

# STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

# PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD F6 = 12"x12"x8" CONCRETE PAD  
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.  
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

# BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.OL) + 2-2"x8" SPR. No.2  
WL2 = 4'-3"x3'-1/2"x5/16" (100x90x8.OL) + 2-2"x8" SPR. No.2  
WL3 = 5'-3"x3'-1/2"x5/16" (125x90x8.OL) + 2-2"x10" SPR. No.2  
WL4 = 6'-3"x3'-1/2"x3/8" (150x90x10.OL) + 2-2"x12" SPR. No.2  
WL5 = 6'-4"x3'-1/2"x3/8" (150x100x10.OL) + 2-2"x12" SPR. No.2  
WL6 = 5'-3"x3'-1/2"x5/16" (125x90x8.OL) + 2-2"x12" SPR. No.2  
WL7 = 5'-3"x3'-1/2"x5/16" (125x90x8.OL) + 3-2"x10" SPR. No.2  
WL8 = 5'-3"x3'-1/2"x5/16" (125x90x8.OL) + 3-2"x12" SPR. No.2  
WL9 = 6'-4"x3'-1/2"x3/8" (150x100x10.OL) + 3-2"x12" SPR. No.2

# WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

# LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

# LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.OL)  
L2 = 4'-3"x3'-1/2"x5/16" (100x90x8.OL)  
L3 = 5'-3"x3'-1/2"x5/16" (125x90x8.OL)  
L4 = 6'-3"x3'-1/2"x3/8" (150x90x10.OL)  
L5 = 6'-4"x3'-1/2"x3/8" (150x100x10.OL)  
L6 = 7'-4"x3'-1/2"x3/8" (175x100x10.OL)

# DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR  
1a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS  
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR  
3 = 2'-8" x 6'-8" (815x2033x45) - EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1-3/4" (815x2033x35) - INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR  
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

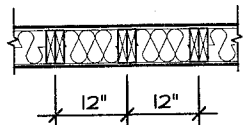
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

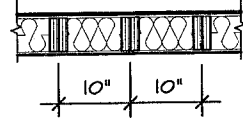
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT C/M SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

# TWO STORY HEIGHT WALL DETAIL

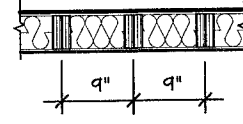
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 15E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/M  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

# TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 15E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/M  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS  
40'-0"

# TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.  
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA.  
ANCHOR BOLTS  
C2 = 5"x5"x1/4" H.S.S.  
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA.  
ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN  
= 35 kNm

# TOWN OF EAST GWILLIMBURY BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN  
REVIEWED FOR COMPLIANCE WITH  
THE ZONING BY-LAW 2018-043, AS  
AMENDED

FOR Model Review

BY cfooster

DATE 21/01/2021

# AREA CALCULATIONS

|                          | ELEV. 1        |
|--------------------------|----------------|
| GROUND FLOOR AREA        | = 1330 Sq. Ft. |
| SECOND FLOOR AREA        | = 1536 Sq. Ft. |
| TOTAL FLOOR AREA         | = 2866 Sq. Ft. |
|                          | 266.26 Sq. M.  |
| 1ST FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| 2ND FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| ADD TOTAL OPEN AREAS     | = 0 Sq. Ft.    |
| ADD FIN. BASEMENT AREA   | = 0 Sq. Ft.    |
| GROSS FLOOR AREA         | = 2866 Sq. Ft. |
|                          | 266.26 Sq. M.  |
| GROUND FLOOR COVERAGE    | = 1330 Sq. Ft. |
| GARAGE COVERAGE / AREA   | = 391 Sq. Ft.  |
| PORCH COVERAGE / AREA    | = 102 Sq. Ft.  |
| TOTAL COVERAGE W/ PORCH  | = 1823 Sq. Ft. |
|                          | 169.36 Sq. M.  |
| TOTAL COVERAGE W/O PORCH | = 1721 Sq. Ft. |
|                          | 159.89 Sq. M.  |

# AREA CALCULATIONS

|                          | ELEV. 3        |
|--------------------------|----------------|
| GROUND FLOOR AREA        | = 1330 Sq. Ft. |
| SECOND FLOOR AREA        | = 1539 Sq. Ft. |
| TOTAL FLOOR AREA         | = 2869 Sq. Ft. |
|                          | 266.54 Sq. M.  |
| 1ST FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| 2ND FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| ADD TOTAL OPEN AREAS     | = 0 Sq. Ft.    |
| ADD FIN. BASEMENT AREA   | = 0 Sq. Ft.    |
| GROSS FLOOR AREA         | = 2869 Sq. Ft. |
|                          | 266.54 Sq. M.  |
| GROUND FLOOR COVERAGE    | = 1330 Sq. Ft. |
| GARAGE COVERAGE / AREA   | = 391 Sq. Ft.  |
| PORCH COVERAGE / AREA    | = 58 Sq. Ft.   |
| TOTAL COVERAGE W/ PORCH  | = 1779 Sq. Ft. |
|                          | 165.21 Sq. M.  |
| TOTAL COVERAGE W/O PORCH | = 1721 Sq. Ft. |
|                          | 159.89 Sq. M.  |

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT  
SHALL CONFORM TO THE FOLLOWING

# ENERGY STAR V-17

| COMPONENT  | NOTE  |
|--|---|
| CEILING WITH ATTIC SPACE<br>MINIMUM RSI (R) VALUE                        | 10.56<br>(R60)  |
| CEILING WITHOUT ATTIC SPACE<br>MINIMUM RSI (R) VALUE                     | 5.46<br>(R31)   |
| EXPOSE FLOOR<br>MINIMUM RSI (R) VALUE                                    | 5.46<br>(R31)   |
| WALLS ABOVE GRADE<br>MINIMUM RSI (R) VALUE                               | 4.75<br>(R22+R5)  |
| BASEMENT WALLS<br>MINIMUM RSI (R) VALUE                                  | 3.52<br>(R20 BLANKET)   |
| EDGE OF BELOW GRADE SLAB<br>≤ 600mm BELOW GRADE<br>MINIMUM RSI (R) VALUE | 1.76<br>(R10)   |
| SLAB ≤ 600mm BELOW GRADE<br>MINIMUM RSI (R) VALUE                        | 1.76<br>(R10)   |
| WINDOWS & SLIDING GLASS DOORS<br>MAXIMUM U-VALUE                         | ENERGY STAR ® ZONE 2 (ER 24/1V 1.4)   |
| SPACE HEATING EQUIPMENT<br>MINIMUM AFUE                                  | MIN. 96% AFUE   |
| GAS FIREPLACE  | ELECTRONIC SPARK IGNITION   |
| HRV<br>MINIMUM EFFICIENCY  | TIER 2 75% SRE ENERGY STAR ® HRV TO<br>BE INTERCONNECTED TO THE FURNACE FAN<br>MUST BE BALANCED INDICATING ON HIGH<br>SPEED FRESH/AIR |
| HOT WATER TANK   | CONDENSING HOT WATER TANK 90% IE<br>ENVIRONMENT   |
| DRAIN WATER HEAT RECOVERY  | TWO SHOWERS > 42% STEADY R3-42 OR<br>TD342  |
| AIR TIGHTNESS MUST MEET MINIMUM  | DETACHED LEVEL 1 (2.5 ACH/0.18 NLR)<br>ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)  |
| DUCT SEALING   | ALL SUPPLY DUCTS AND 1 m OF RETURN<br>DUCTS   |
| LIGHTS   | 75% CFLs OR LEDs  |

# AREA CALCULATIONS

|                          | ELEV. 2        |
|--------------------------|----------------|
| GROUND FLOOR AREA        | = 1348 Sq. Ft. |
| SECOND FLOOR AREA        | = 1564 Sq. Ft. |
| TOTAL FLOOR AREA         | = 2912 Sq. Ft. |
|                          | 270.53 Sq. M.  |
| 1ST FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| 2ND FLOOR OPEN AREA      | = 0 Sq. Ft.    |
| ADD TOTAL OPEN AREAS     | = 0 Sq. Ft.    |
| ADD FIN. BASEMENT AREA   | = 0 Sq. Ft.    |
| GROSS FLOOR AREA         | = 2912 Sq. Ft. |
|                          | 270.53 Sq. M.  |
| GROUND FLOOR COVERAGE    | = 1348 Sq. Ft. |
| GARAGE COVERAGE / AREA   | = 391 Sq. Ft.  |
| PORCH COVERAGE / AREA    | = 84 Sq. Ft.   |
| TOTAL COVERAGE W/ PORCH  | = 1823 Sq. Ft. |
|                          | 169.36 Sq. M.  |
| TOTAL COVERAGE W/O PORCH | = 1739 Sq. Ft. |
|                          | 161.56 Sq. M.  |

# GLENWAY 3A

| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
|------------|----------|----------|-------------|-------------|------------|
| FRONT      | 716.87   | 66.60    | 143.12      | 13.30       | 19.96 %    |
| LEFT SIDE  | 1129.43  | 104.93   | 89.67       | 8.33        | 7.44 %     |
| RIGHT SIDE | 1130.32  | 105.01   | 29.33       | 2.72        | 2.59 %     |
| REAR       | 679.19   | 63.10    | 146.75      | 13.63       | 21.61 %    |
| TOTAL      | 3655.81  | 339.64   | 408.87      | 37.99       | 11.18 %    |

# GLENWAY 3A

| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
|------------|----------|----------|-------------|-------------|------------|
| FRONT      | 726.66   | 67.51    | 134.33      | 12.48       | 18.44 %    |
| LEFT SIDE  | 1128.99  | 104.89   | 89.63       | 8.35        | 7.46 %     |
| RIGHT SIDE | 1130.32  | 105.01   | 29.33       | 2.72        | 2.59 %     |
| REAR       | 679.19   | 63.10    | 146.75      | 13.63       | 21.61 %    |
| TOTAL      | 3665.16  | 340.50   | 400.24      | 37.18       | 10.92 %    |

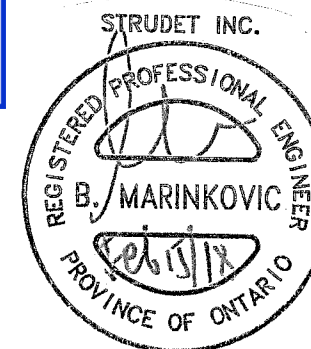
# GLENWAY 3A

| ELEVATION  | WALL FT² | WALL MT² | OPENING FT² | OPENING MT² | PERCENTAGE |
|------------|----------|----------|-------------|-------------|------------|
| FRONT      | 710.96   | 66.05    | 125.46      | 11.66       | 17.65 %    |
| LEFT SIDE  | 1129.43  | 104.93   | 89.67       | 8.33        | 7.44 %     |
| RIGHT SIDE | 1130.32  | 105.01   | 29.33       | 2.72        | 2.59 %     |
| REAR       | 679.19   | 63.10    | 146.75      | 13.63       | 21.61 %    |
| TOTAL      | 3649.90  | 339.09   | 391.21      | 36.34       | 10.72 %    |

W Architect Inc.  
DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: [Signature]  
This stamp is only for the purposes of design  
control and carries no other professional obligations.



FOR STRUCTURE ONLY



ESCC MODEL  
ENERGY STAR - V 17

GLENWAY 3A

ENERGY STAR

Greenpark

PROJECT NAME  
TRINAR HALL HOMES INC.

|           |                                    |            |
|-----------|------------------------------------|------------|
| 5.        |                                    |            |
| 4.        |                                    |            |
| 3.        | ENERGY STAR CHART                  | APR. 01/19 |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017   |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017   |
| REVISIONS |                                    |            |

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR 28770  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

# GENERAL NOTES & CHARTS

|       |          |      |
|-------|----------|------|
| SCALE | BY       | ZMP  |
| DATE  | AUG 2017 | TYPE |

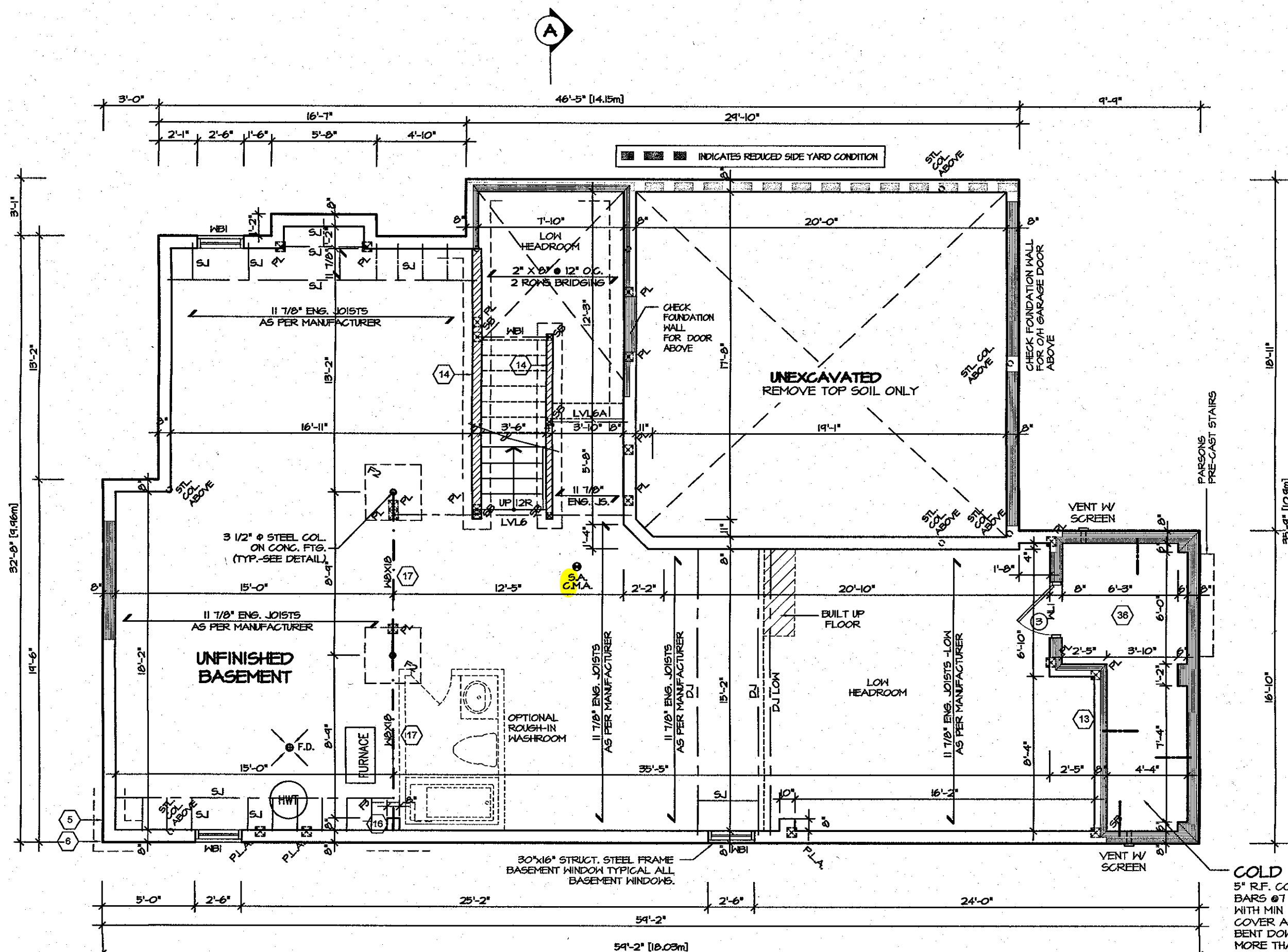
CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

|         |          |          |
|---------|----------|----------|
| AREA    | 2,866    | PAGE No. |
| PROJECT | 05-15-03 | 0        |



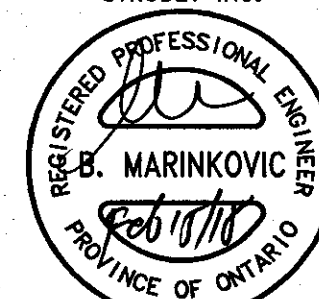
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**BASEMENT PLAN I**

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.

