

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC.
FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4'-3"x1-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5'-3"x1-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6'-3"x1-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6'-3"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5'-3"x1-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5'-3"x1-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5'-3"x1-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6'-3"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 16" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (100x90x6.0L)
L2 = 4'-3"x1-1/2"x5/16" (100x90x8.0L)
L3 = 5'-3"x1-1/2"x5/16" (125x90x8.0L)
L4 = 6'-3"x1-1/2"x3/8" (150x90x10.0L)
L5 = 6'-3"x3/8" (150x100x10.0L)
L6 = 7'-3"x3/8" (175x100x10.0L)

DOOR SCHEDULE

1 = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR
1a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR
8 = 3'-0" x 6'-8" (914x2033) - BARRIER FREE ACCESS DOOR

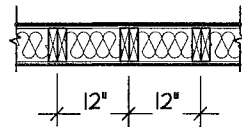
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

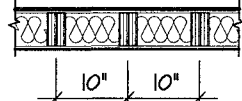
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

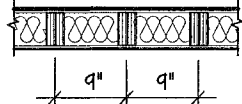
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @9" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAXIMUM WIDTH IS
40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"x4"x1/4" H.S.S.
W/ 10"x8"x1/2" BASE PLATE & 2-3/4" DIA. ANCHOR
BOLTS
C2 = 5"x5"x1/4" H.S.S.
W/ 12"x12"x1/2" BASE PLATE & 4-3/4" DIA. ANCHOR
BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COLUMN = 35 kNm

TOWN OF EAST GWILLIMBURY BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN
REVIEWED FOR COMPLIANCE WITH
THE ZONING BY-LAW 2018-043, AS
AMENDED

FOR Model Review
BY cfooster
DATE 21/01/2021

AREA CALCULATIONS

ELEV. 1			
GROUND FLOOR AREA	=	1502	Sq. Ft.
SECOND FLOOR AREA	=	1812	Sq. Ft.
TOTAL FLOOR AREA	=	3314	Sq. Ft.
	=	307.88	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3324	Sq. Ft.
	=	308.81	Sq. M.
GROUND FLOOR COVERAGE	=	1502	Sq. Ft.
GARAGE COVERAGE / AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	110	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2012	Sq. Ft.
	=	186.92	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1902	Sq. Ft.
	=	176.70	Sq. m.

AREA CALCULATIONS

ELEV. 3			
GROUND FLOOR AREA	=	1502	Sq. Ft.
SECOND FLOOR AREA	=	1815	Sq. Ft.
TOTAL FLOOR AREA	=	3317	Sq. Ft.
	=	308.16	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3327	Sq. Ft.
	=	309.09	Sq. M.
GROUND FLOOR COVERAGE	=	1502	Sq. Ft.
GARAGE COVERAGE / AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	105	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2007	Sq. Ft.
	=	186.46	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1902	Sq. Ft.
	=	176.70	Sq. m.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT
SHALL CONFORM TO THE FOLLOWING

ENERGY STAR V-17

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR @ ZONE 2 (ER 24/1V 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR @ HRV TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/AIR
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIRONMENT
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (25 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND 1 m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

AREA CALCULATIONS

ELEV. 2			
GROUND FLOOR AREA	=	1502	Sq. Ft.
SECOND FLOOR AREA	=	1822	Sq. Ft.
TOTAL FLOOR AREA	=	3324	Sq. Ft.
	=	308.81	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3334	Sq. Ft.
	=	309.74	Sq. M.
GROUND FLOOR COVERAGE	=	1502	Sq. Ft.
GARAGE COVERAGE / AREA	=	400	Sq. Ft.
PORCH COVERAGE / AREA	=	110	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2012	Sq. Ft.
	=	186.92	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1902	Sq. Ft.
	=	176.70	Sq. m.

GLENWAY 7A - ELEV. 1

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	144.70	(64.65)	114.42	(11.04)	15.93 %
LEFT SIDE	1198.62	(111.36)	76.58	(7.11)	6.34 %
RIGHT SIDE	1215.24	(112.90)	68.25	(6.34)	5.62 %
REAR	134.74	(68.72)	141.08	(13.11)	14.07 %
TOTAL	3403.35 FT²	(362.63 M²)	405.33 FT²	(37.66 M²)	10.38 %

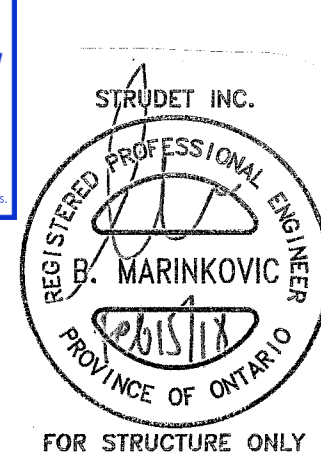
GLENWAY 7A - ELEV. 2

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	754.84	(70.13)	113.30	(10.53)	15.01 %
LEFT SIDE	1198.00	(111.30)	76.58	(7.11)	6.34 %
RIGHT SIDE	1213.34	(112.72)	68.25	(6.34)	5.62 %
REAR	134.74	(68.72)	141.08	(13.11)	14.07 %
TOTAL	3405.91 FT²	(362.88 M²)	349.21 FT²	(31.94 M²)	10.22 %

GLENWAY 7A - ELEV. 3

ELEVATION	WALL FT²	(WALL M²)	OPENING FT²	(OPENING M²)	PERCENTAGE
FRONT	145.00	(64.21)	121.20	(11.26)	16.27 %
LEFT SIDE	1187.88	(110.36)	76.58	(7.11)	6.45 %
RIGHT SIDE	1212.42	(112.64)	68.25	(6.34)	5.63 %
REAR	134.74	(68.72)	141.08	(13.11)	14.07 %
TOTAL	3405.04 FT²	(360.93 M²)	407.11 FT²	(37.82 M²)	10.48 %

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: [Signature]



FOR STRUCTURE ONLY
Energy Star
ESCC MODEL
ENERGY STAR - V 17

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
EAST GWILLIMBURY.

APR 01 2019

GLENWAY 7A
ENERGY STAR

Greenpark

PROJECT NAME
TRINAR HALL HOMES INC

5.		
4.		
3.	ENERGY STAR CHART	APR 01/19
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

SHEET TITLE
AREA CHARTS
SCALE
3/16"=1'-0"
DATE
AUG 2017

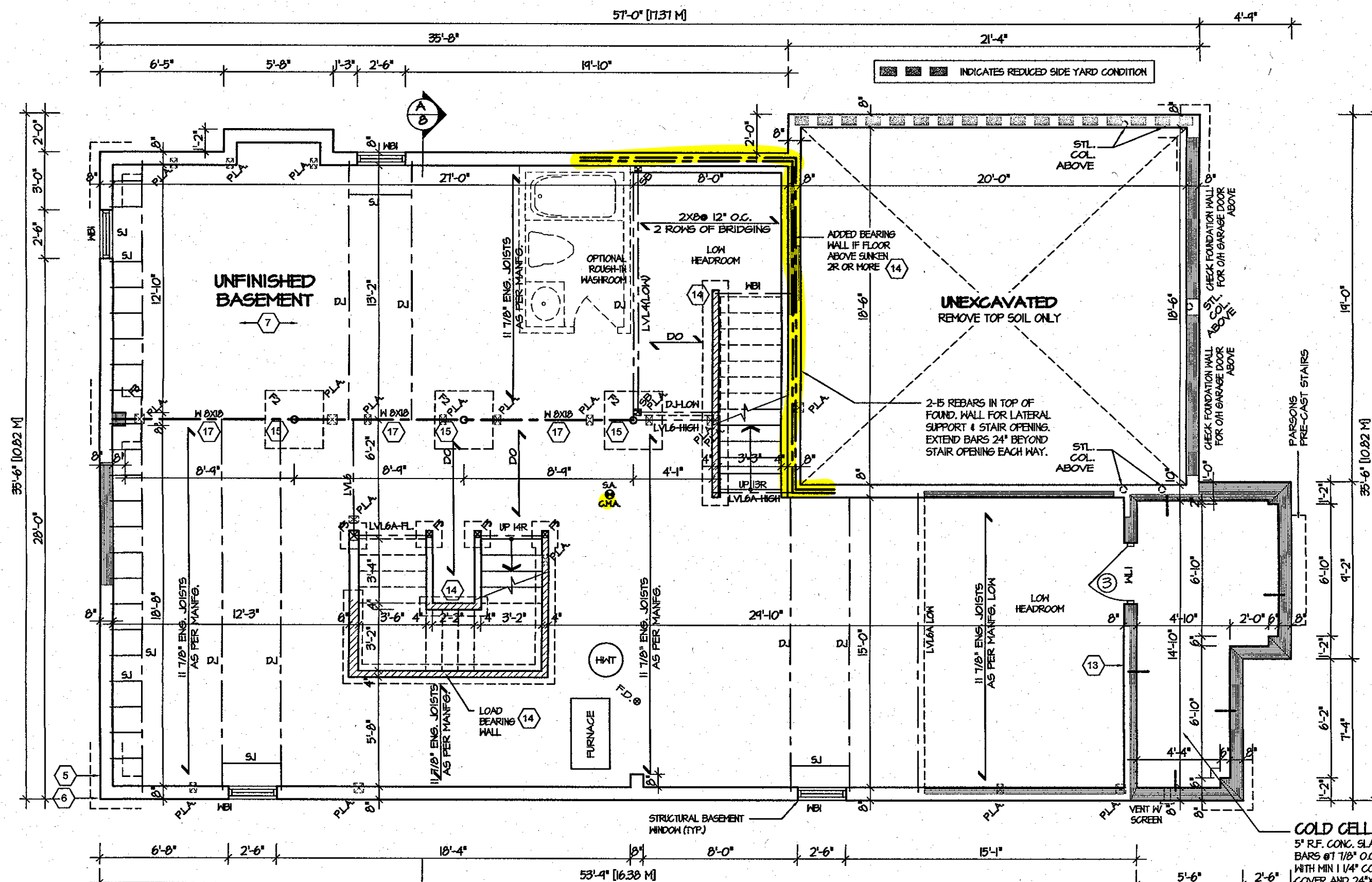
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
3324
PAGE NO.
0

PROJECT NAME
TRINAR HALL HOMES INC

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



BASEMENT PLAN I

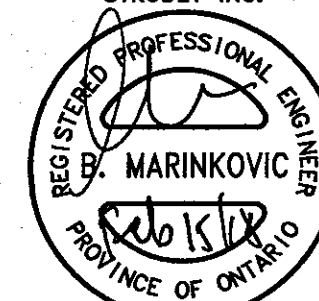
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR

STRUDET INC.



FEB 15 2018

FOR STRUCTURE ONLY

GLENWAY 7A

ENERGY STAR

5.	
4.	
3.	
2.	ISSUED FOR COORDINATION SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
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P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
BASEMENT PLAN 1

SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

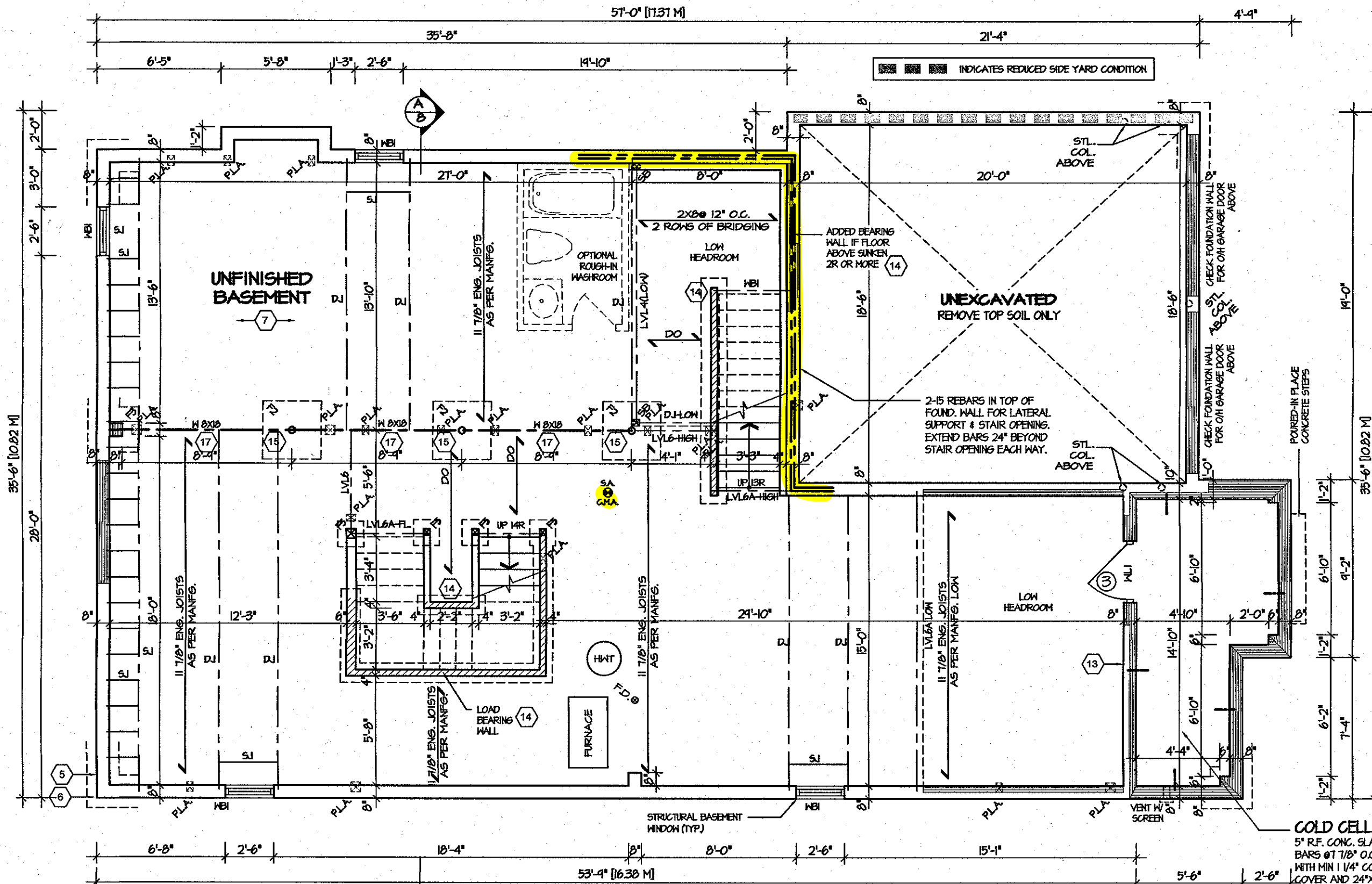
AREA 3324	PAGE No. 1
PROJECT 05-15-05	

Greenpark.

