

CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12 - 2012 OBC.

1 ROOF CONSTRUCTION (*SEE OBC 9.19.)

NO. 210 (10.25kg/m²) ASPHALT SHINGLES, 10mm (3/8") PLYWOOD SHEATHING WITH 4" CLIPS. APPROVED WOOD TRUSSES @600mm (24") O.C. MAX. APPROVED EAVE PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (1'-0") BEYOND INNER FACE OF EXTERIOR WALL. 38x84 (2"x4") TRUSS BRACING @ 1830mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RAIL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF / WALL SURFACES SUSCEPTIBLE TO DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") O.C. ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:500 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2 FRAME WALL CONSTRUCTION (2"x6")

SIDING, HARDIE BOARD, STUCCO BOARD OR EQUAL AS PER ELEVATION, 19x64 (1"x3") VERTICAL WOOD FURRING, APPROVED SHEATHING PAPER, MIN. RSI 0.88 (R-5) RIGID INSULATION. 38x140 (2"x6") STUDS @ 400mm (16") O.C. FILLED WITH MIN. RSI 3.87 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27). APPROVED DIAGONAL WALL BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

3 BRICK VENEER CONSTRUCTION (2"x6")

90mm (4") FACE BRICK 25mm (1") AIR SPACE, 22x180x16mm (7/8"x1"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, MIN. RSI 0.88 (R-5) RIGID INSULATION. 38x140 (2"x6") STUDS @ 400mm (16") O.C. FILLED WITH MIN. RSI 3.87 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27). APPROVED DIAGONAL WALL BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3A STUCCO WALL CONSTRUCTION (2"x6")

STUCCO CLADDING SYSTEM CONFORMING TO OBC 9.21.1.1.2) & 9.28 THAT EMPLOY A MINIMUM 6mm (1/4") DRAINAGE CAVITY BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED AS PER MANUFACTURERS SPECIFICATION ON 25mm (1") MINIMUM EXTRUDED OR EXPANDED RIGID INSULATION, APPROVED SHEATHING PAPER, MIN. RSI 0.88 (R-5) RIGID INSULATION. 38x140 (2"x6") STUDS @ 400mm (16") O.C. FILLED WITH MIN. RSI 3.87 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27). APPROVED DIAGONAL WALL BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. STUCCO TO BE MIN. 200mm (8") ABOVE FINISH GRADE.

4 INTERIOR STUD PARTITIONS

(*SEE OBC 9.23.10 & 9.23.11.) BEARING PARTITION 38x84 (2"x4") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x84 (2"x4") @ 600mm (24") O.C. PROVIDE 38x84 (2"x4") BOTTOM PLATE AND 2/38x84 (2"x4") TOP PLATE. 13mm (1/2") INTERIOR DRYWALL BOTH SIDES OF STUD, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5 FOUNDATION WALL/FOOTINGS:

(*SEE OBC 9.15.3 & 9.15.4.) 200mm (8") OR 255mm (10") POURED CONC. FDN. WALL. 15MPa (2200psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. BRACE FOUNDATION WALL PRIOR TO BACKFILLING ON CONC. FOOTINGS C/M CONT. FORMED KEYWAY AND REST ON NATURAL UNDISTURBED SOIL WITH MINIMUM BEARING CAPACITY OF 100Kpa (14.5 psi) OR GREATER. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

6 WEEPING TILE (*SEE OBC 9.14.3.)

100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES.

7 BASEMENT SLAB (*SEE OBC 9.16.)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 15MPa (2200psi) CONC. WITH DAMPROOFING BELOW SLAB.

8 WOOD SUBFLOORS (*SEE OBC 9.23.14. & 9.30.2.)

19mm (3/4") T&G SUBFLOOR UNDER GROUND FLOOR FINISH FLOOR. 16mm (5/8") T&G SUBFLOOR UNDER SECOND FLOOR FINISH FLOOR. 16mm (5/8") PANEL-TYPE UNDERLAY FOR CERAMIC TILE APPLICATION. 6mm (1/4") PANEL-TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING.

9 ROOF INSULATION

RSI 0.56 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL.

10 ALL STAIRS/EXTERIOR STAIRS (*SEE OBC 9.8.)

MAX. RISE = 200 (7'-10")
MIN. RUN = 210 (8'-10")
MIN. TREAD = 235 (9'-10")
MAX. NOSING = 25 (1")
MIN. HEADROOM = 1950 (6'-5")
RAIL @ LANDING = 900 (2'-11")
RAIL @ STAIR = 865 (2'-10") TO 965 (3'-2")
MIN. STAIR WIDTH FOR CURVED STAIRS = 200 (8")
MIN. AVG. RUN = 150 (6")

11 RAILING (*SEE OBC 9.8.8.)

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS.

12 SILL PLATE (*SEE OBC 9.23.6 & 9.23.7.)

38x84 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDN. WALL. USE MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

13 BASEMENT INSULATION (*SEE OBC 12.3.)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 152mm (6") ABOVE THE FINISHED FLOOR OF THE BASEMENT AND NOT LESS THAN 50mm (2") TO THE SLAB. FOUNDATION WALL INSULATION SHALL BE MINIMUM RSI 3.52 (R20) INSULATION BLANKET OR BATTS WITH 38x84 (2"x4") STUD WALL, APPROVED VAPOUR BARRIER, DAMPROOFING W/BLDG. PAPER BETWEEN THE FDN. AND INSUL.