**COLD CELLAR**  
5" R.F. CONC. SLAB WITH 10M BARS @ 17 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"X24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

FEB 15 2018

**GLENWAY 3A**

ENERGY STAR

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

| NO. | REVISIONS                          | DATE     |
|-----|------------------------------------|----------|
| 5.  |                                    |          |
| 4.  |                                    |          |
| 3.  |                                    |          |
| 2.  | ISSUED FOR COORDINATION            | SEP 2017 |
| 1.  | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

| SHEET TITLE     |             |
|-----------------|-------------|
| BASEMENT PLAN 1 |             |
| SCALE           | 3/16"=1'-0" |
| DATE            | AUG 2017    |
| BY              | ZMP         |
| TYPE            |             |

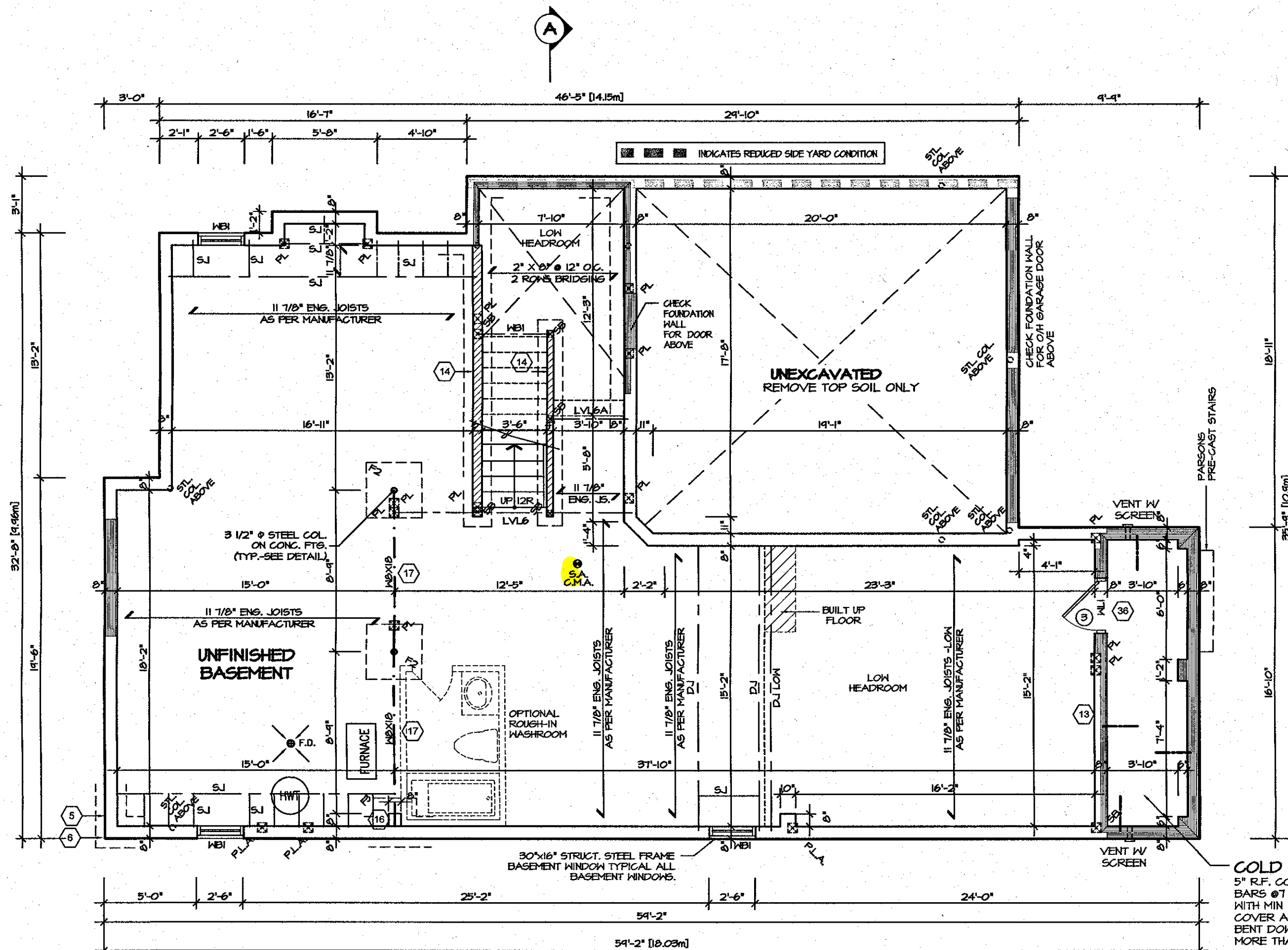
| CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |
|---|----------|
| AREA  | 2,866    |
| PAGE No.  | 1        |
| PROJECT   | 05-15-03 |

**Greenpark**

PROJECT NAME  
TRINAR HALL HOMES INC.

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**BASEMENT PLAN 2**

REFER TO FLOOR FRAMING SHOP  
 DRAWINGS FOR ENGINEERED FRAMING  
 LAYOUTS

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS  
 AND DOOR SIZES

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND  
 TO BE GLUED AND NAILED ON THIS FLOOR.

SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
 O.C. BELOW ALL CERAMIC TILE AREAS.  
 PROVIDE 1 ROW BRIDGING FOR SPANS OF  
 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

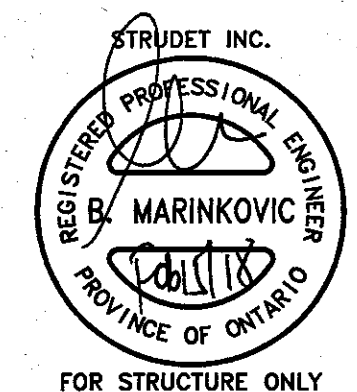
FEB 15 2018

**GLENWAY 3A**  
 ENERGY STAR

|  |   |  |                                  |   |  |   |
|--|---|--|----------------------------------|---|--|---|
| <p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 3 FROM FARTHINGALE AUG 2017</p> <p><b>REVISIONS</b></p> | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b><br/>         Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | <p><b>BASEMENT PLAN 2</b></p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p> | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2,866</p> <p>PAGE No. 1-2</p> <p>PROJECT 05-15-03</p> | <p></p> <p>PROJECT NAME TRINAR HALL HOMES INC.</p> |
|--|---|--|----------------------------------|---|--|---|

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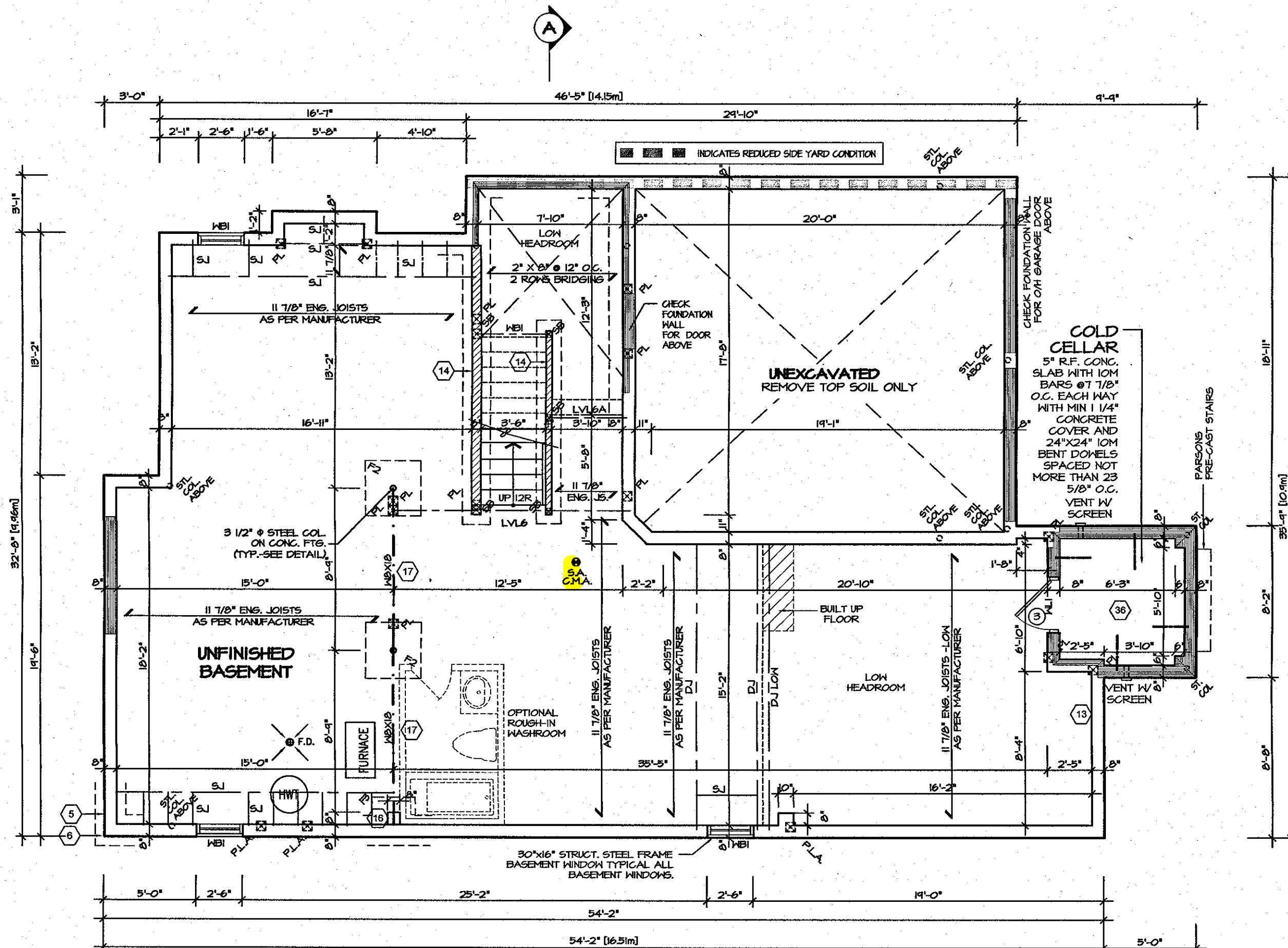
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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



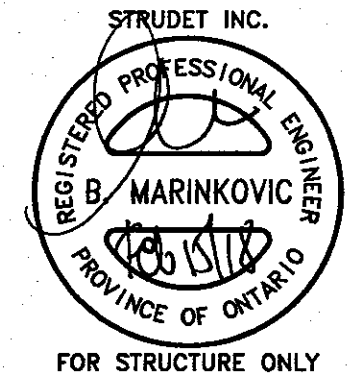
BASEMENT PLAN 3

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'



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GLENWAY 3A

ENERGY STAR

FEB 15 2018

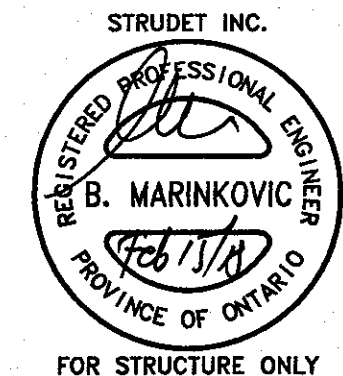
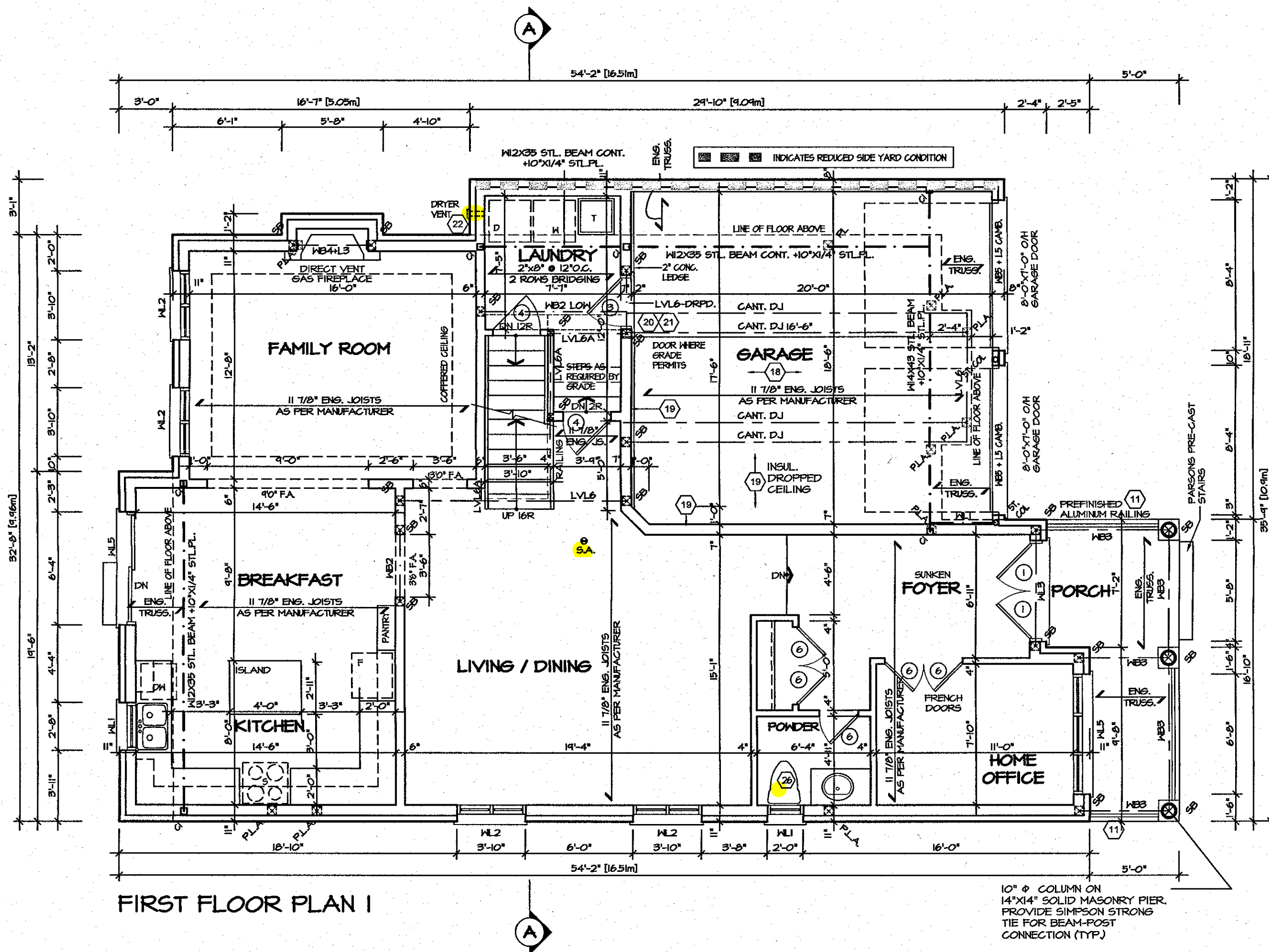
|           |  |   |  |                                   |                                |           |   |  |
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| 4.        |  |   |  |                                   | SCALE<br>3/16"=1'-0"           | BY<br>ZMP | AREA<br>2,866   | PAGE No.<br>1-3                        |
| 3.        |  |   |  |                                   | DATE<br>AUG 2017               | TYPE      | PROJECT<br>05-15-03   | PROJECT NAME<br>TRINAR HALL HOMES INC. |
| 2.        | ISSUED FOR COORDINATION<br>SEP 2017            |   |  |                                   |                                |           |   |  |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE<br>AUG 2017 |   |  |                                   |                                |           |   |  |
| REVISIONS |  |   |  |                                   |                                |           |   |  |





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| Sewage System |            |       |            |
| Zoning        |            |       |            |



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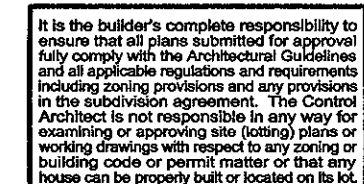
FEB 15 2018

**GLENWAY 3A**  
 ENERGY STAR

|   |   |   |  |   |   |
|---|---|---|--|---|---|
| <p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 3 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p> | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR<br/>NAME SIGNATURE</p> <p>28770<br/>BCIN</p> | <p>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</p> <p><b>REGION DESIGN INC.</b></p> | <p>SHEET TITLE<br/><b>FIRST FLOOR PLAN 1</b></p> <p>SCALE<br/>3/16"=1'-0"</p> <p>DATE<br/>AUG 2017</p> | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA<br/>2,866</p> <p>PAGE No.<br/>2</p> | <p>PROJECT NAME<br/><b>TRINAR HALL HOMES INC.</b></p> |
|---|---|---|--|---|---|



|               |            |       |            |
|---------------|------------|-------|------------|
| Discipline    | Reviewer   | BCIN  | Date       |
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



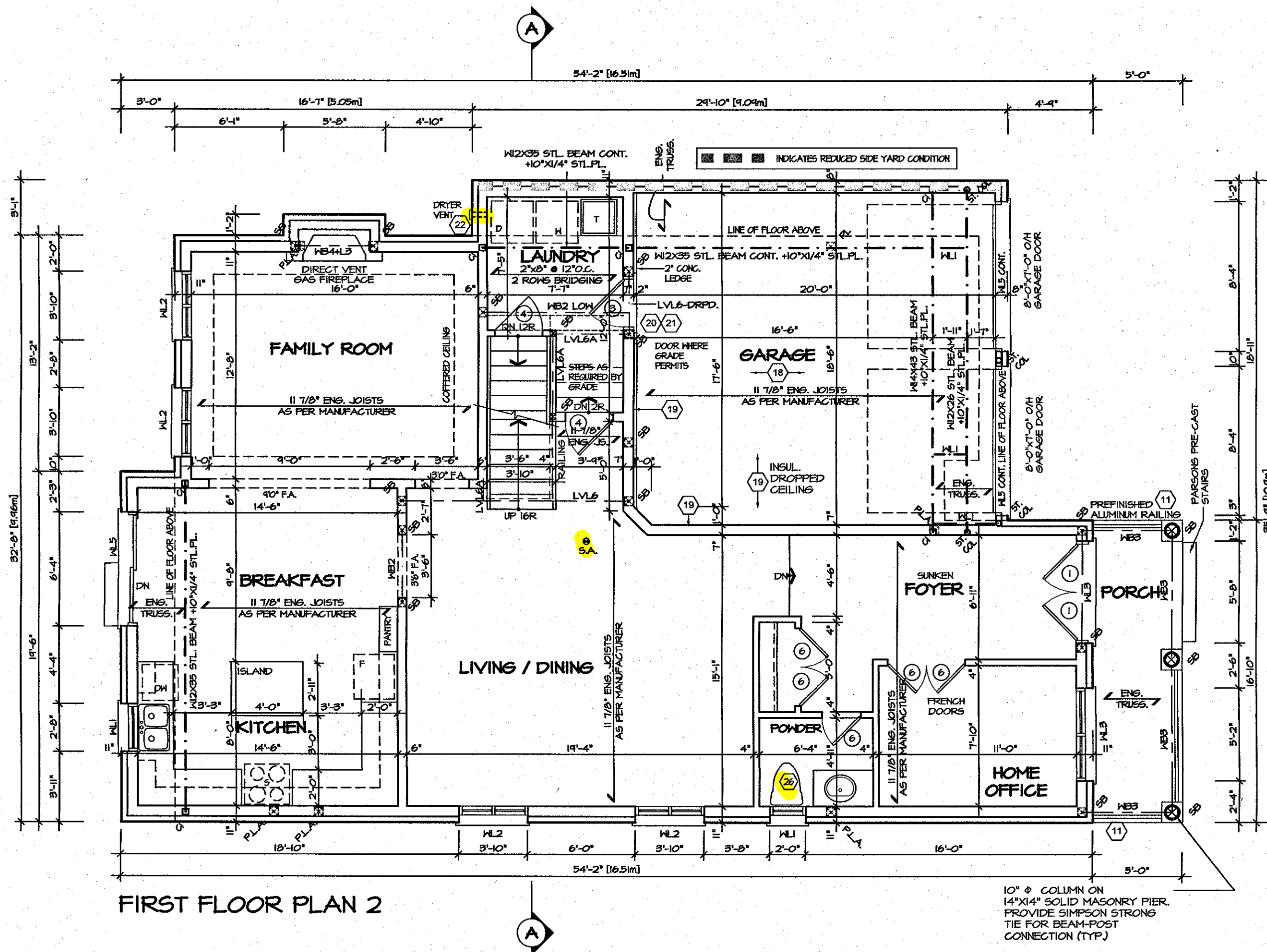
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# GLENWAY 3A

## ENERGY STAR



PROJECT NAME  
TRINAR HALL HOMES INC.