PROJECT NAME
TRINAR HALL HOMES INC

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-06
Sewage System			
Zoning			



BASEMENT PLAN 2

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

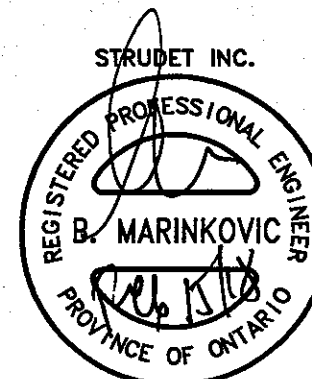
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR

COLD CELLAR
5" R.F. CONC. SLAB WITH 10M BARS @ 7" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWNELS SPACED NOT MORE THAN 23 5/8" O.C.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of East Gwillimbury.



FEB 15 2018

FOR STRUCTURE ONLY

GLENWAY 7A

ENERGY STAR

REVISIONS	
5.	
4.	
3.	
2.	ISSUED FOR COORDINATION SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
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F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE	BASEMENT PLAN 2
SCALE	3/16"=1'-0"
DATE	AUG 2017
BY	ZMP
TYPE	

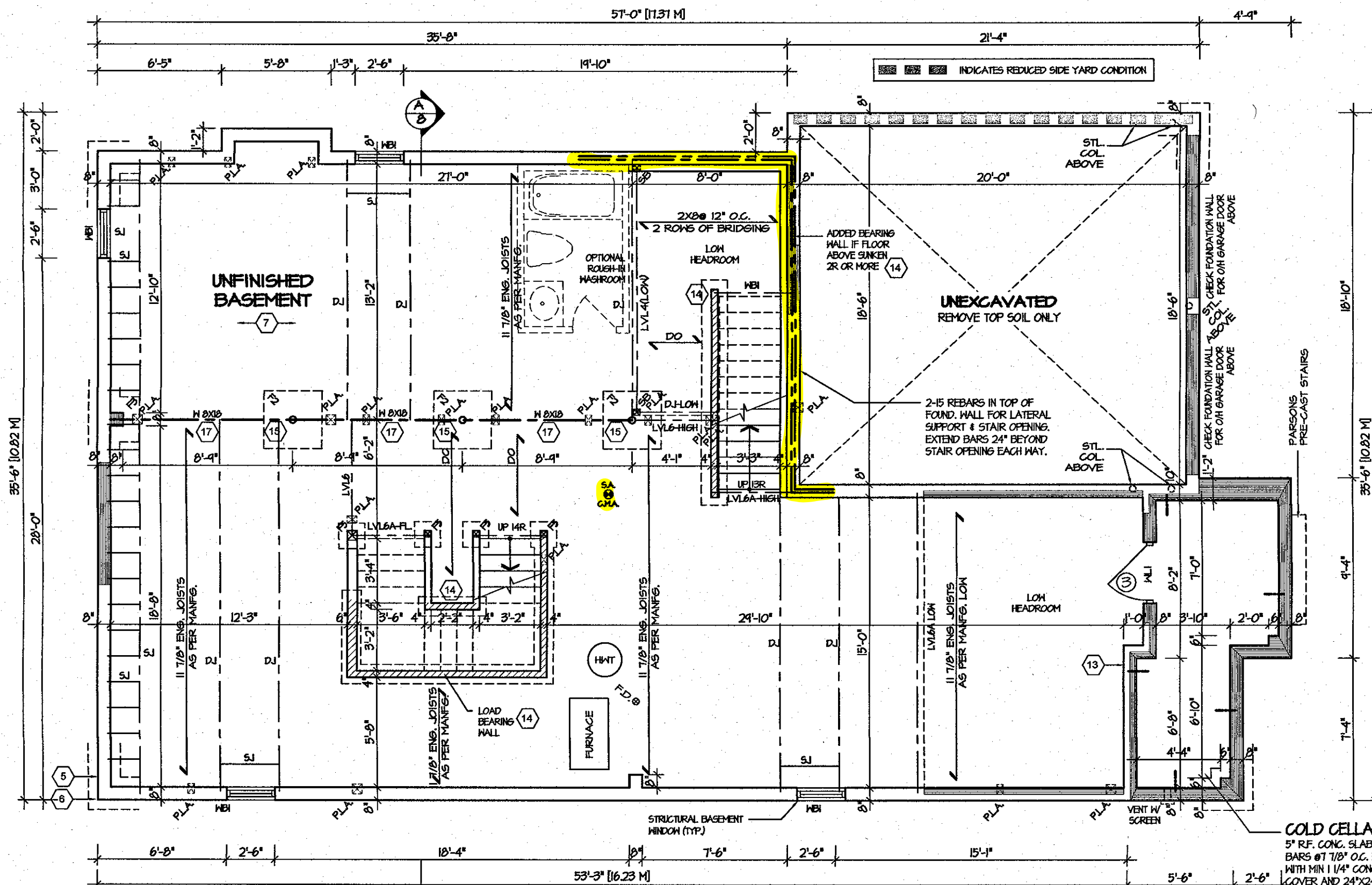
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	3324
PAGE No.	1-2
PROJECT	05-15-05

Greenpark

PROJECT NAME
TRINAR HALL HOMES INC

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



BASEMENT PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

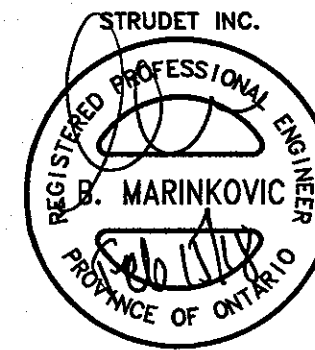
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

COLD CELLAR
5" R.F. CONG. SLAB WITH 10M BARS @ 7/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOMELS SPACED NOT MORE THAN 23 5/8" O.C.

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FEB 15 2018

FOR STRUCTURE ONLY

GLENWAY 7A

ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

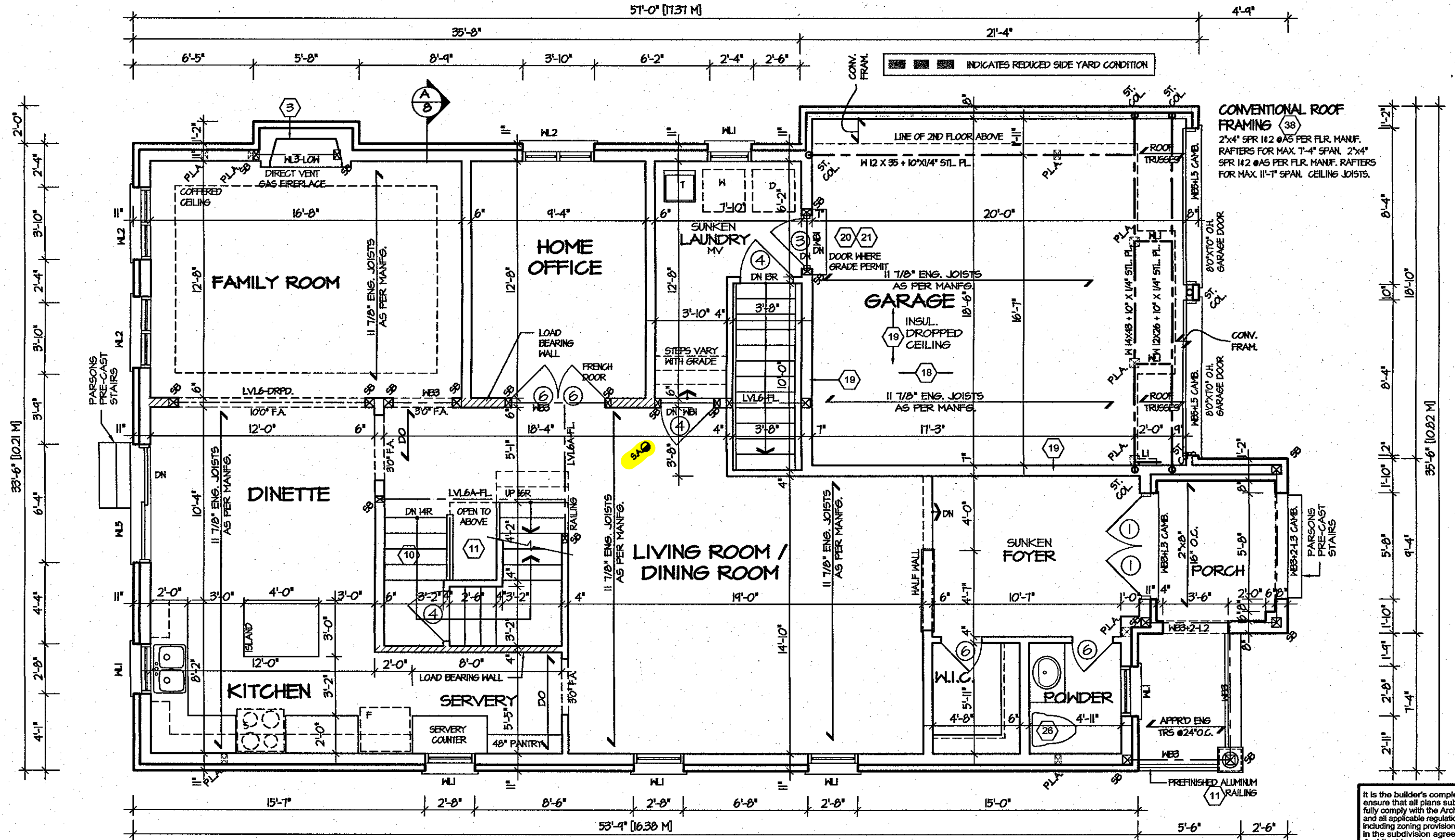
REGION DESIGN INC.

SHEET TITLE BASEMENT PLAN 3	
SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3324	PAGE No. 1-3
PROJECT 05-15-05	

Greenpark.

PROJECT NAME
TRINAR HALL HOMES INC



GROUND FLOOR PLAN 3

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

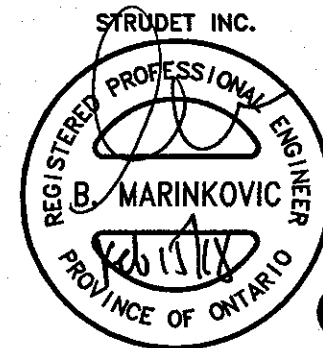
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FEB 15 2018

FOR STRUCTURE ONLY

GLENWAY 7A

ENERGY STAR

5.	
4.	
3.	
2.	ISSUED FOR COORDINATION SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017
REVISIONS	

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QUALIFICATION INFORMATION
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NAME SIGNATURE
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8700 DUFFERIN ST.
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P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE FIRST FLOOR PLAN 3	
SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 3324	PAGE No. 2-3
	PROJECT 05-15-05	

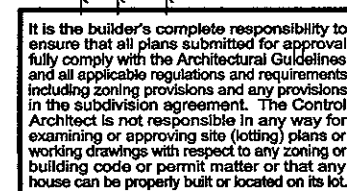
Greenpark.