14 BASEMENT BEARING STUD PARTITION (2"x4")

(*SEE OBC 9.23.10.) 38x84 (2"x4") STUDS @ 400mm (16") O.C. 38x84 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. (4") HIGH CONC. CURB ON 305x155 (12"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

14A BASEMENT BEARING STUD PARTITION (2"x6")

38x140 (2"x6") STUDS @ 400mm (16") O.C. 38x140 (2"x6") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. (4") HIGH CONC. CURB ON 400x155 (16"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15 STEEL BASEMENT COLUMN (*SEE OBC 9.17.3.)

40mm (3/2") DIA. x 4.78mm (188) STL. COL. WITH 150x150x5mm (6"x6"x3/8") STL. TOP & BOTTOM PLATE.

15A STEEL COLUMN (*SEE OBC 9.17.3.)

40mm (3/2") DIA. x 4.78mm (188) STL. COLUMN WITH 100x100x6.4mm (4"x4"x1/4") STEEL TOP & BOTTOM PLATE. FIELD WELD BOTTOM PLATE TO 250x100x12.5mm (10"x4"x1/2") BASE PLATE C/M 2-13mm (1/2") DIA. x 300mm (12") LONG x 50mm (2") HOOK ANCHORS.

16 NIB WALLS (*SEE OBC 9.23.8.)

BEAM POCKET OR 200x200 (8"x8") POURED CONCRETE NIB WALLS. MINIMUM BEARING 90mm (3-1/2")

17 STEEL BEAM STRAPPING (*SEE OBC 9.23.4.3.(3)(C))

19x38 (1"x2") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18 GARAGE SLAB (*SEE OBC 9.16.)

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT 1% MIN.

19 INTERIOR GARAGE WALLS & CEILINGS

(*SEE OBC 9.10.9.16.) 13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE. MIN. RSI 0.88 (R-5) RIGID INSULATION W/ MIN. RSI 3.87 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27) IN WALLS. RSI 5.46 (R31) IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT.

19A EXTERIOR GARAGE WALLS (UN-INSULATED)

(*SEE OBC 9.23.10.1.) EXTERIOR FINISH AS PER NOTES (2) (3) & 5A APPROVED SHEATHING PAPER 1/16" O.S.B. EXTERIOR SHEATHING 38x84 (2"x4") STUDS @ 400mm (16") O.C. FOR MAX. 3.0M (9'-10") HEIGHT 38x140 (2"x6") STUDS @ 400mm (16") O.C. FOR MAX. 3.6M (11'-10") HEIGHT 13mm (1/2") INT. DRYWALL FINISH.

20 GARAGE DOOR GASPROOFING

(*SEE OBC 9.10.13.15.) DOOR AND FRAME GASPROOFING. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

21 EXTERIOR STEP

(*SEE OBC 9.8.9.2, 9.8.9.3 & 9.8.10.) PRECAST CONCRETE STEP OR WD. STEP WHERE NOT EXPOSED TO WEATHER MAX. RISE 200mm (7'-10"); MINIMUM TREAD 250mm (9'-10")

22 DRYER VENT (*SEE OBC 6.2.3.8.(7))

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. USE 1000mm (4") DIA. SMOOTH WALL VENT PIPE.

23 ATTIC ACCESS (*SEE OBC 9.19.2.)

ATTIC ACCESS HATCH 545x100 (22"x28") WITH WEATHERSTRIPPING. RSI 3.52 (R20) RIGID INSULATION BACKING.

24 FIREPLACE CHIMNEYS (*OBC 9.21.)

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25 LINEN CLOSET

4 SHELVES MIN. 350mm (14") DEEP.

26 MECHANICAL EXHAUST

(*SEE OBC 9.32.3.5, 9.32.3.10.) MECHANICAL EXHAUST FAN VENTED TO EXTERIOR.

27 STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL. BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL. ANCHORED W/ 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

28 GLASS "B" VENT

ULC. RATED GLASS "B" VENT 610mm (2'-0") ABOVE THE POINT IN CONTACT WITH THE ROOF FOR SLOPES UP TO 9/12, REFER TO THE ONTARIO GAS UTILIZATION CODE.

29 WOOD BASEMENT POST (*OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 (1/2") DIA. BOLT ON 406x406x203 (16"x16"x8") CONC. FOOTING.

30 STEP FOOTINGS (*OBC 9.15.3.9.)

MIN. HORIZ. STEP = 610mm (24"). MAX. VERT. STEP = 610mm (24")

31 SLAB ON GRADE (*SEE OBC 9.16.)

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. REINFORCED W/ 6x6x12.9x12.9 MESH PLACED NEAR MID-DEPTH OF SLAB.

32 DIRECT VENT FURNACE

DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST & INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

33 DIRECT VENT GAS FIREPLACE

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE

34 JOIST STRAPPING & BRIDGING (*SEE OBC 23.9.4.)

ALL FLOOR JOISTS TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @ 2100mm (6'-11") O.C. MAX. 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

35 EXPOSED BUILDING FACE (*SEE OBC 9.10.15.)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45min. WHERE LIMITING DISTANCE IS LESS THAN 1.2M (3'-11") WHERE THE LIMITING DISTANCE IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL.

36 GOLF CELLAR PORCH SLAB (*SEE OBC 9.40.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH, 125mm (5") 32MPa (4640 psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, ANCHORED IN PERIMETER FDN. WALLS W/ 610x610 (24"x24") 10M @ 600mm (24") O.C. DOWELS. SLOPE SLAB MIN. 1.0% FROM DOOR. SLAB TO HAVE A MIN. 75mm (3") BEARING ON FDN. WALLS. PROVIDE (HLI) LINTELS OVER CELLAR DOOR.

