

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F2 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F3 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F4 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F5 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F6 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FOOT. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.OL) + 2-2"x8" SPR. No.2
WL2 = 4"x3'-1/2"x5/16" (100x90x8.OL) + 2-2"x8" SPR. No.2
WL3 = 5"x3'-1/2"x5/16" (125x90x8.OL) + 2-2"x10" SPR. No.2
WL4 = 6"x3'-1/2"x3/8" (150x90x10.OL) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.OL) + 2-2"x12" SPR. No.2
WL6 = 5"x3'-1/2"x5/16" (125x90x8.OL) + 2-2"x12" SPR. No.2
WL7 = 5"x3'-1/2"x5/16" (125x90x8.OL) + 3-2"x10" SPR. No.2
WL8 = 5"x3'-1/2"x5/16" (125x90x8.OL) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.OL) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.OL)
L2 = 4"x3'-1/2"x5/16" (100x90x8.OL)
L3 = 5"x3'-1/2"x5/16" (125x90x8.OL)
L4 = 6"x3'-1/2"x3/8" (150x90x10.OL)
L5 = 6"x4"x3/8" (150x100x10.OL)
L6 = 7"x4"x3/8" (175x100x10.OL)

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

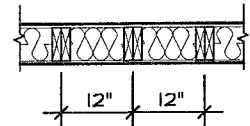
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

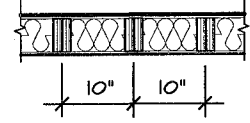
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

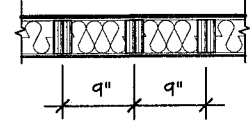
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.
ANCHOR BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN
= 35 kNm

TOWN OF EAST GWILLIMBURY
BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW 2018-043, AS
AMENDED

FOR Model Review

BY cfooster

DATE 20/01/2021

AREA CALCULATIONS

ELEV. 1

GROUND FLOOR AREA	=	1251	Sq. Ft.
SECOND FLOOR AREA	=	1432	Sq. Ft.
TOTAL FLOOR AREA	=	2683	Sq. Ft.
		244.26	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2683	Sq. Ft.
		244.26	Sq. M.
GROUND FLOOR COVERAGE	=	1251	Sq. Ft.
GARAGE COVERAGE / AREA	=	406	Sq. Ft.
PORCH COVERAGE / AREA	=	89	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1746	Sq. Ft.
		162.21	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1657	Sq. Ft.
		153.94	Sq. m.

AREA CALCULATIONS

ELEV. 3

GROUND FLOOR AREA	=	1251	Sq. Ft.
SECOND FLOOR AREA	=	1466	Sq. Ft.
TOTAL FLOOR AREA	=	2717	Sq. Ft.
		252.42	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2717	Sq. Ft.
		252.42	Sq. M.
GROUND FLOOR COVERAGE	=	1251	Sq. Ft.
GARAGE COVERAGE / AREA	=	406	Sq. Ft.
PORCH COVERAGE / AREA	=	80	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1737	Sq. Ft.
		161.37	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1657	Sq. Ft.
		153.94	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 24/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS

ELEV. 2

GROUND FLOOR AREA	=	1251	Sq. Ft.
SECOND FLOOR AREA	=	1448	Sq. Ft.
TOTAL FLOOR AREA	=	2699	Sq. Ft.
		250.75	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	0	Sq. Ft.
ADD TOTAL OPEN AREAS	=	0	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2699	Sq. Ft.
		250.75	Sq. M.
GROUND FLOOR COVERAGE	=	1251	Sq. Ft.
GARAGE COVERAGE / AREA	=	406	Sq. Ft.
PORCH COVERAGE / AREA	=	80	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1737	Sq. Ft.
		161.37	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1657	Sq. Ft.
		153.94	Sq. m.

GLENWAY 2A

ELEV.1

ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	679.41	63.12	96.67	8.98	14.23 %
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %
RIGHT SIDE	969.33	90.05	23.00	2.14	2.37 %
REAR	671.37	62.37	138.00	12.82	20.55 %
TOTAL	3311.69	307.67	349.17	32.44	10.54 %

GLENWAY 2A

ELEV.2

ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	679.41	63.12	103.92	9.65	15.30 %
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %
RIGHT SIDE	983.17	91.34	23.00	2.14	2.34 %
REAR	671.37	62.37	138.00	12.82	20.55 %
TOTAL	3325.53	308.95	356.42	33.11	10.72 %

GLENWAY 2A

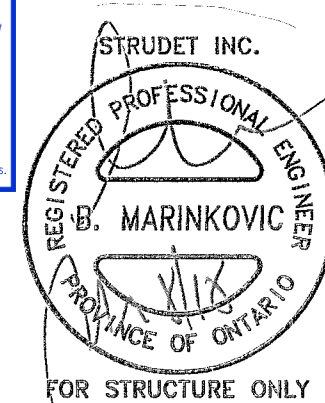
ELEV.3

ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	679.42	63.12	105.66	9.82	15.55 %
LEFT SIDE	991.58	92.12	91.50	8.50	9.23 %
RIGHT SIDE	983.83	91.40	23.00	2.14	2.34 %
REAR	671.37	62.37	138.00	12.82	20.55 %
TOTAL	3326.20	309.01	358.16	33.27	10.77 %

W Architect Inc.
DESIGN CONTROL REVIEW

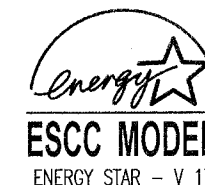
DEC. 04, 2020

FINAL BY: *ALL*
This stamp is only for the purposes of design
control and carries no other professional obligations.



It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
EAST GWILLIMBURY.



GLENWAY 2A
ENERGY STAR

5.		
4.		
3.	ENERGY STAR CHART	APR. 01/19
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

REGION
DESIGN
INC.

SHEET TITLE	
AREA CHARTS	
SCALE	NA
BY	ZMP
DATE	AUG 2017
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA	2683	PAGE No.	0
PROJECT	05-15-056			

PROJECT NAME	
TRINAR HALL HOMES INC	

Greenpark™

[illegible]

STRUDET INC.



FOR STRUCTURE ONLY

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FEB 15 2018

GLENWAY 2A

ENERGY STAR



PROJECT NAME
TRINAR HALL HOMES INC

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
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8700 DUFFERIN ST.
CONCORD, ONTARIO

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P (416) 736-4096
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REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN 1

SCALE
3/16"=1'-0"

DATE
AUG 2017

BY	ZMP
TYPE	

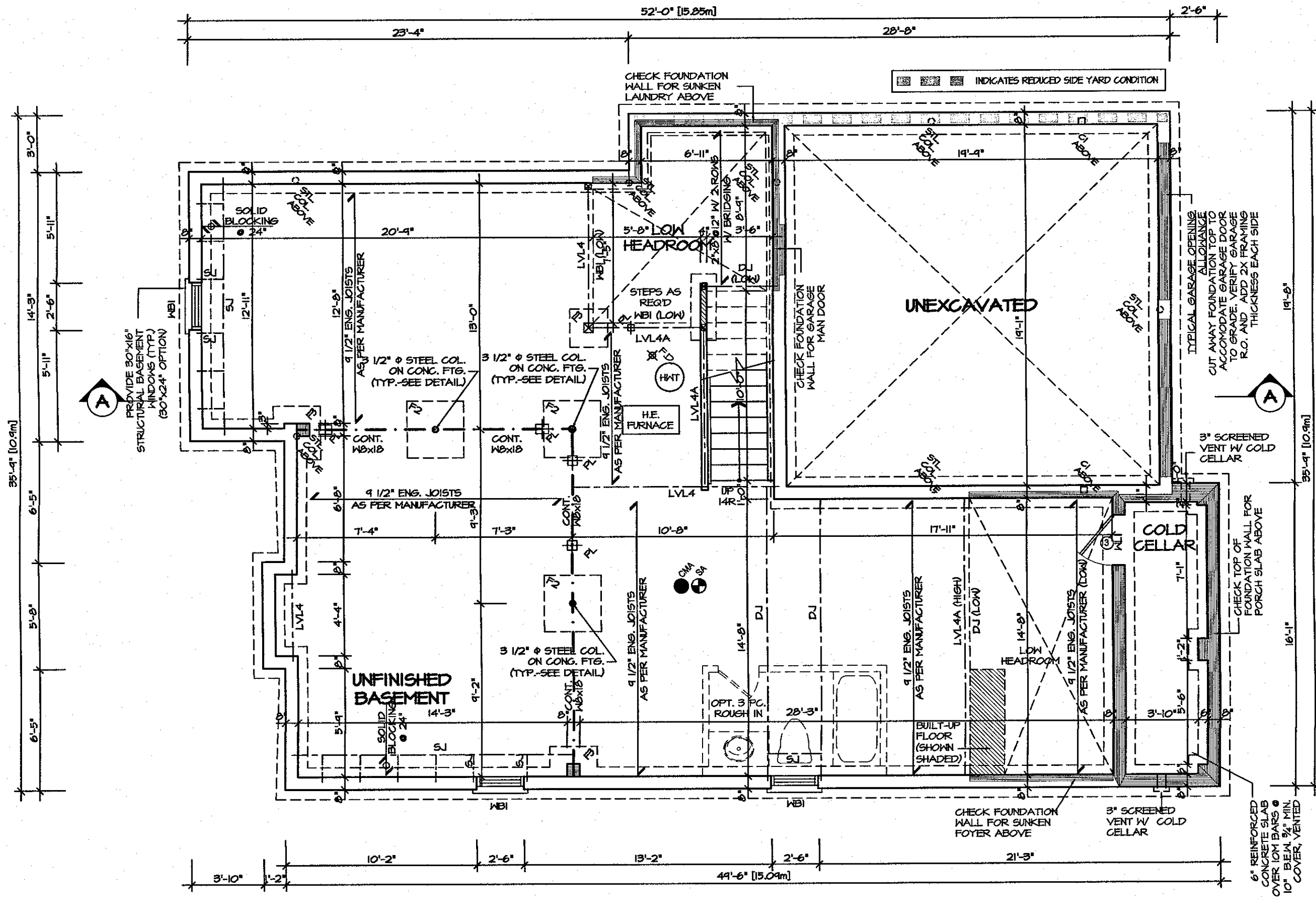
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED.

AREA	2683
PROJECT	05-15-0

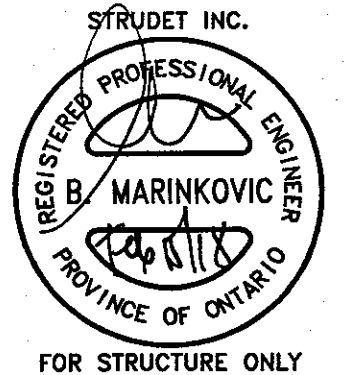
PAGE No. 1

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



BASEMENT PLAN 2



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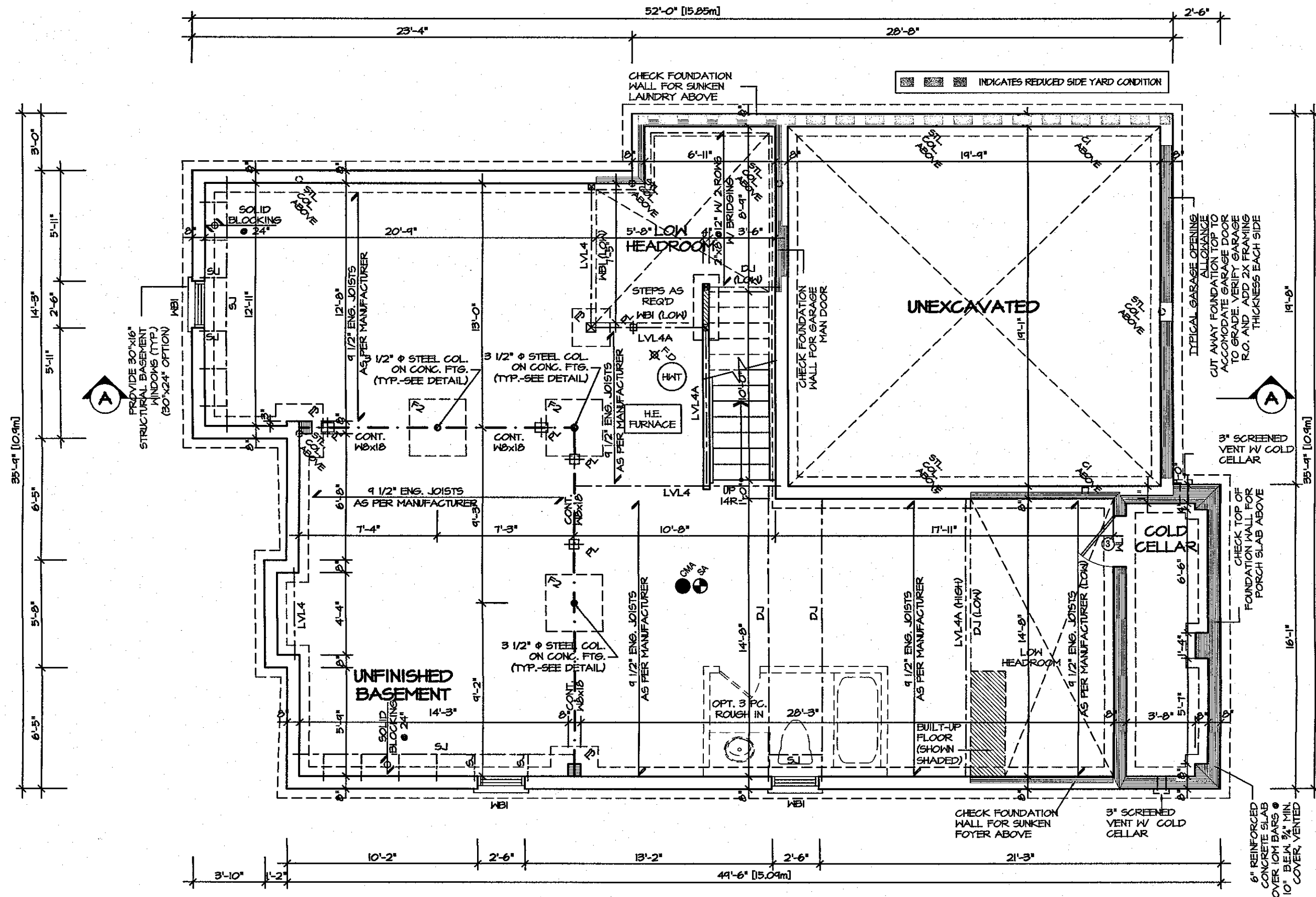
FEB 15 2018