PROJECT NAME
TRINAR HALL HOMES INC

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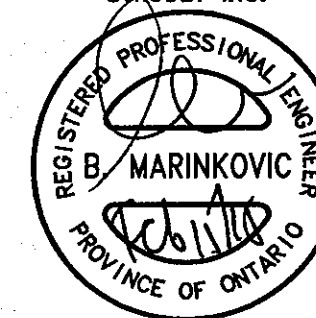
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



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STRUDET INC.



GLENWAY 7A

FOR STRUCTURE ONLY

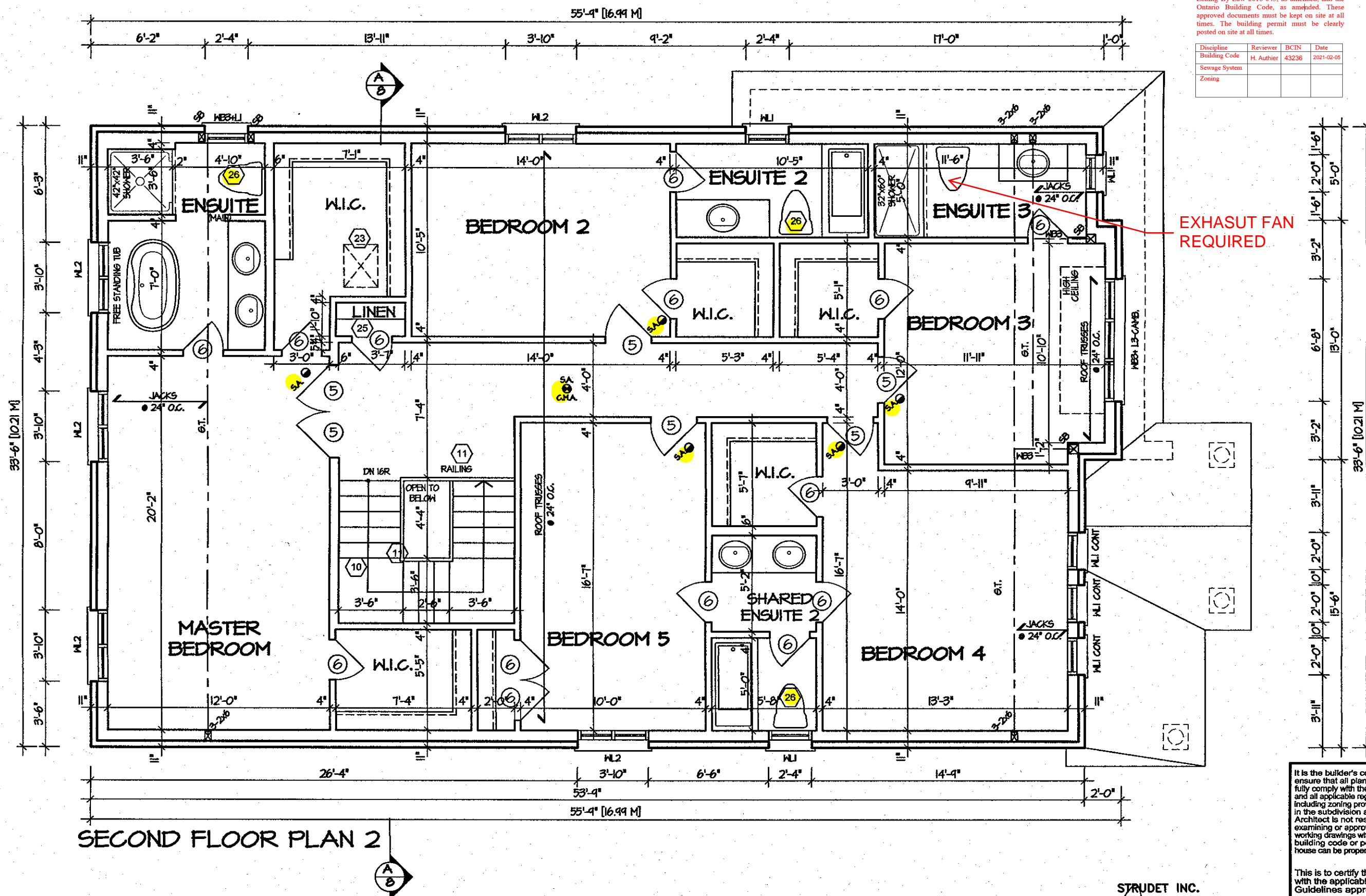
ENERGY STAR

FEB 15 2018

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4.						SECOND FLOOR PLAN 1				
3.						SCALE 3/16"=1'-0"	BY ZMP	AREA 3324	PAGE No. 3	
2.	ISSUED FOR COORDINATION	SEP 2017				DATE AUG 2017	TYPE	PROJECT 05-15-05		
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017								
REVISIONS										

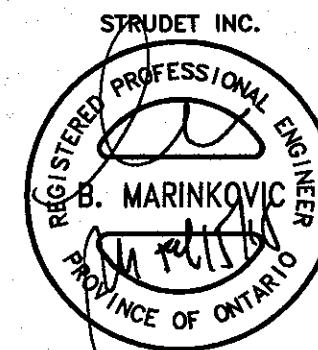
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-09
Sewage System			
Zoning			



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FEB 15 2018

FOR STRUCTURE ONLY

GLENWAY 7A

ENERGY STAR

5.		
4.		
3.		
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1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

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VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0748

REGION DESIGN INC.

SHEET TITLE
SECOND FLOOR PLAN 2

SCALE
3/16"=1'-0"
DATE
AUG 2017

BY
ZMP
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
3324
PROJECT
05-15-05

PAGE No.
3-2

Greenpark

PROJECT NAME
TRINAR HALL HOMES INC

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02
Sewage System			
Zoning			

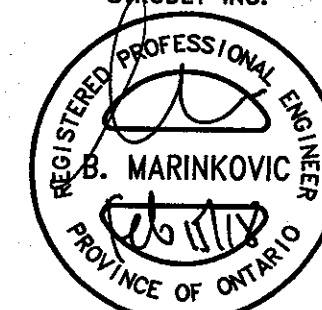


DIMENSIONS TO MASONRY

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STRUDET INC.



FOR STRUCTURE ONLY

FEB 15 2018

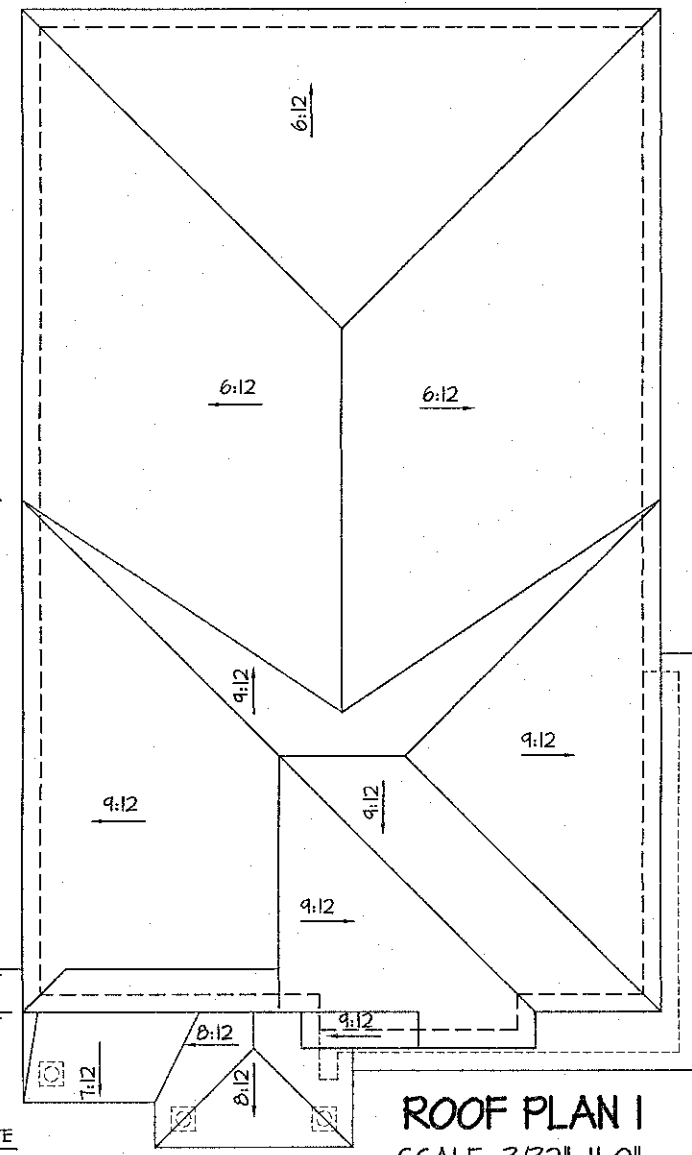
GLENWAY 7A

ENERGY STAR

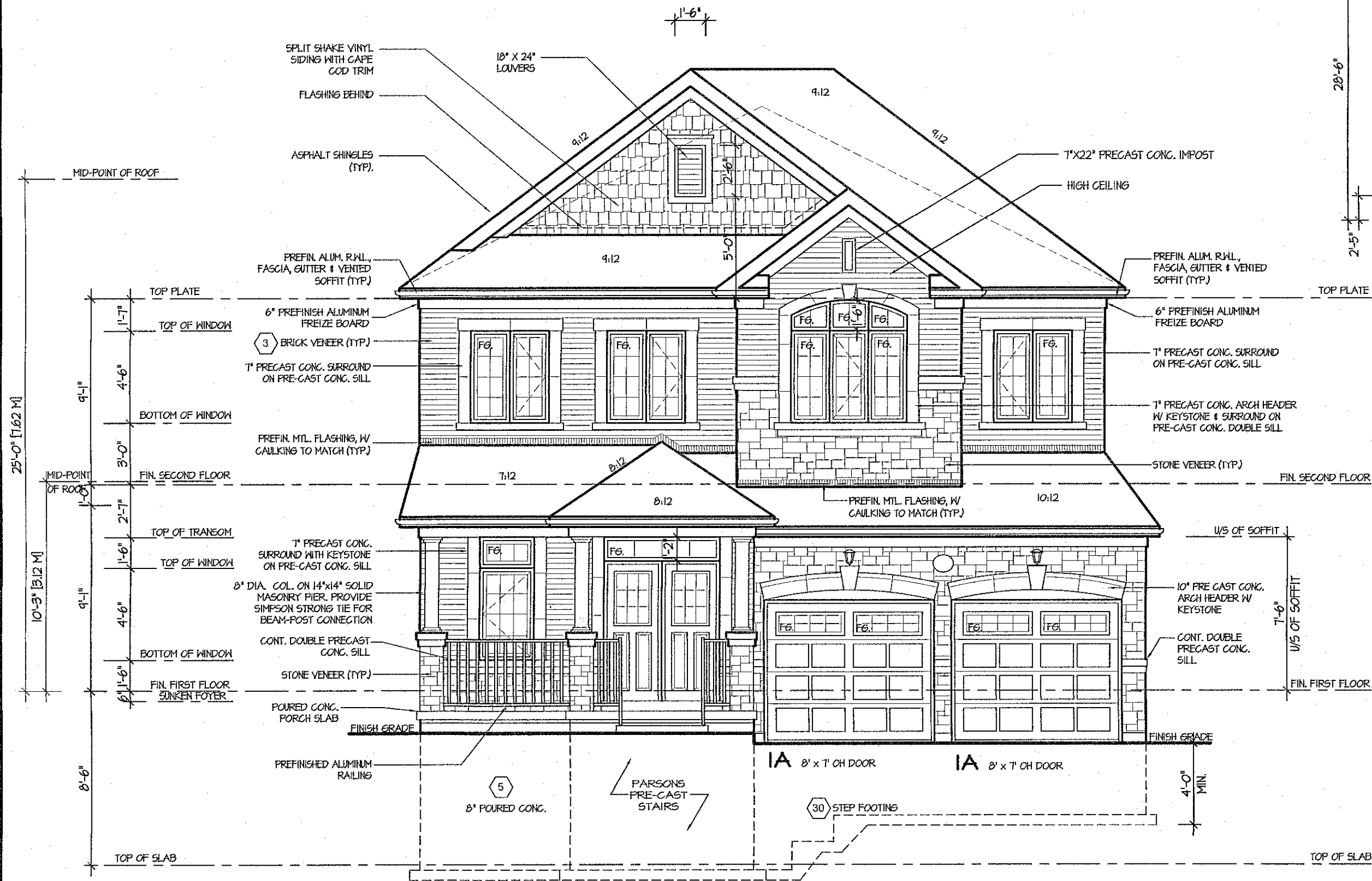
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4.						SECOND FLOOR PLAN 3				
3.						SCALE	BY	AREA	PAGE No.	
2.	ISSUED FOR COORDINATION	SEP 2017				3/16"=1'-0"	ZMP	3324	3-3	
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017				DATE	TYPE	PROJECT		
REVISIONS			AUG 2017		05-15-05					

