAME

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

28770

SIGNATURE

GROUND FLOOR PLAN ELEV. 2

REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746

REGION ESIGN DA

FIRST
FLOOR PLAN 2

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3/16"=1'-0"

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PROJECT

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PRINTS ARE NOT TO BE SCALED.

AREA

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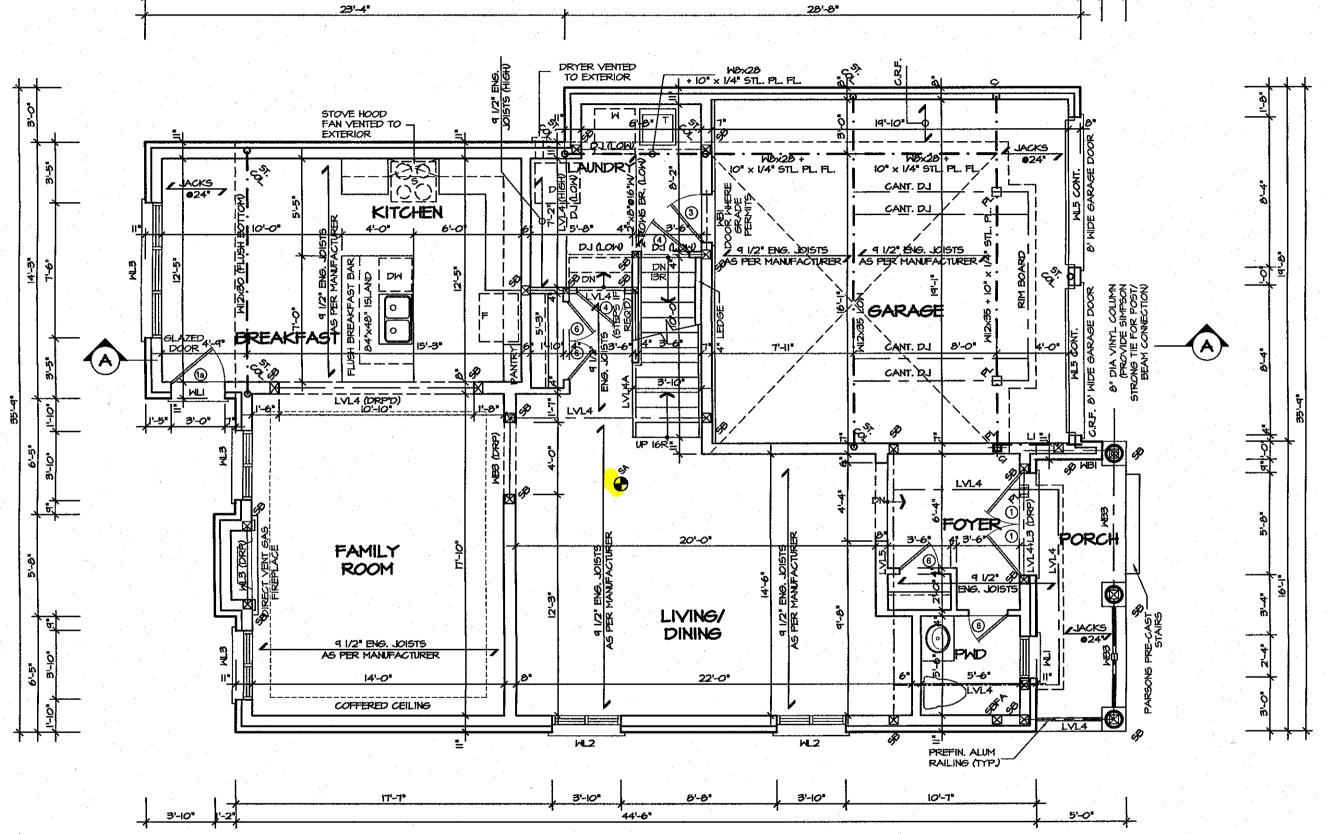
PAGE No.

2-2

Greenpark



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



52'-0"

STRUDET INC.

FOR STRUCTURE ONLY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

ENERGY STAR

SEP 2017 2. ISSUED FOR COORDINATION AUG 2017 . REVISED GLENWAY 2 FROM FARTHINGALE REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

GROUND FLOOR PLAN ELEV. 3

QUALIFICATION INFORMATION

Control of Philipping Code

Code Philip 28770 VIKAS GAJJAR™ SIGNATURE

8700 DUFFERIN S P (416) 736-4096 F (905) 660-074

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3/16"=1'-0"	ZMP	AREA

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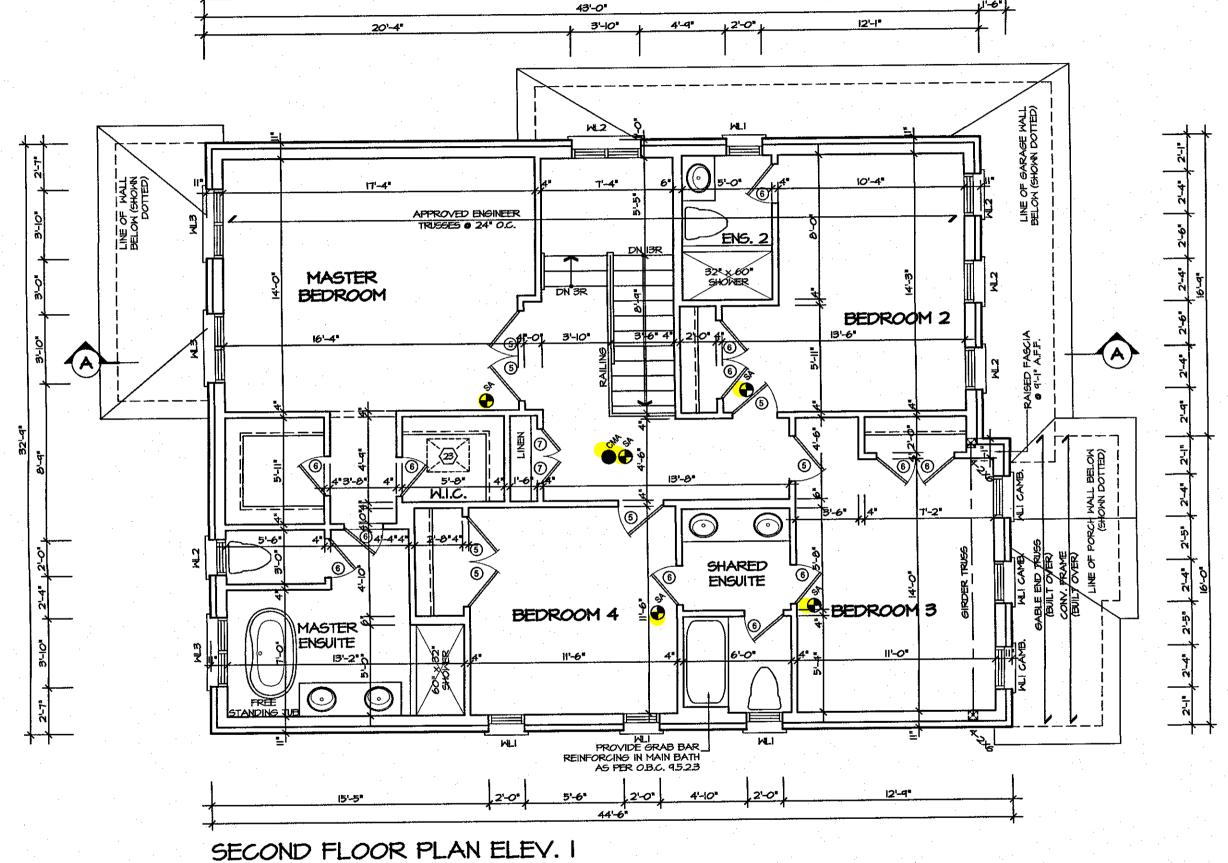
05-15-056

GLENWAY 2A



Inese plans have been reviewed for use with corrections as noted. No other changes may be made without written approval of the Buildin Standards Branch. All work must comply wit Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. Thes approved documents must be kept on site at a times. The building permit must be clear nosted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Sewage System Zoning			



44'-6"

STRUDET INC.

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FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approve fully comply with the Architectural Guldeline and all applicable regulations and any provision in the subdivision agreement. The Contro. Architect is not responsible in any way for examining or approving site (lotting) plans o working drawings with respect to any zoning obuilding code or permit matter or that any bouse can be properly built or located on its loca

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

ENERGYSTAR

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

VIKAS GAJJAR

SIGNATURE

BCIN

REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096

F (905) 660-0746

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SECOND
FLOOR PLAN 1

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FLOOR PLAN 1

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
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PAGE NO.