37 FDN. WALL REDUCTION IN THICKNESS

(*SEE OBC 9.15.4.7.) FDN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 660mm (26") FOR 8" FDN. WALL. 10" FDN. WALL WHEN REDUCTION IN THICKNESS IS GREATER THAN 26". FDN. WALL SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38 CONVENTIONAL ROOF FRAMING

(*SEE OBC 9.23.4.2.(1)) FOR MAX. 2240mm (7'-4") SPAN, 38x84 (2"x4") RAFTERS @ 400mm (16") O.C. FOR MAX. 3530mm (11'-7") SPAN, 38x140 (2"x6") RAFTERS @ 400mm (16") O.C. RIDGE BOARD TO BE 51mm (2") DEEPER. 38x34 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x84 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") O.C. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x84 (2"x4") @ 600mm (24") O.C. WITH A 38x84 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @ 1800mm (6'-0") O.C. VERTICALLY.

39 TWO STOREY VOLUME SPACES

FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @ 300mm (12") O.C. FOR BRICK AND 400mm (16") O.C. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @ 1220mm (4'-0") O.C. VERT. 7/16" EXT. PLYWOOD.

40 EXPOSED FLOOR TO EXTERIOR

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

41 PARTYWALLS

TYPICAL 1 HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

42 EXTERIOR WALLS FOR WALK-OUT CONDITION

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140mm (2"x6") STUDS @ 400mm (16") O.C. MATCH FLOOR JOIST SPACING WHEN PARALLEL WITH FLOOR JOISTS.

43 SMOKE ALARM (*OBC 9.10.19)

WITHIN DWELLING UNITS, SUFFICIENT SMOKE ALARMS SHALL BE INSTALLED SO THAT:
a. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS AND
b. ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED,
1. IN EACH SLEEPING ROOM, AND
2. IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

A SMOKE ALARM SHALL HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 10.5.3. (LIGHT, COLOR AND PULSE CHARACTERISTIC) OF NFPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE".

A SMOKE ALARM SHALL BE INSTALLED IN CONFORMANCE WITH CANULC-5553, "INSTALLATION OF SMOKE ALARMS".

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.

44 CARBON MONOXIDE ALARM (*OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED TO EACH SLEEPING AREA IN THE SUITE.

THE CARBON MONOXIDE ALARM SHALL
a. BE PERMANENTLY CONNECTED TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE CARBON MONOXIDE ALARM,
b. BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED, WHERE LOCATED ADJACENT TO A SLEEPING AREA, AND
c. CONFORM TO
1. CAN/CSA-619, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES", OR
2. UL2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS"

45 SOIL GAS CONTROL (*OBC 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING AS REQUIRED.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FOR STRUCTURE ONLY

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE

GENERAL NOTES

SCALE N.T.S.
DATE NOV 2016
BY
TYPE
AREA
PAGE No. 1
PROJECT 00-00-00

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

Greenpark.

PROJECT NAME
STANDARD NOTES - 2016
TRINAR HALL HOMES INC.

FEB 14 2019



ENERGY STAR V-17

ESCC MODEL

WINDOWS -
CANADA ZONE C

- (1) MINIMUM BEDROOM WINDOW (*OBC 9.9.10.1.)
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS
TO HAVE MIN. 0.35m² (3.8 SQ.FT.) UNOBSTRUCTED GLAZED
OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3")
GLASS AREA NOT MORE THAN 17% OF GROSS
PERIPHERAL WALL AREA.
MAXIMUM U-VALUE 1.67 & MIN ER-VALUE 29
- (2) WINDOW GUARDS (*OBC 9.8.8.1(6))
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW
SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN.
FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE
ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

GENERAL:

- (1) MECHANICAL VENTILATION
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3
AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS.
SEE MECHANICAL DRAWINGS.
- (2) REINFORCEMENT FOR GRAB BARS (*OBC 9.5.2.3.)
REINFORCEMENT OF STUD WALLS FOR FUTURE GRAB
BARS SHALL BE INSTALLED ADJACENT TO WATER
CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
SEE DETAIL.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE-PINE-FIR No.1&2 GRADE,
UNLESS NOTED OTHERWISE.
- 2) LUMBER EXPOSED TO THE EXTERIOR TO BE
SPRUCE-PINE-FIR No.1&2 GRADE PRESSURE TREATED OR
CEDAR, UNLESS NOTED OTHERWISE.
- 3) ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER
CONNECTIONS SUPPORTING ROOF FRAMING TO BE
DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 4) LVL BEAMS SHALL BE VERSA-LAM 2.0E (F_b=2800psi
MIN.) OR EQUIVALENT. NAIL EACH FLY OF LVL WITH 8dmm
(3-1/2") LONG COMMON WIRE NAILS @ 300mm (12") o.c.
STAGGERED IN 2 ROWS FOR 184, 240, & 300mm
(7-1/4", 9-1/2", 11-1/8") DEPTHS AND STAGGERED IN 3 ROWS
FOR GREATER DEPTHS AND FOR 4 FLY MEMBERS ADD
1/2" (13mm) DIA. GALVANIZED BOLTS BOLTED AT
MID-DEPTH OF BEAM @ 915mm (3'-0") o.c.
- 5) PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVL BEAM
TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 6) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND
BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP
WOOD MEMBERS.
- 7) WOOD FRAMING NOT TREATED WITH A WOOD
PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE
SEPARATED FROM THE CONC. BY AT LEAST 2mm.
POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR
OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE
WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE
GROUND.

STEEL:

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS
SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350M.

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M
GRADE 400R.