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



ROOF PLAN I
 SCALE: 3/32"=1'-0"



FRONT ELEVATION I

APR 20 2018

GLENWAY 7A
 ENERGY STAR

W Architect Inc.
 DESIGN CONTROL REVIEW
 DEC. 04, 2020
 FINAL BY: *Alb*
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REVISIONS	
5.	
4.	
3.	
2. ISSUED FOR COORDINATION	SEP 2017
1. REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017

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QUALIFICATION INFORMATION
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VIKAS GAJJAR *[Signature]* **28770**
 NAME SIGNATURE BCIN

REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 735-4096
 F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE FRONT ELEVATION 1	
SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

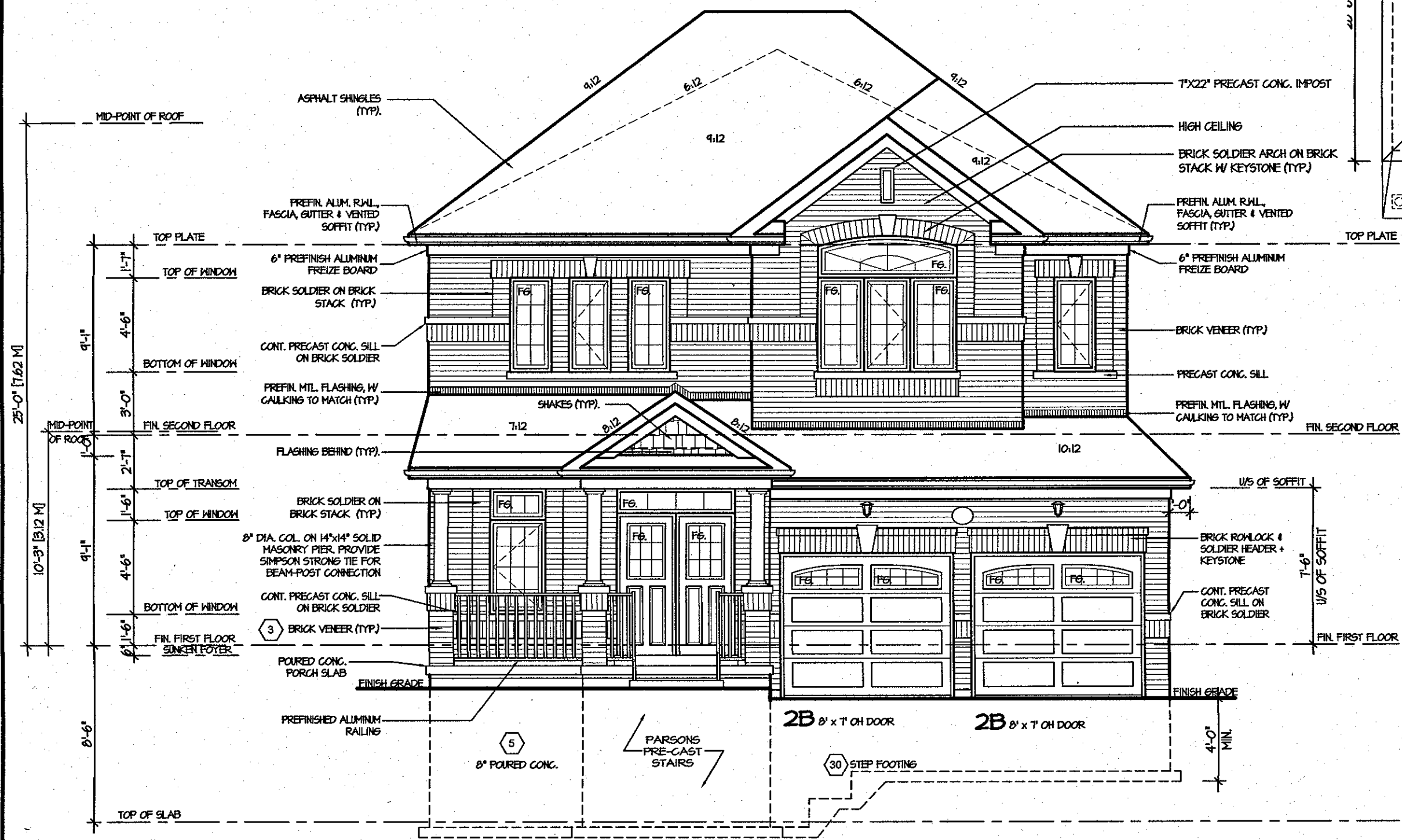
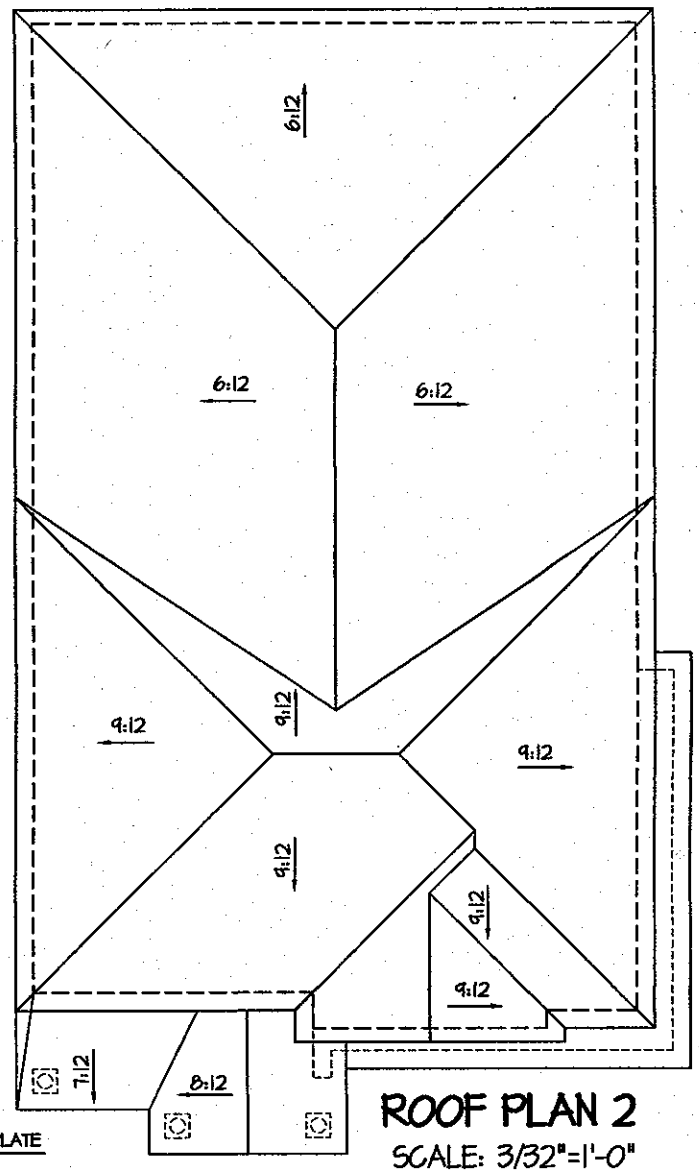
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA 3324
PAGE No. 4
PROJECT 05-15-05



PROJECT NAME
TRINAR HALL HOMES INC

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *[Signature]*
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GLENWAY 7A
 ENERGY STAR

FEB 15 2018

5.		
4.		
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2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

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 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 736-4096
 F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
FRONT ELEVATION 2
 SCALE 3/16"=1'-0"
 DATE AUG 2017
 BY ZMP
 TYPE

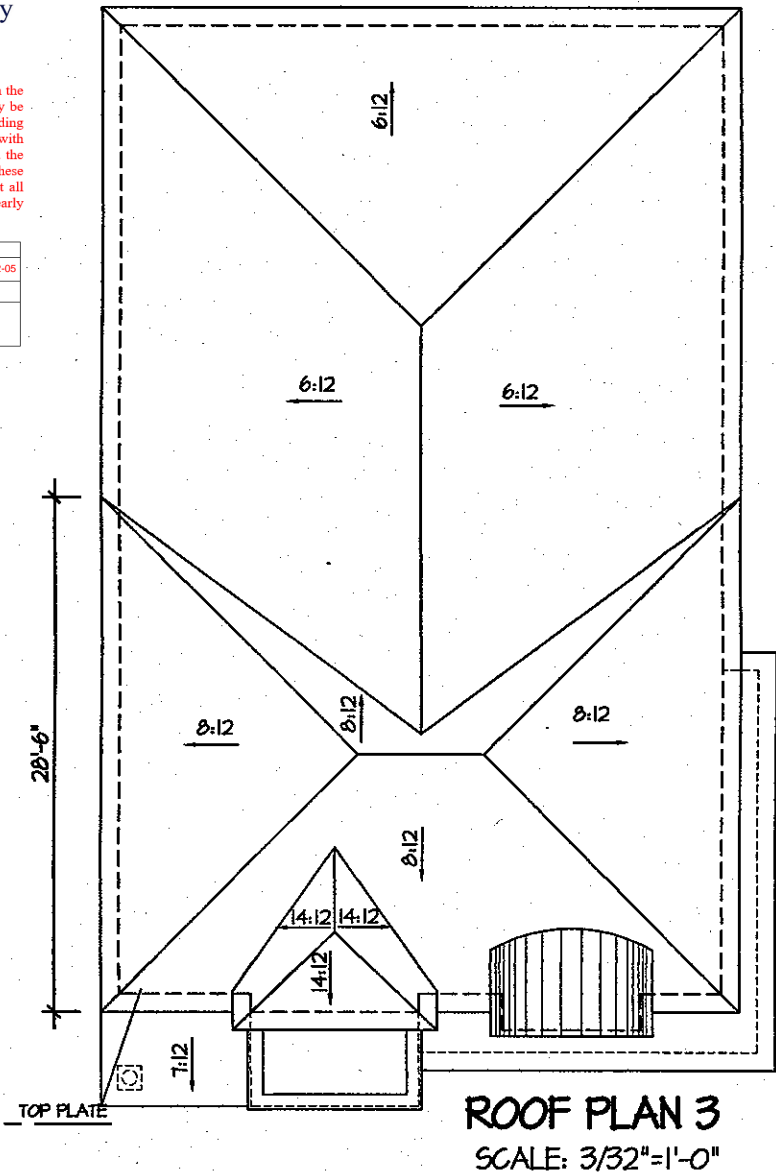
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AREA 3324
 PROJECT 05-15-05
 PAGE No. 4-2


 PROJECT NAME
TRINAR HALL HOMES INC

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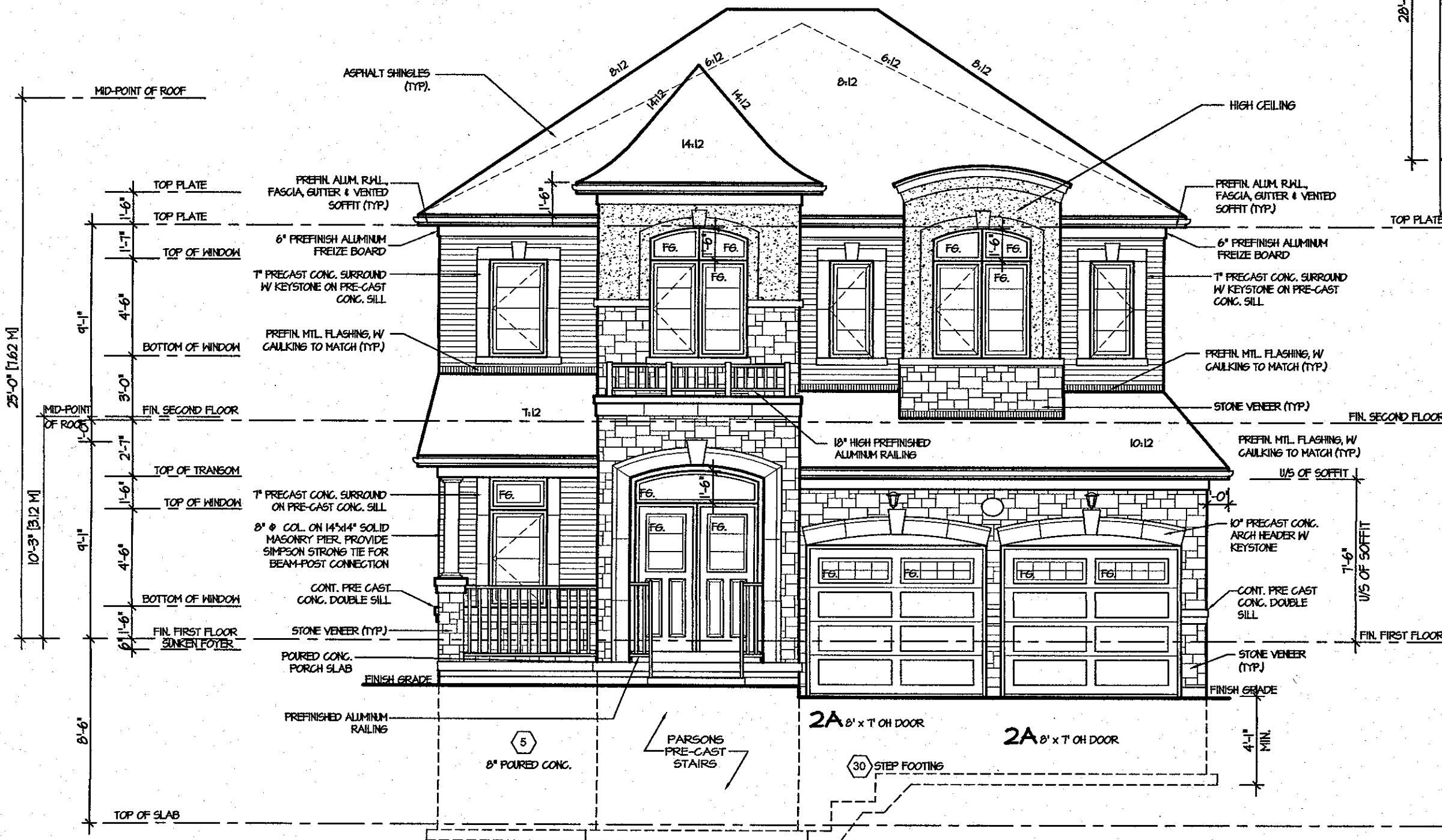
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