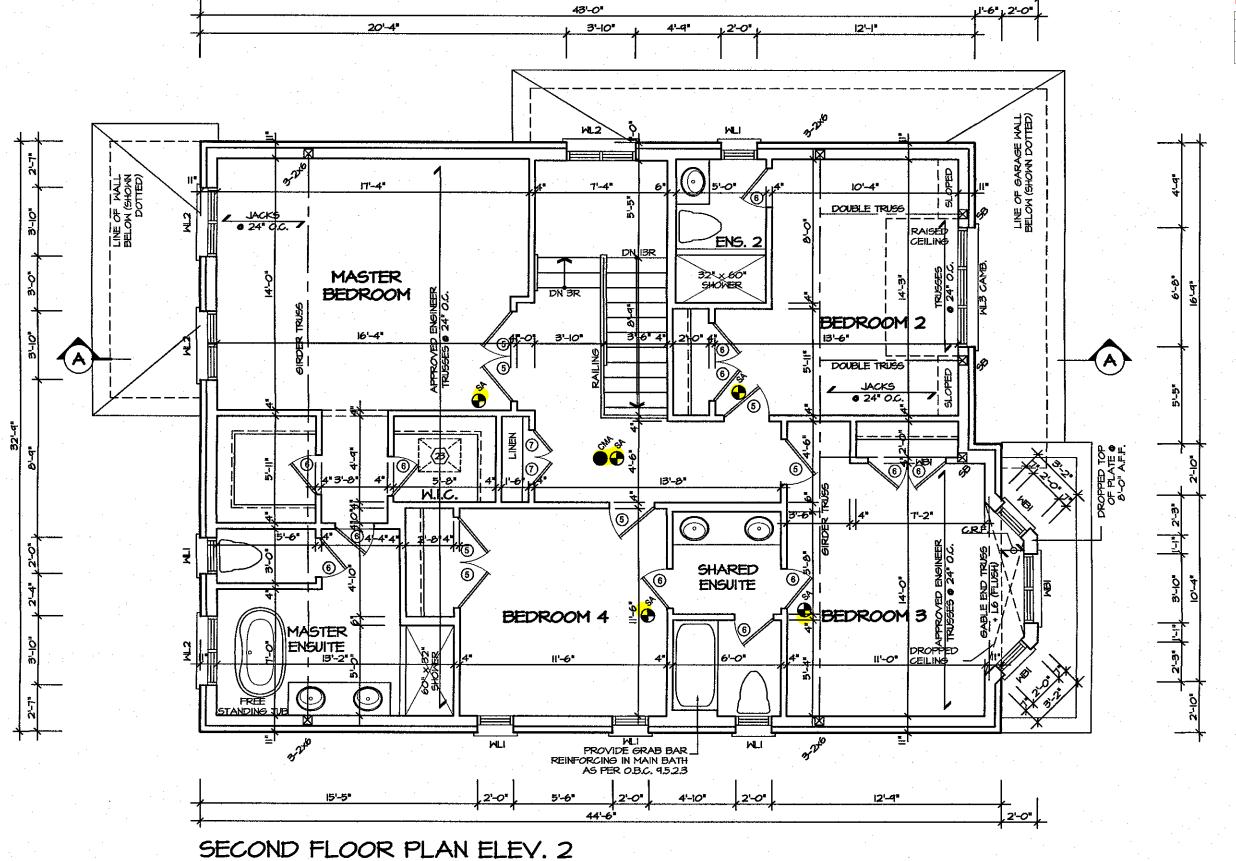
PROJECT
05-15-056

FEB 1 5 2018

***Greenpark**



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



STRUDET INC. FOR STRUCTURE ONLY

GLENWAY 2A

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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Output

Out 28770 P (416) 736-4096

EGION ESIGN AUG 2017

SECOND FLOOR PLAN 2 3/16"=1'-0" ZMP

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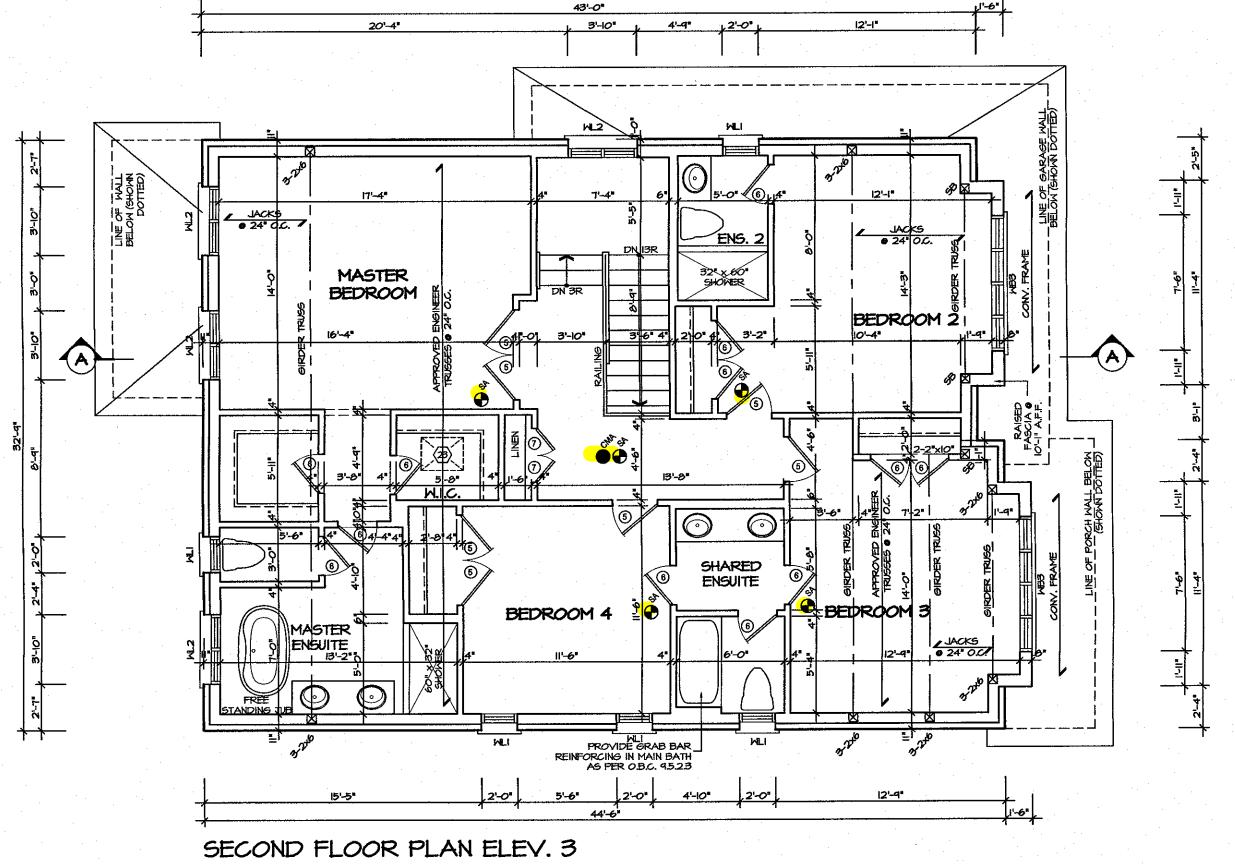
05-15-056

FEB 1 5 2018

***Greenpark**



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



44'-6'



FOR STRUCTURE ONLY

GLENWAY 2A

FEB 1 5 2018

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ENERGY STAR

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2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION 28770 SIGNATURE

REGION DESIGN INC 8700 DUFFERIN ST CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0744

REGION	SEC FLOC
	3/16"=1'-0"
IINC.	AUG 2017

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SECOND FLOOR PLAN		

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRINTS ARE NOT TO BE SCALED.	
AREA 2683	PAGE No.
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05-15-056

***Greenpark**

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02
Sewage System			
Zoning			





DEC. 04, 2020

FINAL BY: Alk.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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APR 2 0 2018