GLENWAY 2A
 ENERGY STAR

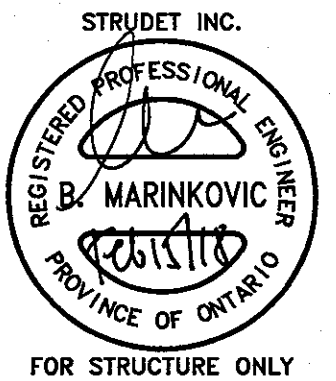
5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770 NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	SHEET TITLE BASEMENT PLAN 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark™ PROJECT NAME TRINAR HALL HOMES INC
4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 1-2	
3.					DATE AUG 2017	TYPE	PROJECT 05-15-056		
2.	ISSUED FOR COORDINATION SEP 2017								
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017								
REVISIONS									

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



BASEMENT PLAN 3



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

FEB 15 2018

GLENWAY 2A
ENERGY STAR

5.	
4.	
3.	
2.	ISSUED FOR COORDINATION SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
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REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
BASEMENT PLAN 3

SCALE
3/16"=1'-0"

DATE
AUG 2017

BY
ZMP

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2683

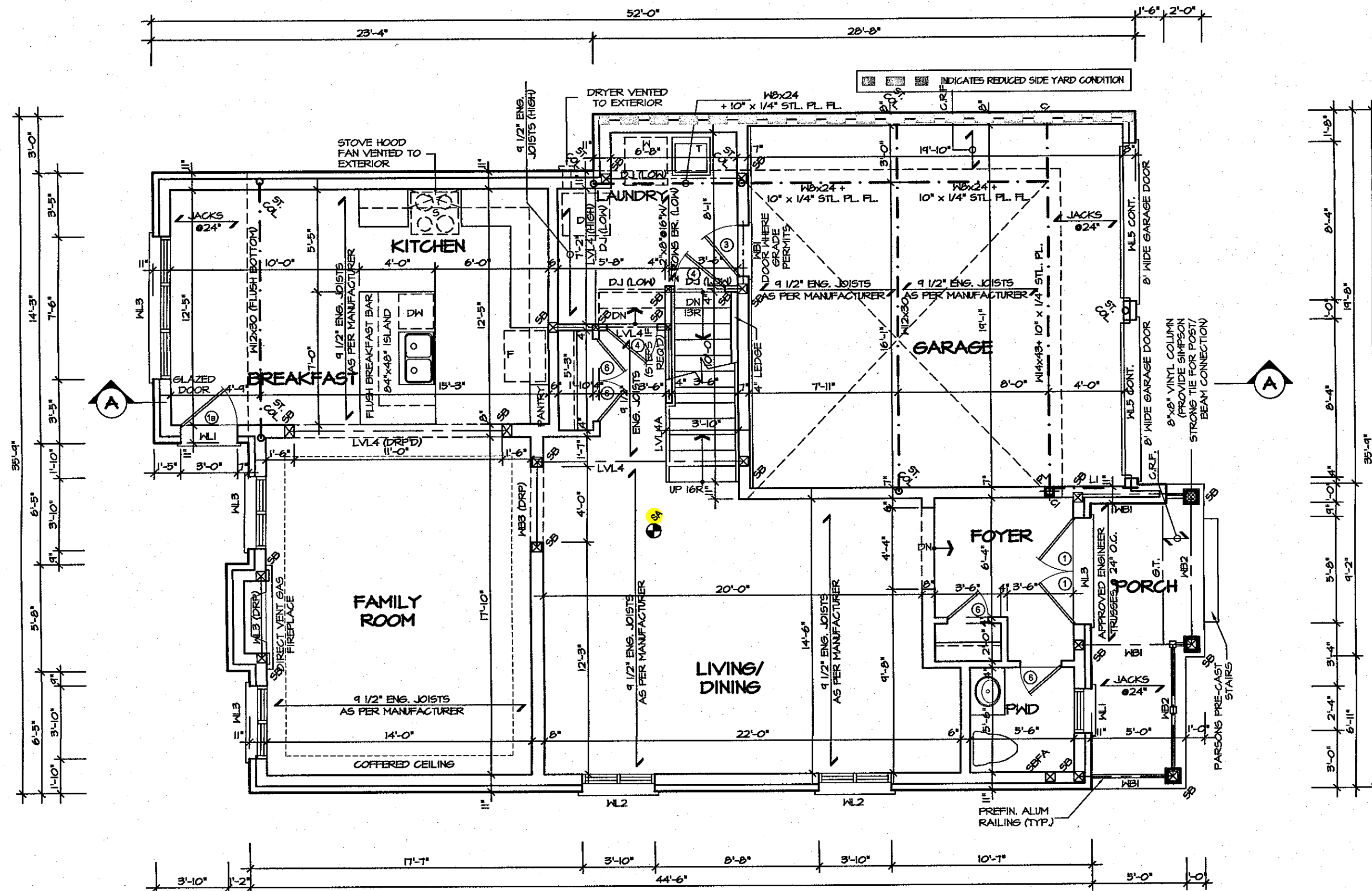
PROJECT
05-15-056

PAGE No.
1-3

PROJECT NAME
TRINAR HALL HOMES INC



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



GROUND FLOOR PLAN ELEV. I



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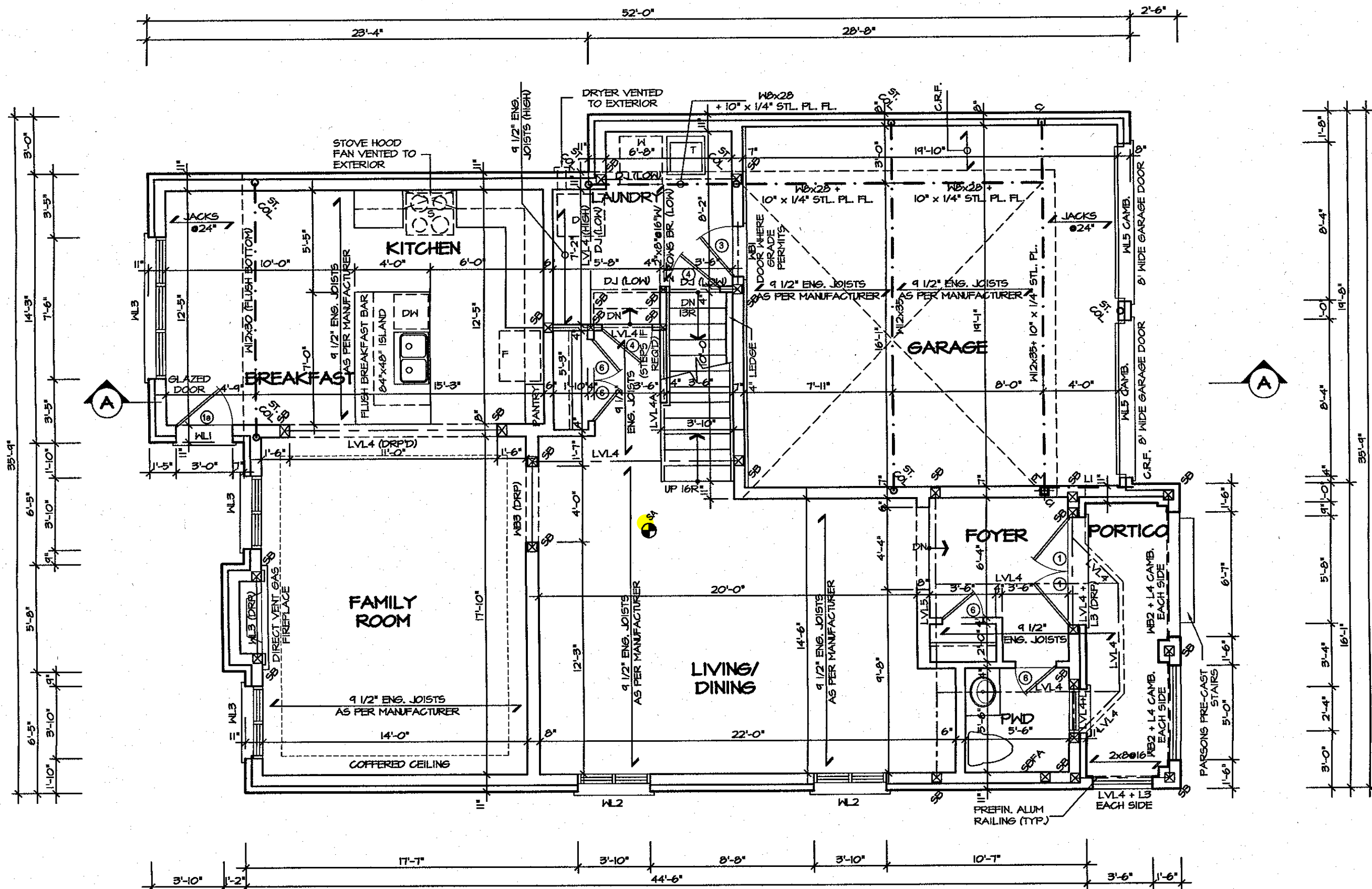
FEB 15 2018

GLENWAY 2A
ENERGY STAR

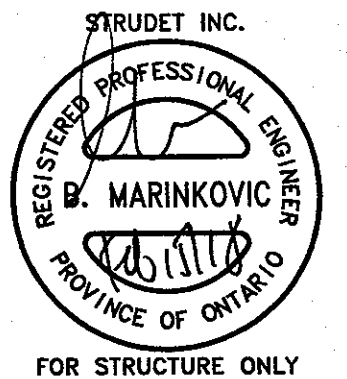
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4.					FIRST FLOOR PLAN 2					PROJECT NAME TRINAR HALL HOMES INC				
3.					SCALE	3/16"=1'-0"	BY	ZMP			AREA	2683	PAGE No.	2
2.	ISSUED FOR COORDINATION				SEP 2017	DATE	AUG 2017	TYPE				PROJECT	05-15-056	
1.	REVISED GLENWAY 2 FROM FARTHINGALE				AUG 2017									
REVISIONS														