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 DESIGN CONTROL REVIEW
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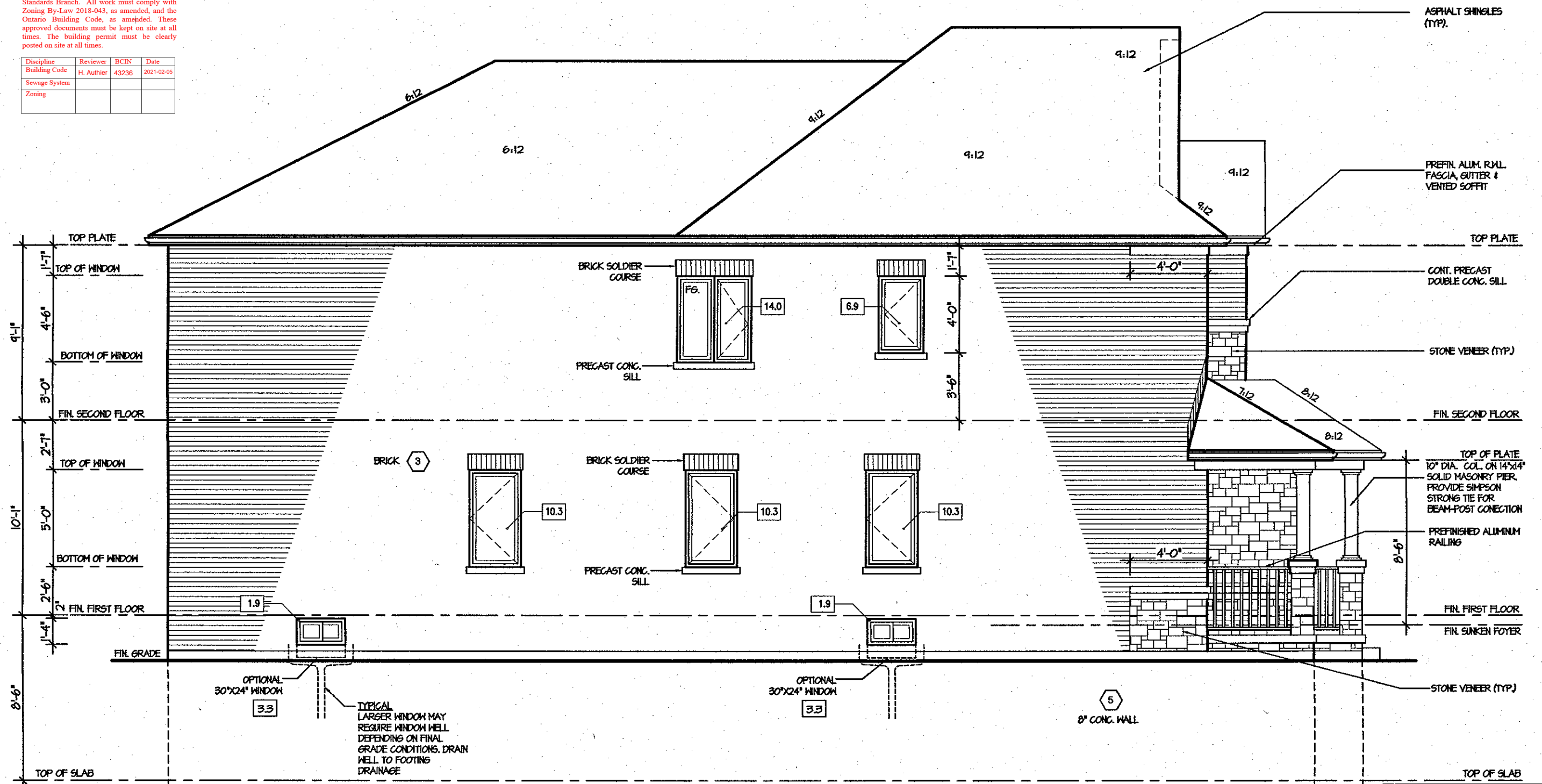
GLENWAY 7A
 ENERGY STAR

FEB 15 2018

<p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></p> <p>VIKAS GAJJAR NAME SIGNATURE</p> <p>28770 BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p> <p>REGION DESIGN INC.</p>	<p>SHEET TITLE FRONT ELEVATION 3</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3324</p> <p>PAGE No. 4-3</p> <p>PROJECT 05-15-05</p>	<p>Greenpark</p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



LEFT SIDE ELEVATION 1

ALLOWABLE GLAZING

WALL AREA B	=	1111	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 & 1.2 M SIDE YARD	=	81.97	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	57.0	Sq. Ft.

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W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *ALL*
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FEB 15 2018

GLENWAY 7A

ENERGY STAR

5.		
4.		
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2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

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REGION DESIGN INC.

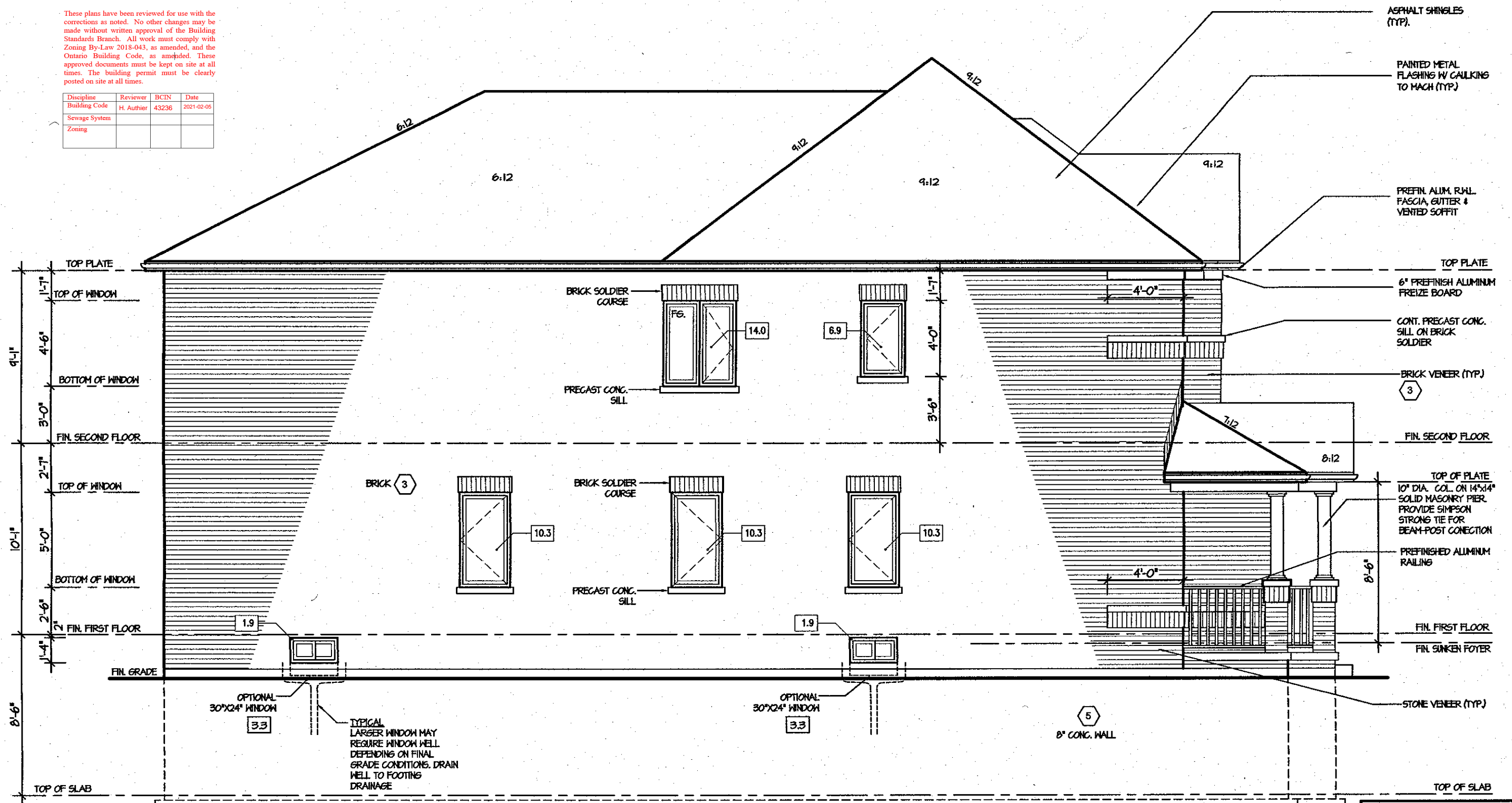
SHEET TITLE
LEFT SIDE ELEVATION 1
 SCALE 3/16"=1'-0"
 BY ZMP
 DATE AUG 2017
 TYPE

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 AREA 3324
 PAGE No. 5
 PROJECT 05-15-05

Greenpark
 PROJECT NAME
 TRINAR HALL HOMES INC

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



LEFT SIDE ELEVATION 2

ALLOWABLE GLAZING

WALL AREA B	=	1171	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	81.91	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS, ACTUAL GLAZED AREA	=	57.0	Sq. Ft.

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GLENWAY 7A
 ENERGY STAR

FEB 15 2018

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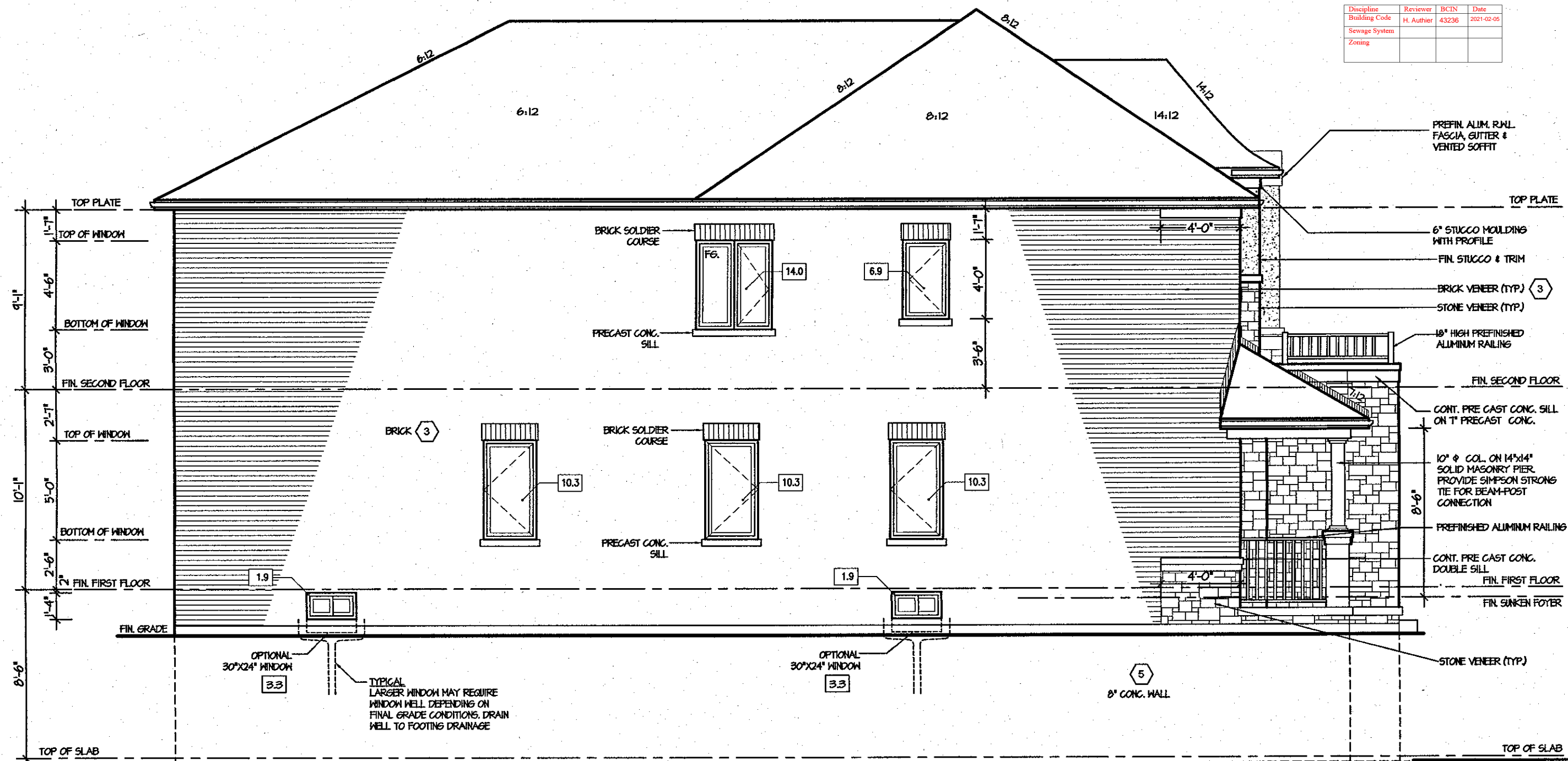
SHEET TITLE
LEFT SIDE ELEVATION 2
 SCALE 3/16"=1'-0"
 DATE AUG 2017