STABILITY OF NARROW (20'-25')
& TALL (±30') HOUSES

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING
TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.
FURTHER RECOMMENDATIONS:

- 1) REDUCE THE FOUNDATION WALL SILL PLATE ANCHOR
BOLT SPACING FROM 2400mm o.c. (7'-10") TO 1220mm o.c.
(4'-0") FOR STANDARD CONDITIONS.
- 2) USE 9.5mm (3/8") THICK PLYWOOD OR WAFFERBOARD FOR
THE EXTERIOR WALL SHEATHING.
- 3) TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION
USE 9.5mm (3/8") THICK PLYWOOD NAILED TO THE
INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2
INTERIOR PARTITION WALLS ON BOTH SIDES AND
PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16" (100x90x8.OL) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x5/16" (150x90x10.OL) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.OL) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.OL) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x238 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x238 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x238 SPR. No.2)
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL)
L2 = 4"x3-1/2"x5/16" (100x90x8.OL)
L3 = 5"x3-1/2"x5/16" (125x90x8.OL)
L4 = 6"x3-1/2"x5/16" (150x90x10.OL)
L5 = 6"x4"x3/8" (150x100x10.OL)
L6 = 7"x4"x3/8" (175x100x10.OL)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

1 = 2'-0" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

LEGEND

DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
GT	GIRDER TRUSS
	POINT LOAD
	SOLID WOOD BEARING. SOLID BEARINGS TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.
	LOAD-BEARING WALL
	TWO-STOREY WALL. SEE NOTE 39
	FLAT ARCH
F.D.	FLOOR DRAIN
SA	SMOKE ALARM. SEE NOTE 43
SA & CO	SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE 44



These plans have been reviewed for use with the
corrections as noted. No other changes may be
made without written approval of the Building
Standards Branch. All work must comply with
Zoning By-Law 2018-043, as amended, and the
Ontario Building Code, as amended. These
approved documents must be kept on site at all
times. The building permit must be clearly
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

FEB 4 2019

ENERGY STAR V-17 ESCC MODEL



PROJECT NAME
STANDARD NOTES - 2016
TRINAR HALL HOMES INC.