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



GROUND FLOOR PLAN ELEV. 2



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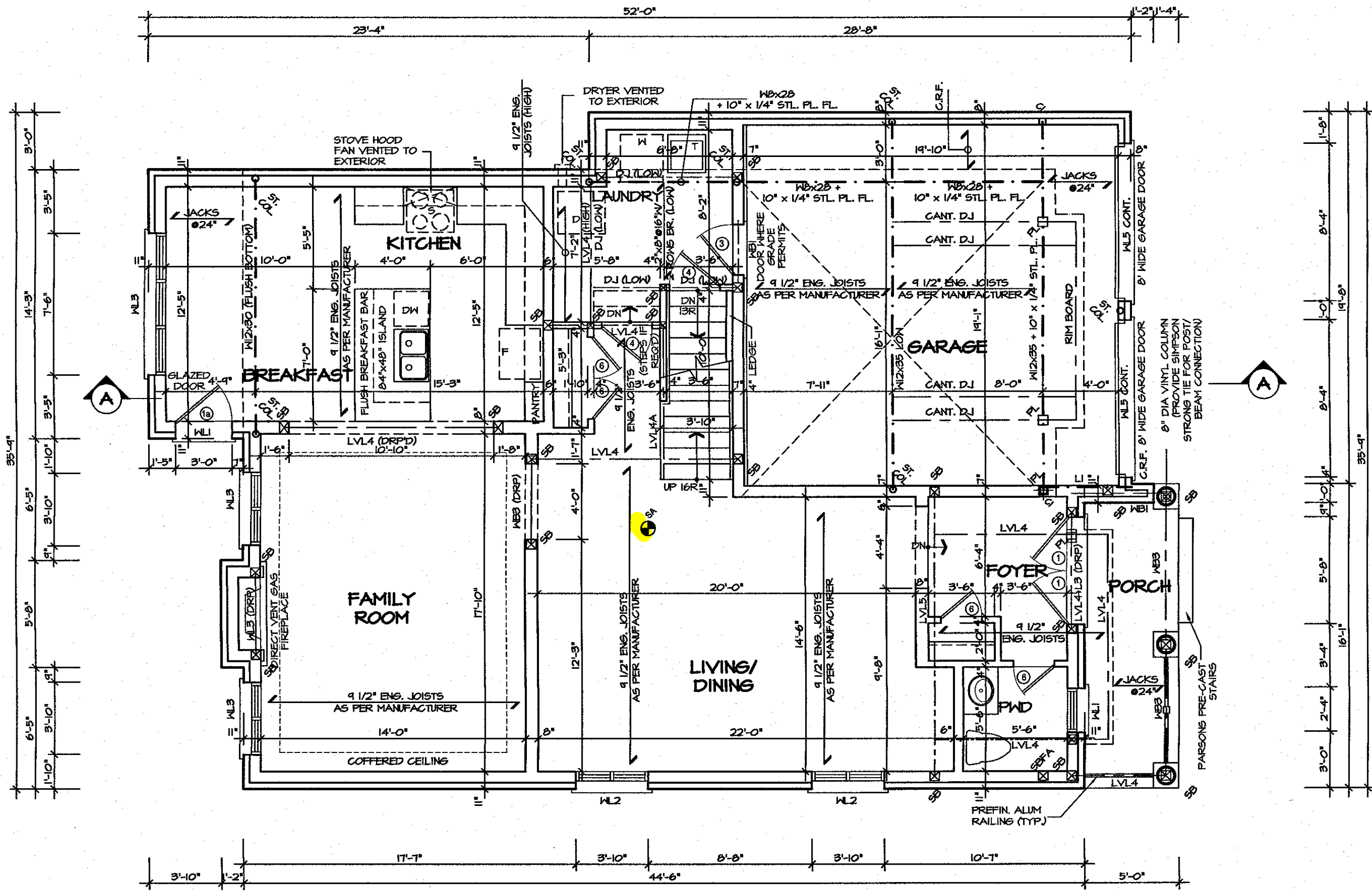
FEB 15 2018

GLENWAY 2A
 ENERGY STAR

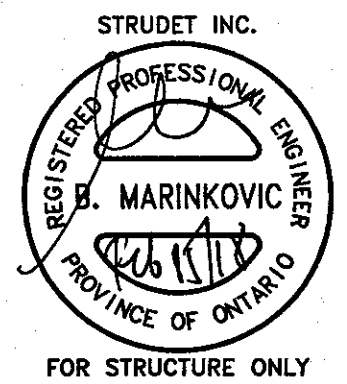
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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 2-2		PROJECT NAME TRINAR HALL HOMES INC
3.					DATE AUG 2017	TYPE	PROJECT 05-15-056			
2.	ISSUED FOR COORDINATION SEP 2017									
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017									
REVISIONS										

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



GROUND FLOOR PLAN ELEV. 3



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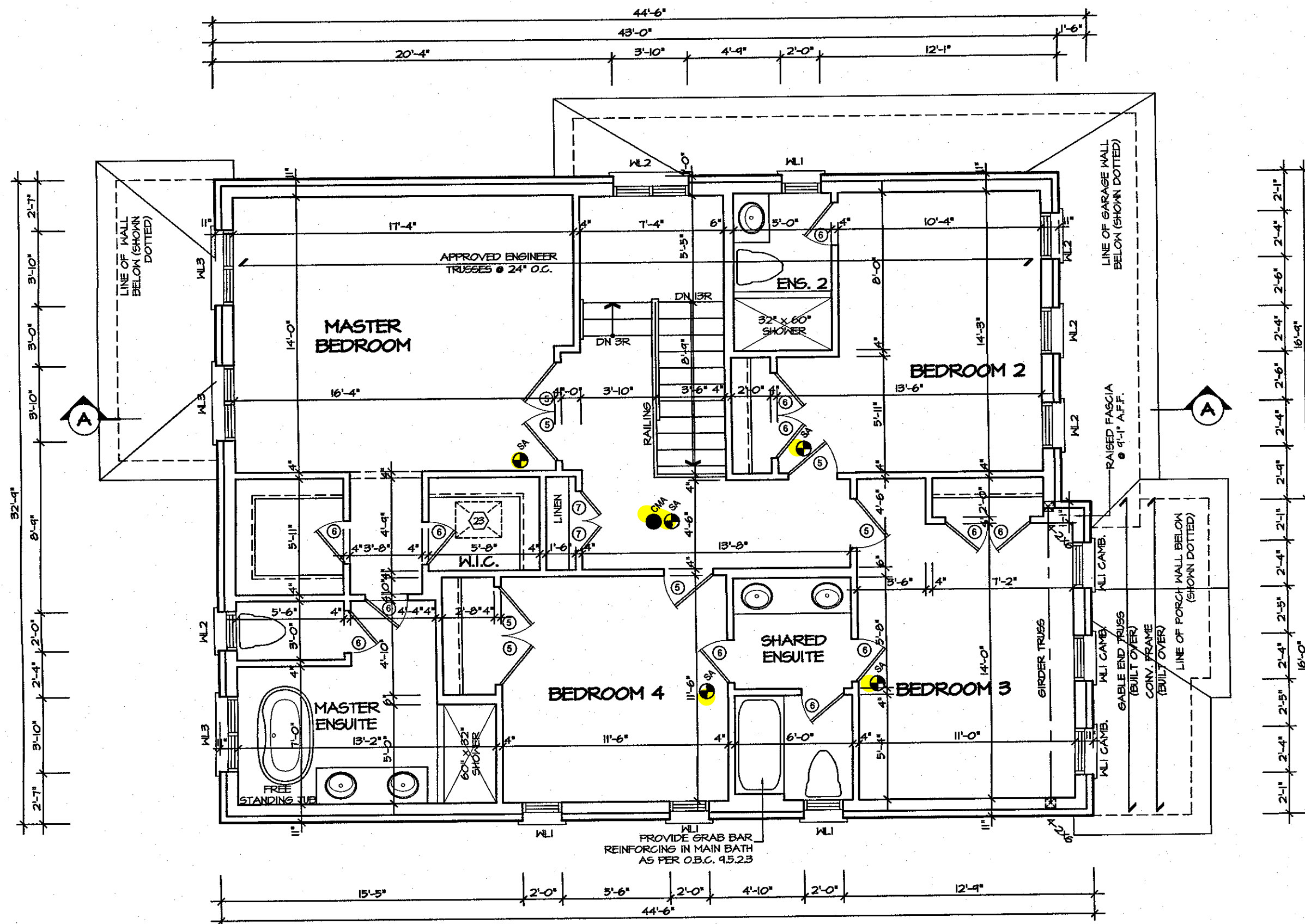
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GLENWAY 2A
 ENERGY STAR

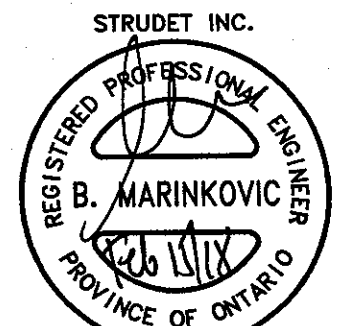
FEB 15 2018

<p>5. </p> <p>4. </p> <p>3. </p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4095</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>FIRST FLOOR PLAN 3</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2683</p> <p>PAGE No. 2-3</p>	<p>Greenpark</p> <p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



SECOND FLOOR PLAN ELEV. 1



FOR STRUCTURE ONLY

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FEB 15 2018

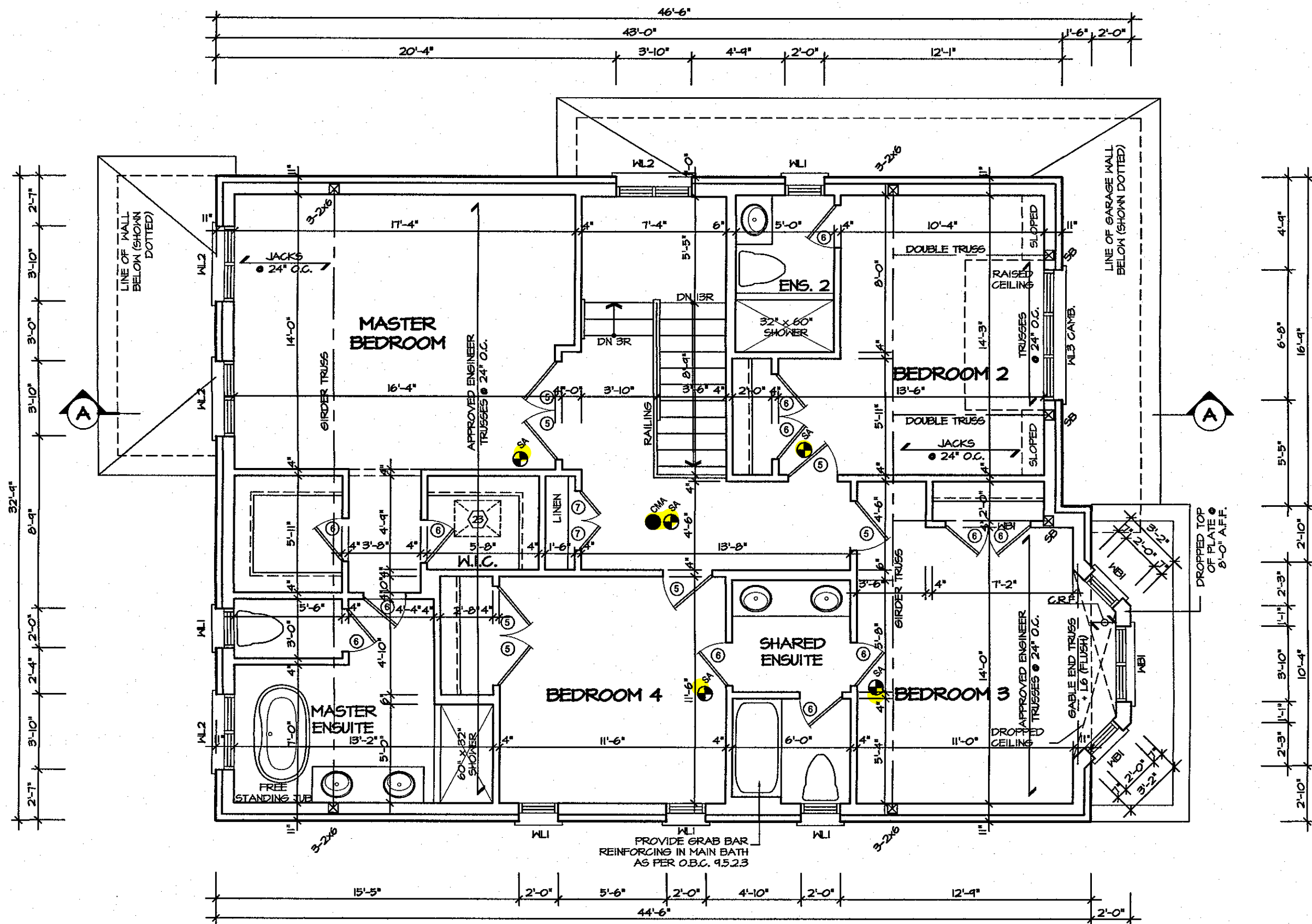
GLENWAY 2A

ENERGY STAR

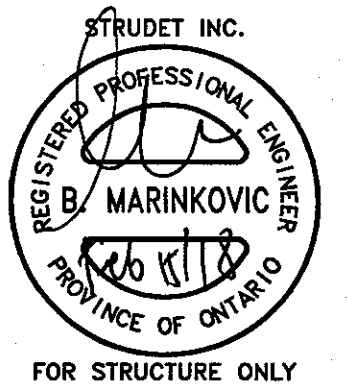
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4.					SECOND FLOOR PLAN 1					PROJECT NAME TRINAR HALL HOMES INC				
3.					SCALE	3/16"=1'-0"	BY	ZMP			AREA	2683	PAGE No.	3
2.	ISSUED FOR COORDINATION				SEP 2017	DATE	AUG 2017	TYPE			PROJECT	05-15-056		
1.	REVISED GLENWAY 2 FROM FARTHINGALE				AUG 2017									
REVISIONS														

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Discipline	Reviewer	BCN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