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 AREA 3324
 PROJECT 05-15-05

Greenpark.
 PROJECT NAME
 TRINAR HALL HOMES INC

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



LEFT SIDE ELEVATION 3

ALLOWABLE GLAZING

WALL AREA B	=	171	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 12 M SIDE YARD	=	21.97	Sq. Ft.
ACTUAL GLAZED AREA	=	55.6	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	59.0	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.



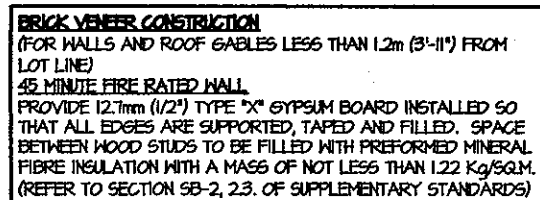
FEB 15 2018

GLENWAY 7A

ENERGY STAR

<p>5.</p> <p>4.</p> <p>3.</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME SIGNATURE</p> <p>28770 BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>LEFT SIDE ELEVATION 3</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p> <p>BY ZMP</p> <p>TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3324</p> <p>PROJECT 05-15-05</p>	<p>PAGE No. 5-3</p> <p>PROJECT NAME</p> <p>TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 12m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADER
PROVIDE 5.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION SB-2, 23, OF SUPPLEMENTARY STANDARDS)

ALLOWABLE GLAZING

WALL AREA B	=	1219	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M SIDE YARD	=	85.33	Sq. Ft.
ACTUAL GLAZED AREA	=	51.3	Sq. Ft.
<u>WITH OPTIONAL 30"x24" BASEMENT</u> <u>WINDOWS ACTUAL GLAZED AREA</u>	=	52.7	Sq. Ft.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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DEC. 04, 2020

FINAL BY:

This stamp is only for the purposes of design control and carries no other professional obligation.

FEB 15 2018

GLENWAY 7A

ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
<p align="center">REVISIONS</p>		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770

BCiN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO

L4K 4S6

736~4096

P (416) 736-4096

P (416) 736-4096

F. (905) 660-0746

SHEET TITLE

RIGHT
SIDE ELEVATION 1

SCALE

DATE **AUG 2017**

BY _____

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA	
------	--

3324

PROJECT 05-15-0

PAGE No.

1

1

No.

Q

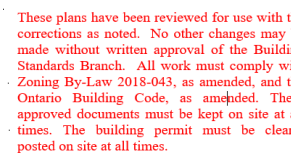
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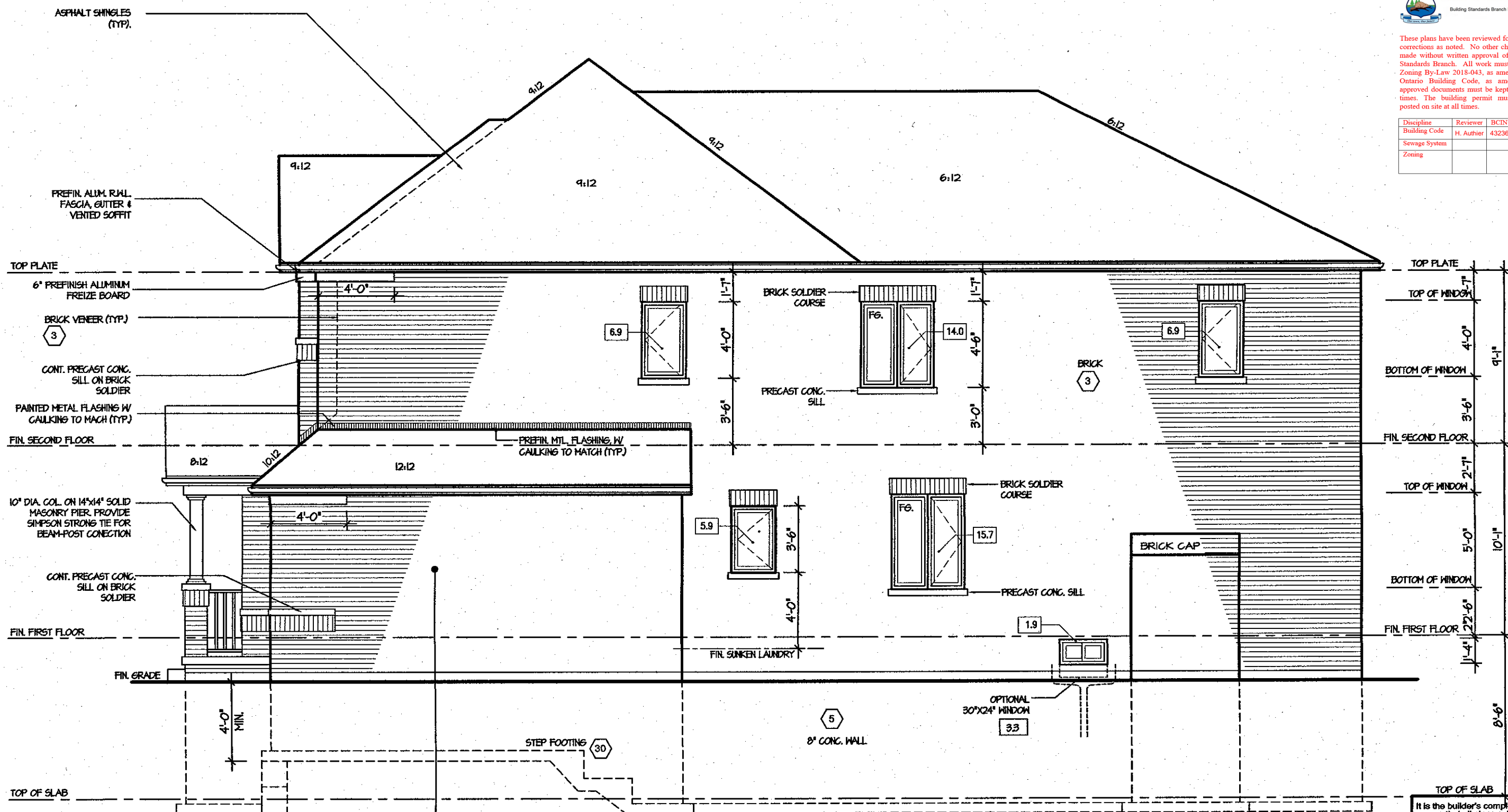
GreenparkTM

PROJECT NAME

PROJECT NAME
TRINAR HALL HOMES INC



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/50mm (REFER TO SECTION SB-2. 23. OF SUPPLEMENTARY STANDARDS)

HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADERS
PROVIDE 15mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE
HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL
TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION 5B-2.23. OF SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 2 ALLOWABLE GLAZING
WALL AREA B

ALLOWABLE GLAZING			
WALL AREA B	=	1236	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 12 M SIDE YARD	=	8652	Sq. Ft.
ACTUAL GLAZED AREA	=	513	Sq. Ft.
<u>WITH OPTIONAL 30"x24" BASEMENT</u> <u>WINDOWS ACTUAL GLAZED AREA</u>	=	527	Sq. Ft.

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

W Architect Inc.
DESIGN CONTROL REVIEW

DEC. 04, 2020

FINAL BY: ALL

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FEB 15 2018

GLENWAY 7A

ENERGY STAR

5.		
4.		
3.		
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 7 FROM FARTHINGALE	AUG 2017
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  28770

NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

R D I REGION DESIGN INC.

SHEET TITLE

RIGHT
SIDE ELEVATION 2

SCALE 3/16"=1'-0"	BY ZMF
DATE AUG 2017	TYPE

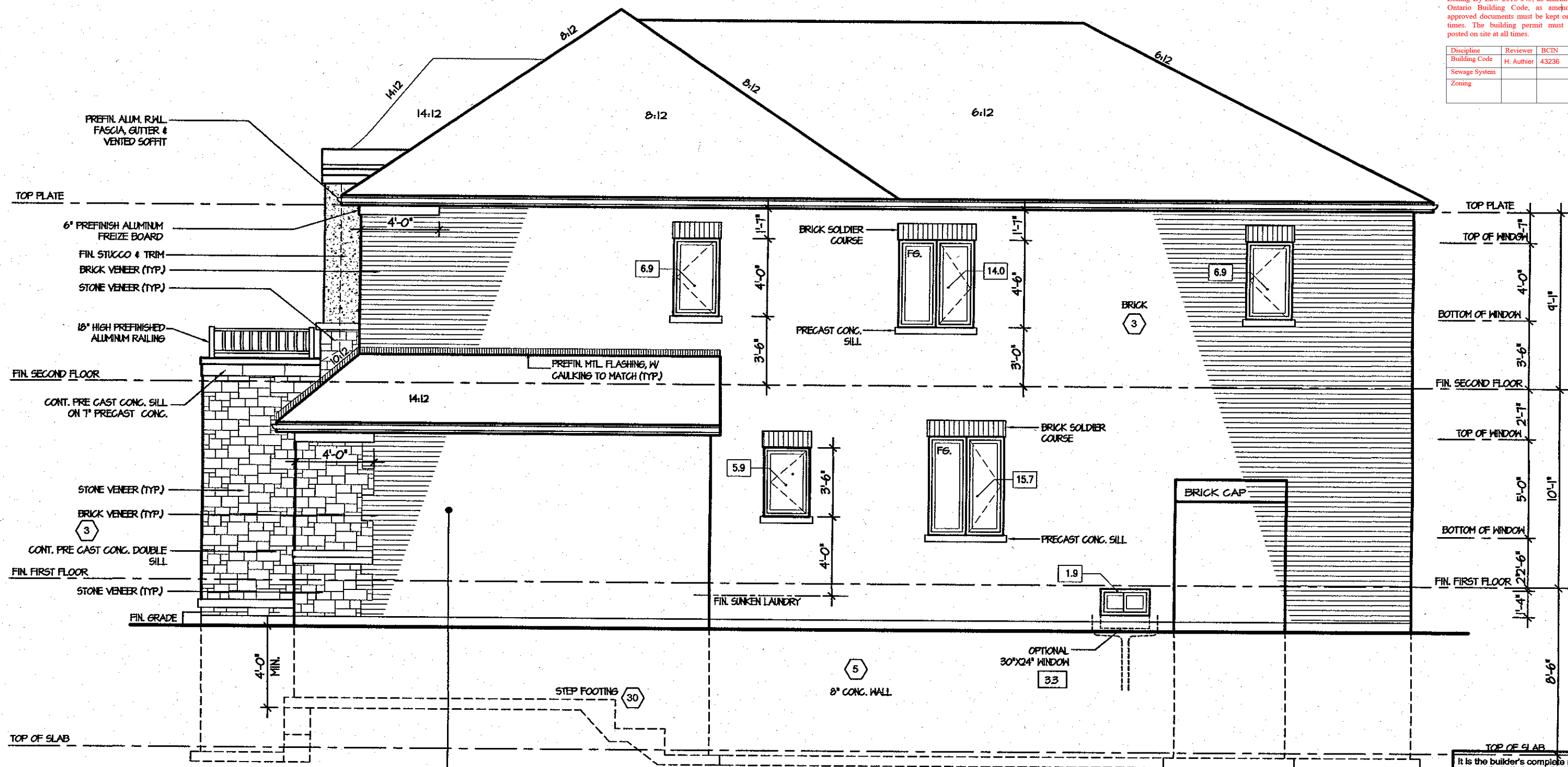
CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA 3324	PAGE No. 6-2
PROJECT 05-15-05	



PROJECT NAME
TRINAR HALL HOMES INC

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 12m (39'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADERS
PROVIDE 54.4mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE
HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL
TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION SB-2, 23, OF SUPPLEMENTARY STANDARDS)

RIGHT SIDE ELEVATION 3 ALLOWABLE GLAZING
WALL AREA B

WALL AREA B	=	1209	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7 % 1.2 M SIDE YARD	=	84.63	Sq. Ft.
ACTUAL GLAZED AREA	=	51.3	Sq. Ft.
<u>WITH OPTIONAL 30"x24" BASEMENT</u> <u>WINDOWS, ACTUAL GLAZED AREA</u>	=	52.7	Sq. Ft.