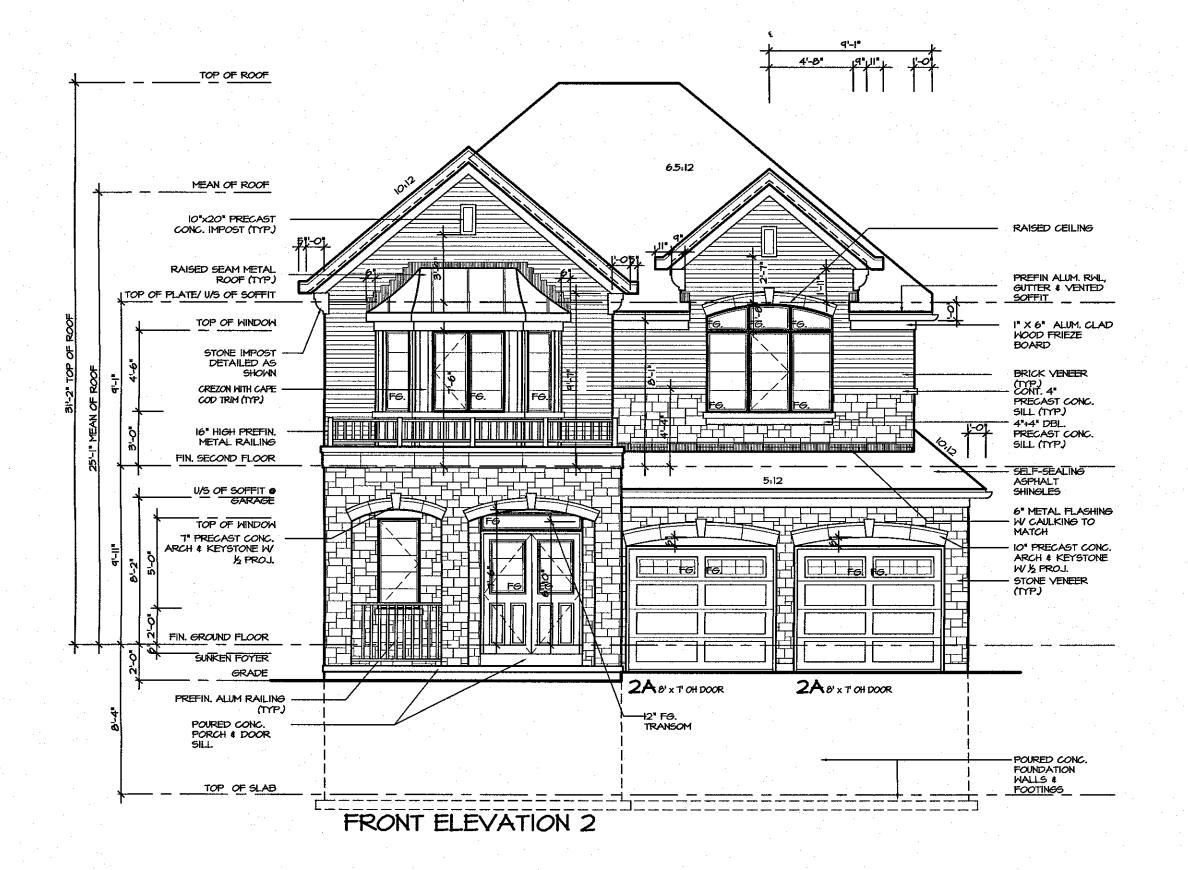
GLENWAY 2A

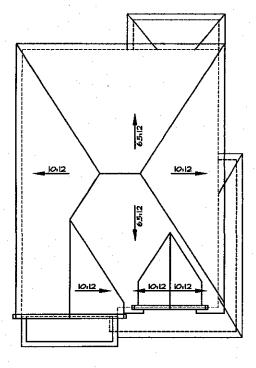
ENERGY STAR

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	3.	QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	CONCORD, ONTARIO L4K 456 ESTGN	SCALE BY	AREA PAGE No.	
	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017	20770	P (416) 736-4096	3/16"=1'-0" ZMP	2683	PROJECT
	REVISIONS	VIKAS GAJJAR ZOTTU NAME SIGNATURE BCIN	F (905) 660-0746 L NC.	AUG 2017	05-15-056	

#Greenpark

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			





ROOF PLAN 2 Scale: 1/16'=1'-0"

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

FEB 1 5 2018

4-2

ENERGY STAR

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2. ISSUED FOR COORDINATION	SEP 2017
REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

28770

QUALIFICATION INFORMATION VIKAS GAJJAR SIGNATURE

8700 DUFFERIN P (416) 736-4096

F (905) 660-0746



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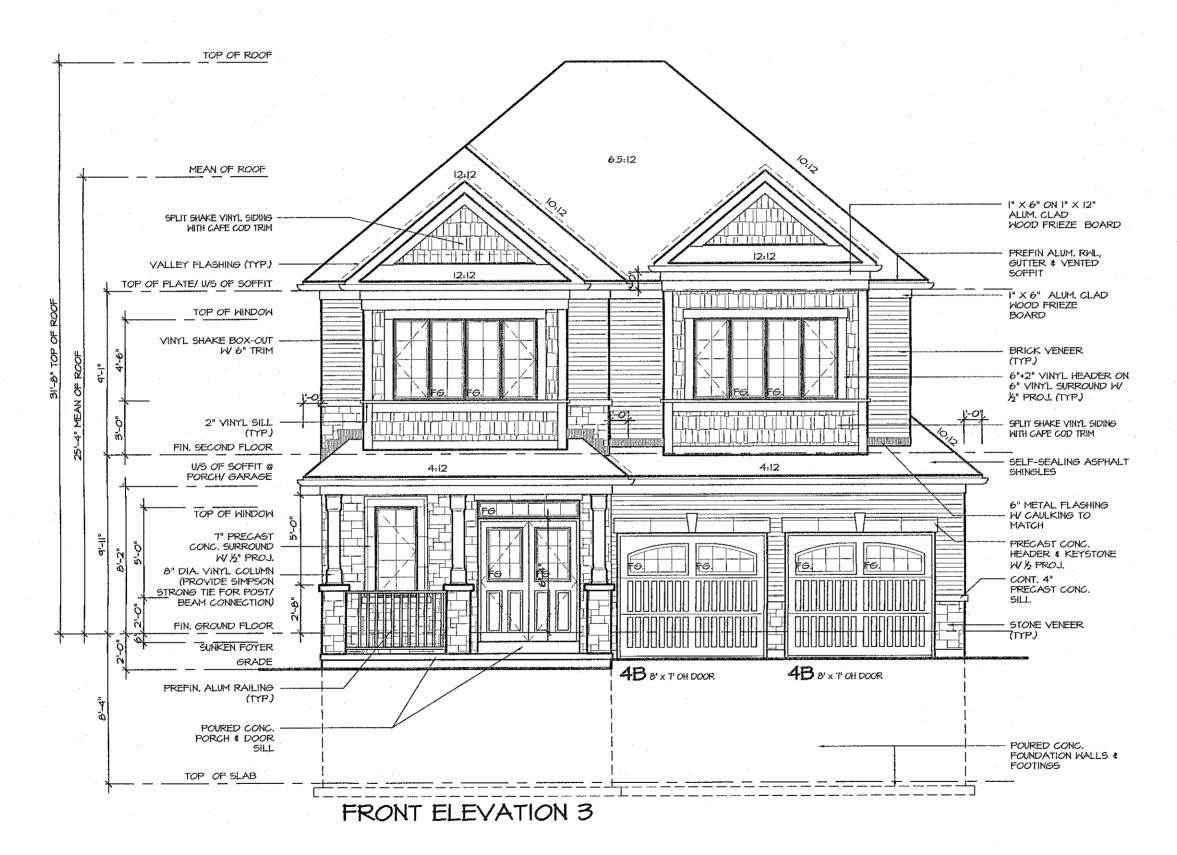
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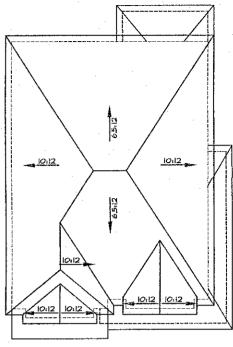
2683

05-15-056

***Greenpark**

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-0
Sewage System			
Zoning			





ROOF PLAN 3 Scale: 1/16'=1'-0"

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

APR 2 0 2018

GLENWAY 2A

ENERGYSTAR

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	REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

The example under Division C, Subsection 3.2.5 of the building code 28770 VIKAS GAJJAR SIGNATURE NAME