FIRST FLOOR PLAN 2

|                  |                                    |          |
|------------------|------------------------------------|----------|
| 5.               |                                    |          |
| 4.               |                                    |          |
| 3.               |                                    |          |
| 2.               | ISSUED FOR COORDINATION            | SEP 2017 |
| 1.               | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |
| <b>REVISIONS</b> |                                    |          |

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

|              |   |       |
|--------------|---|-------|
| VIKAS GAJJAR |  | 28770 |
| NAME         | SIGNATURE   | RCIN  |

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

# REGION DESIGN INC.

|             |                       |
|-------------|-----------------------|
| SHEET TITLE | FIRST<br>FLOOR PLAN 2 |
|-------------|-----------------------|

SCALE  
3/16"=1'-0"

DATE  
AUG 2017

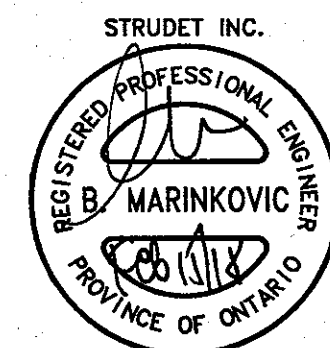
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

|         |          |
|---------|----------|
| AREA    | 2,866    |
| PROJECT | 05-15-03 |

2-2



| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



FOR STRUCTURE ONLY

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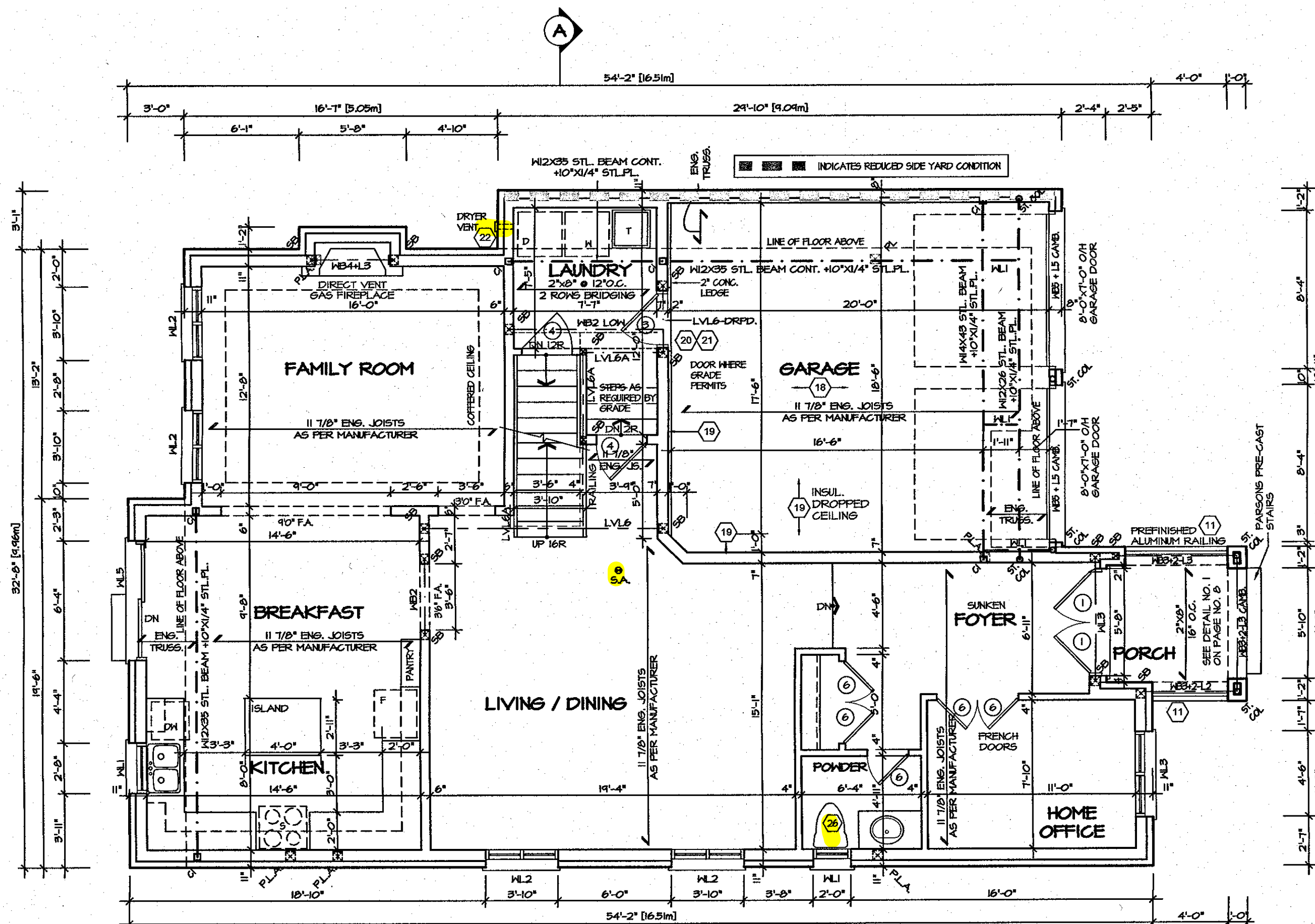
FEB 15 2018

# GLENWAY 3A

ENERGY STAR



PROJECT NAME  
**TRINAR HALL HOMES INC.**

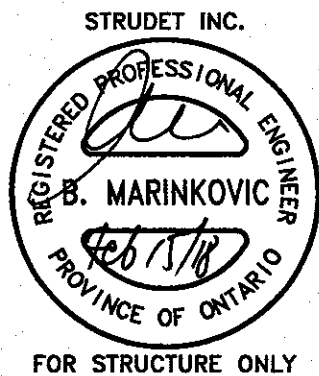
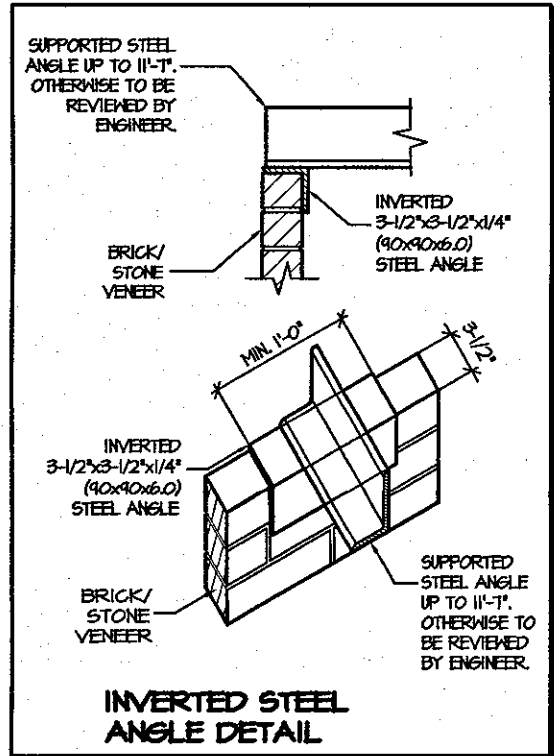
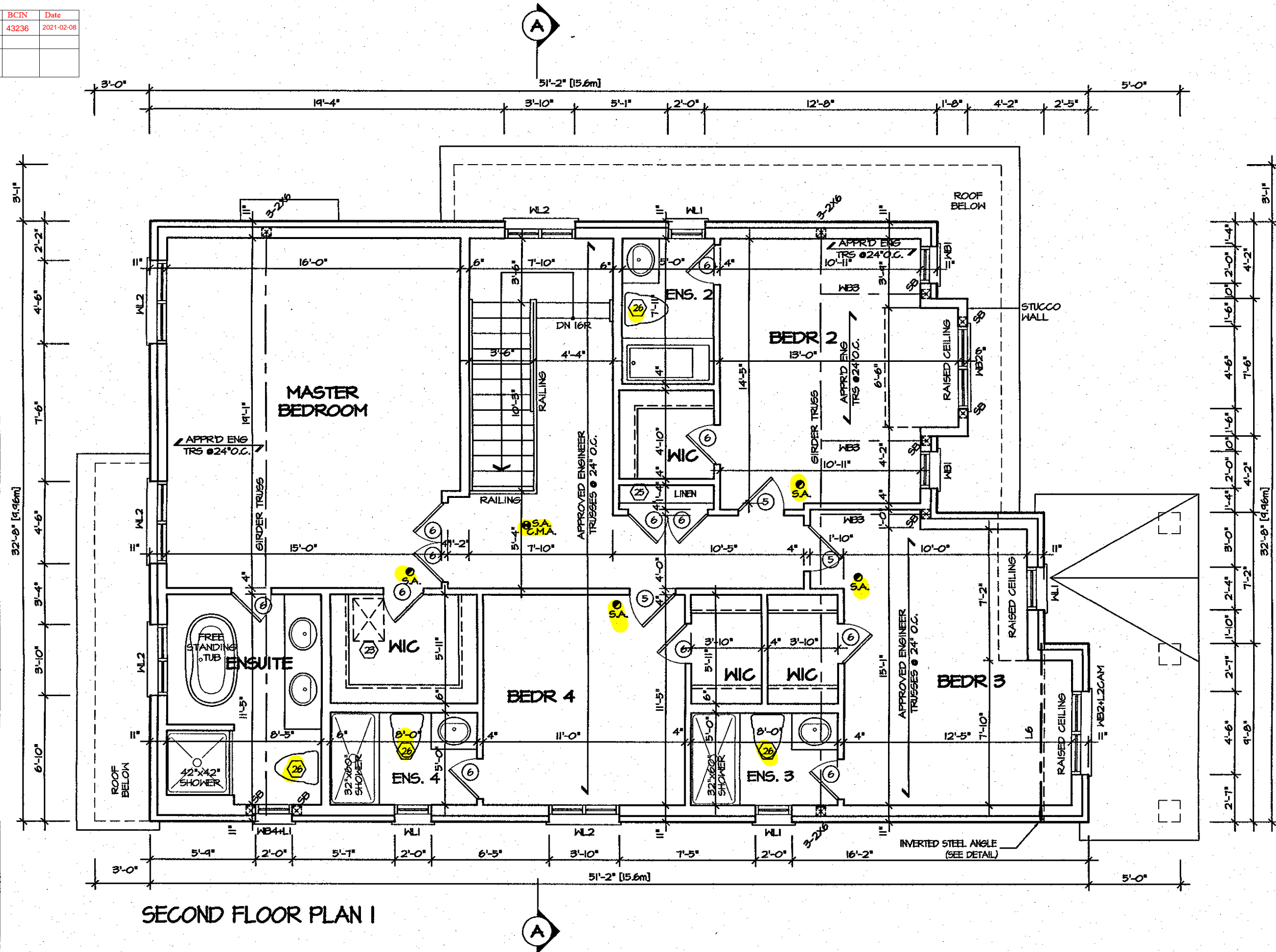


FIRST FLOOR PLAN 3

|           |                                    |  |  |  |                      |              |   |                        |   |
|-----------|------------------------------------|--|--|--|----------------------|--------------|---|------------------------|---|
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| 4.        |                                    |  |  |  | FIRST FLOOR PLAN 3   |              |   |                        |   |
| 3.        |                                    |  |  |  | SCALE<br>3/16"=1'-0" | BY<br>ZMP    | AREA<br>2,866   | PAGE No.<br>2-3        |   |
| 2.        | ISSUED FOR COORDINATION            |  |  |  | SEP 2017             |              |   |                        |   |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE |  |  |  | AUG 2017             |              |   |                        |   |
| REVISIONS |                                    |  |  |  |                      | PROJECT NAME |   | TRINAR HALL HOMES INC. |   |

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GLENWAY 3A  
ENERGY STAR

FEB 15 2018

| REVISIONS                             |          |
|---------------------------------------|----------|
| 1. ISSUED FOR COORDINATION            | SEP 2017 |
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VIKAS GAJJAR  
NAME  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4086  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
SECOND FLOOR PLAN 1  
SCALE 3/16"=1'-0"  
DATE AUG 2017  
BY ZMP  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,866  
PAGE No. 3  
PROJECT 05-15-03

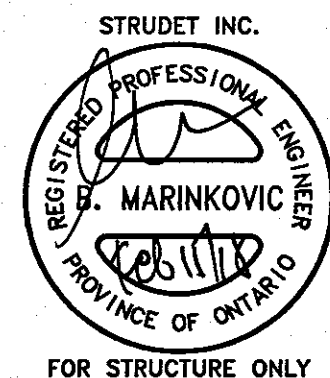
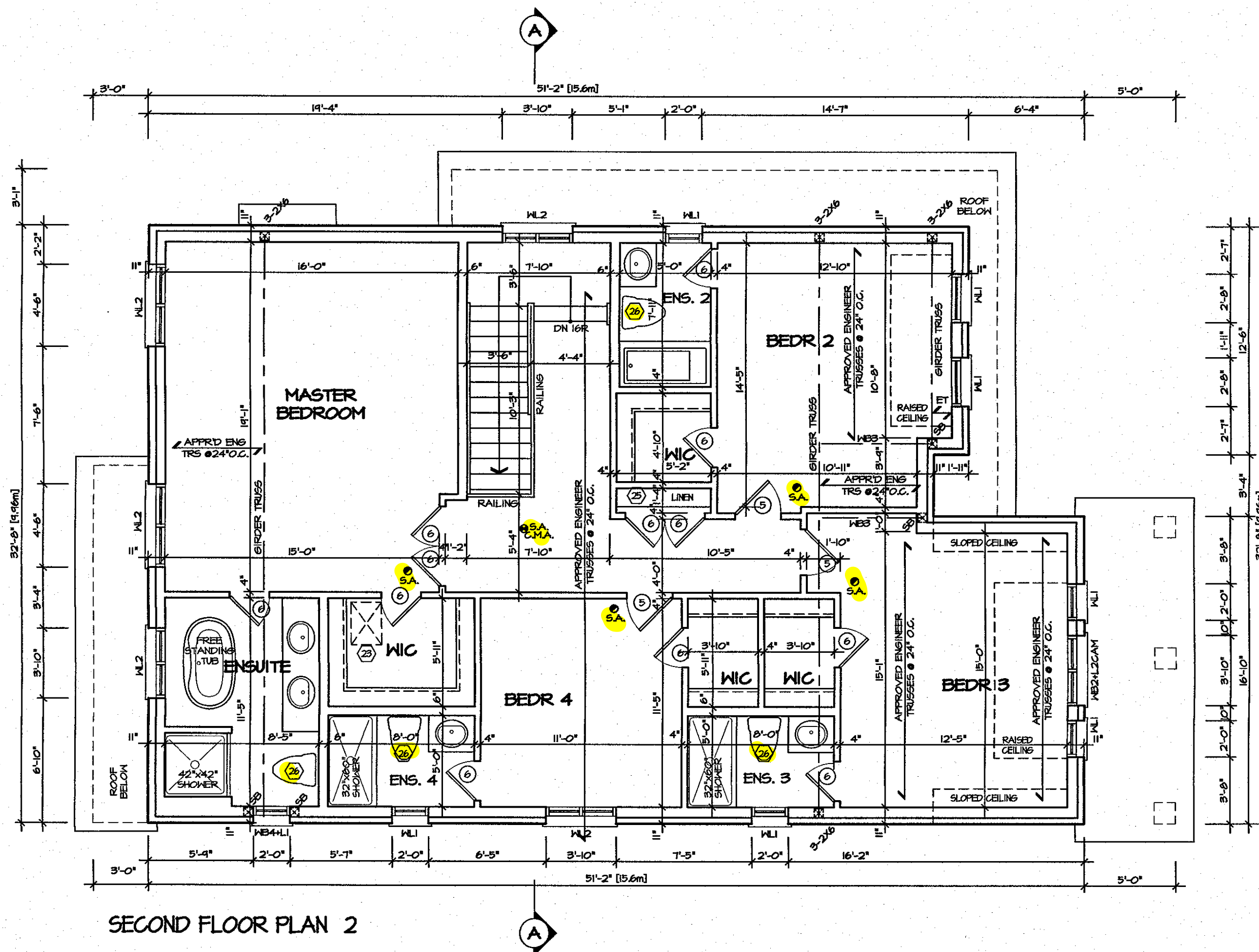
PROJECT NAME  
TRINAR HALL HOMES INC.

Greenpark.