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W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: ACE
 This stamp is only for the purposes of design control and carries no other professional obligation

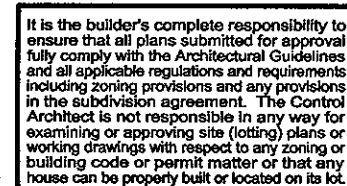
GLENWAY 7A

FEB 15 2018

ENERGY STAR

5.				<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR NAME</div> <div> SIGNATURE</div> <div>28770 BCIN</div>	<div>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</div> <div><div>R D I</div>REGION DESIGN INC.</div>	SHEET TITLE		<div>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</div>		
4.						RIGHT SIDE ELEVATION 3				
3.						SCALE 3/16"=1'-0"	BY ZMP	AREA 3324	PAGE No. 6-3	PROJECT NAME TRINAR HALL HOMES INC
2. ISSUED FOR COORDINATION		SEP 2017				DATE AUG 2017	TYPE	PROJECT 05-15-05		
1. REVISED GLENWAY 7 FROM FARTHINGALE		AUG 2017								
REVISIONS										

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			



This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: AE
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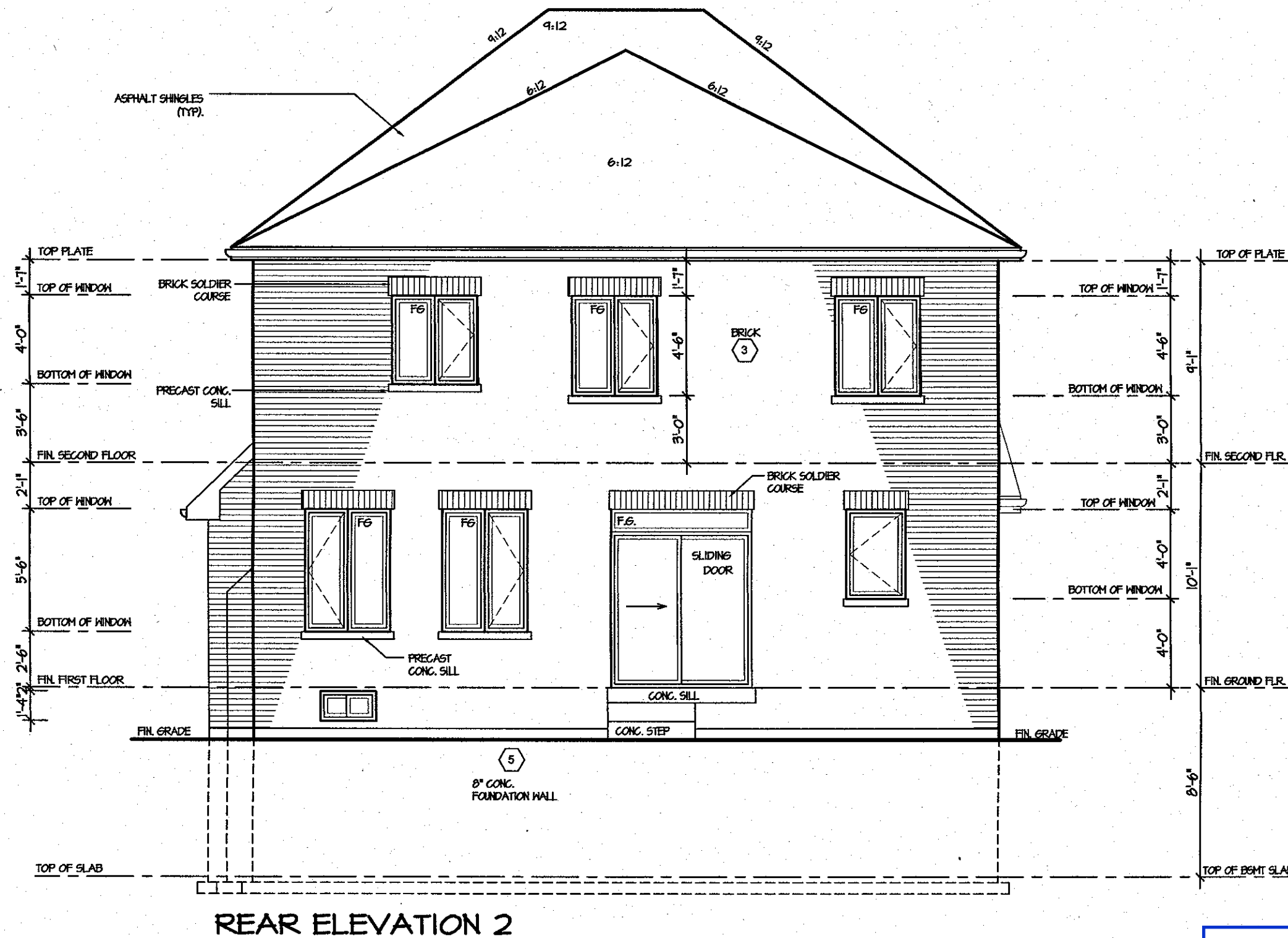
GLENWAY 7A

ENERGY STAR

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4.					SCALE 3/16"=1'-0"	BY ZMP	AREA 3324	PAGE No. 7	
3.					DATE AUG 2017	TYPE	PROJECT 05-15-05		
2.	ISSUED FOR COORDINATION SEP 2017								
1.	REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017								
REVISIONS									

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



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W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W.A.*
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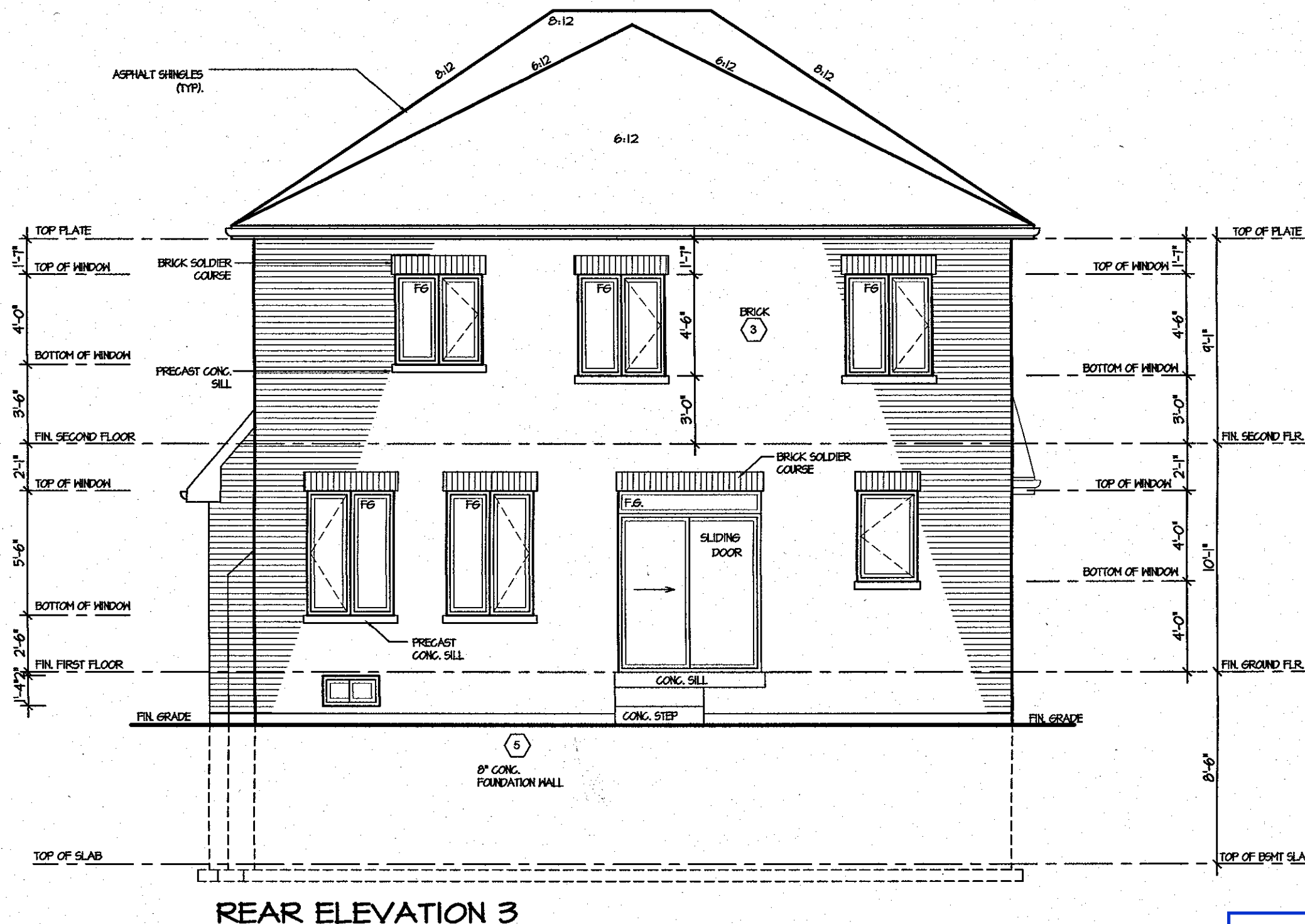
GLENWAY 7A
 ENERGY STAR

FEB 15 2018

<div> <div>5.</div> <div>4.</div> <div>3.</div> <div>2. ISSUED FOR COORDINATION</div> <div>1. REVISED GLENWAY 7 FROM FARTHINGALE</div> </div> <div> <div>SEP 2017</div> <div>AUG 2017</div> </div> <div> <div>REVISIONS</div> </div>	<div> The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. </div> <div> QUALIFICATION INFORMATION <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small> </div> <div> <div>VIKAS GAJJAR</div> <div>NAME</div> <div><i>[Signature]</i></div> <div>SIGNATURE</div> <div>28770</div> <div>BCIN</div> </div>	<div> REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746 </div>	<div> REGION DESIGN INC. </div>	<div> SHEET TITLE REAR ELEVATION 2 </div> <div> <div>SCALE</div> <div>3/16"=1'-0"</div> <div>DATE</div> <div>AUG 2017</div> </div> <div> <div>BY</div> <div>ZMP</div> <div>TYPE</div> </div>	<div> CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. </div> <div> <div>AREA</div> <div>3324</div> <div>PAGE No.</div> <div>7-2</div> </div> <div> <div>PROJECT</div> <div>05-15-05</div> </div>	<div>  </div> <div> <div>PROJECT NAME</div> <div>TRINAR HALL HOMES INC</div> </div>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