REGION DESIGN INC. 8700 DUFFERIN ST L4K 4S6 P (416) 736-4096

F (905) 660-0746

BCIN

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3/16"=1'-0" ZMP

"AUG 2017

FRONT ELEVATION 3

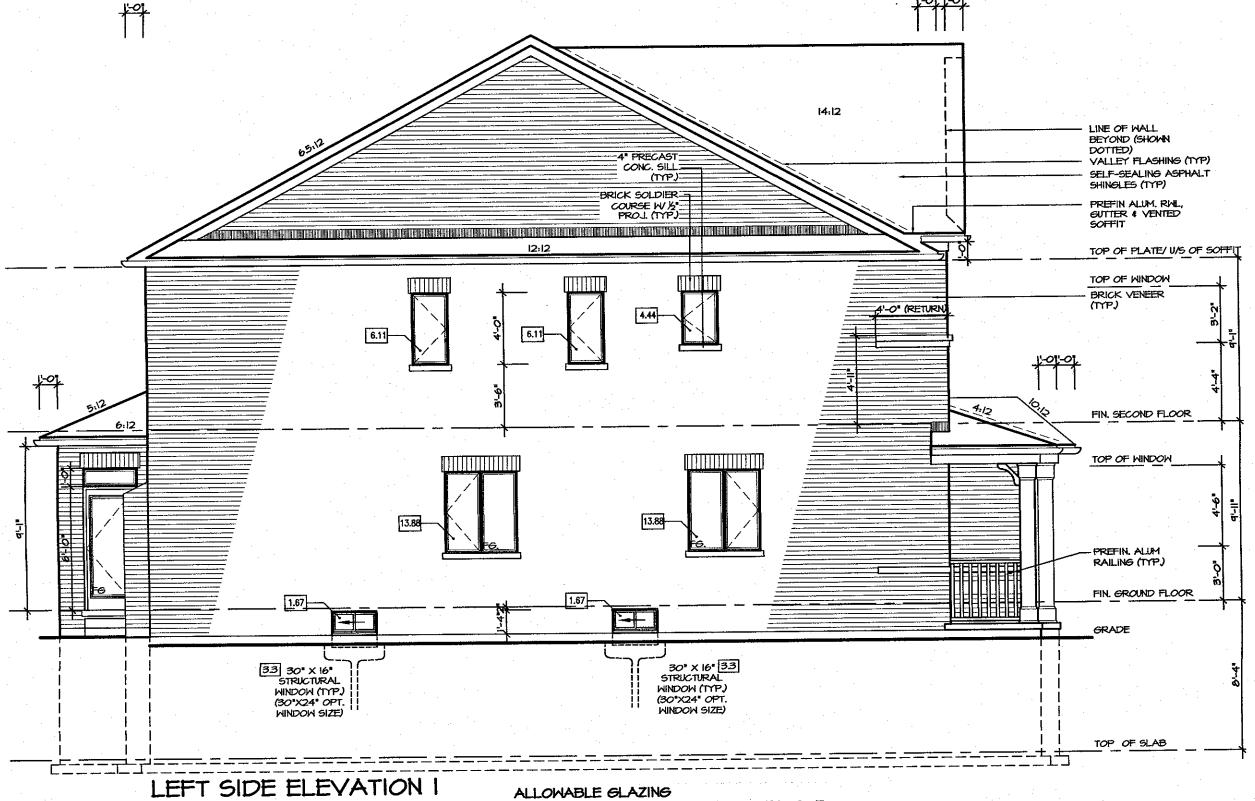
2683 4-3

05-15-056



These plans have been reviewed for use with it corrections as noted. No other changes may be made without written approval of the Buildin Standards Branch. All work must comply wi Zoning By-Law 2018-043, as amended, and it Ontario Building Code, as amended. The approved documents must be kept on site at a times. The building permit must be clear posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



ALLOWABLE GLAZED AREA @ 7 % 12 M = SIDE YARD

WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA

ACTUAL GLAZED AREA

W Architect Inc.

DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: Afficient This stamp is only for the purposes of designated and carries no other professional obligations.

It is the builder's complete responsibility to ensure that all plans submitted for approva fully comply with the Architectural Guldelines and all applicable regulations and requirement including zoning provisions and any provision in the subdivision agreement. The Contro Architect is not responsible in any way fo examining or approving site (lotting) plans o working drawings with respect to any zoning o building code or permit matter or that am house can be properly built or located on its lo

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

FEB 1 5 2018

ENERGY STAR

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1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017	1/0/40
	REVISIONS		VIKAS NAME

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

SIGNATURE

BCIN

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 486

P (416) 736-4096

F (905) 660-0746

EGION ESIGN S

65.4 Sq. Ft. 47.8 Sq. Ft.

51.0 Sq. Ft.

CONTRACTOR SHALL CHECK ALL.
DIMENSIONS AND ELEVATIONS BEFORE
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ANY DISCREPANCIES TO THE DESIGNED
PRINTS ARE NOT TO BE SCALED.

TALE
3/16"=1'-0"

BY
ZMP

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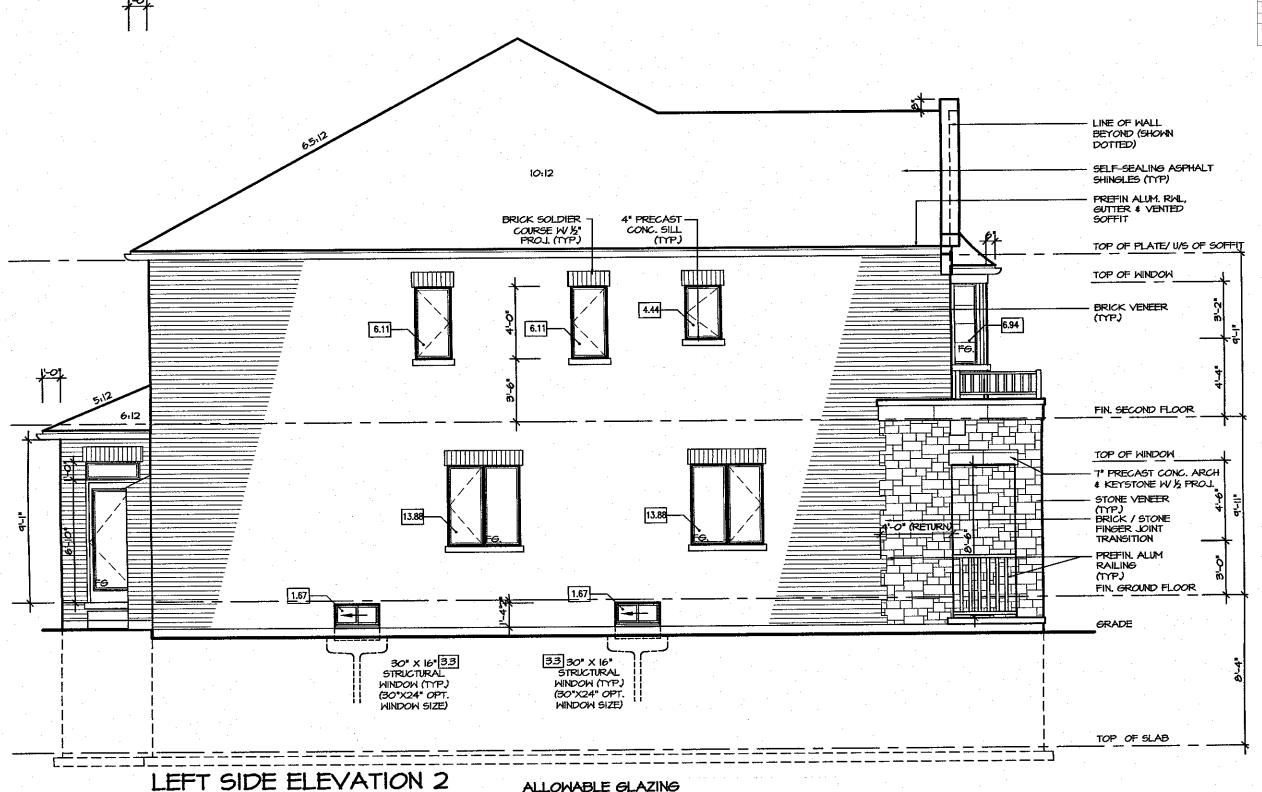
PROJECT
05-15-056

*Greenpark

PROJECT NAME



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

ALLOWABLE GLAZING

948 Sq. Ft. WALL AREA

54.7 Sq. Ft. ACTUAL GLAZED AREA 57.9 Sq. Ft.

WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

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2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
	REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