SECOND FLOOR PLAN ELEV. 2



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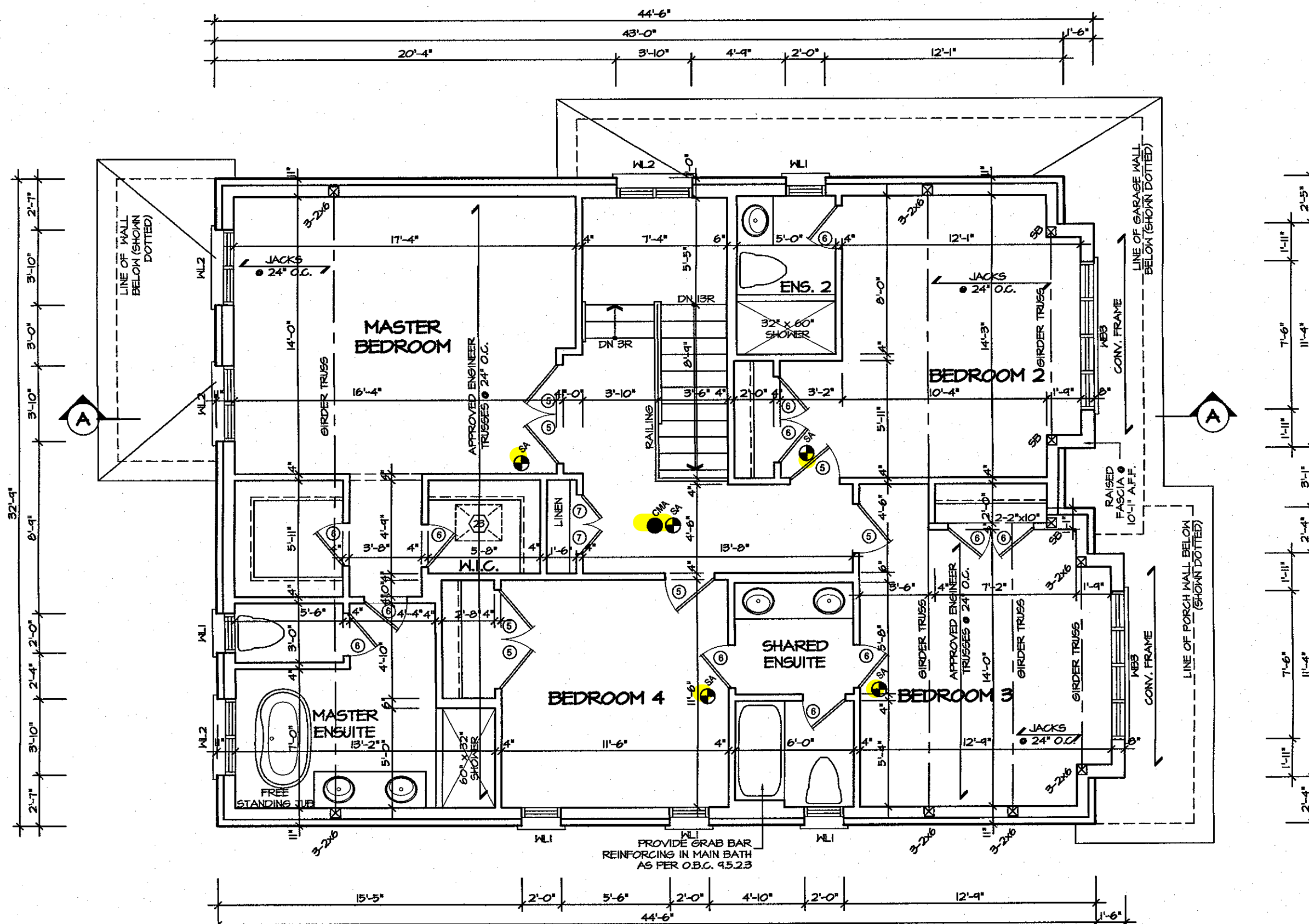
GLENWAY 2A

ENERGY STAR

FEB 15 2018

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770 NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p> <p>REGION DESIGN INC.</p>	<p>SHEET TITLE SECOND FLOOR PLAN 2</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2683</p> <p>PAGE No. 3-2</p> <p>PROJECT 05-15-056</p>	<p>Greenpark</p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



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SECOND FLOOR PLAN ELEV. 3

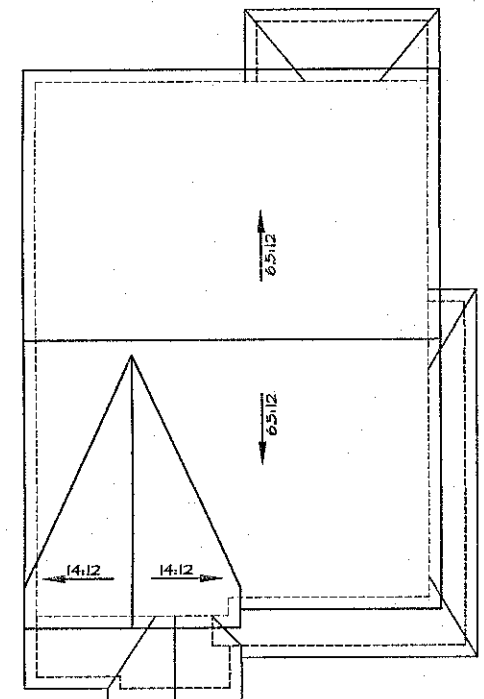
FEB 15 2018

GLENWAY 2A
ENERGY STAR

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4.						SECOND FLOOR PLAN 3					PAGE No. 3-3
3.						SCALE 3/16"=1'-0"	BY ZMP	AREA 2683			
2.	ISSUED FOR COORDINATION	SEP 2017				DATE AUG 2017	TYPE	PROJECT 05-15-056			
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017									
REVISIONS											

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



ROOF PLAN I
Scale: 1/16"=1'-0"



FRONT ELEVATION I

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: *W*
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APR 20 2018

GLENWAY 2A
ENERGY STAR

REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR COORDINATION	SEP 2017
1. REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017

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VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION 1
SCALE 3/16"=1'-0"
DATE AUG 2017
BY ZMP
TYPE
PROJECT 05-15-056

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

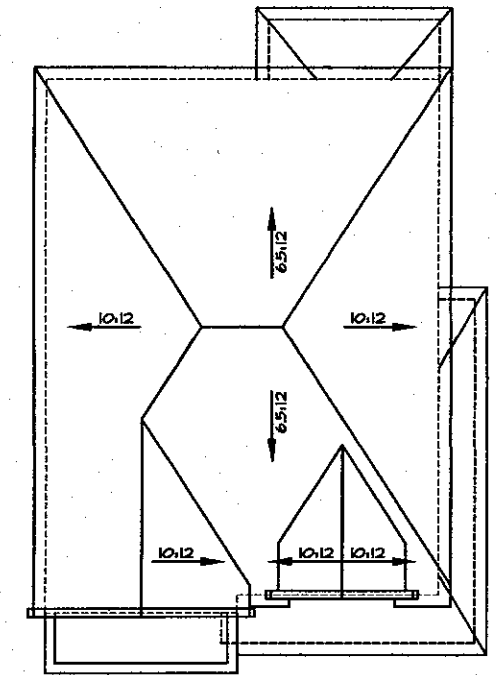
AREA 2683
PAGE No. 4

PROJECT NAME
TRINAR HALL HOMES INC

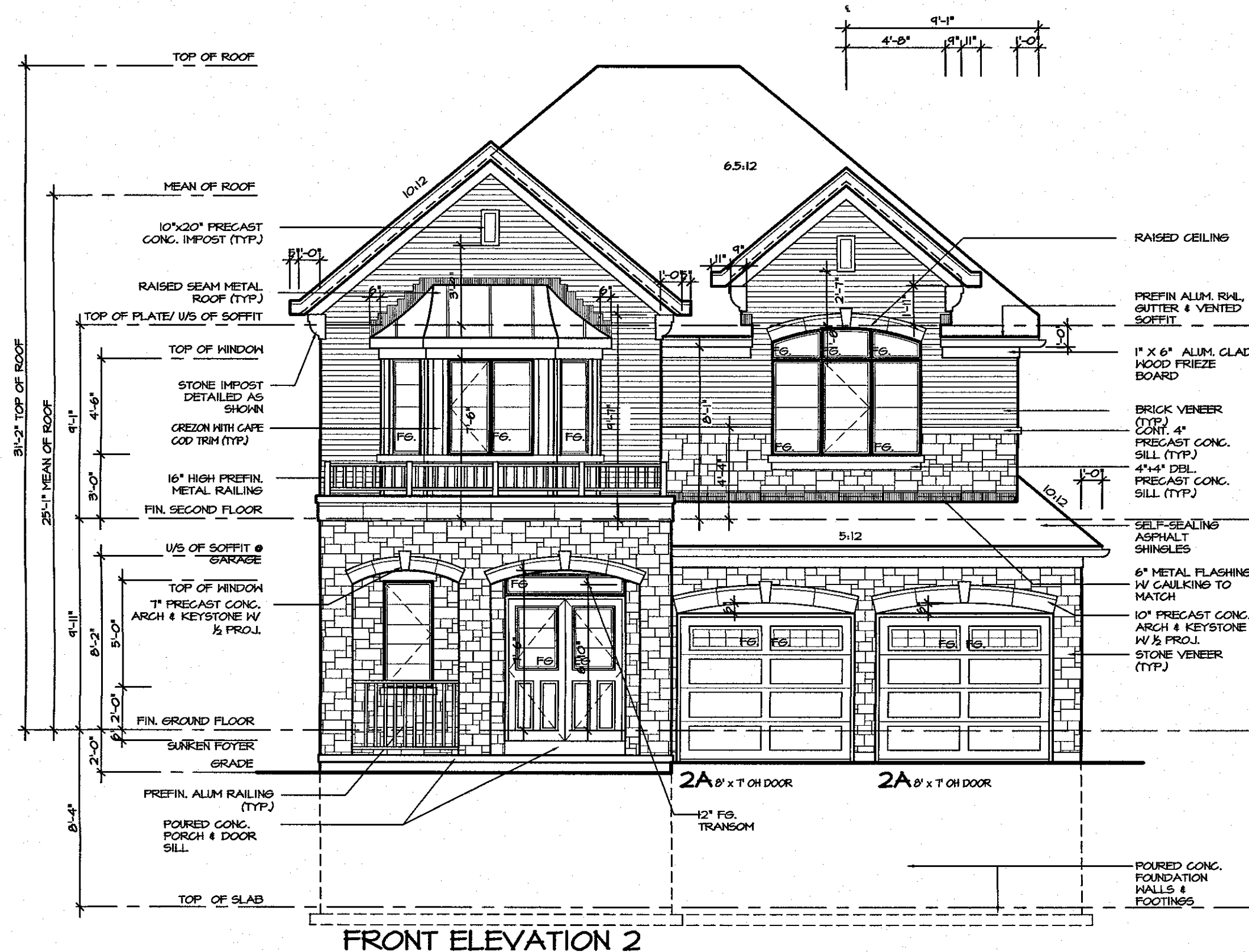
Greenpark™

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Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



ROOF PLAN 2
Scale: 1/16"=1'-0"



FRONT ELEVATION 2

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GLENWAY 2A
ENERGY STAR

FEB 15 2018

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

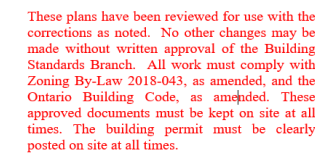
SHEET TITLE
FRONT ELEVATION 2
SCALE 3/16"=1'-0"
DATE AUG 2017

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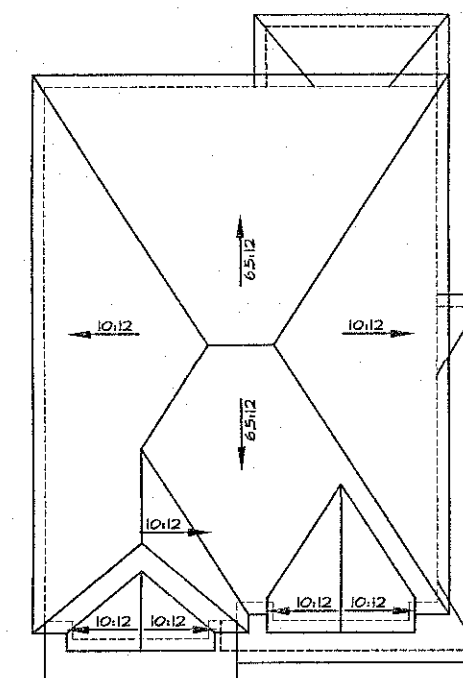
BY ZMP
TYPE
AREA 2683
PAGE No. 4-2
PROJECT 05-15-056