5.	
4.	
3.	
2.	
1.	REVISED FOR SECONDO VALES ESTATE INC. JAN 18

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

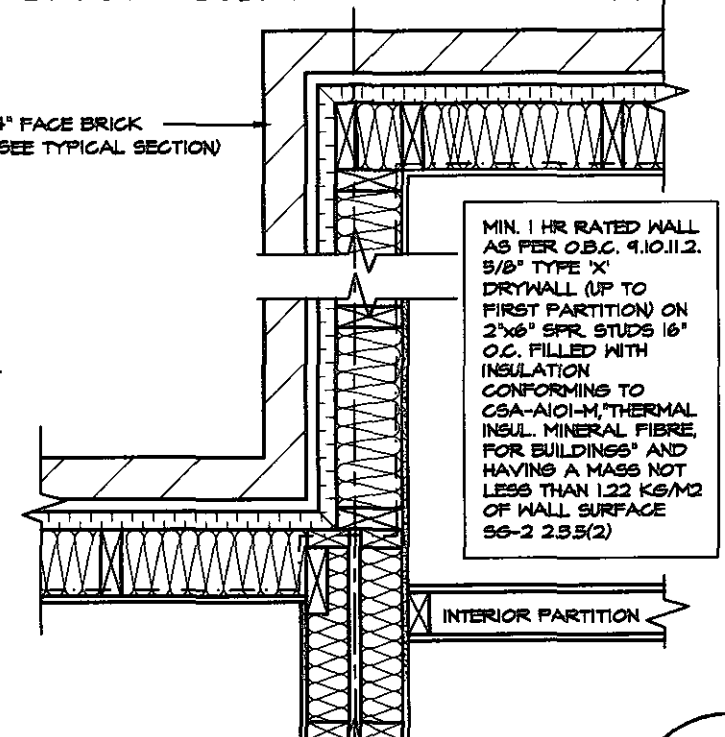
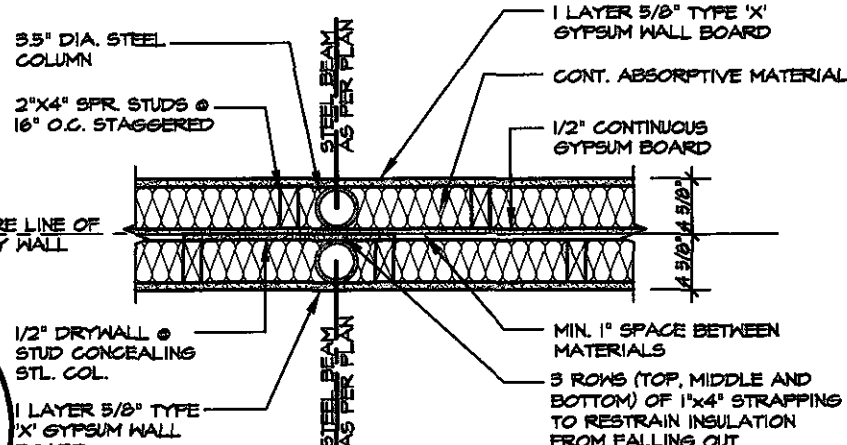