in the every structure of the building code

28770 VIKAS GAJJAR ^T SIGNATURE

REGION DESIGN INC 8700 DUFFERIN S L4K 4S6 P (416) 736-4096

F (905) 660-0746

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EAUG 2017

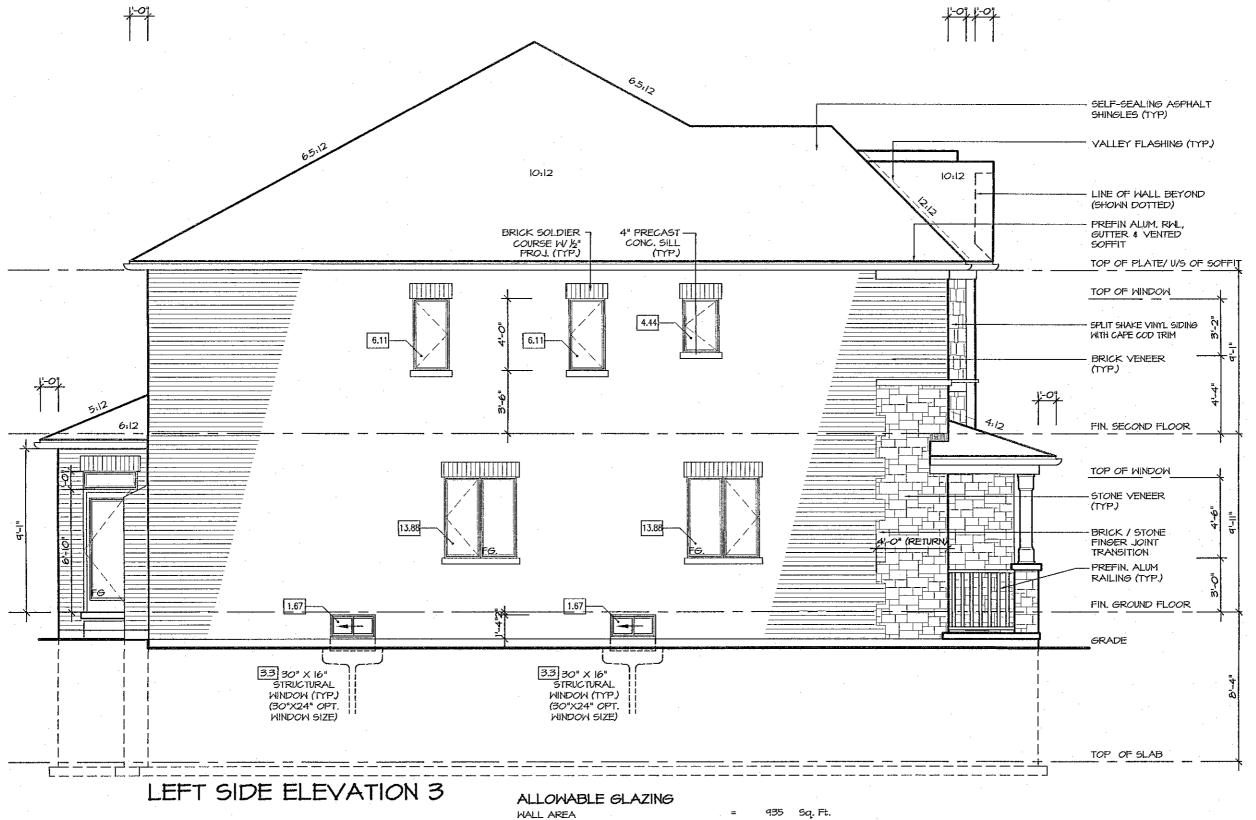
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED. LEFT **SIDE ELEVATION 2** 3/16"=1'-0" 2683 ZMP 5-2

05-15-056

***Greenpark**...

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



W Architect Inc.

DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: All and stamp is only for the purposes of design and carries no other professional obliging the stamp is only for the purposes of design and carries no other professional obliging the stamp is only for the purpose of the

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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GLENWAY 2A

ENERGY STAR

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

SIGNATURE

BCIN

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 4S6

P (416) 736-4096

F (905) 660-0746

WALL AREA = ALLOWABLE GLAZED AREA @ 7 % 12 M = SIDE YARD

WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA

ACTUAL GLAZED AREA

REGION DESIGN INC.

65.5 Sq. Ft. 47.8 Sq. Ft.

51.0 Sq. Ft.

LEFT
SIDE ELEVATION 3

SCALE
3/16"=1'-0"
BY
ZMP

AUG 2017

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

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PAGE No.

05-15-056

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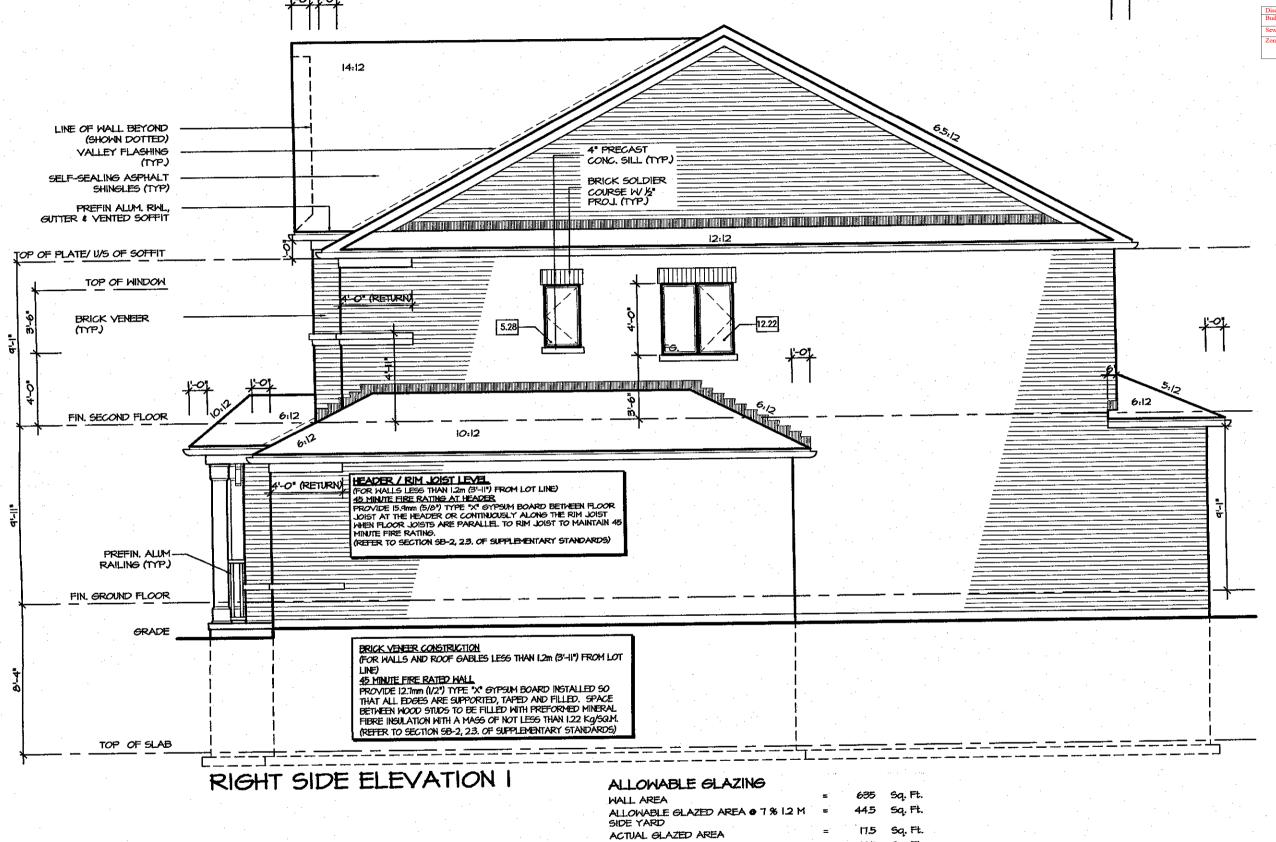
*Greenpark

TRINAR HALL HOMES INC

April 19, 2018



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



GLENWAY 2A

FEB 1 5 2018

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1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017	VIKAS GAJJAR	
	REVISIONS			GNATURE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Output

Out 28770

8700 DUFFERIN ST CONCORD, ONTARIO P (416) 736-4096

F (905) 660-0744

MITH OPTIONAL 30"X24" BASEMENT MINDONS. ACTUAL GLAZED AREA

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RIGHT SIDE ELEVATION 1 3/16"=1'-0" ZMP

AUG 2017

17.5 Sq. Ft.

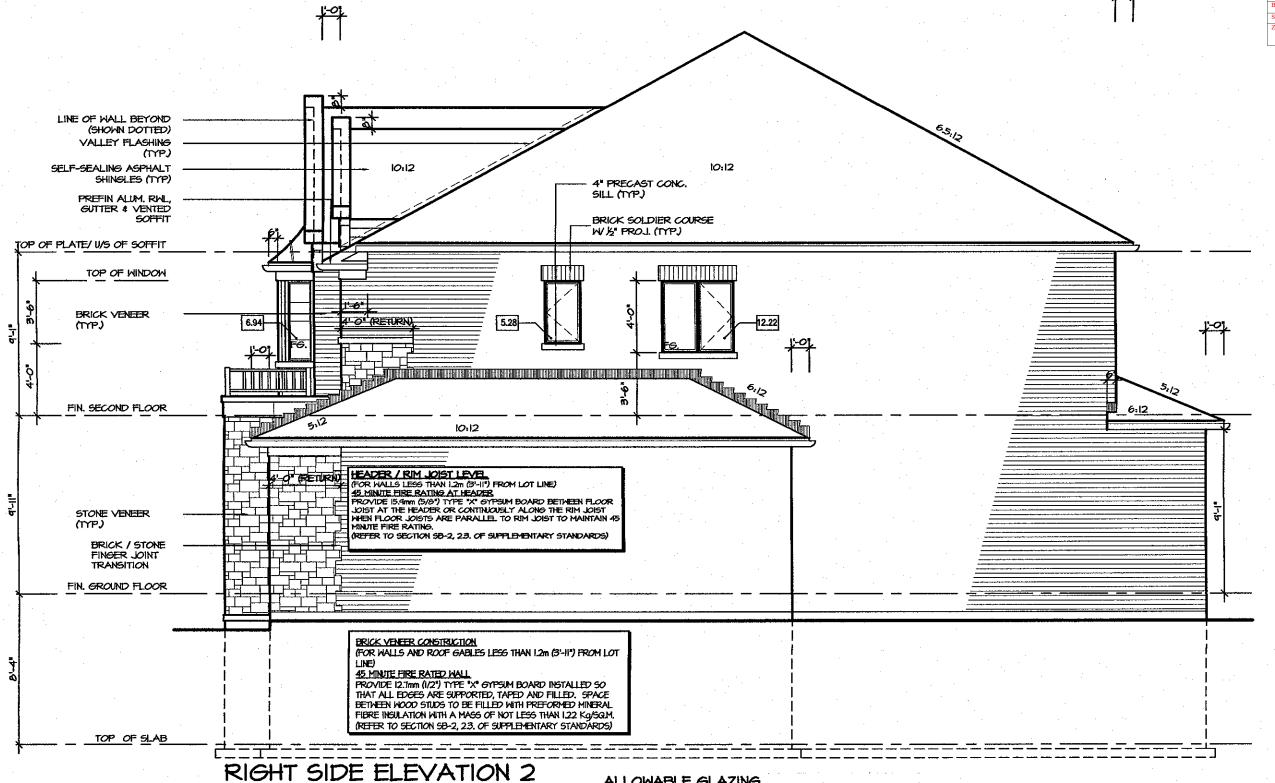
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. 2683