Greenpark™

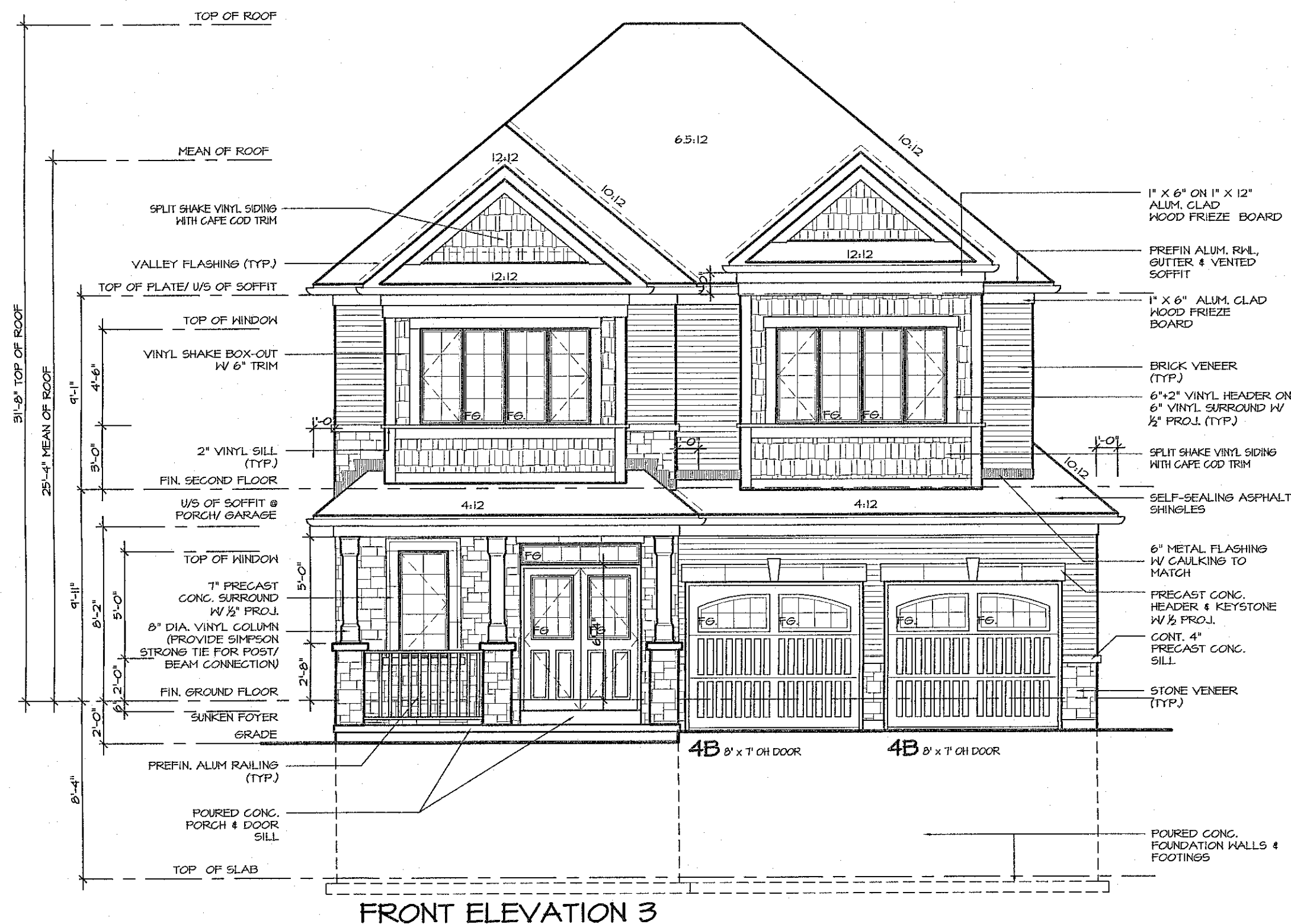
PROJECT NAME
TRINAR HALL HOMES INC



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02
Sewage System			
Zoning			



ROOF PLAN 3
Scale: 1/16"=1'-0"



W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
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GLENWAY 2A
ENERGY STAR

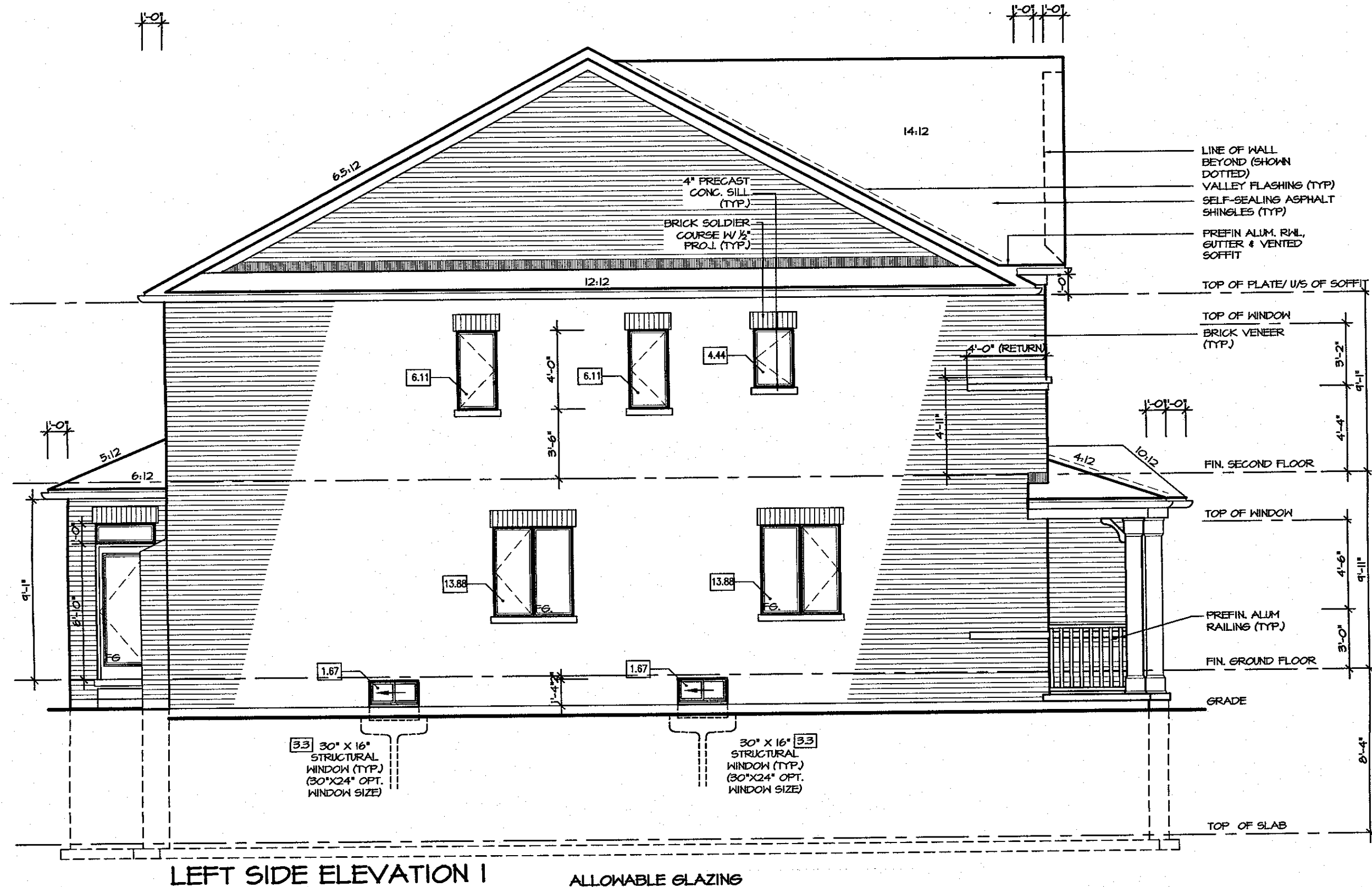
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4.					SCALE	3/16"=1'-0"	BY	ZMP	AREA	2683		PAGE No.		
3.					DATE	AUG 2017	TYPE		PROJECT	05-15-056		4-3		
2.	ISSUED FOR COORDINATION				SEP 2017									
1.	REVISED GLENWAY 2 FROM FARTHINGALE				AUG 2017									
REVISIONS														

PROJECT NAME		TRINAR HALL HOMES INC
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Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



LEFT SIDE ELEVATION 1

ALLOWABLE GLAZING	
WALL AREA	= 934 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M SIDE YARD	= 65.4 Sq. Ft.
ACTUAL GLAZED AREA	= 47.8 Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS, ACTUAL GLAZED AREA	= 51.0 Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W*
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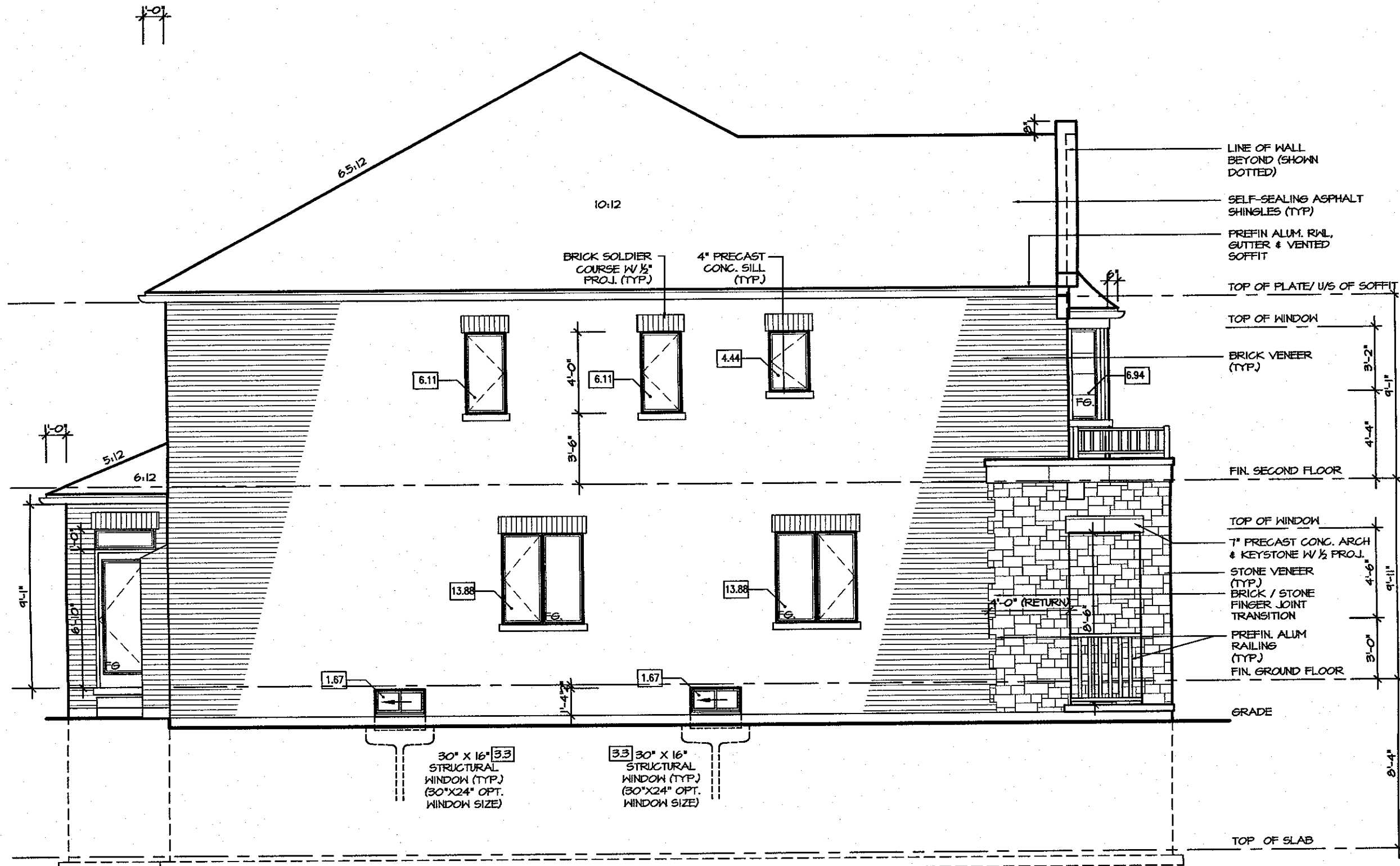
GLENWAY 2A
ENERGY STAR

FEB 15 2018

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>LEFT SIDE ELEVATION 1</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2683</p> <p>PROJECT 05-15-056</p> <p>PAGE No. 5</p>	<p>Greenpark</p> <p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC</p>
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Sewage System			
Zoning			