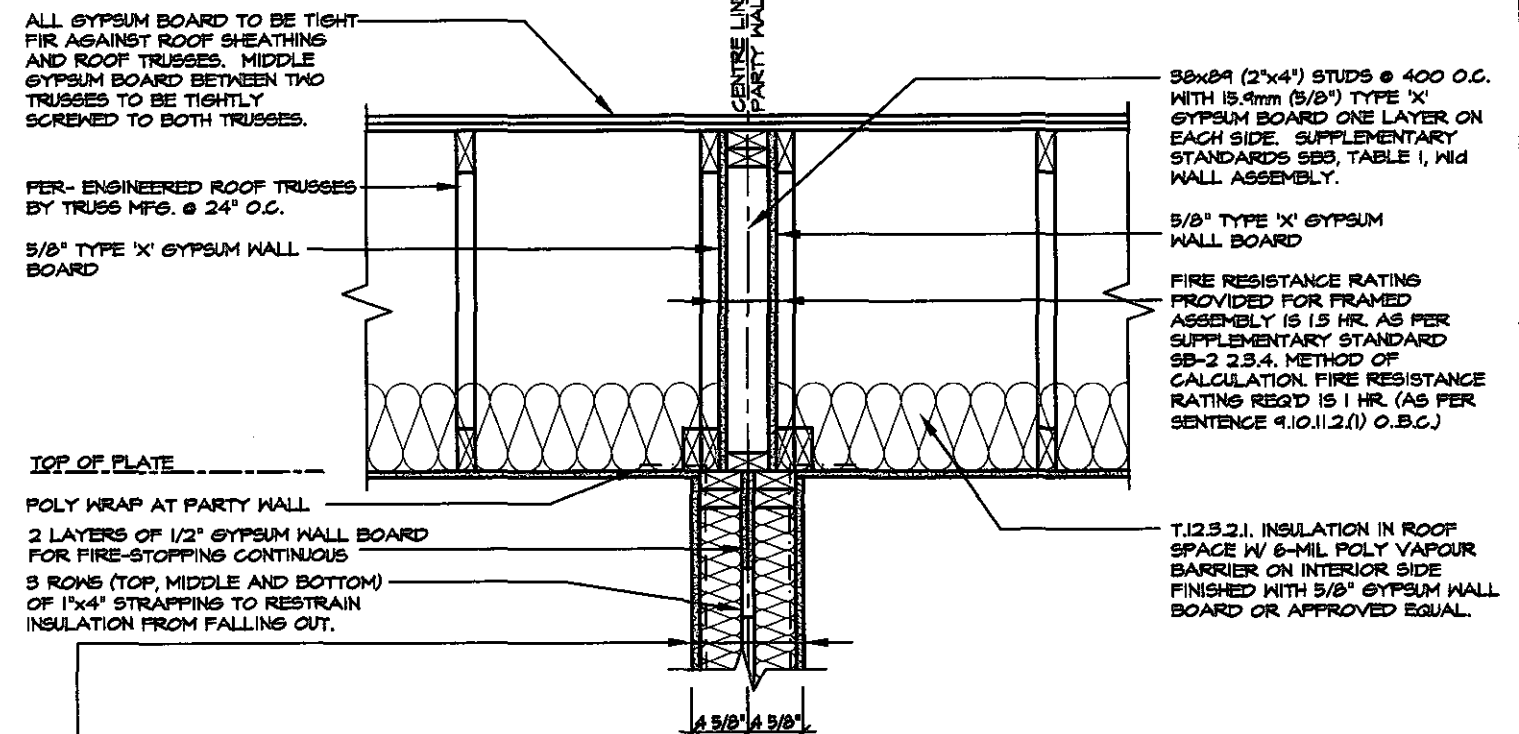
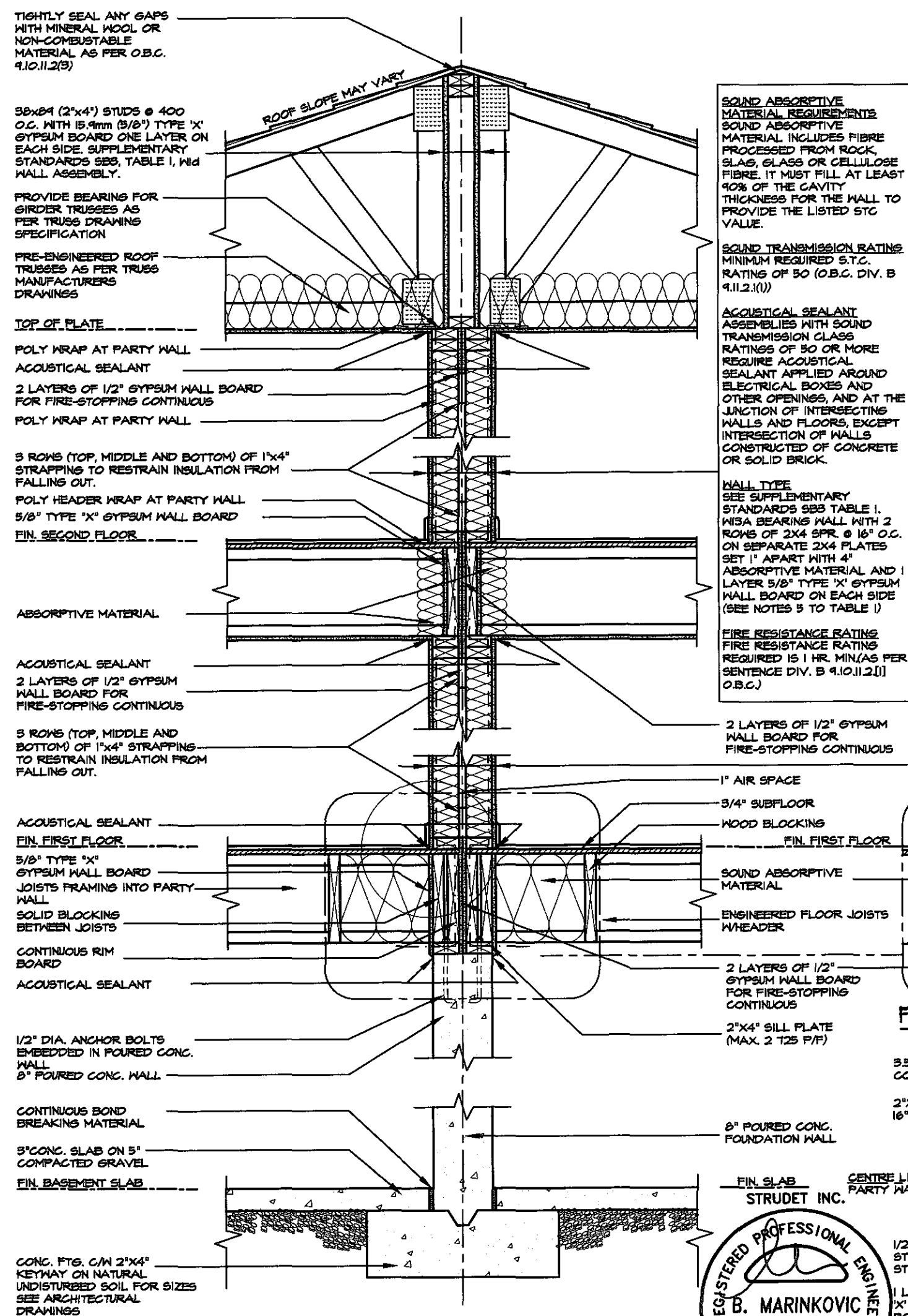
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S5
P (416) 736-4096
F (905) 660-0746