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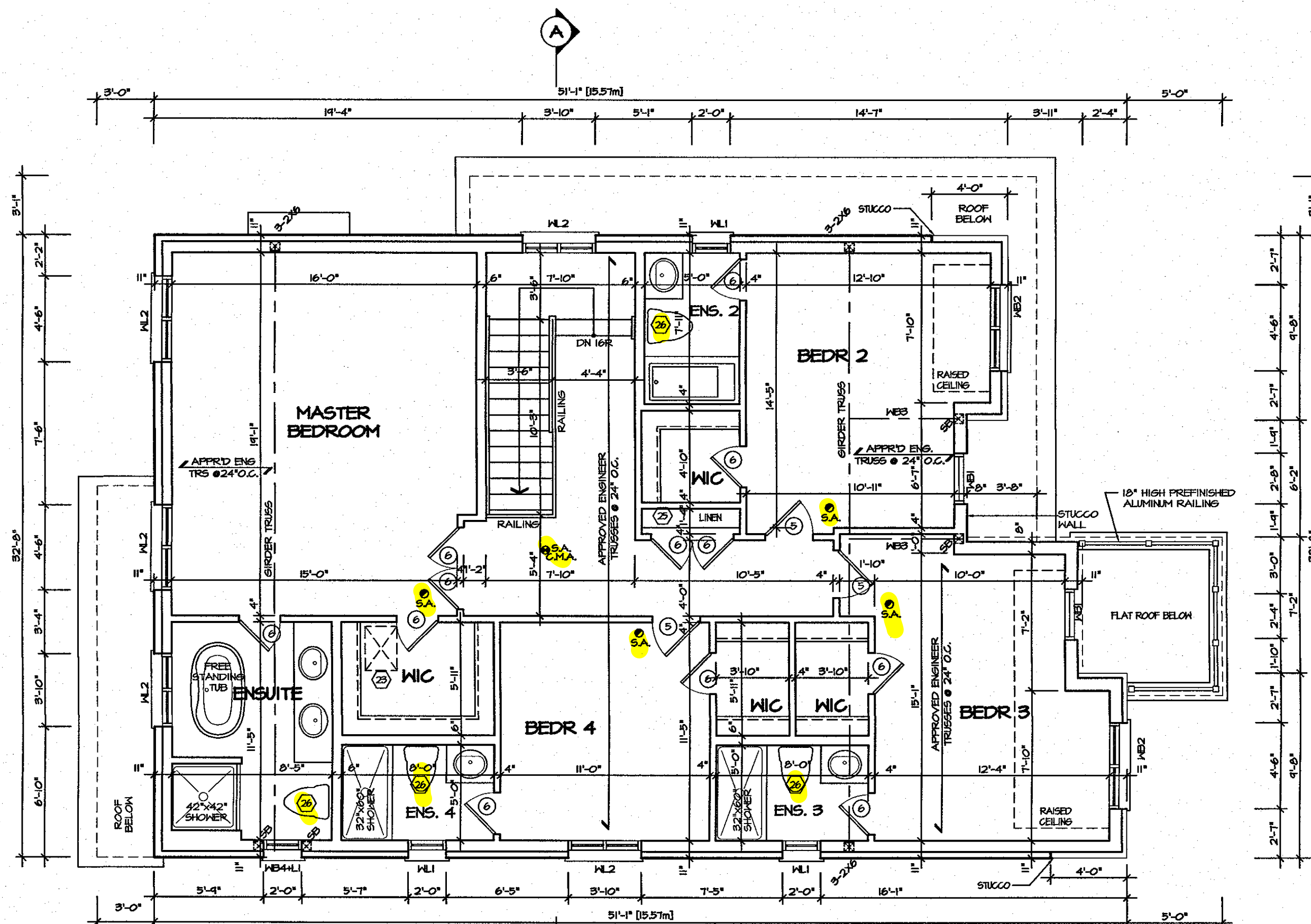
**GLENWAY 3A**  
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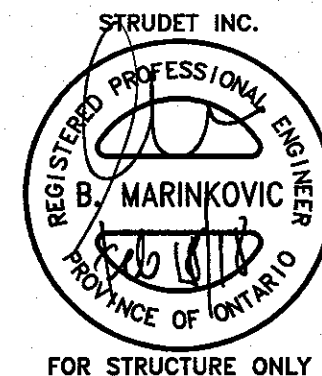
|   |   |  |   |  |  |
|---|---|--|---|--|--|
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| Zoning        |            |       |            |



SECOND FLOOR PLAN 3



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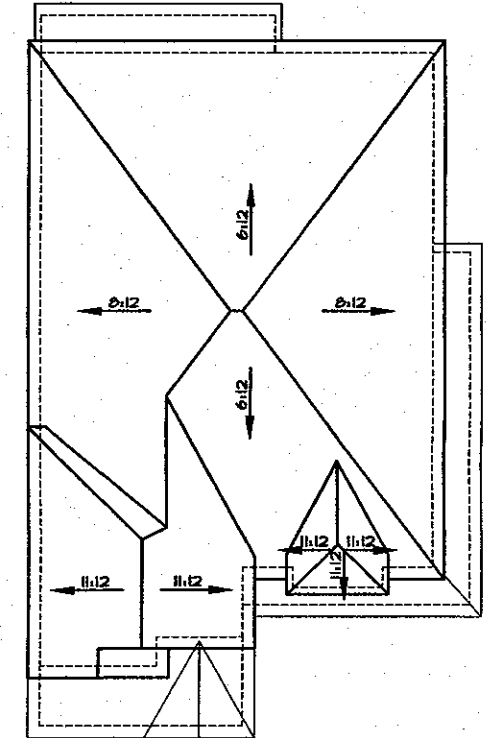
**GLENWAY 3A**  
 ENERGY STAR

|  |  |  |   |  |   |
|--|--|--|---|--|---|
| <div> <div>5.</div> <div>4.</div> <div>3.</div> <div>2. ISSUED FOR COORDINATION</div> <div>1. REVISED GLENWAY 3 FROM FARTHINGALE</div> </div> <div> <div>SEP 2017</div> <div>AUG 2017</div> </div> <div> <div>REVISIONS</div> </div> | <div>             The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.           </div> <div> <b>QUALIFICATION INFORMATION</b><br/>             Required unless design is exempt under Division C, Subsection 3.2.5 of the building code           </div> <div> <div>VIKAS GAJJAR</div> <div>28770</div> </div> <div> <div>NAME</div> <div>SIGNATURE</div> <div>BCIN</div> </div> | <div>             REGION DESIGN INC.<br/>             8700 DUFFERIN ST.<br/>             CONCORD, ONTARIO<br/>             L4K 4S6<br/>             P (416) 736-4098<br/>             F (905) 660-0748           </div> <div> <b>REGION DESIGN INC.</b> </div> | <div>             SHEET TITLE<br/> <b>SECOND FLOOR PLAN 3</b> </div> <div> <div>SCALE 3/16"=1'-0"</div> <div>DATE AUG 2017</div> </div> <div> <div>BY ZMP</div> <div>TYPE</div> </div> <div> <div>AREA 2,866</div> <div>PROJECT 05-15-03</div> </div> <div> <div>PAGE No.</div> <div>3-3</div> </div> | <div>             CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.           </div> | <div>  </div> <div>             PROJECT NAME<br/> <b>TRINAR HALL HOMES INC.</b> </div> |
|--|--|--|---|--|---|

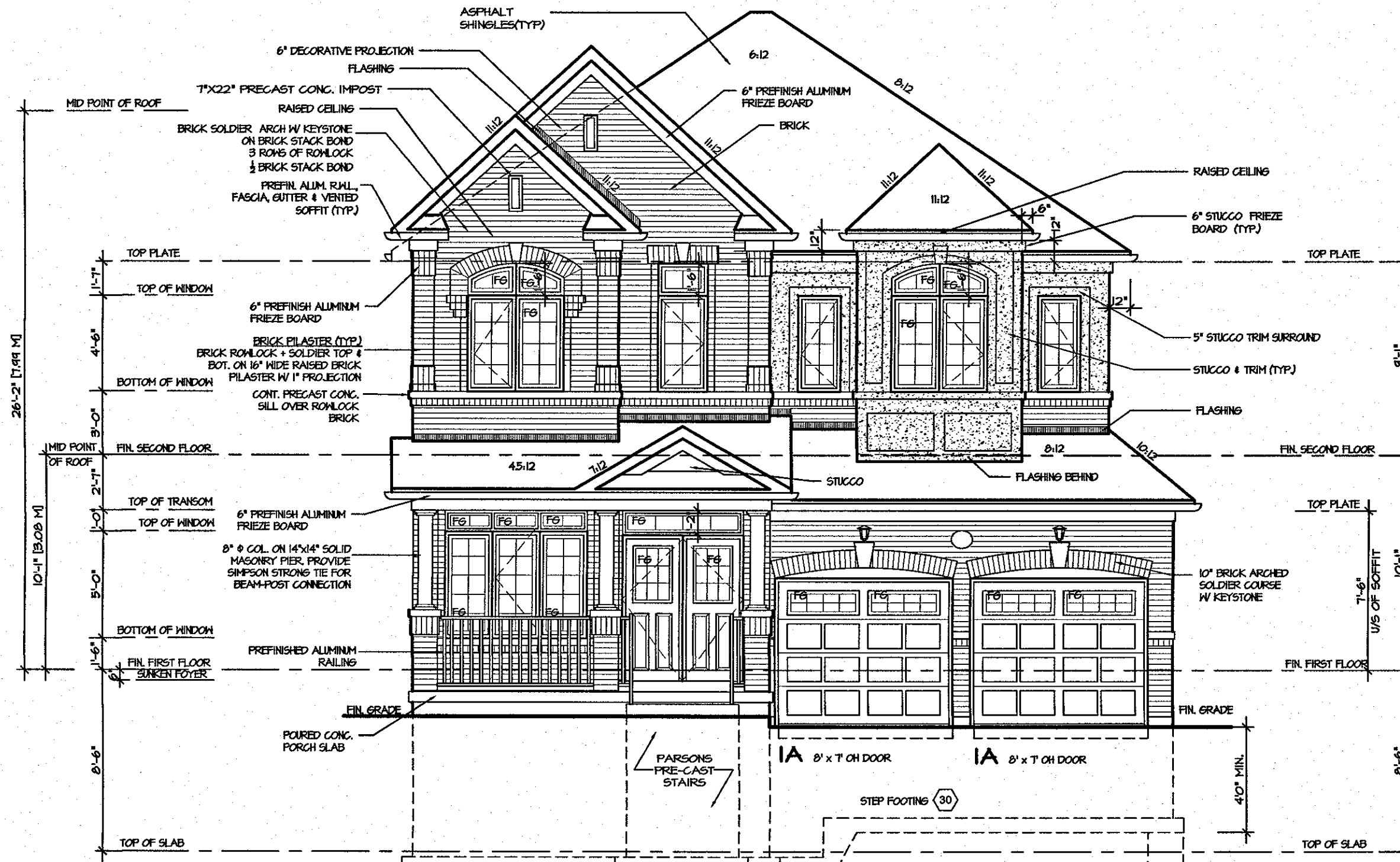


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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**ROOF PLAN I**  
Scale: 1/16"=1'-0"



**FRONT ELEVATION I**

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
DEC. 04, 2020  
**FINAL** BY: *[Signature]*  
This stamp is only for the purposes of design control and carries no other professional obligations.

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**GLENWAY 3A**  
**ENERGY STAR**

FEB 15 2018

| REVISIONS                             |          |
|---------------------------------------|----------|
| 5.                                    |          |
| 4.                                    |          |
| 3.                                    |          |
| 2. ISSUED FOR COORDINATION            | SEP 2017 |
| 1. REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |

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**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR *[Signature]* **28770**  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

| SHEET TITLE | FRONT ELEVATION 1 |
|-------------|-------------------|
| SCALE       | 3/16"=1'-0"       |
| DATE        | AUG 2017          |
| BY          | ZMP               |
| TYPE        |                   |

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

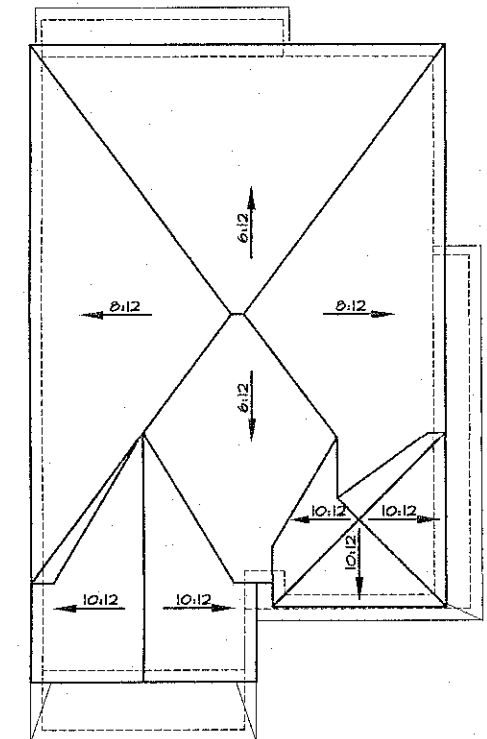
|         |          |          |   |
|---------|----------|----------|---|
| AREA    | 2,866    | PAGE No. | 4 |
| PROJECT | 05-15-03 |          |   |

**Greenpark.**

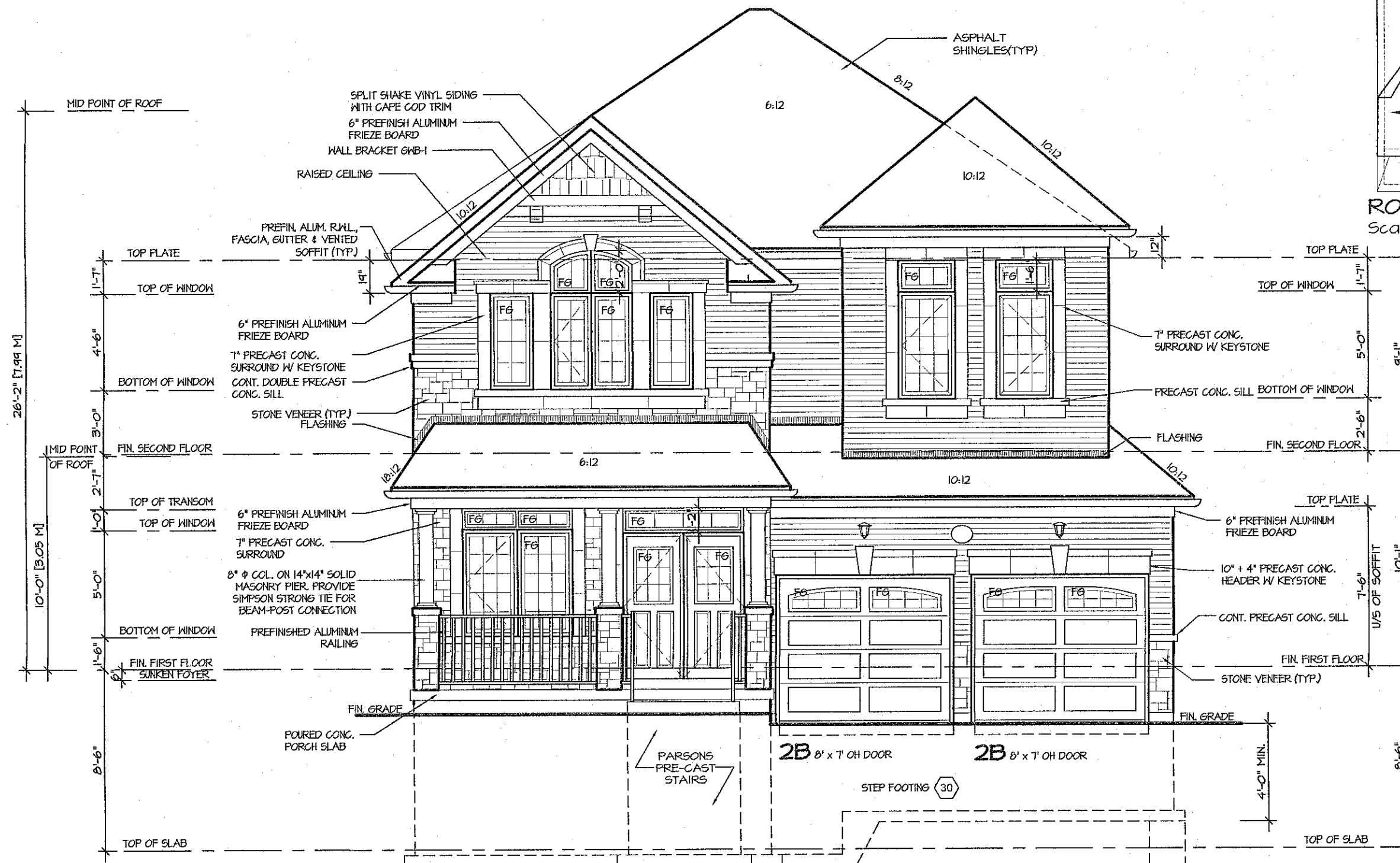
PROJECT NAME  
**TRINAR HALL HOMES INC.**

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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**ROOF PLAN 2**  
Scale: 1/16"=1'-0"



**FRONT ELEVATION 2**

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
DEC. 04, 2020  
**FINAL** BY: *W*  
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APR 20 2018

**GLENWAY 3A**

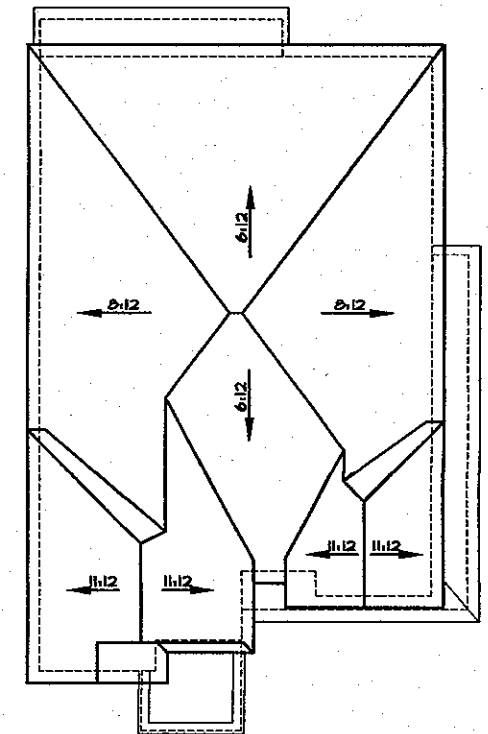
ENERGY STAR

|  |   |  |                                  |   |   |  |
|--|---|--|----------------------------------|---|---|--|
| <p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 3 FROM FARTHINGALE AUG 2017</p> <p><b>REVISIONS</b></p> | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b><br/>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR <i>[Signature]</i> <b>28770</b><br/>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | <p><b>FRONT ELEVATION 2</b></p> <p>SCALE: 3/16"=1'-0"</p> <p>DATE: AUG 2017</p> <p>BY: ZMP</p> <p>TYPE:</p> | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA: 2,866</p> <p>PAGE No. <b>4-2</b></p> <p>PROJECT: 05-15-03</p> | <p><b>Greenpark</b></p> <p>PROJECT NAME: <b>TRINAR HALL HOMES INC.</b></p> |
|--|---|--|----------------------------------|---|---|--|