LEFT SIDE ELEVATION 2

ALLOWABLE GLAZING

WALL AREA	=	948	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% I.2 M SIDE YARD	=	66.4	Sq. Ft.
ACTUAL GLAZED AREA	=	54.7	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS - ACTUAL GLAZED AREA	=	57.9	Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W*
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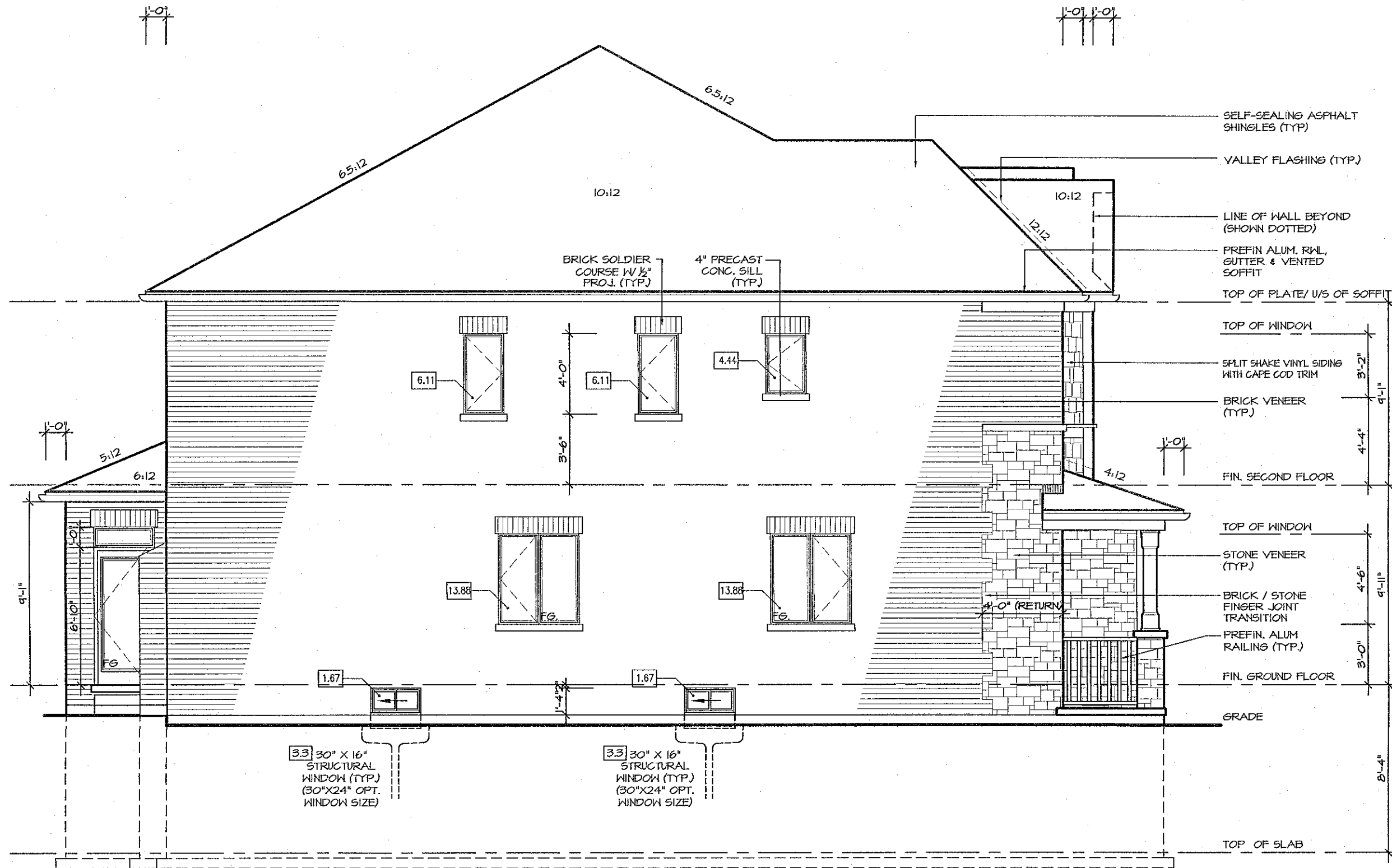
GLENWAY 2A
ENERGY STAR

FEB 15 2018

<p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></p> <p>VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>LEFT SIDE ELEVATION 2</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2683</p> <p>PAGE No. 5-2</p> <p>PROJECT 05-15-056</p>	<p>Greenpark</p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



LEFT SIDE ELEVATION 3

ALLOWABLE GLAZING	
WALL AREA	= 935 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M	= 65.5 Sq. Ft.
SIDE YARD	= 47.8 Sq. Ft.
ACTUAL GLAZED AREA	= 51.0 Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA	

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W*
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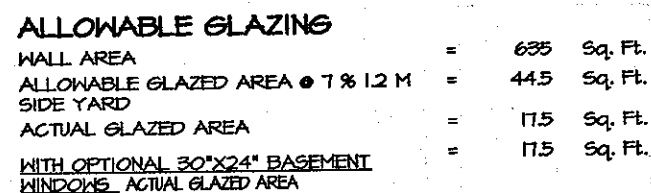
GLENWAY 2A

APR 20 2018

ENERGY STAR

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4.								
3.								
2.	ISSUED FOR COORDINATION SEP 2017							
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017							
REVISIONS								

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: ACE
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GLENWAY 2A

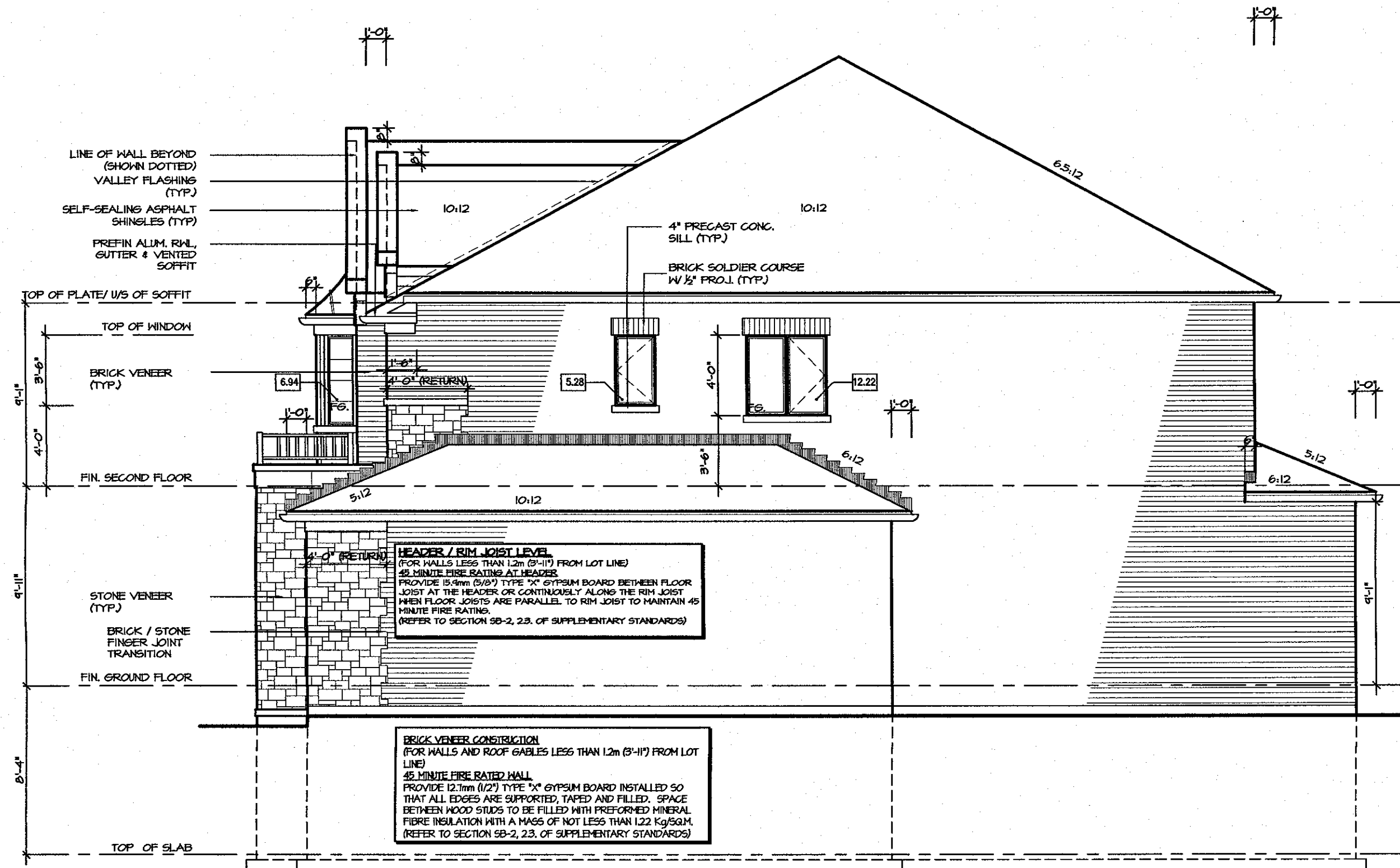
FEB 15 2018

ENERGY STAR

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4.						RIGHT SIDE ELEVATION 1				
3.						SCALE	BY	AREA	PAGE No.	
2.	ISSUED FOR COORDINATION	SEP 2017				3/16"=1'-0"	ZMP	2683	6	
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017				DATE	TYPE	PROJECT 05-15-056		
REVISIONS										

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



RIGHT SIDE ELEVATION 2

ALLOWABLE GLAZING	
WALL AREA	= 638 Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	= 44.7 Sq. Ft.
ACTUAL GLAZED AREA	= 24.4 Sq. Ft.
WITH OPTIONAL 30'X24' BASEMENT WINDOWS, ACTUAL GLAZED AREA	= 24.4 Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *ACE*
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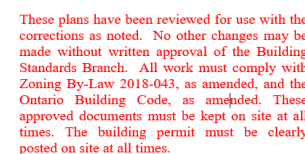
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

GLENWAY 2A

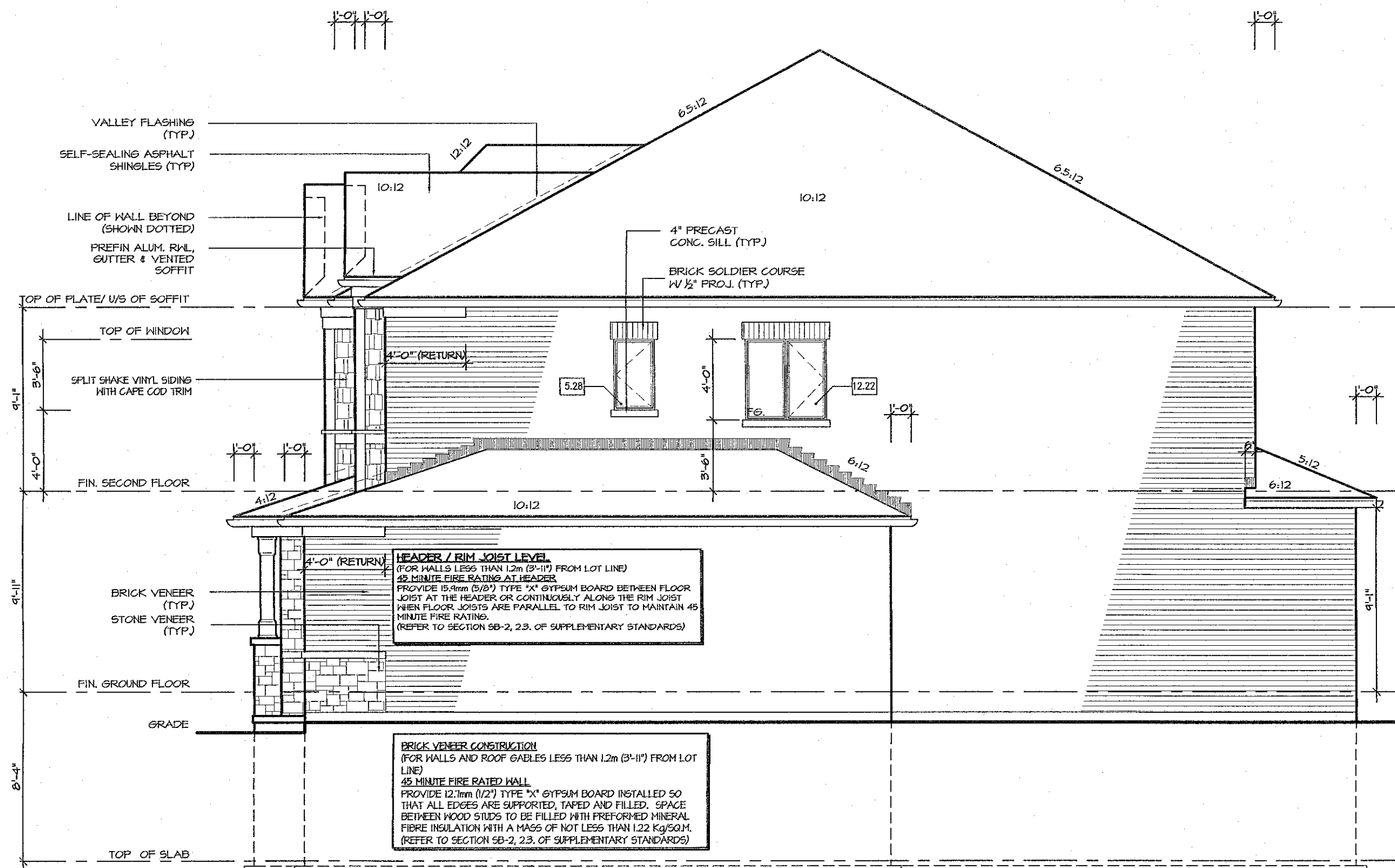
FEB 15 2018

ENERGY STAR

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017</p> <p style="text-align: center;">REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p style="text-align: center;">QUALIFICATION INFORMATION <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></p> <p>VIKAS GAJJAR  28770 NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4086 F (905) 660-0746</p> <p style="text-align: center;">REGION DESIGN INC.</p>	<p>SHEET TITLE RIGHT SIDE ELEVATION 2</p> <p>SCALE 3/16"=1'-0" BY ZMP</p> <p>DATE AUG 2017 TYPE _____</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2683 PAGE No. 6-2</p> <p>PROJECT 05-15-056</p>	<p style="text-align: center;"></p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-02
Sewage System			
Zoning			



ALLOWABLE GLAZING

WALL AREA	=	640	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	44.8	Sq. Ft.
ACTUAL GLAZED AREA	=	17.5	Sq. Ft.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA</u>	=	17.5	Sq. Ft.