SHEET TITLE
GENERAL NOTES

SCALE N.T.S. BY
DATE NOV 2016 TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA PAGE No.
PROJECT 00-00-00 2



Town of
East Gwillimbury
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with the Ontario By-Law 2018-043, as amended, and the Zoning Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			


WOOD FRAME PARTY WALL
TRUSSES PERPENDICULAR TO PARTY WALL

FOR STRUCTURE ONLY

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR		28770
NAME	SIGNATURE	BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

REGION
DESIGN
INC.

SHEET TITLE	
WOOD PARTY WALL	
SCALE 3/4"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA	PAGE No.
PROJECT	3

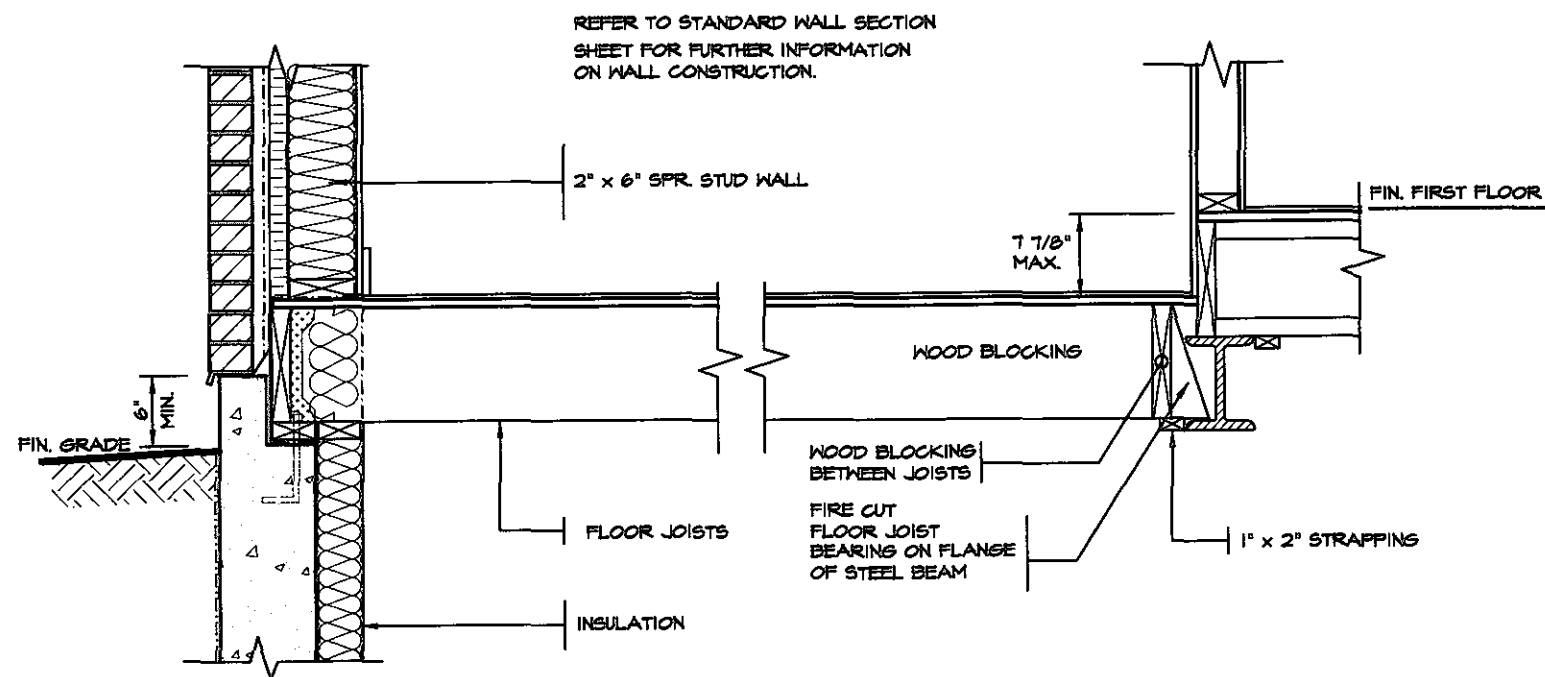


PROJECT NAME
STANDARDS DETAILS - 2016
TRINAR HALL HOMES INC.