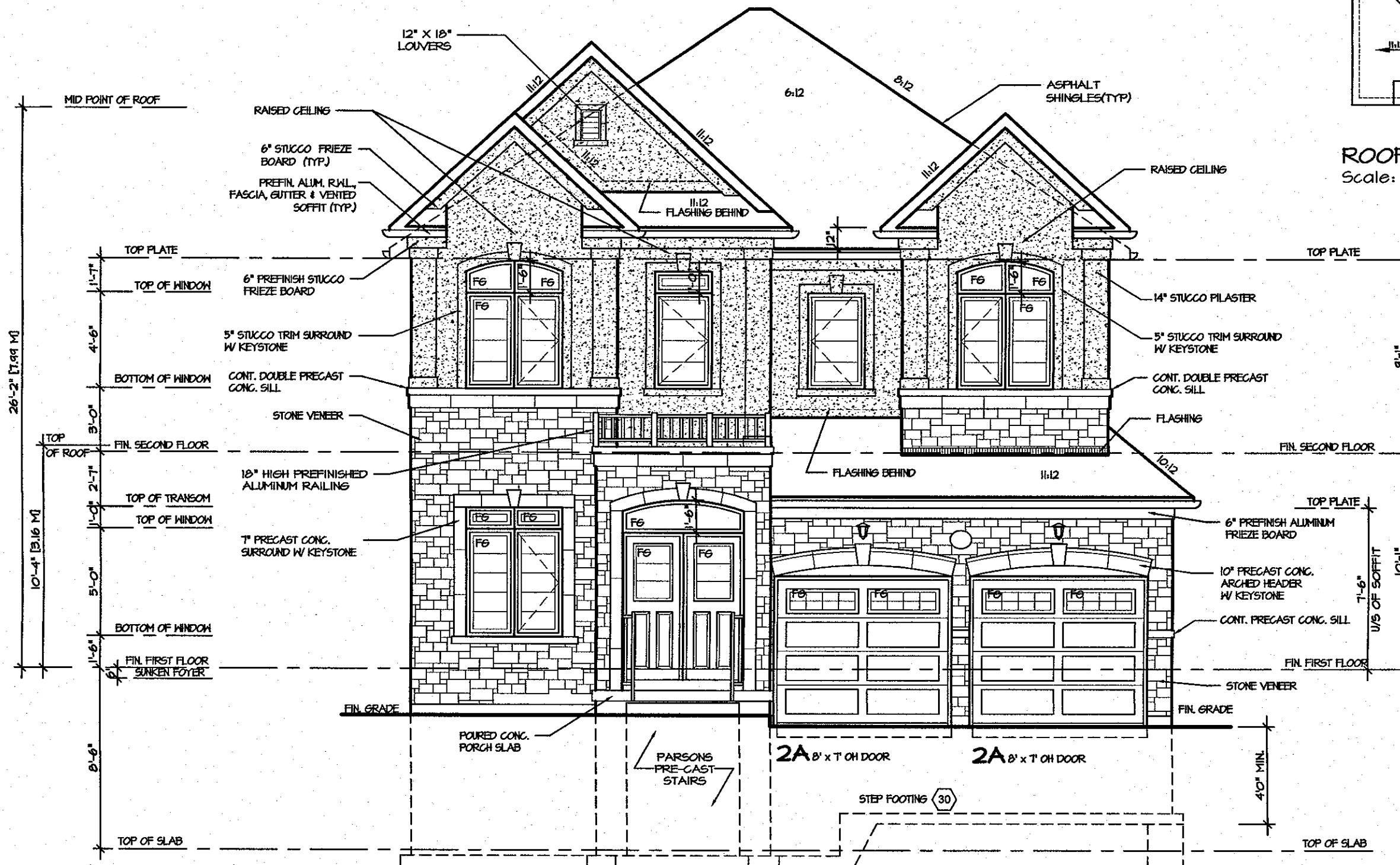


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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**ROOF PLAN 3**  
Scale: 1/16"=1'-0"



**FRONT ELEVATION 3**

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *W*  
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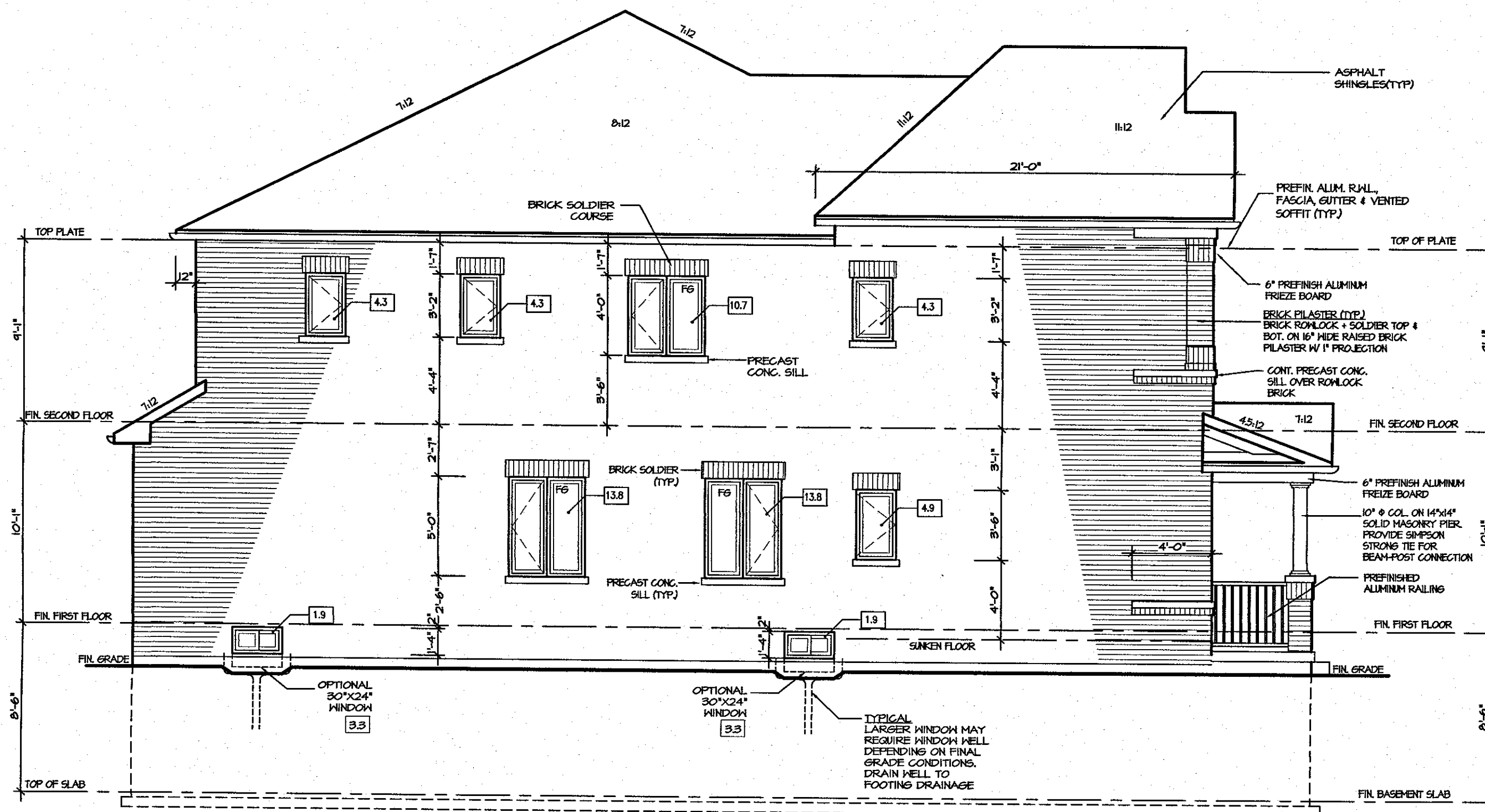
**GLENWAY 3A**  
 ENERGY STAR

FEB 15 2018

|  |  |   |  |  |  |   |
|--|--|---|--|--|--|---|
| <div> <div>5.</div> <div>4.</div> <div>3.</div> <div>2. ISSUED FOR COORDINATION</div> <div>1. REVISED GLENWAY 3 FROM FARTHINGALE</div> </div> <div> <div>SEP 2017</div> <div>AUG 2017</div> </div> <div> <div>REVISIONS</div> </div> | <div>           The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.         </div> <div> <b>QUALIFICATION INFORMATION</b><br/> <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small> </div> <div> <div>VIKAS GAJJAR</div> <div>NAME</div> </div> <div> <div><i>[Signature]</i></div> <div>SIGNATURE</div> </div> <div> <div>28770</div> <div>BCIN</div> </div> | <div>           REGION DESIGN INC.<br/>           8700 DUFFERIN ST.<br/>           CONCORD, ONTARIO<br/>           L4K 4S6<br/>           P (416) 736-4096<br/>           F (905) 660-0746         </div> | <div> <b>REGION DESIGN INC.</b> </div> | <div> <b>FRONT ELEVATION 3</b> </div> <div> <div>3/16"=1'-0"</div> <div>DATE</div> </div> <div> <div>BY</div> <div>AUG 2017</div> </div> <div> <div>ZMP</div> <div>TYPE</div> </div> | <div>           CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.         </div> <div> <div>AREA</div> <div>2,866</div> </div> <div> <div>PAGE No.</div> <div>4-3</div> </div> <div> <div>PROJECT</div> <div>05-15-03</div> </div> | <div> <b>Greenpark.</b> </div> <div> <div>PROJECT NAME</div> <div>TRINAR HALL HOMES INC.</div> </div> |
|--|--|---|--|--|--|---|

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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



LEFT ELEVATION I

### ALLOWABLE GLAZING

#### WALL AREA

|  |         |
|--|---------|
| WALL AREA  | 1125.28 |
| ALLOWABLE WINDOW AREA @ 70.0 % (1.2 M SIDEYARD)            | 78.71   |
| ACTUAL WINDOW AREA   | 54.90   |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA | 62.70   |

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *[Signature]*  
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**GLENWAY 3A**

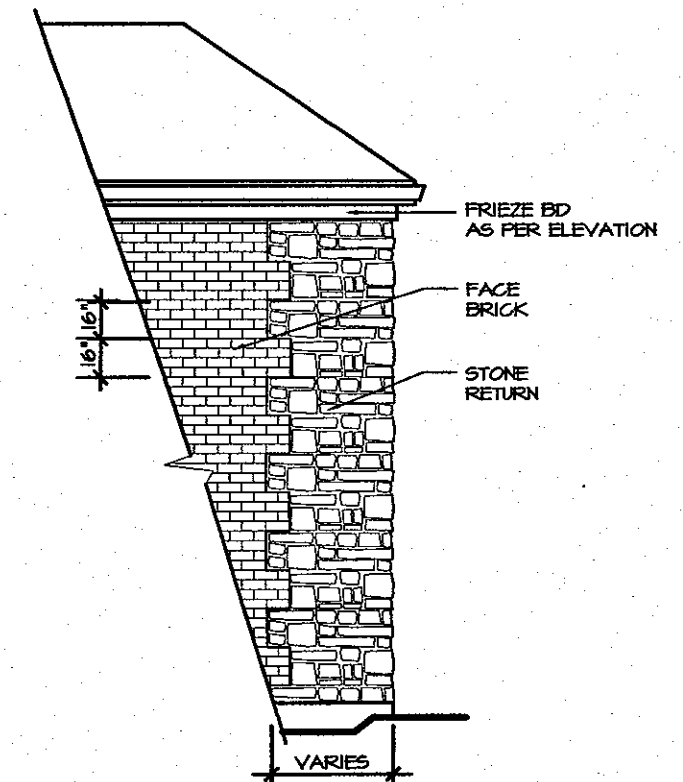
ENERGY STAR

|                                       |  |          |   |  |   |  |   |  |  |
|---------------------------------------|--|----------|---|--|---|--|---|--|--|
| 5.                                    |  |          | <div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION<br/><small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></div> <div>VIKAS GAJJAR<br/>NAME</div> <div>28770<br/>SIGNATURE</div> <div>BCIN</div> | <div>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</div> <div>REGION DESIGN INC.</div> | SHEET TITLE<br>LEFT<br>SIDE ELEVATION 1 |  | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |  | <div>Greenpark</div> <div>PROJECT NAME<br/>TRINAR HALL HOMES INC.</div> |
| 4.                                    |  |          |   |  |   |  |   |  |  |
| 3.                                    |  |          |   |  |   |  |   |  |  |
| 2. ISSUED FOR COORDINATION            |  | SEP 2017 |   |  |   |  |   |  |  |
| 1. REVISED GLENWAY 3 FROM FARTHINGALE |  | AUG 2017 |   |  |   |  |   |  |  |
| REVISIONS                             |  |          |   |  |   |  |   |  |  |

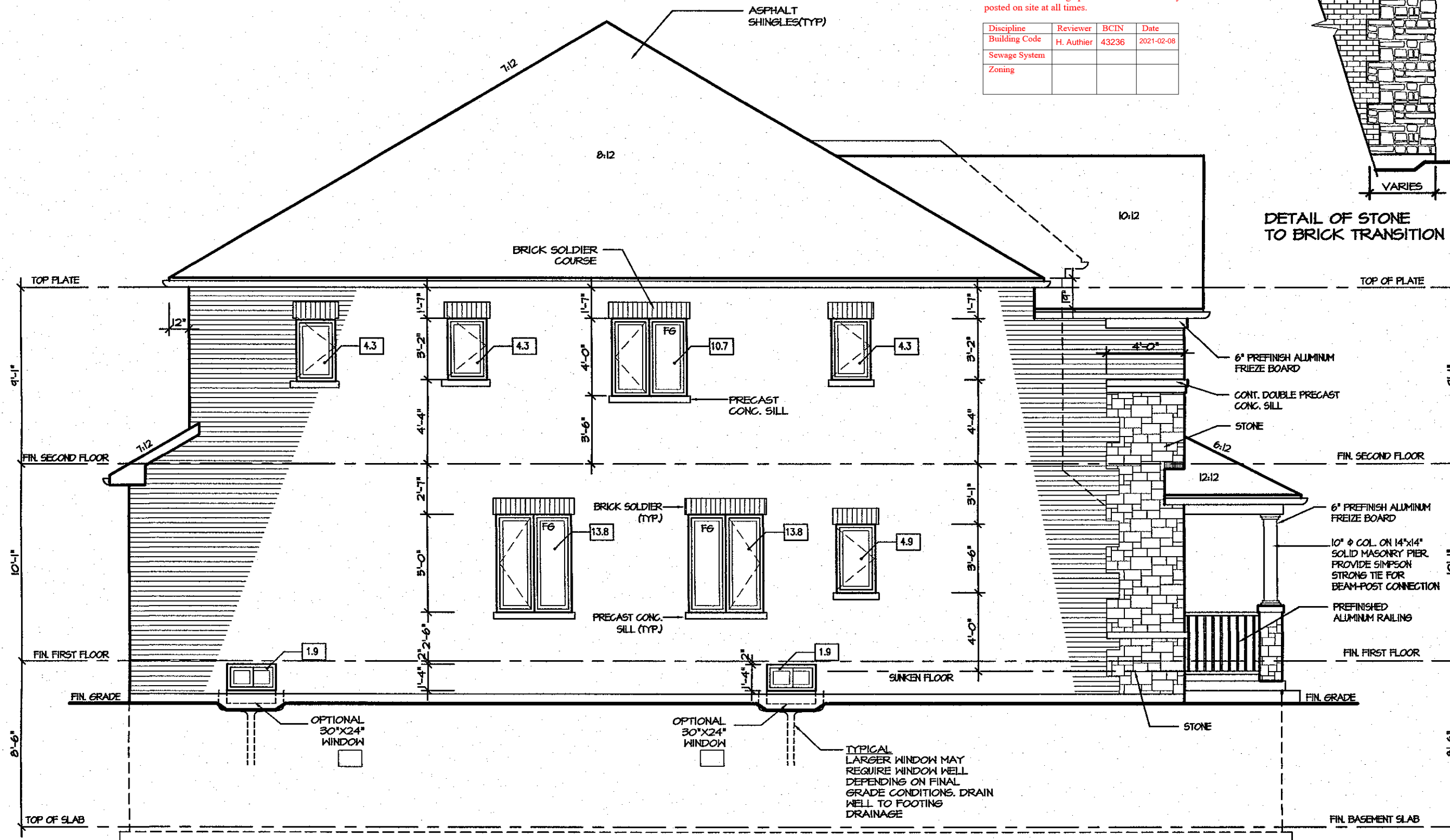


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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



DETAIL OF STONE TO BRICK TRANSITION



**W Architect Inc.**  
 DESIGN CONTROL REVIEW  
 DEC. 04, 2020  
 FINAL BY: *ACE*  
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| ALLOWABLE GLAZING  |         |
|--|---------|
| WALL AREA  | 1124.86 |
| ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)            | 78.74   |
| ACTUAL WINDOW AREA   | 54.90   |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA | 62.70   |