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: ACE
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APR 20 2018

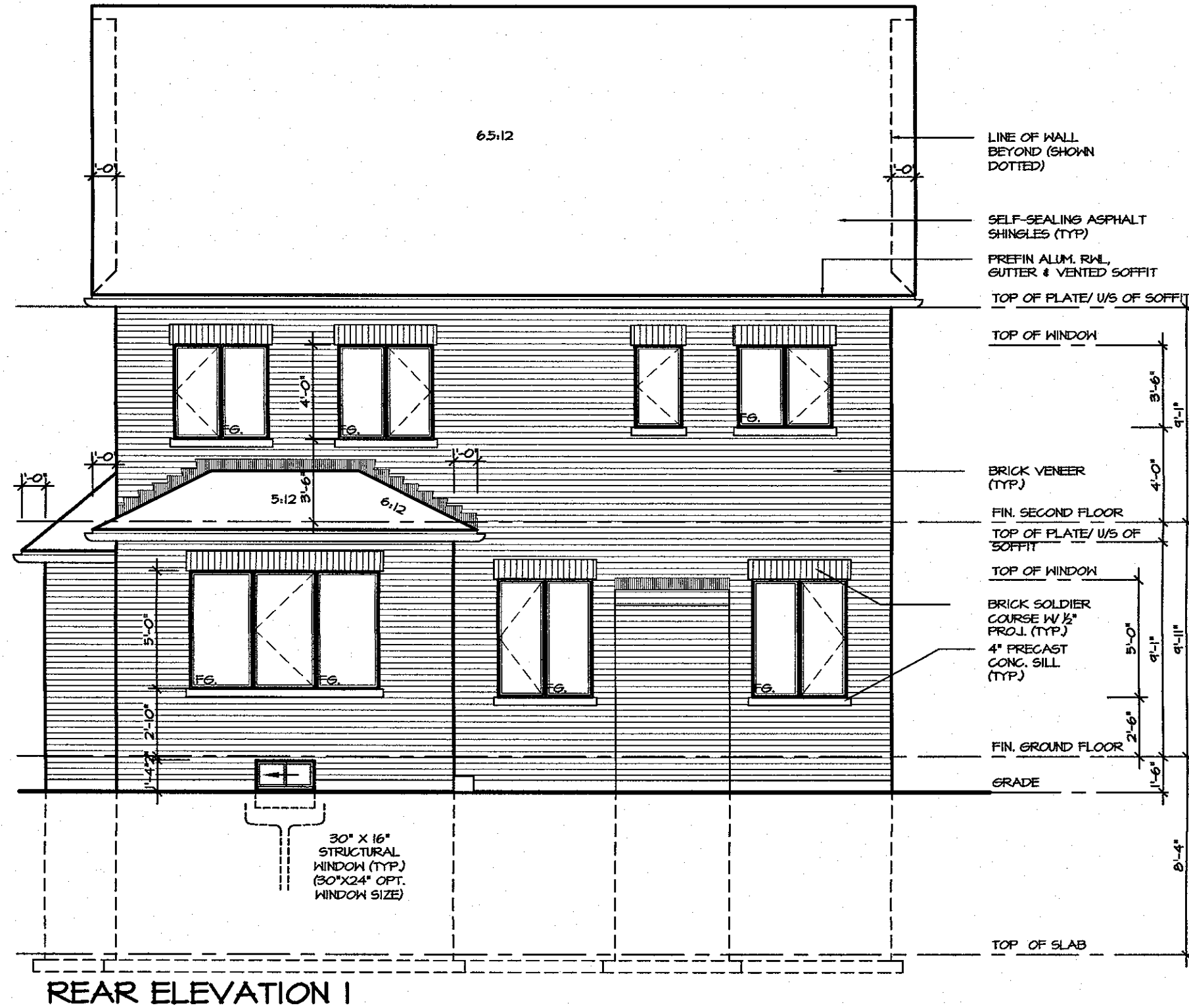
GLENWAY 2A

ENERGY STAR

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4.					RIGHT SIDE ELEVATION 3				
3.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 6-3	
2.	ISSUED FOR COORDINATION SEP 2017				DATE AUG 2017	TYPE	PROJECT 05-15-056		
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017								
REVISIONS									

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
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FEB 15 2018

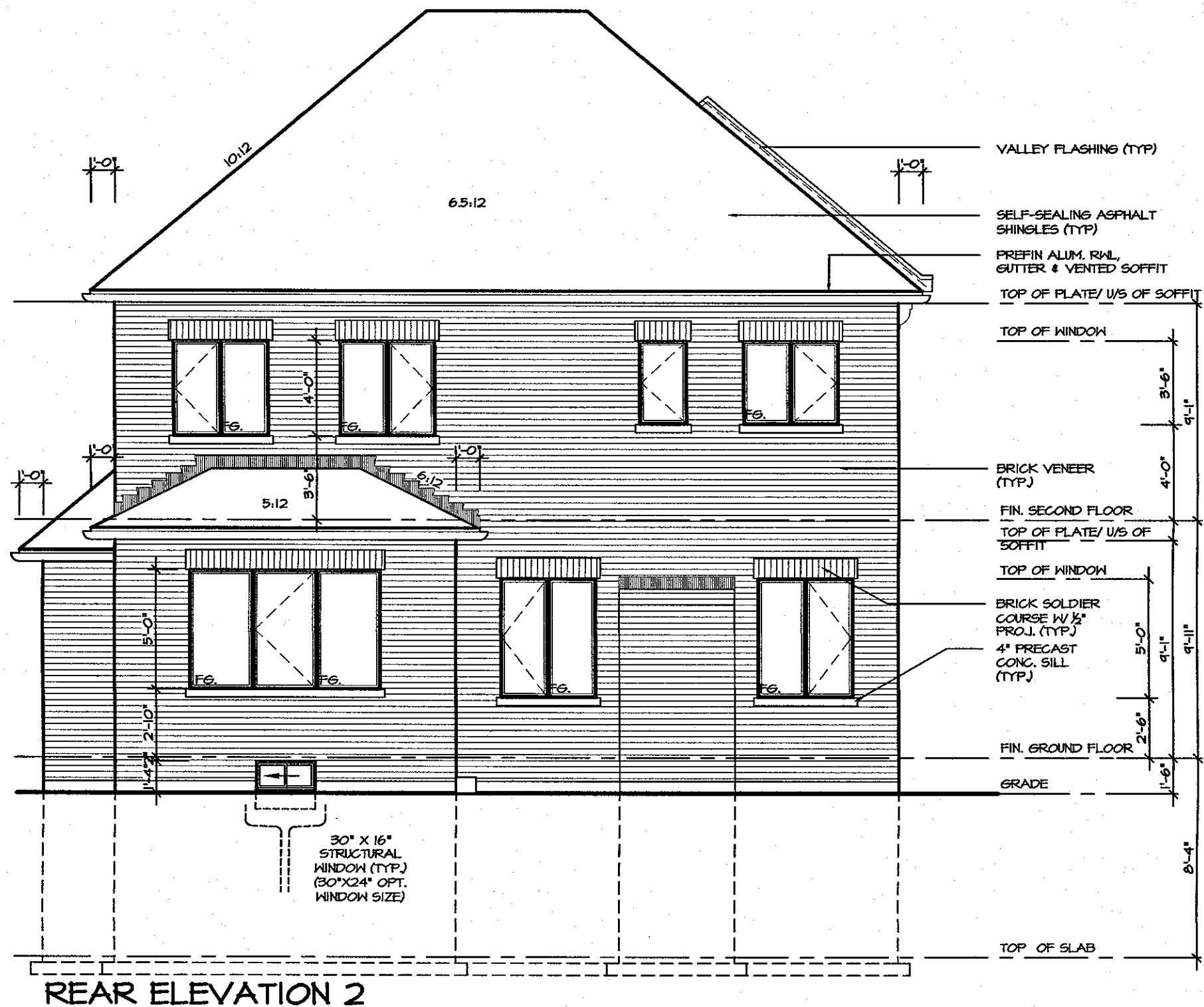
GLENWAY 2A

ENERGY STAR

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 7
3.					DATE AUG 2017	TYPE	PROJECT 05-15-056	
2.	ISSUED FOR COORDINATION				SEP 2017			
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017				PROJECT NAME TRINAR HALL HOMES INC		
REVISIONS			VIKAS GAJJAR NAME SIGNATURE 28770 BCIN					

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W.A.*
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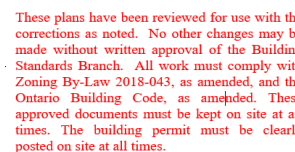
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GLENWAY 2A
 ENERGY STAR

FEB 15 2018

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4.						SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 7-2		PROJECT NAME TRINAR HALL HOMES INC	
3.						DATE AUG 2017	TYPE	PROJECT 05-15-056				
2.	ISSUED FOR COORDINATION	SEP 2017				REVISIONS						
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017										



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



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FEB 15 2018

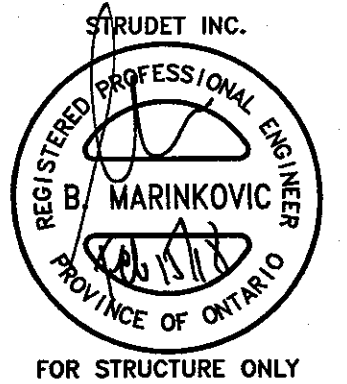
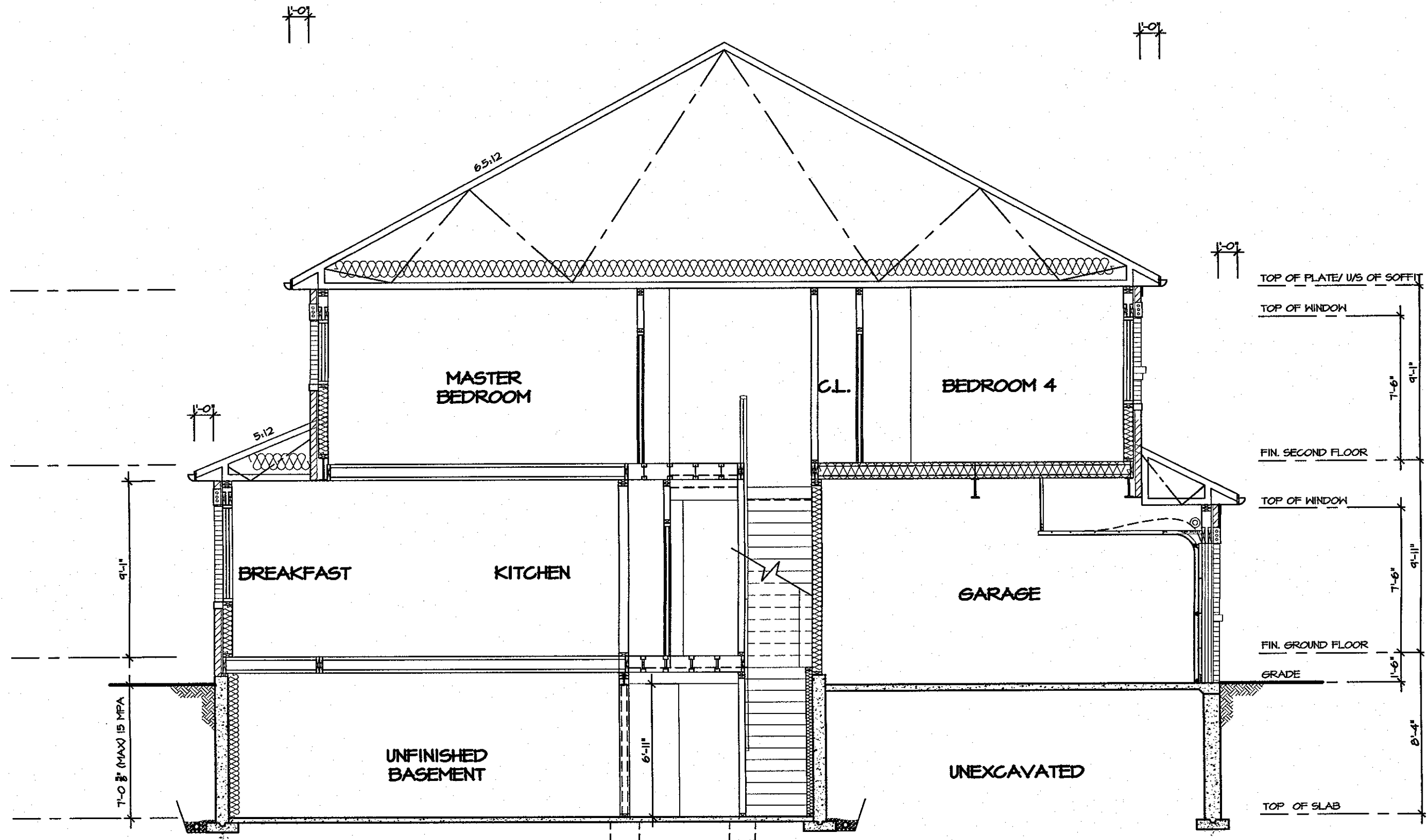
GLENWAY 2A

ENERGY STAR

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 7-3	
3.					DATE AUG 2017	TYPE	PROJECT 05-15-056		
2.	ISSUED FOR COORDINATION				SEP 2017				
1.	REVISED GLENWAY 2 FROM FARTHINGALE				AUG 2017				
REVISIONS									