05-15-056

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

FEB 1 5 2018

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	REVISIONS	
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
2.	ISSUED FOR COORDINATION	SEP 2017
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

SIGNATURE

VIKAS GAJJAR

NAME

28770

P (416) 736-4096

F (905) 660-0746

ALLOWABLE GLAZING

WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTIVAL GLAZED AREA

ACTUAL GLAZED AREA

ALLOWABLE GLAZED AREA @ 7 % 1.2 M = SIDE YARD

EGION DESIGN

RIGHT SIDE ELEVATION 2

ZMP

3/16"=1'-0"

AUG 2017

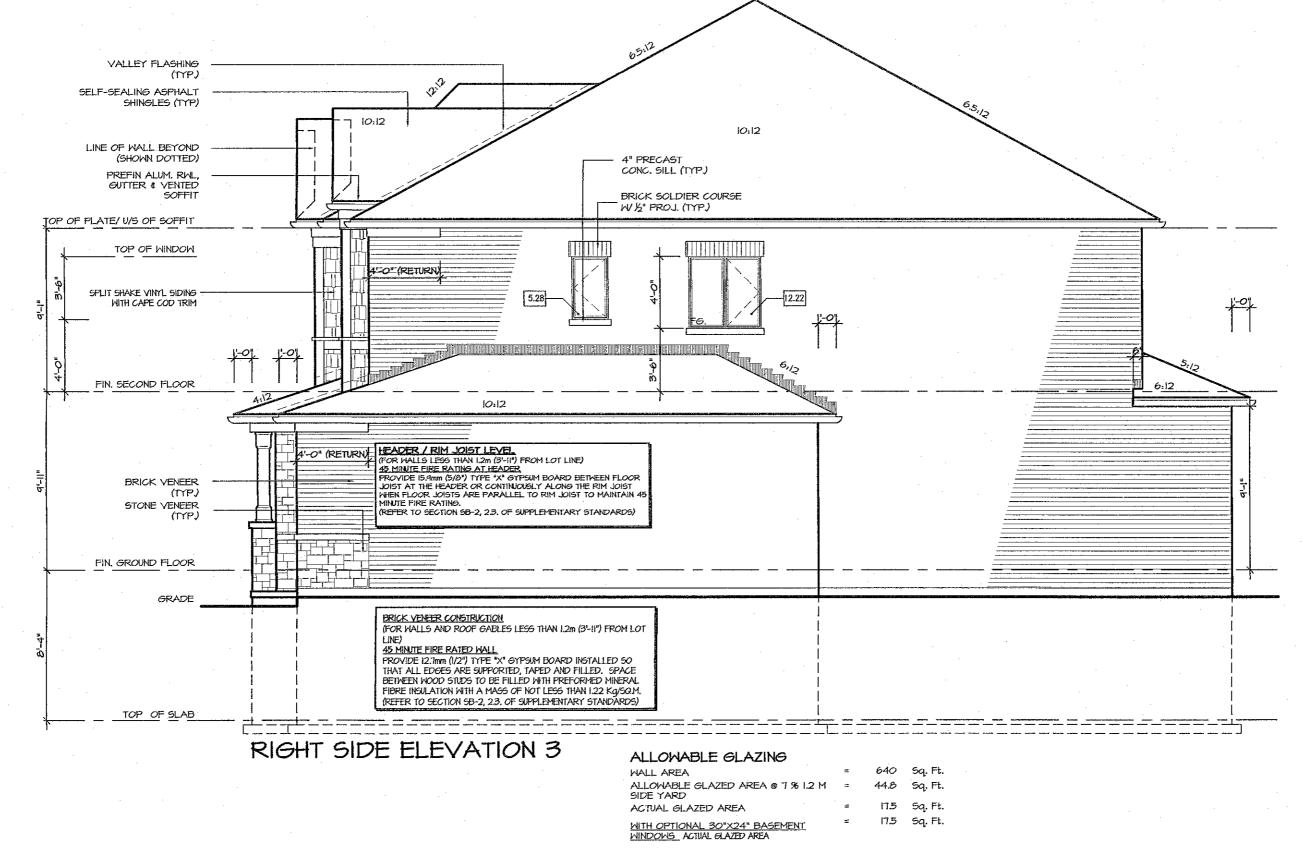
638 Sq. Ft.

44.7 Sq. Ft. = 24.4 Sq. Ft.

24.4 5q. Ft.

2683 6-2 05-15-056

***Greenpark**



W Architect Inc. **DESIGN CONTROL REVIEW** DEC. 04, 2020 FINAL BY: All:

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APR 2 0 2018

GLENWAY 2A

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REVISIONS				

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QUALIFICATION INFORMATION
On is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR SIGNATURE

NAME

8700 DUFFERIN S CONCORD, ONTARIO L4K 4S6 28770 P (416) 736-4096

BCIN

REGION DESIGN INC

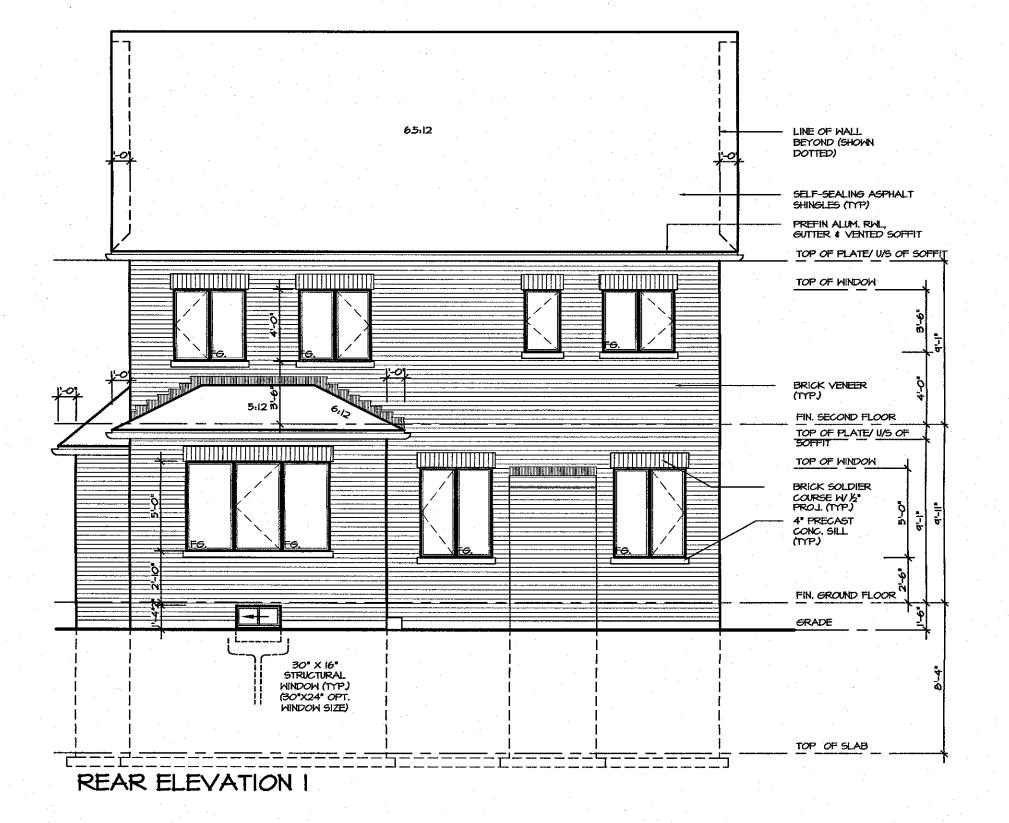
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3/16"=1'-0" ZMP 2683 6-3 05-15-056 ["]AUG 2017