LEFT ELEVATION 2

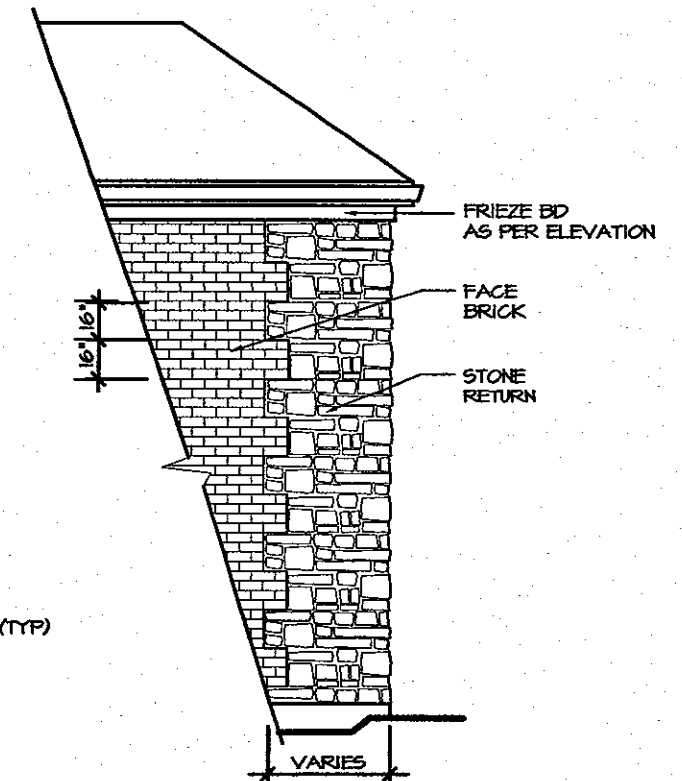
FEB 15 2018

**GLENWAY 3A**  
 ENERGY STAR

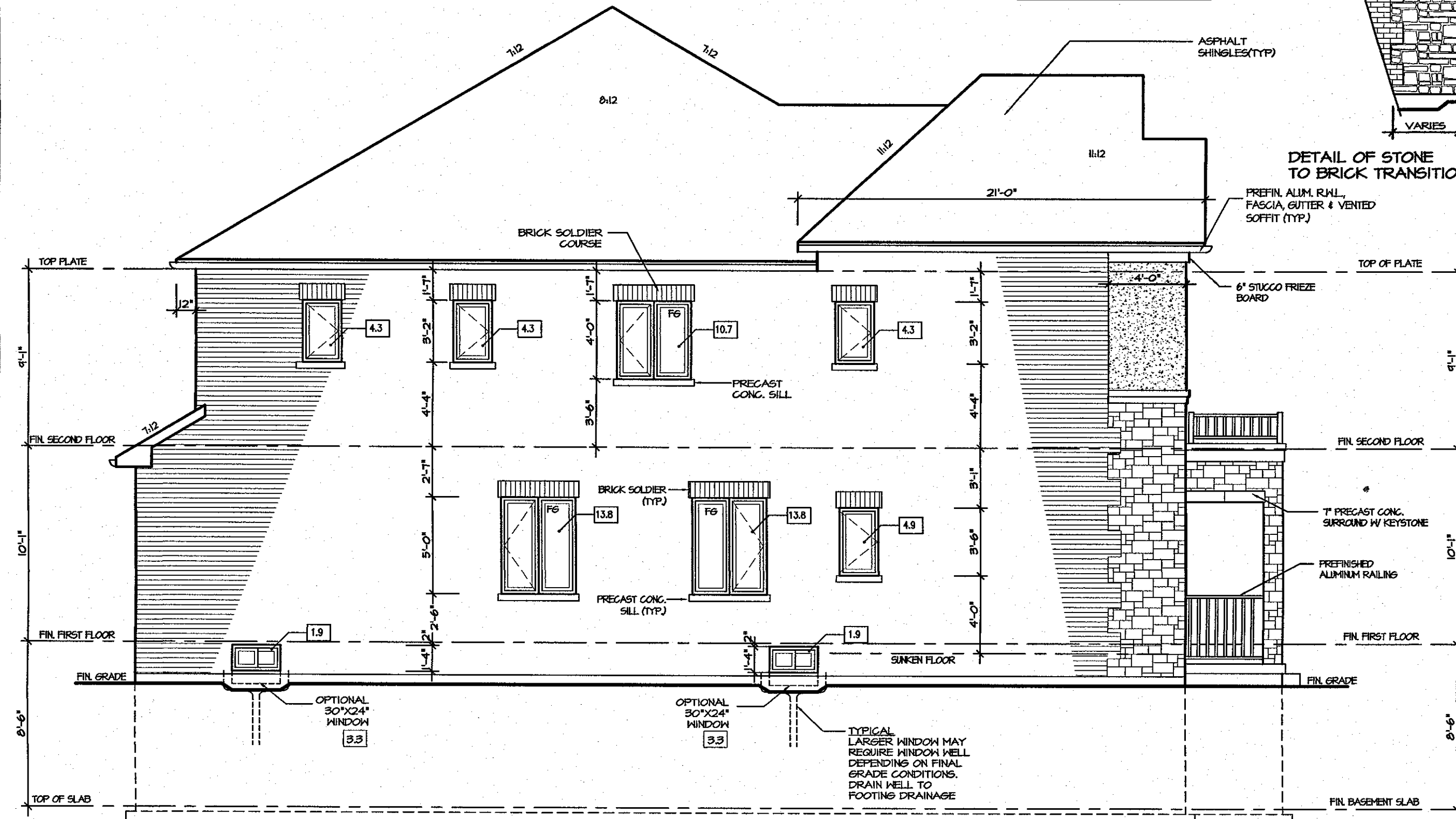
|           |                                    |   |   |                                  |                       |             |  |     |   |              |          |
|-----------|------------------------------------|---|---|----------------------------------|-----------------------|-------------|--|-----|---|--------------|----------|
| 5.        |                                    | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | SHEET TITLE           |             | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> |     |  | PROJECT NAME |          |
| 4.        |                                    |   |   |                                  | LEFT SIDE ELEVATION 2 |             |  |     |   |              |          |
| 3.        |                                    |   |   |                                  | SCALE                 | 3/16"=1'-0" | BY   | ZMP | AREA  | 2,866        | PAGE No. |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017  |   |                                  | DATE                  | AUG 2017    | TYPE   |     | PROJECT   | 05-15-03     |          |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017  |   |                                  |                       |             |  |     |   |              |          |
| REVISIONS |                                    |   |   |                                  |                       |             |  |     |   |              |          |

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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**DETAIL OF STONE TO BRICK TRANSITION**



**LEFT ELEVATION 3**

**ALLOWABLE GLAZING**

**WALL AREA**

|  |         |
|--|---------|
| WALL AREA  | 1125.28 |
| ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)            | 78.77   |
| ACTUAL WINDOW AREA   | 59.90   |
| WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA | 62.70   |

FEB 15 2018

**GLENWAY 3A**

**ENERGY STAR**

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *Alb*  
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| REVISIONS                             |          |
|---------------------------------------|----------|
| 5.                                    |          |
| 4.                                    |          |
| 3.                                    |          |
| 2. ISSUED FOR COORDINATION            | SEP 2017 |
| 1. REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |

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**QUALIFICATION INFORMATION**  
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VIKAS GAJJAR  
 NAME SIGNATURE  
 28770  
 BCIN

REGION DESIGN INC.  
 8700 DUFFERIN ST.  
 CONCORD, ONTARIO  
 L4K 4S8  
 P (416) 736-4096  
 F (905) 660-0746

**REGION DESIGN INC.**

**SHEET TITLE**

**LEFT SIDE ELEVATION 3**

SCALE 3/16"=1'-0"  
 DATE AUG 2017

BY ZMP  
 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,866  
 PROJECT 05-15-03

PAGE No. 5-3

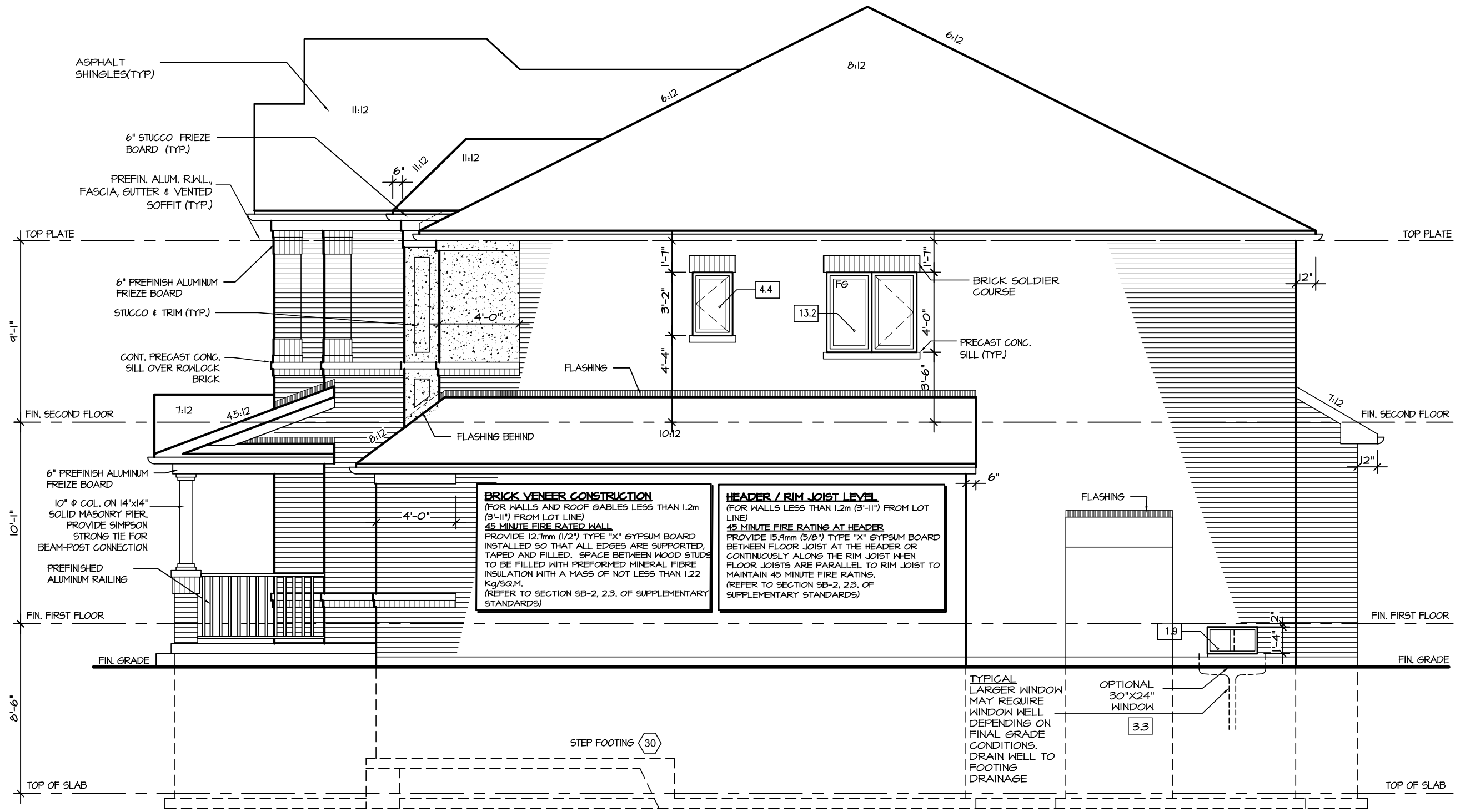


PROJECT NAME  
**TRINAR HALL HOMES INC.**



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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



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RIGHT ELEVATION I ALLOWABLE GLAZING

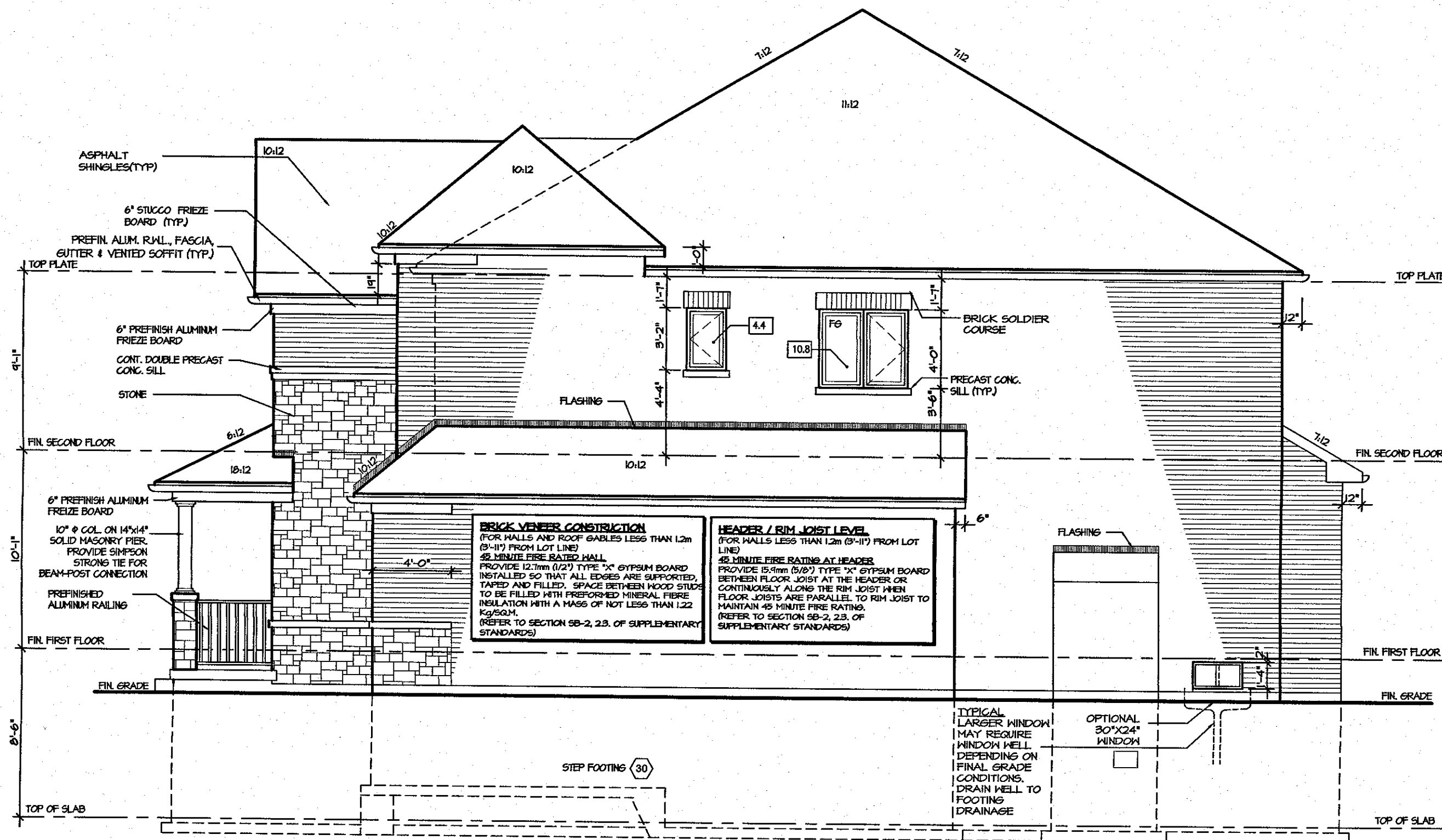
| WALL AREA                                       |         |
|---|---------|
| WALL AREA                                       | 1003.47 |
| ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD) | 70.24   |
| ACTUAL WINDOW AREA                              | 19.60   |
|   | 21.00   |

**GLENWAY 3A**  
 ENERGY STAR

|           |                                    |          |  |   |                               |             |  |                        |  |   |  |   |          |  |              |
|-----------|------------------------------------|----------|--|---|-------------------------------|-------------|--|------------------------|--|---|--|---|----------|--|--------------|
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| 4.        |                                    |          |  |   |                               | SCALE       |  | BY                     |  | AREA  |  |   | PAGE No. |  | PROJECT NAME |
| 3.        |                                    |          |  |   |                               | 3/16"=1'-0" |  | ZMP                    |  | 2,866   |  |   | 6        |  |              |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017 |  |   |                               | DATE        |  | TYPE                   |  | PROJECT   |  |   |          |  |              |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |  |   |                               | AUG 2017    |  |                        |  | 05-15-03  |  |   |          |  |              |
| REVISIONS |                                    |          |  |   |                               |             |  |                        |  |   |  |   |          |  |              |

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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *W*  
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| ALLOWABLE GLAZING                                |         |
|--|---------|
| WALL AREA  |         |
| WALL AREA  | 1003.47 |
| ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDERYARD) | 70.24   |
| ACTUAL WINDOW AREA                               | 19.60   |
|  | 21.00   |

FEB 15 2018

**GLENWAY 3A**

ENERGY STAR

|           |                                    |  |  |  |                        |                        |   |          |
|-----------|------------------------------------|--|--|--|------------------------|------------------------|---|----------|
| 5.        |                                    | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770<br/>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</p> | <p><b>REGION<br/>DESIGN<br/>INC.</b></p> | SHEET TITLE            |                        | CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. |          |
| 4.        |                                    |  |  |  | RIGHT SIDE ELEVATION 2 |                        |   |          |
| 3.        |                                    |  |  |  | SCALE                  | BY                     | AREA  | PAGE No. |
| 2.        | ISSUED FOR COORDINATION            |  |  |  | 3/16"=1'-0"            | ZMP                    | 2,866   | 6-2      |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017   | DATE   | TYPE                                     | PROJECT                | PROJECT NAME           |   |          |
| REVISIONS |                                    |  | AUG 2017   |  | 05-15-03               | TRINAR HALL HOMES INC. |   |          |

ENERGY STAR

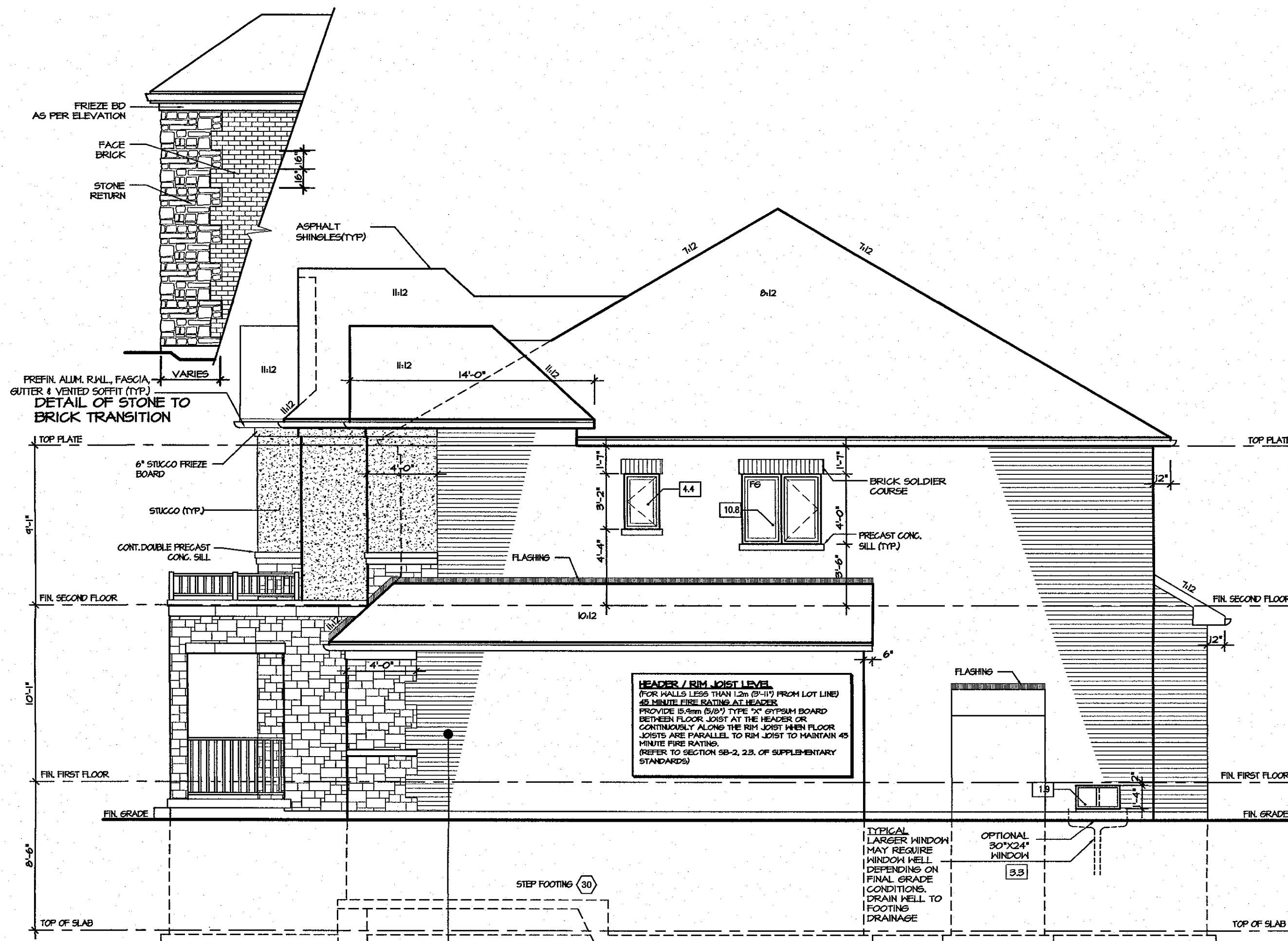






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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



**HEADER / RIM JOIST LEVEL**  
 (FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)  
 45 MINUTE FIRE RATING AT HEADER  
 PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

**BRICK VENEER CONSTRUCTION**  
 (FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)  
 45 MINUTE FIRE RATED WALL  
 PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/50J. (REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

## RIGHT ELEVATION 3

### ALLOWABLE GLAZING

#### WALL AREA

WALL AREA 1003.47  
 ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD) 70.24  
 ACTUAL WINDOW AREA 19.60

21.00

FEB 15 2018

**GLENWAY 3A**

ENERGY STAR

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *ALL*  
 This stamp is only for the purposes of design control and carries no other professional obligations.