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



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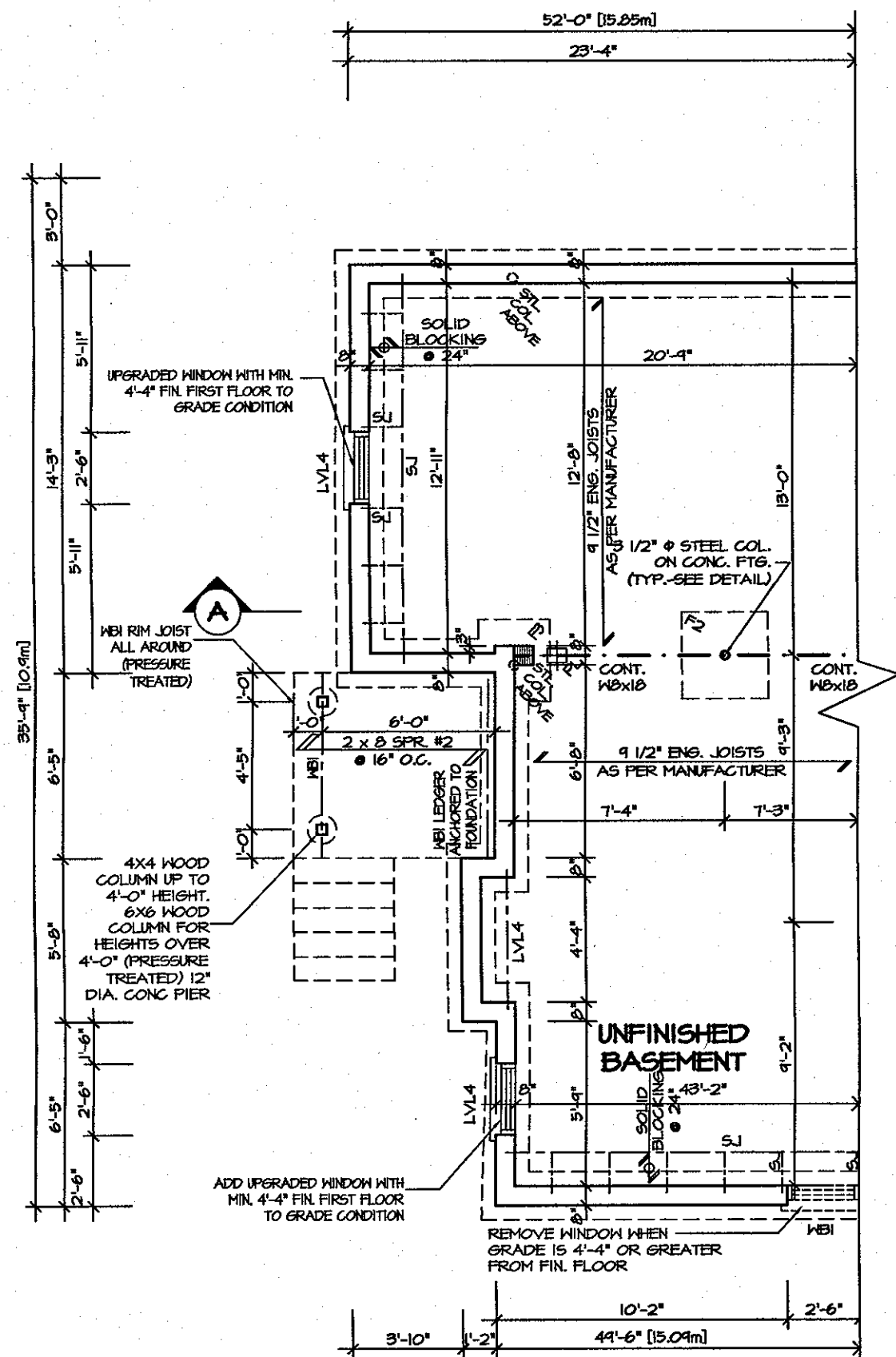
SECTION A-A

GLENWAY 2A
 ENERGY STAR

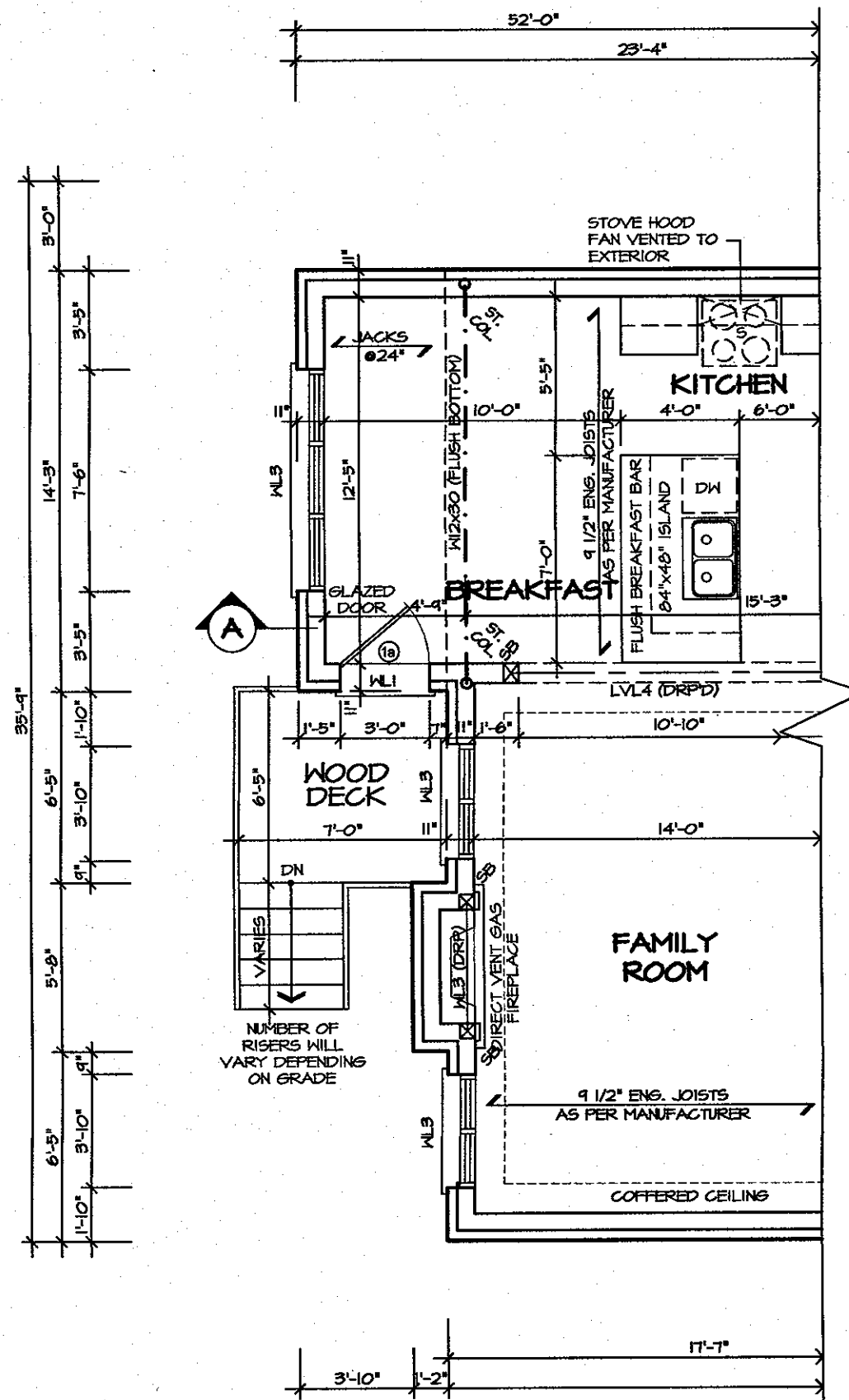
FEB 15 2018

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 2683	PAGE No. 8	
3.					DATE AUG 2017	TYPE	PROJECT 05-15-056		
2.	ISSUED FOR COORDINATION SEP 2017								
1.	REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017								
REVISIONS									

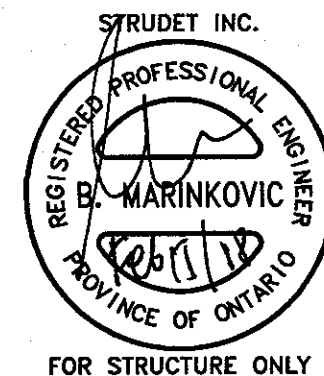
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



PARTIAL BASEMENT PLAN FOR DECK CONDITION



PARTIAL FIRST FLOOR PLAN
FOR DECK CONDITION



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GLENWAY 2A
ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 2 FROM FARTHINGALE	AUG 2017
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

R D I REGION DESIGN INC.

SHEET TITLE
**PARTIAL PLANS
FOR DECK CONDITION**

SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER
PRINTS ARE NOT TO BE SCALED

AREA 2683	PAGE No. 9
PROJECT 05-15-056	

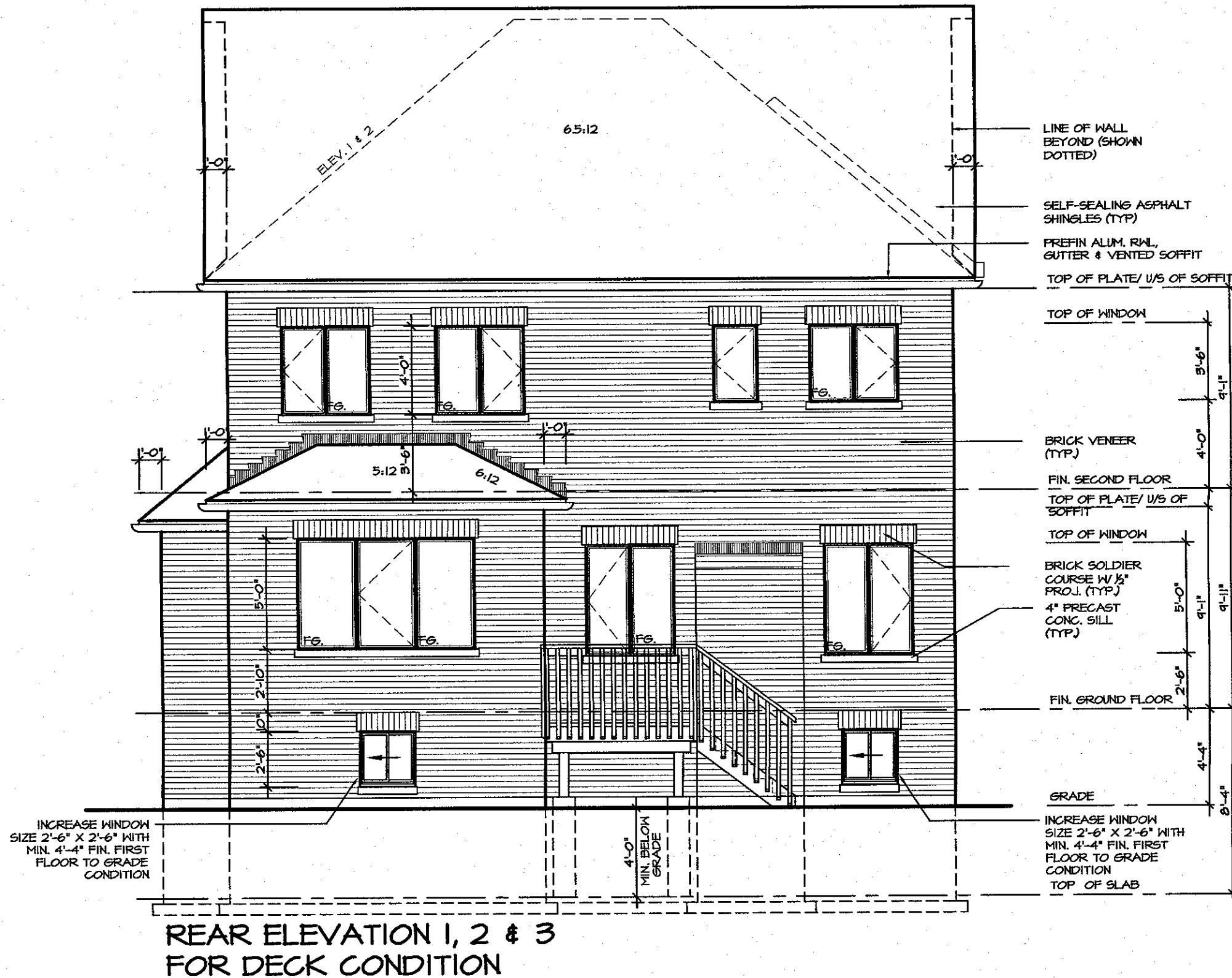


Greenpark™

PROJECT NAME
TRINAR HALL HOMES INC

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-08
Sewage System			
Zoning			



W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *ACE*
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FEB 15 2018

GLENWAY 2A
 ENERGY STAR

5. 4. 3. 2. ISSUED FOR COORDINATION SEP 2017 1. REVISED GLENWAY 2 FROM FARTHINGALE AUG 2017 REVISIONS	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR <i>[Signature]</i> 28770 NAME SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE FOR DECK CONDITION REAR ELEVATION SCALE 3/16"=1'-0" DATE AUG 2017	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. BY ZMP AREA 2683 PROJECT 05-15-056 PAGE No. 9-2	 PROJECT NAME TRINAR HALL HOMES INC
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