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

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2. ISSUED FOR COORDINATION	SEP 2017
1. REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION sign is exempt under Division C, Subsection 3.2.5 of the building code 28770

SIGNATURE

VIKAS GAJJAR <

8700 DUFFERIN S P (416) 736-4096

F (905) 660-0744

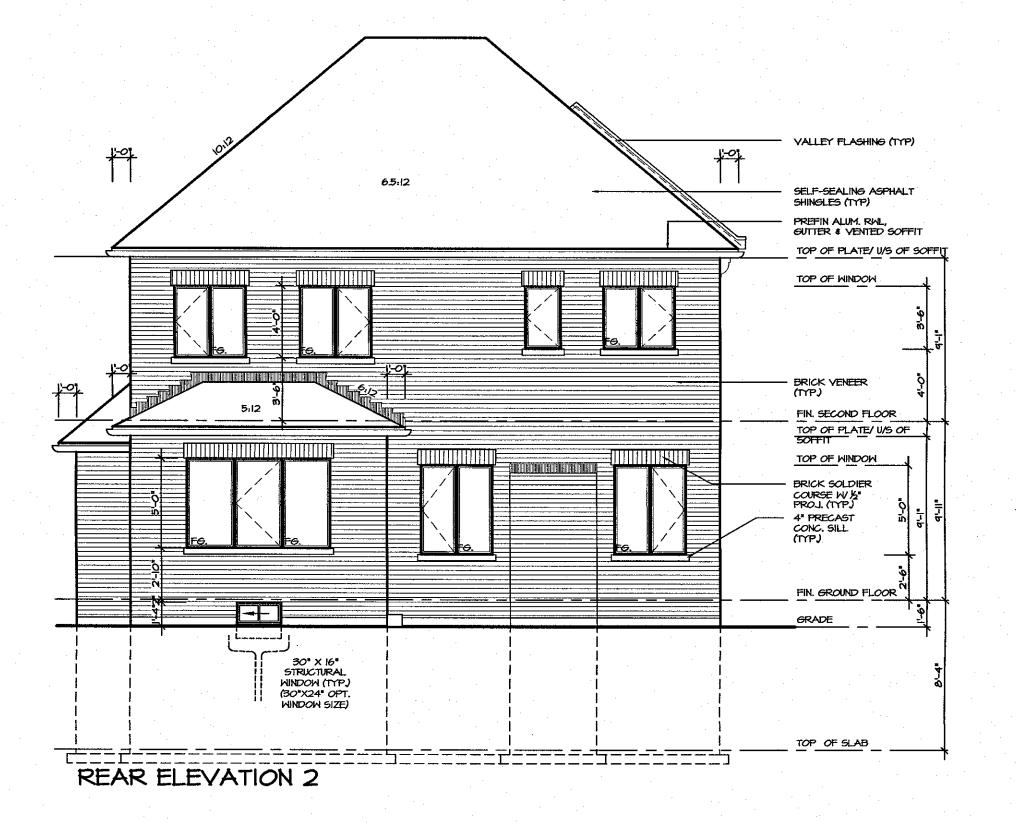


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•	SCALE 3/16"=1'-0"	BY ZMP

ZMP 2683 05-15-056 ^LAUG 2017



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			





This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
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The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION sign is exempt under Division C, Subsection 3.2.5 of the building code 28770

SIGNATURE

VIKAS GAJJAR 🦯

NAME

8700 DUFFERIN ST P (416) 736-4096

F (905) 660-0746

REGION **ESIGN**

SHEET TITLE REAR ELE	VATIO	ON 2
SCALE 3/16"=1'-0"	BY ZI	MP

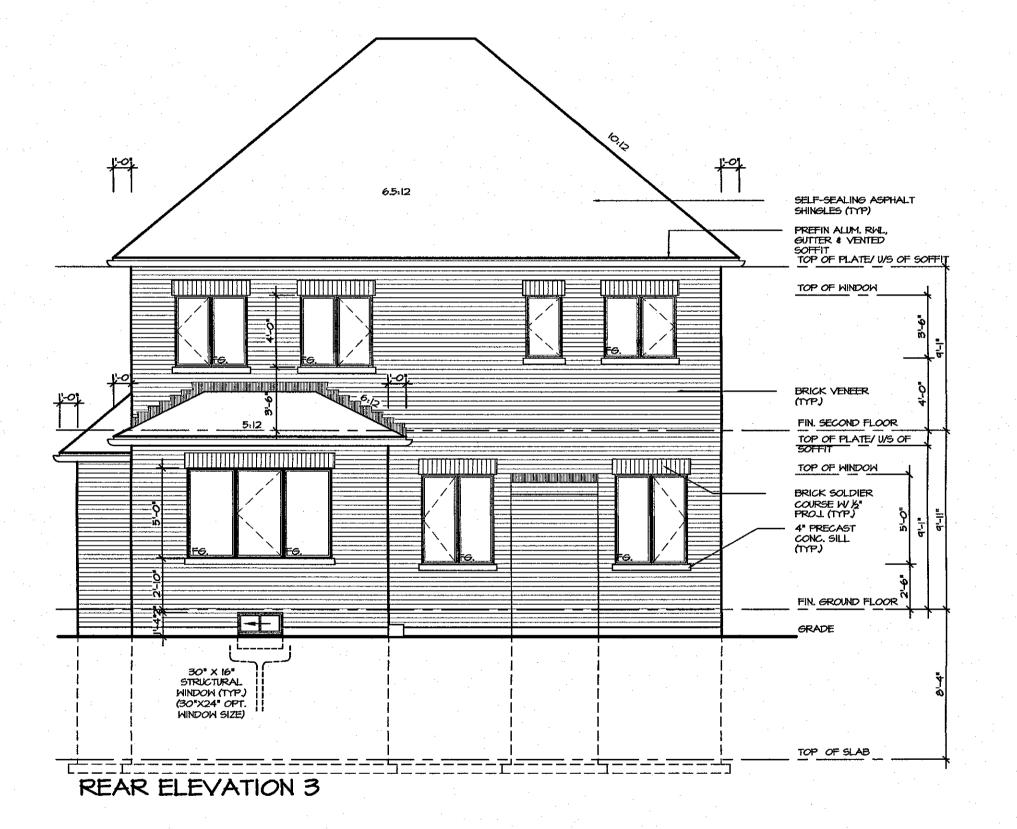
NEAUG 2017

2683

05-15-056

***Greenpark** 7-2 PROJECT NAME

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

5.	· .	
4.		
3.		1
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
	REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION ign is exempt under Division C, Subsection 3.2.5 of the