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|    |                                    |          |
|----|------------------------------------|----------|
| 5. |                                    |          |
| 4. |                                    |          |
| 3. |                                    |          |
| 2. | ISSUED FOR COORDINATION            | SEP 2017 |
| 1. | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |

#### REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
**VIKAS GAJJAR** *[Signature]* **28770**  
 NAME SIGNATURE BCIN

REGION DESIGN INC.  
 8700 DUFFERIN ST.  
 CONCORD, ONTARIO  
 L4K 4S6  
 P (416) 736-4096  
 F (905) 660-0746

**REGION DESIGN INC.**

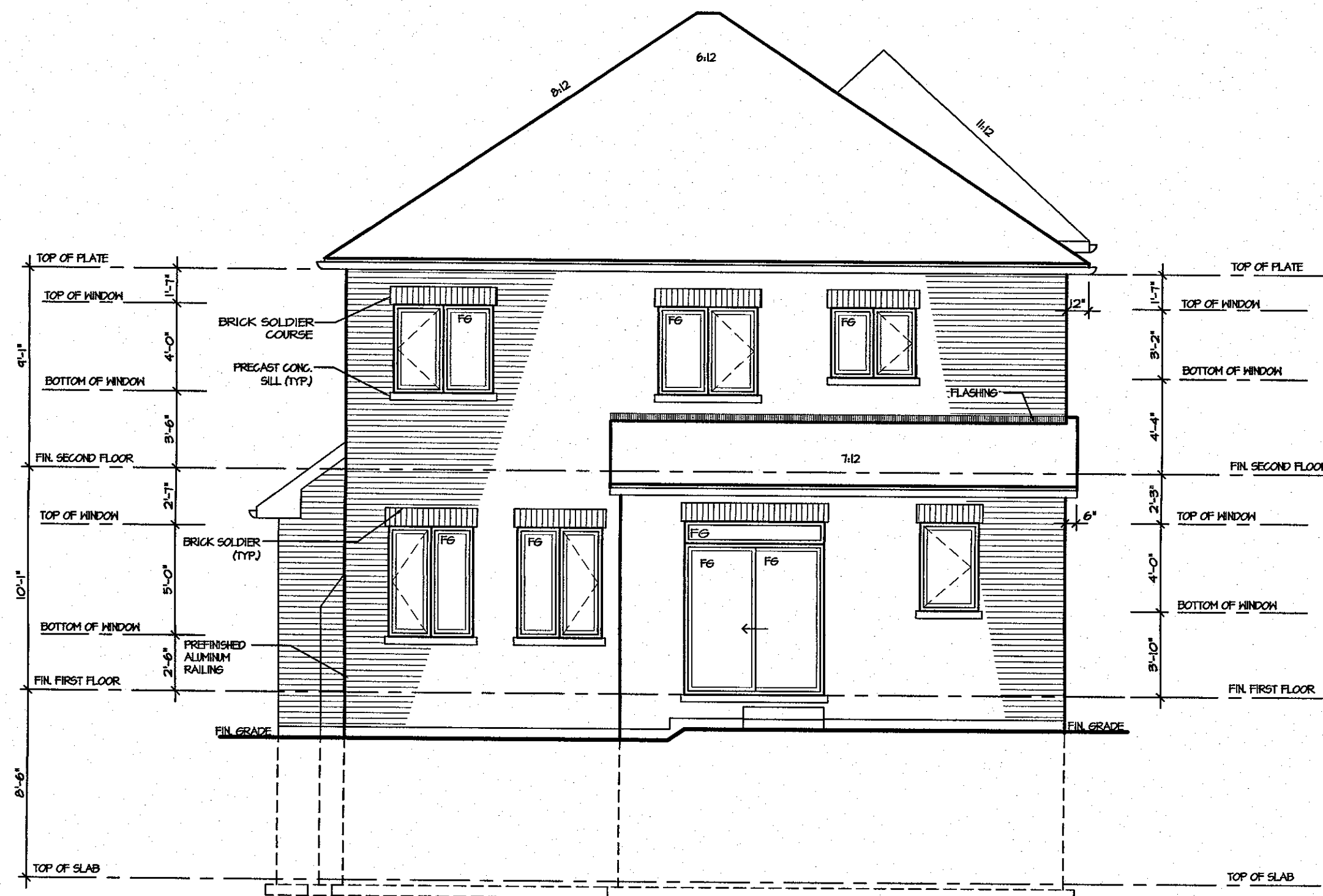
SHEET TITLE  
**RIGHT SIDE ELEVATION 3**  
 SCALE 3/16"=1'-0"  
 BY ZMP  
 DATE AUG 2017  
 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
 AREA 2,866  
 PAGE No. 6-3  
 PROJECT 05-15-03

**Greenpark**  
 PROJECT NAME  
**TRINAR HALL HOMES INC.**

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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



REAR ELEVATION 1

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *ALL*  
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**GLENWAY 3A**

ENERGY STAR

FEB 15 2018

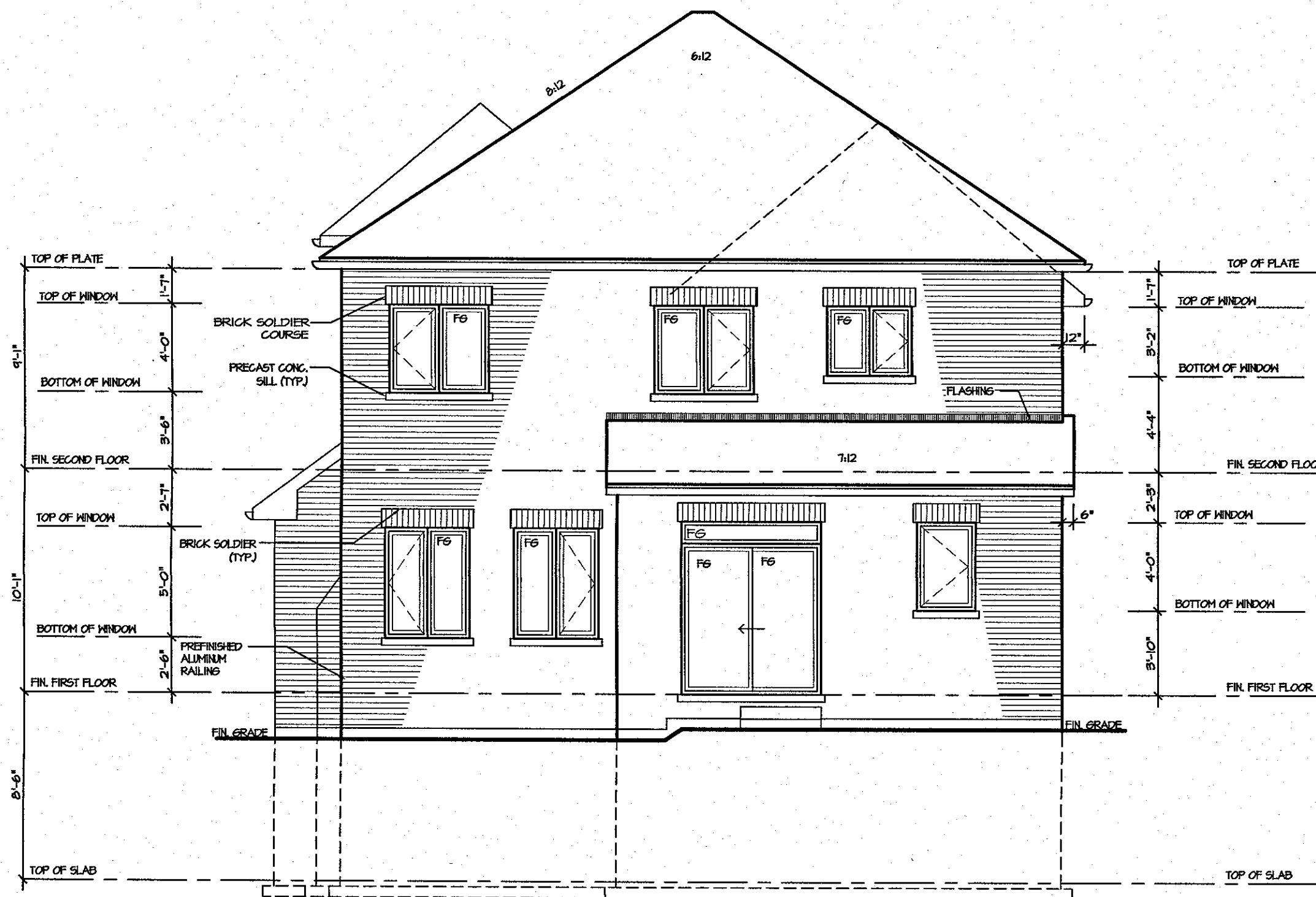
|  |  |   |                                  |  |   |  |
|--|--|---|----------------------------------|--|---|--|
| <p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 3 FROM FARTHINGALE AUG 2017</p> <p><b>REVISIONS</b></p> | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b><br/> <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></p> <p>VIKAS GAJJAR <i>[Signature]</i> <b>28770</b><br/>       NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.<br/>       8700 DUFFERIN ST.<br/>       CONCORD, ONTARIO<br/>       L4K 4S6<br/>       P (416) 736-4096<br/>       F (905) 660-0746</p> | <p><b>REGION DESIGN INC.</b></p> | <p>SHEET TITLE<br/> <b>REAR ELEVATION 1</b></p> <p>SCALE <b>3/16"=1'-0"</b><br/>       DATE <b>AUG 2017</b></p> <p>BY <b>ZMP</b><br/>       TYPE</p> | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA <b>2,866</b><br/>       PROJECT <b>05-15-03</b></p> <p>PAGE No. <b>7</b></p> | <p><b>Greenpark</b></p> <p>PROJECT NAME<br/> <b>TRINAR HALL HOMES INC.</b></p> |
|--|--|---|----------------------------------|--|---|--|

February 13, 2018 4:41:34 PM M:\PROJECTS\TRINAR HALL HOMES INC\STANDARDS\GLENWAY 3A - REG\GLENWAY 3A MASTER.DWG



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| Discipline    | Reviewer   | BCIN  | Date       |
|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



REAR ELEVATION 2

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *W*  
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FEB 15 2018

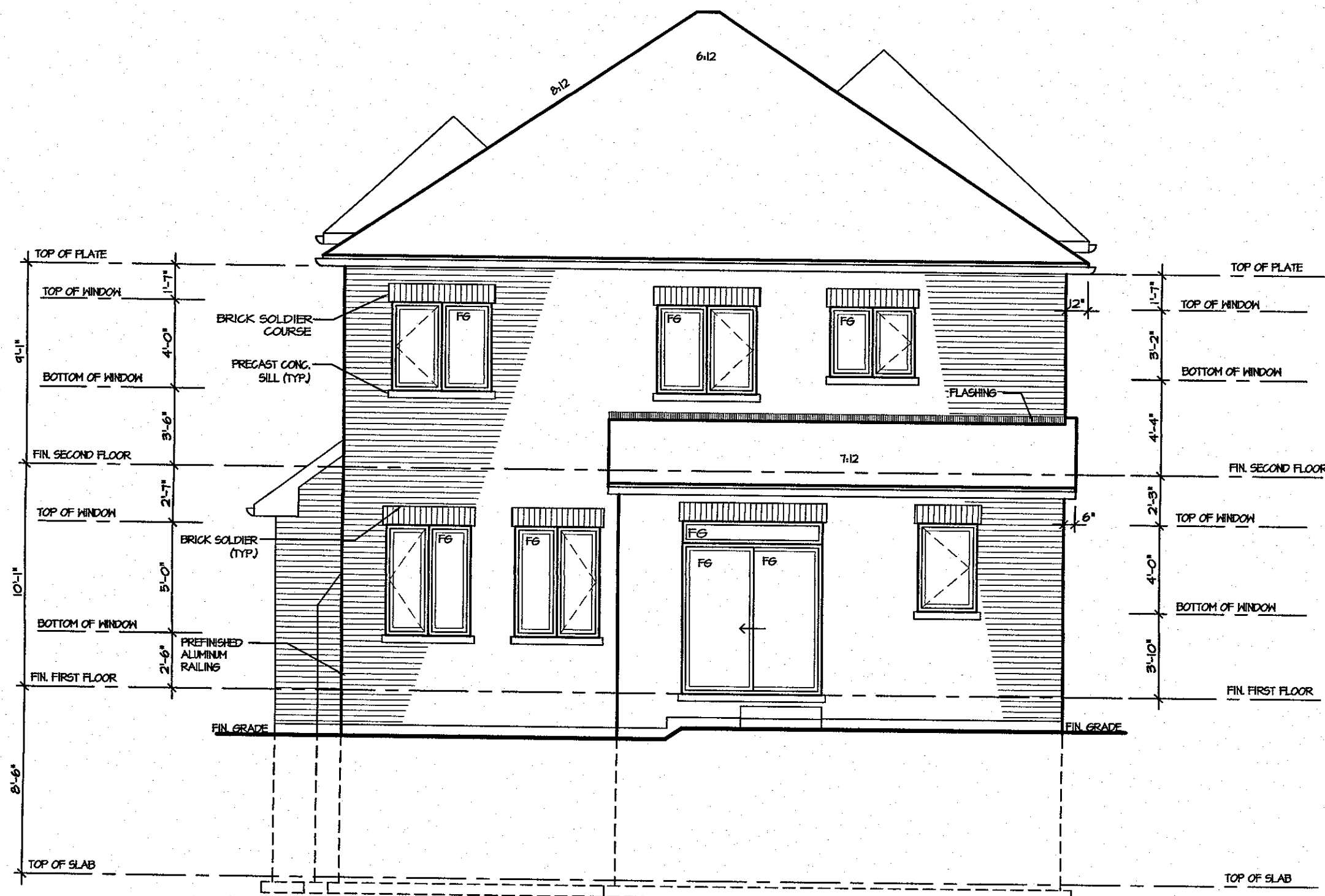
**GLENWAY 3A**

ENERGY STAR

|   |   |   |  |  |  |
|---|---|---|--|--|--|
| <p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 3 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p> | <p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION<br/>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR <i>[Signature]</i> 28770<br/>NAME SIGNATURE BCIN</p> | <p>REGION DESIGN INC.<br/>8700 DUFFERIN ST.<br/>CONCORD, ONTARIO<br/>L4K 4S6<br/>P (416) 736-4096<br/>F (905) 660-0746</p> <p><b>REGION DESIGN INC.</b></p> | <p>SHEET TITLE<br/><b>REAR ELEVATION 2</b></p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p> | <p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2,866</p> <p>PAGE No. 7-2</p> <p>PROJECT 05-15-03</p> | <p><b>Greenpark</b></p> <p>PROJECT NAME<br/>TRINAR HALL HOMES INC.</p> |
|---|---|---|--|--|--|

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|---------------|------------|-------|------------|
| Building Code | H. Authier | 43236 | 2021-02-08 |
| Sewage System |            |       |            |
| Zoning        |            |       |            |