REAR ELEVATION 3

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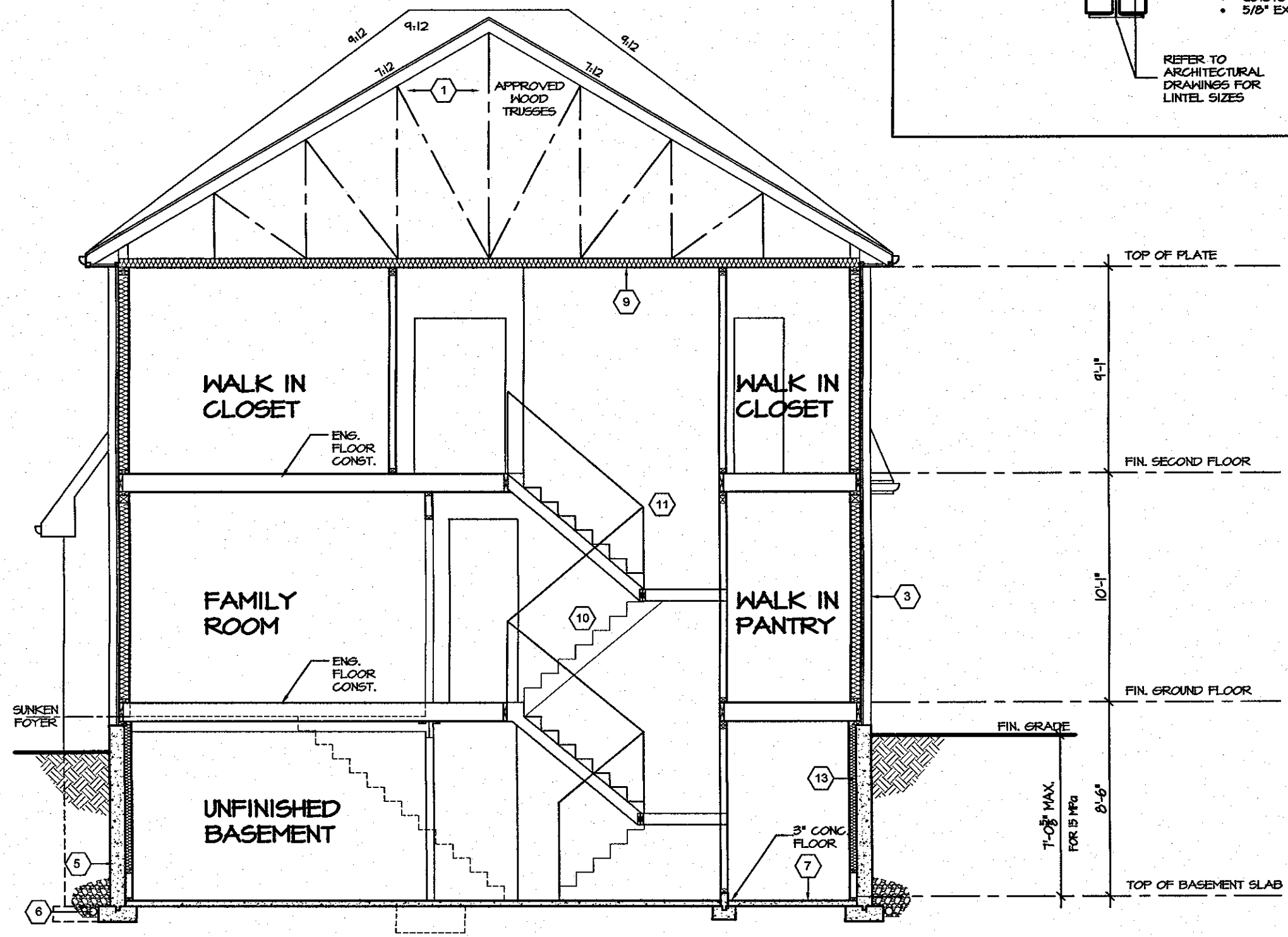
W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *W. Architect*
This stamp is only for the purposes of design control and carries no other professional obligations.

FEB 15 2018

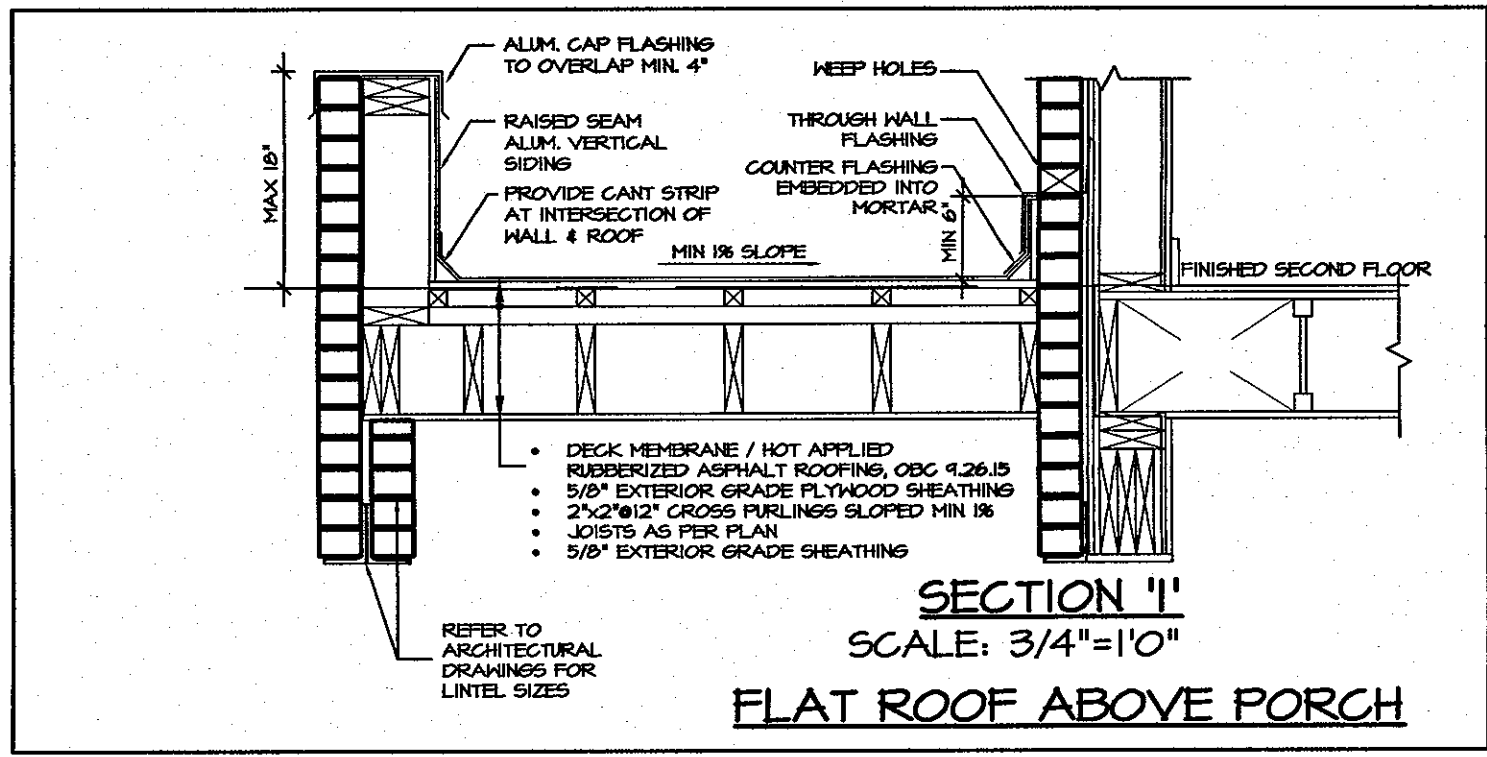
GLENWAY 7A

ENERGY STAR

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION <small>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small></p> <p>VIKAS GAJJAR NAME</p> <p> SIGNATURE</p> <p>28770 BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 738-4096 F (905) 660-0746</p> <p>REGION DESIGN INC.</p>	SHEET TITLE REAR ELEVATION 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 Greenpark™ PROJECT NAME TRINAR HALL HOMES INC
4.				SCALE 3/16"=1'-0"	BY ZMP	AREA 3324	PAGE No. 7-3	
3.				DATE AUG 2017	TYPE	PROJECT 05-15-05		
2.	ISSUED FOR COORDINATION SEP 2017							
1.	REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017							
REVISIONS								



SECTION A-A



SECTION I'
SCALE: 3/4"=1'0"
FLAT ROOF ABOVE PORCH

East Gwillimbury
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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GLENWAY 7A
ENERGY STAR

FEB 15 2018

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME SIGNATURE 28770 BCIN</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE CROSS SECTION</p> <p>SCALE 3/16"=1'-0" DATE AUG 2017</p> <p>BY ZMP TYPE</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3324 PAGE No. 8 PROJECT 05-15-05</p>	<p>Greenpark</p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



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STRUDET INC.



FEB 15 2018

FOR STRUCTURE ONLY

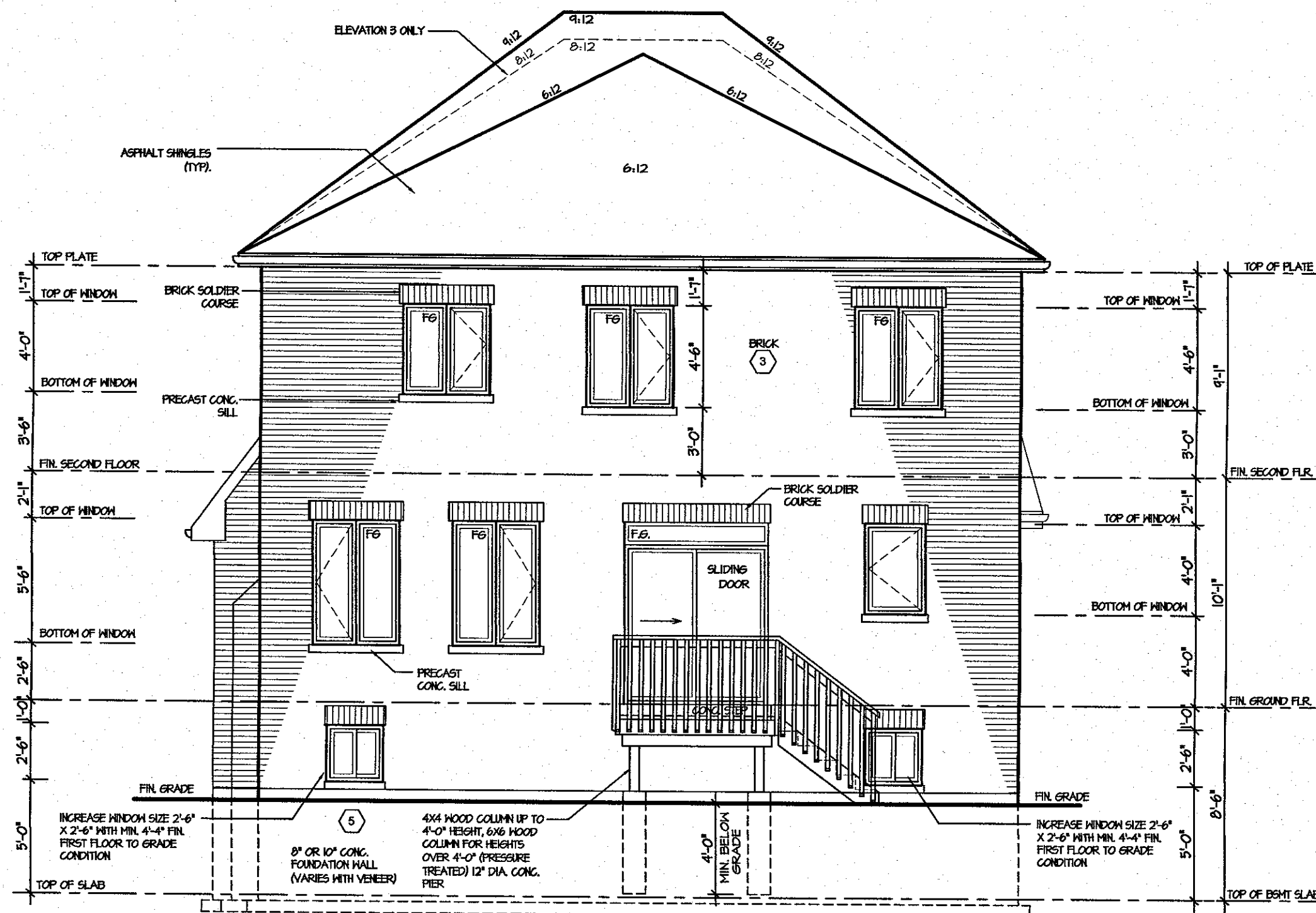
GLENWAY 7A

ENERGY STAR

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</div> <div>REGION DESIGN INC.</div>	SHEET TITLE PARTIAL PLANS FOR DECK CONDITION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME TRINAR HALL HOMES INC</div>	
4.			SCALE 3/16"=1'-0"		BY ZMP	AREA 3324		PAGE No. 9
3.			DATE AUG 2017		TYPE	PROJECT 05-15-05		
2.	ISSUED FOR COORDINATION		SEP 2017					
1.	REVISED GLENWAY 7 FROM FARTHINGALE		AUG 2017					
REVISIONS		<div>VIKAS GAJJAR NAME</div> <div> SIGNATURE</div> <div>28770 BCIN</div>						

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-06
Sewage System			
Zoning			



REAR ELEVATION 1, 2 & 3

W Architect Inc.
DESIGN CONTROL REVIEW
 DEC. 04, 2020
FINAL BY: *ALL*
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GLENWAY 7A

ENERGY STAR

FEB 15 2018

<p>5. _____</p> <p>4. _____</p> <p>3. _____</p> <p>2. ISSUED FOR COORDINATION SEP 2017</p> <p>1. REVISED GLENWAY 7 FROM FARTHINGALE AUG 2017</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME SIGNATURE BCIN 28770</p>	<p>REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	<p>SHEET TITLE REAR ELEVATION FOR DECK CONDITION</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE AUG 2017</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3324</p> <p>PROJECT 05-15-05</p>	<p>Greenpark.</p> <p>PROJECT NAME TRINAR HALL HOMES INC</p>
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