VIKAS GAJJAR 28770 SIGNATURE BCIN P (416) 736-4096

EGIO ESIGN

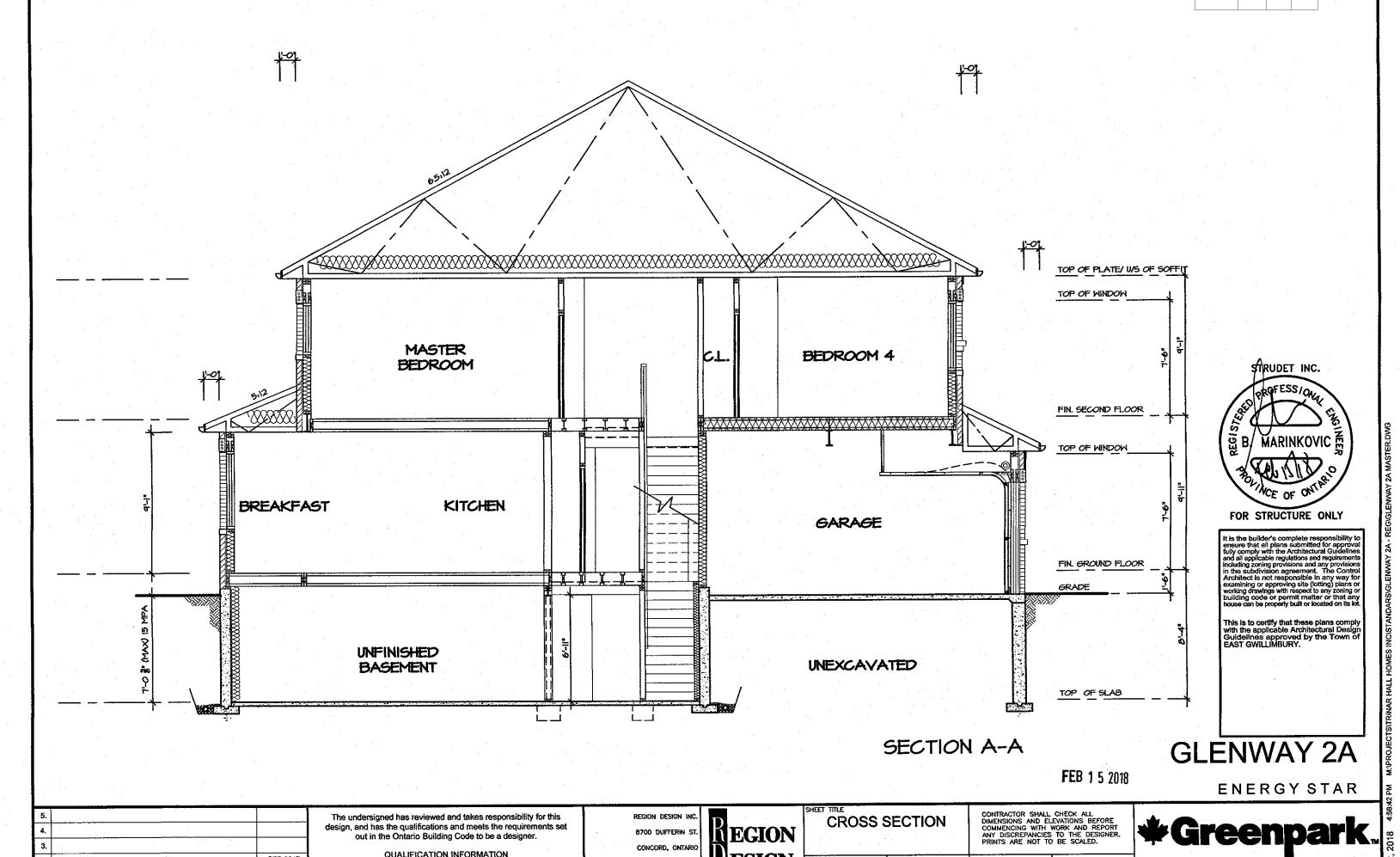
)N	REAR ELEVATION
)TA	

		PRINTS ARE NOT TO	
SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No.
AUG 2017	TYPE	PROJECT 05-15-056	7-3





Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



ESIGN

P (416) 736-4096

CALE 3/16"=1'-0"

LAUG 2017

2683

05-15-056

8

TRINAR HALL HOMES INC

ZMP

QUALIFICATION INFORMATION

inn is example under Division C, Subsection 3.2.5 of the building code

SIGNATURE

28770

2. ISSUED FOR COORDINATION

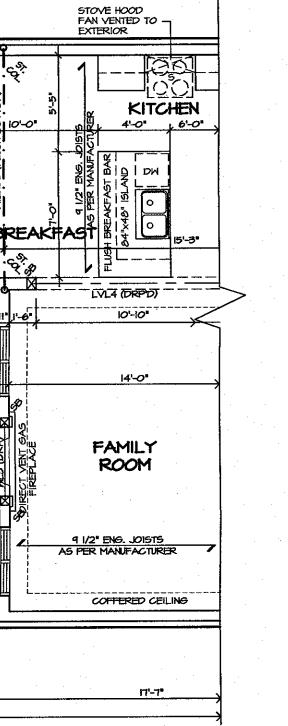
1. REVISED GLENWAY 2 FROM FARTHINGALE

REVISIONS

AUG 2017

VIKAS GAJJAR

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



NCE OF ONTAR FOR STRUCTURE ONLY

STRUDET INC.

DROFESS/ON

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

ENERGY STAR

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

Compared under Division C. Subsection 3.2.5 of the building code 28770 SIGNATURE

EGION ESIGN

PARTIAL PLANS FOR DECK CONDITION 3/16"=1'-0" ZMP

3'-10"

PARTIAL FIRST FLOOR PLAN

FOR DECK CONDITION

MLI

WOOD DECK

NUMBER OF RISERS WILL VARY DEPENDING

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

FEB 1 5 2018

2. ISSUED FOR COORDINATION 1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017 **REVISIONS**

DECK CONDITION

UPGRADED WINDOW WITH MIN. 4'-4" FIN. FIRST FLOOR TO GRADE CONDITION

WEI RIM JOIST ALL AROUND (PRESSURE

4X4 WOOD
COLUMN UP TO
4'-0" HEIGHT.
6X6 WOOD
COLUMN FOR

HEIGHTS OVER 4'-O" (PRESSURE TREATED) 12"

DIA. CONC PIER

VIKAS GAJJAR 🤝

52'-0" [15.85m]

1/2" \$ STEEL COL. ON CONC. FTG. -(TYP.-SEE DETAIL)

9 1/2" ENG. JOISTS OF

UNFINISHED BASEMENT

REMOVE MINDOM WHEN

GRADE IS 4'-4" OR GREATER
FROM FIN. FLOOR

49'-6" [15.09m]

CONT.

6]

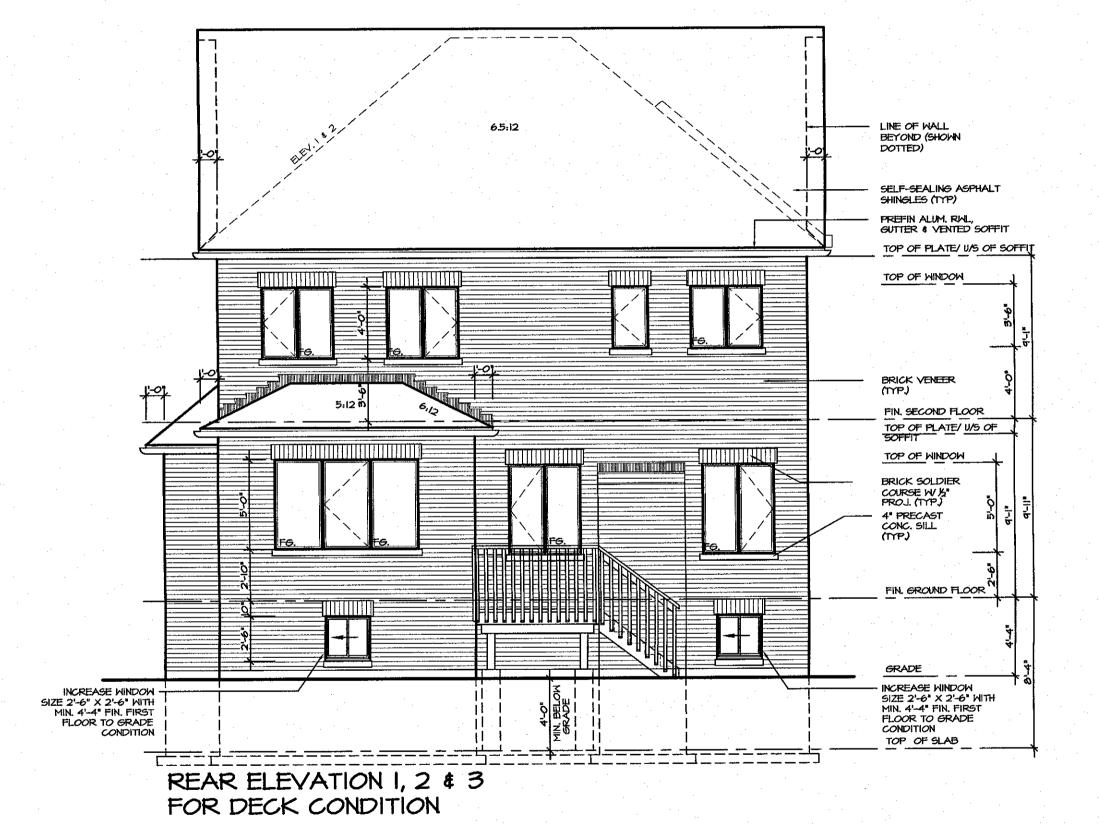
2 x 8 SPR. #2

ADD UPGRADED WINDOW WITH MIN, 4'-4" FIN, FIRST FLOOR TO GRADE CONDITION

PARTIAL BASEMENT PLAN FOR

2683 9 05-15-056 AUG 2017

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

FEB 1 5 2018

GLENWAY 2A

ENERGY STAR

5. 4.			The undersigned design, and has the out in the C
3.	TOOLED FOR COORDINATION	SEP 2017	QU
2. 1.	ISSUED FOR COORDINATION REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017	Required unless design is
	REVISIONS		VIKAS GAJJAR NAME

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

To be accomply under Division C, Subsection 3.2.5 of the building code 28770

SIGNATURE

P (416) 736-409 F (905) 660-074 EGION **ESIGN** NC.

FOR DECK CONDITION **REAR ELEVATION** 3/16"=1'-0"

AUG 2017

2683 ZMP 9-2

05-15-056

***Greenpark**