REAR ELEVATION 3

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
 DEC. 04, 2020  
**FINAL** BY: *ACE*  
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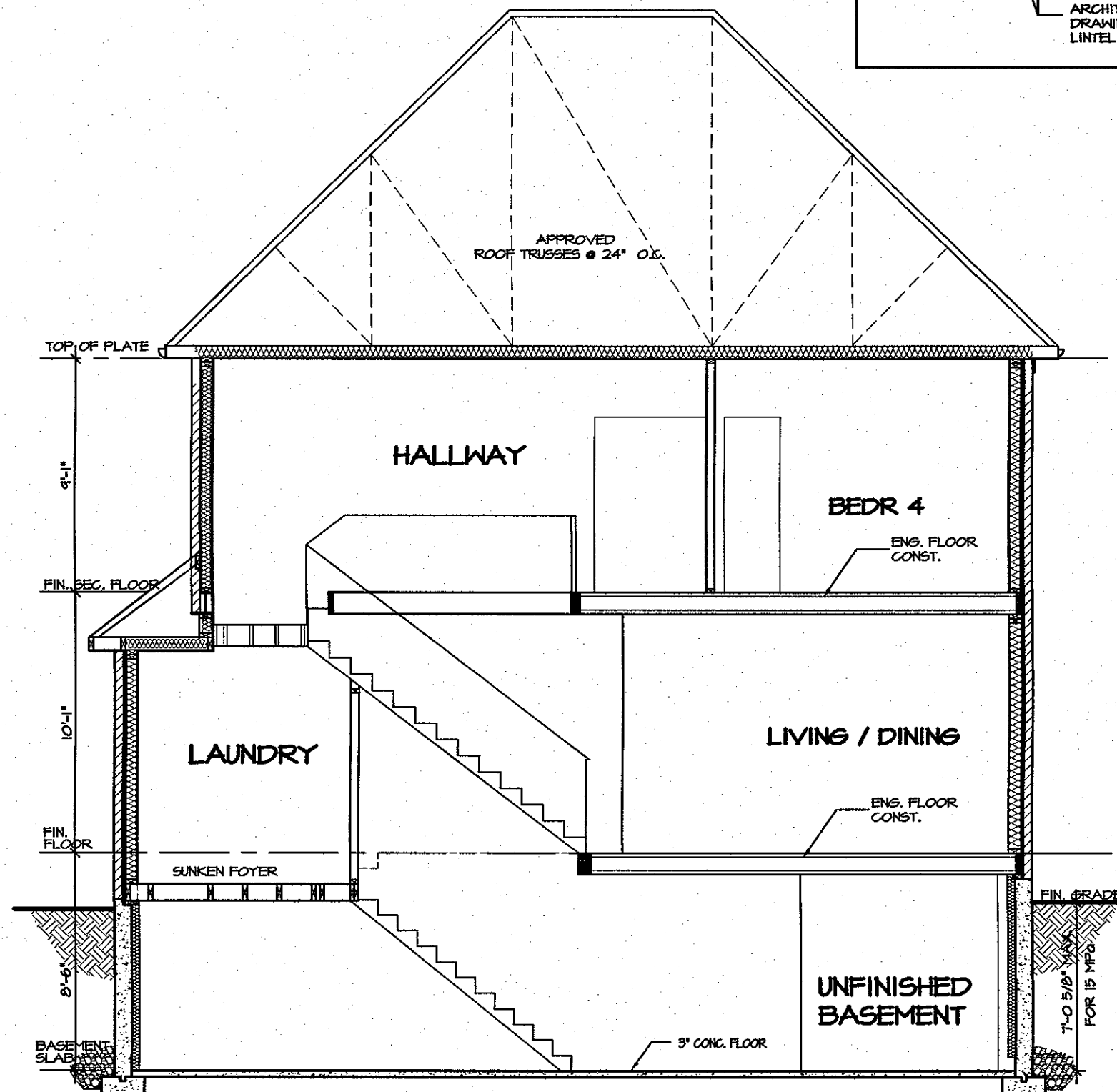
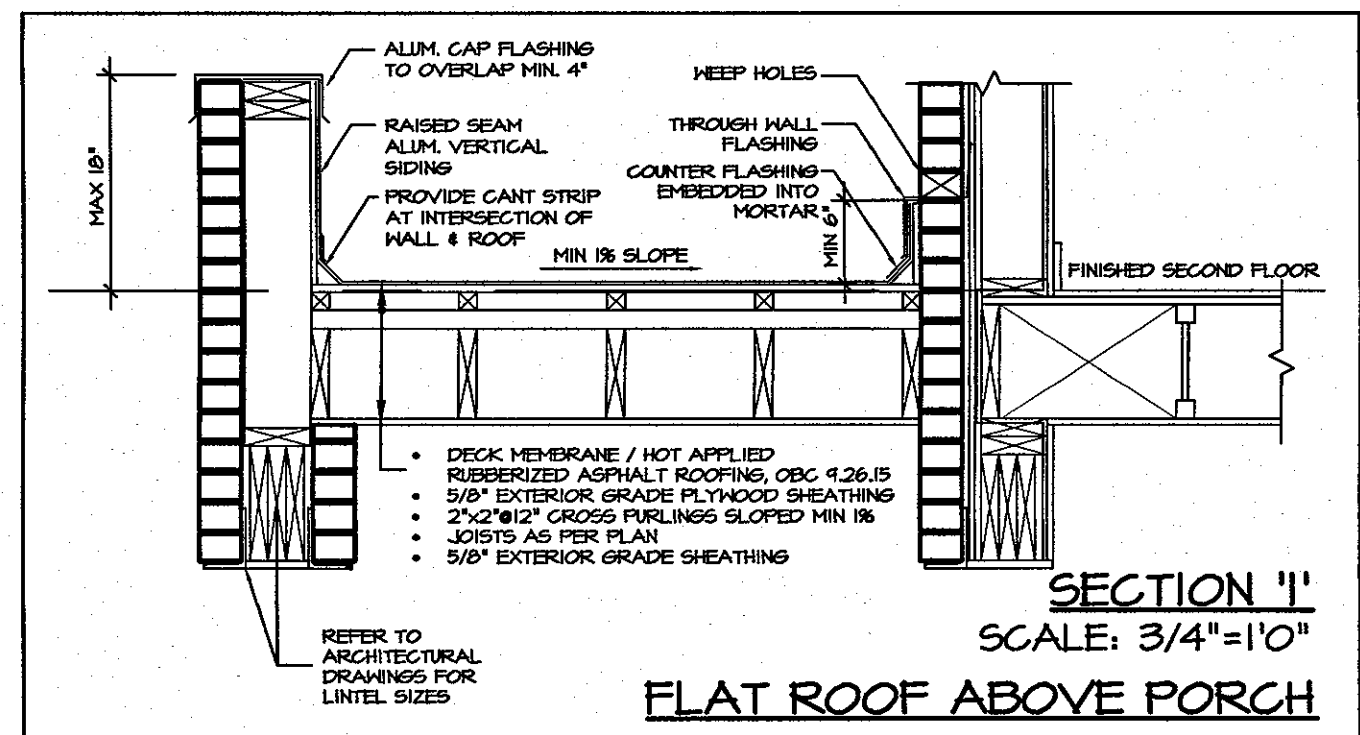
**GLENWAY 3A**

ENERGY STAR

FEB 15 2018

|           |  |  |  |  |  |                                       |                                 |           |   |                 |   |
|-----------|--|--|--|--|--|---------------------------------------|---------------------------------|-----------|---|-----------------|---|
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| 4.        |  |  |  |  |  |                                       | SCALE<br>3/16"=1'-0"            | BY<br>ZMP | AREA<br>2,866   | PAGE No.<br>7-3 |   |
| 3.        |  |  |  |  |  |                                       | DATE<br>AUG 2017                | TYPE      | PROJECT<br>05-15-03   |                 |   |
| 2.        |  | ISSUED FOR COORDINATION<br>SEP 2017            |  |  |  |                                       |                                 |           |   |                 |   |
| 1.        |  | REVISED GLENWAY 3 FROM FARTHINGALE<br>AUG 2017 |  |  |  |                                       |                                 |           |   |                 |   |
| REVISIONS |  |  |  |  |  |                                       |                                 |           |   |                 |   |





CROSS SECTION



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| Sewage System |            |       |            |
| Zoning        |            |       |            |



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GLENWAY 3A

ENERGY STAR

FEB 15 2018

|           |                                    |          |
|-----------|------------------------------------|----------|
| 5.        |                                    |          |
| 4.        |                                    |          |
| 3.        |                                    |          |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017 |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |
| REVISIONS |                                    |          |

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VIKAS GAJJAR 28770  
NAME SIGNATURE BCIN

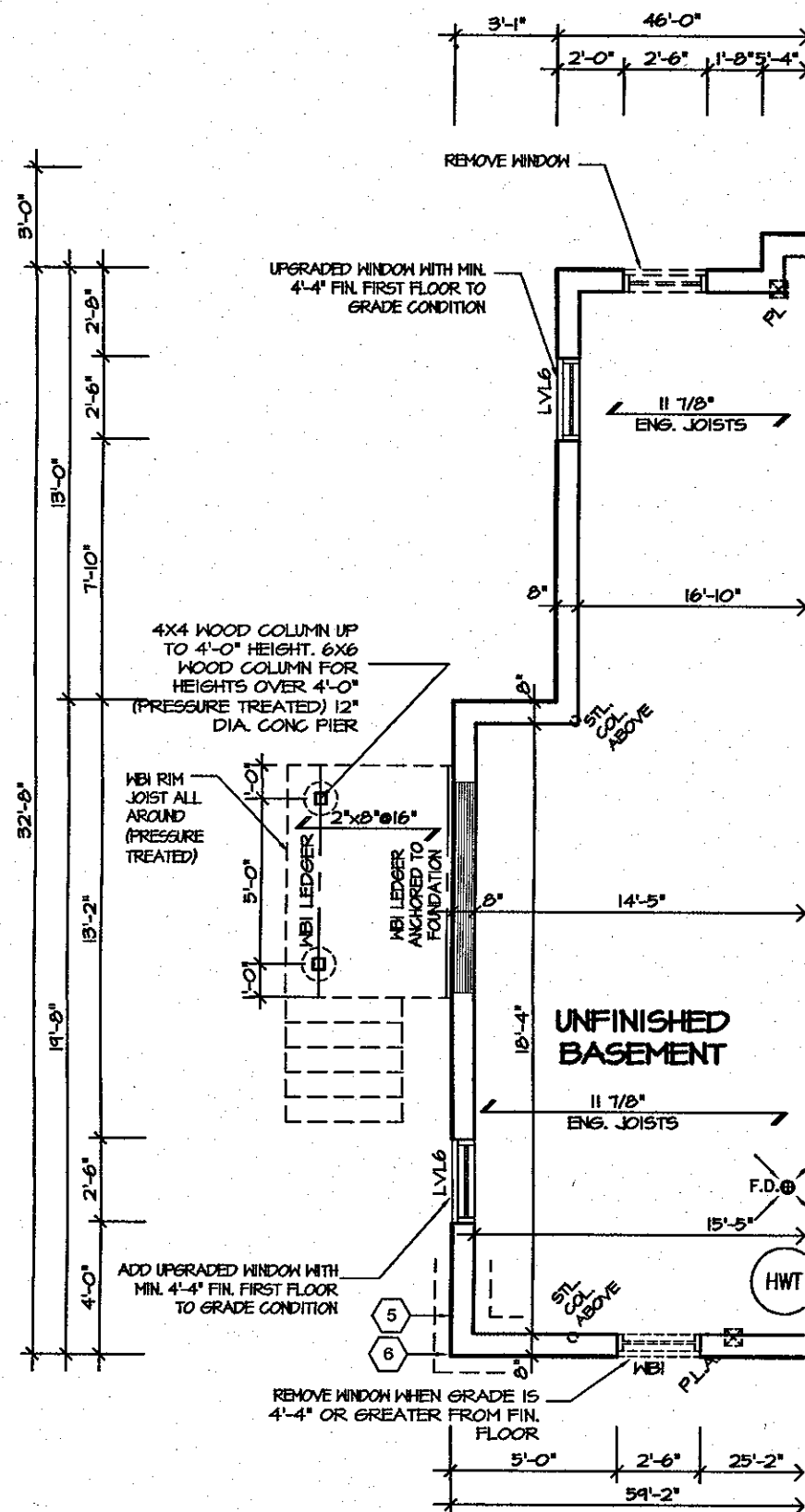
REGION DESIGN INC.  
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**REGION DESIGN INC.**

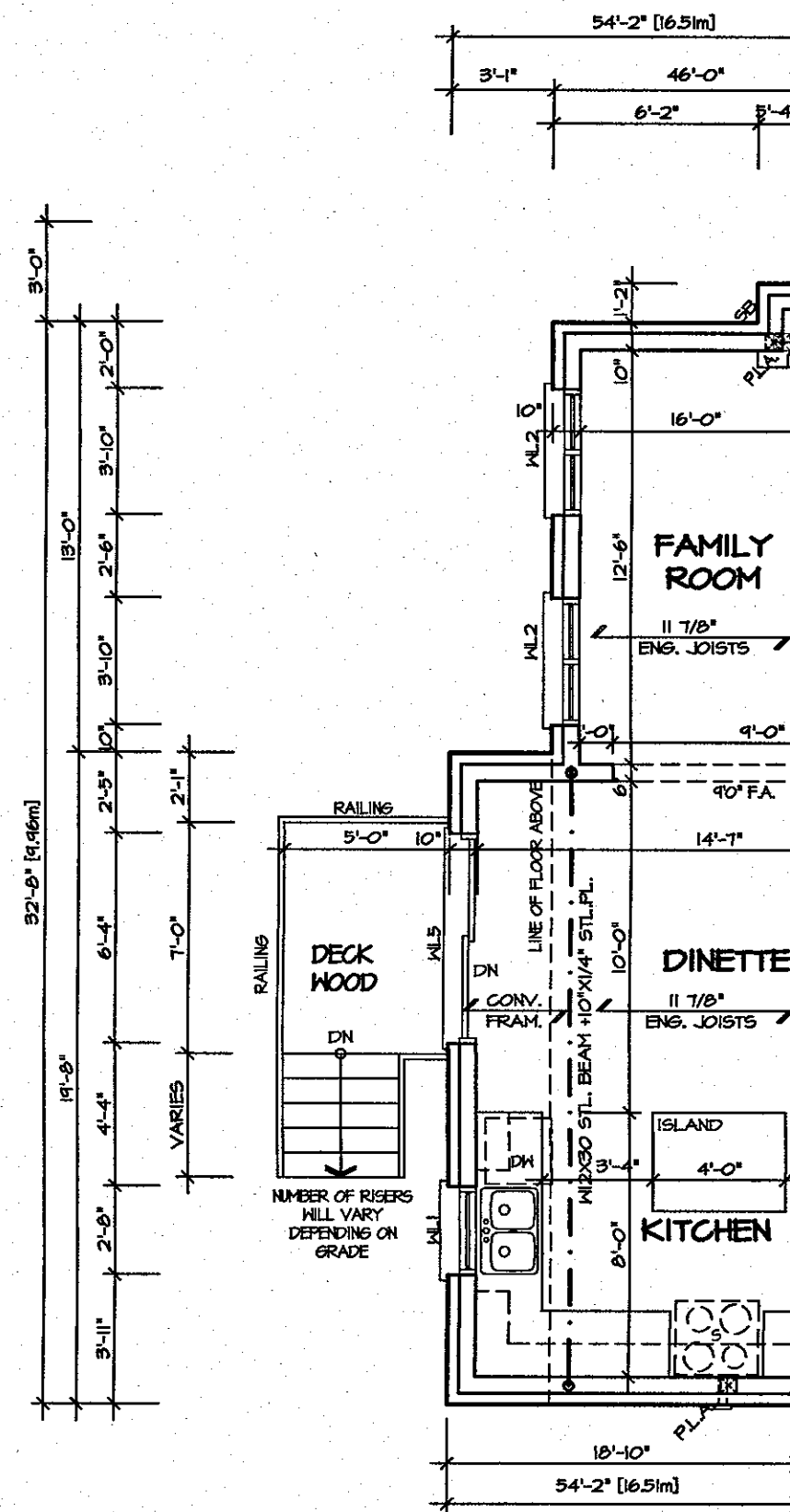
SHEET TITLE  
**CROSS SECTION**  
ELEV. 1 & 2  
SCALE 3/16"=1'-0"  
DATE AUG 2017  
BY ZMP  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 2,866  
PAGE No. 8  
PROJECT 05-15-03

**Greenpark**  
PROJECT NAME  
TRINAR HALL HOMES INC.



PARTIAL BASEMENT PLAN FOR  
DECK CONDITION 1, 2 & 3

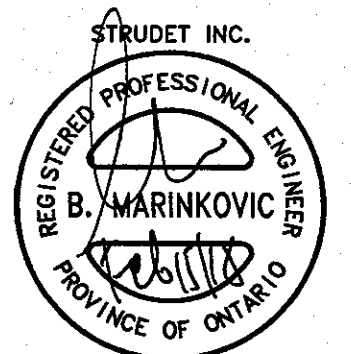


PARTIAL FIRST FLOOR PLAN  
FOR DECK CONDITION 1, 2 & 3



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| Sewage System |            |       |            |
| Zoning        |            |       |            |



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FEB 15 2018

**GLENWAY 3A**  
ENERGY STAR

|           |                                    |          |  |   |   |           |   |               |   |
|-----------|------------------------------------|----------|--|---|---|-----------|---|---------------|---|
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| 4.        |                                    |          |  |   | SCALE<br>3/16"=1'-0"                        | BY<br>ZMP | AREA<br>2,866   | PAGE No.<br>9 |   |
| 3.        |                                    |          |  |   | DATE<br>AUG 2017                            | TYPE      | PROJECT<br>05-15-03   |               |   |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017 |  |   |   |           |   |               |   |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |  |   |   |           |   |               |   |
| REVISIONS |                                    |          |  |   |   |           |   |               |   |

REVISIONS





ENERGY STAR

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|           |                                    |          |   |  |  |                             |           |   |                 |   |  |
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| 4.        |                                    |          |   |  |  | REAR DECK<br>ELEV. 1, 2 & 3 |           |   |                 |   | PROJECT NAME<br>TRINAR HALL HOMES INC. |
| 3.        |                                    |          |   |  |  | SCALE<br>3/16"=1'-0"        | BY<br>ZMP | AREA<br>2,866   | PAGE No.<br>9-2 |   |  |
| 2.        | ISSUED FOR COORDINATION            | SEP 2017 |   |  |  | DATE<br>AUG 2017            | TYPE      | PROJECT<br>05-15-03   |                 |   |  |
| 1.        | REVISED GLENWAY 3 FROM FARTHINGALE | AUG 2017 |   |  |  |                             |           |   |                 |   |  |
| REVISIONS |                                    |          |   |  |  |                             |           |   |                 |   |  |