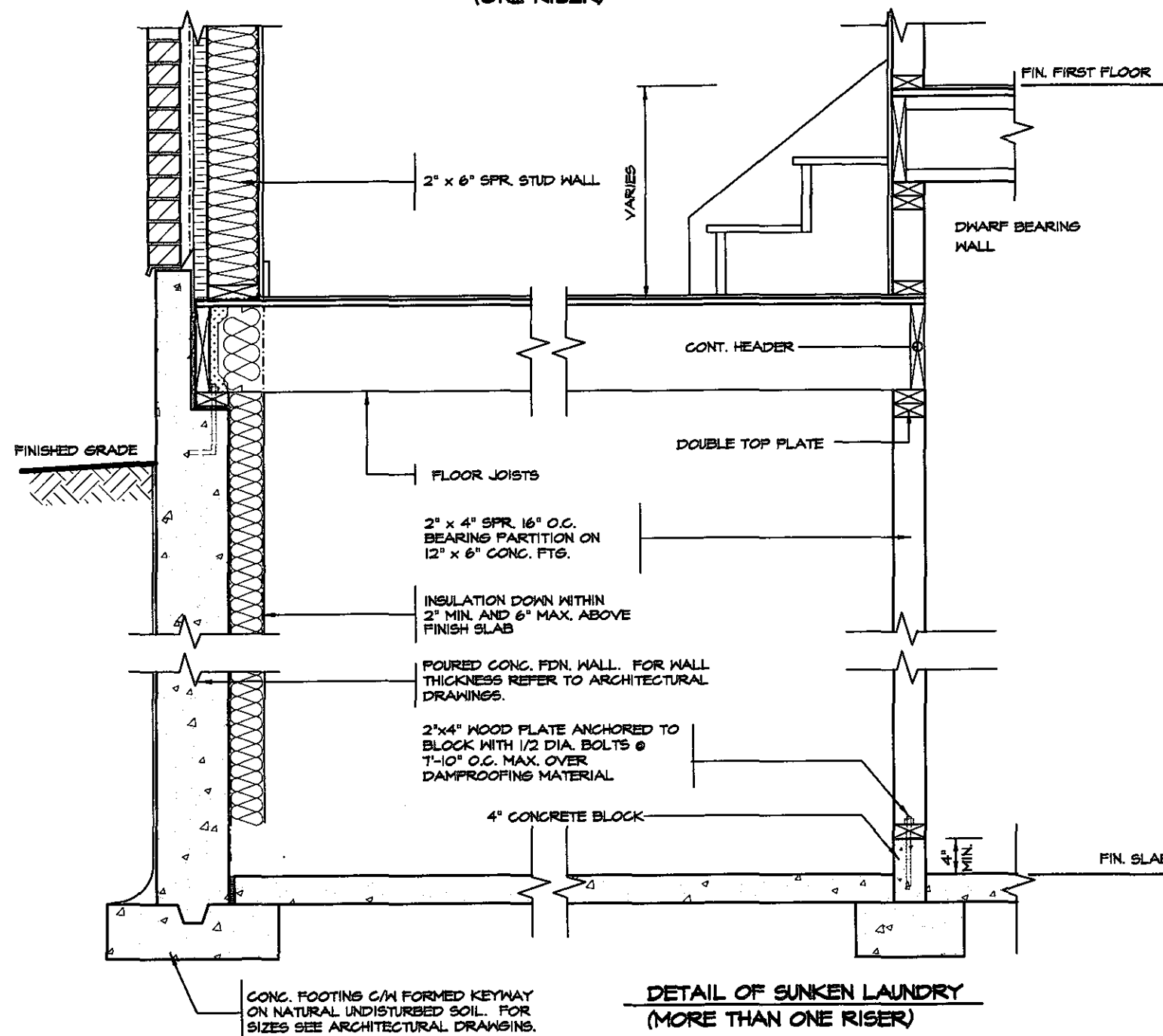
FEB 14 2019



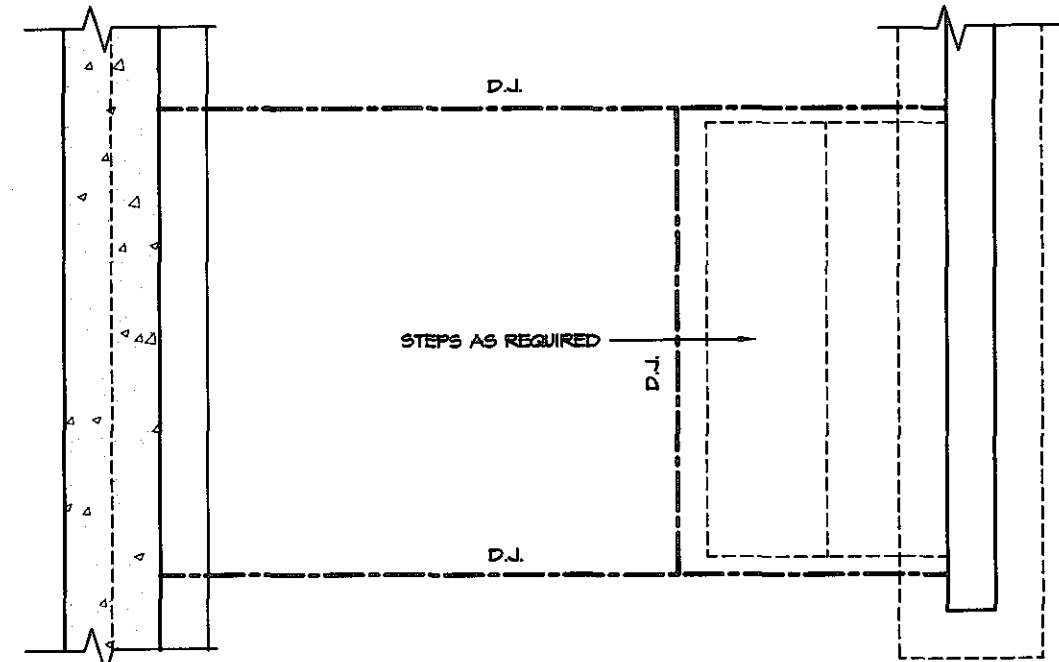
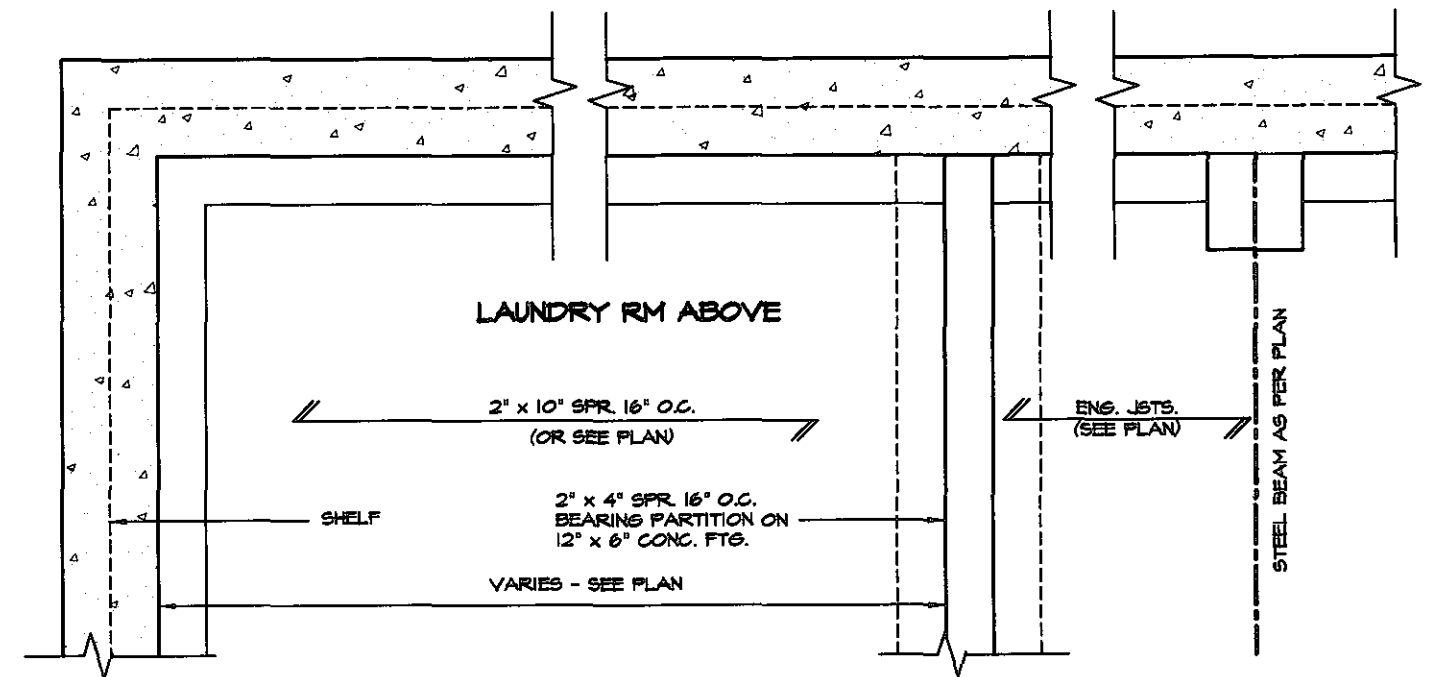
10/41/53 AM M-1 STANDARD DETAIL SIPERMIT S.F. TENERGY STAR2018 TRAINAR HALL V477D3 - PARTY WALL DETAIL ENERGY STAR NWG



**DETAIL OF SUNKEN LAUNDRY
(ONE RISER)**



**DETAIL OF SUNKEN LAUNDRY
(MORE THAN ONE RISER)**

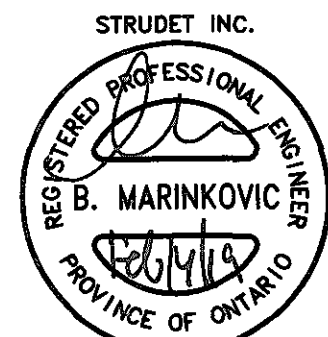


PARTIAL PLAN



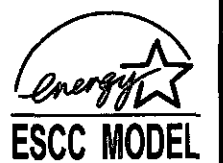
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**SUNKEN
LAUNDRY DETAILS**

SCALE
3/4"=1'-0"

BY

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA

PAGE No.

4

Greenpark.

PROJECT NAME
**STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.**

EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'H' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x5" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

CONVENTIONAL ROOF RAFTERS AND CEILING JOISTS OR ROOF TRUSSES @ 24" o.c. MAX.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

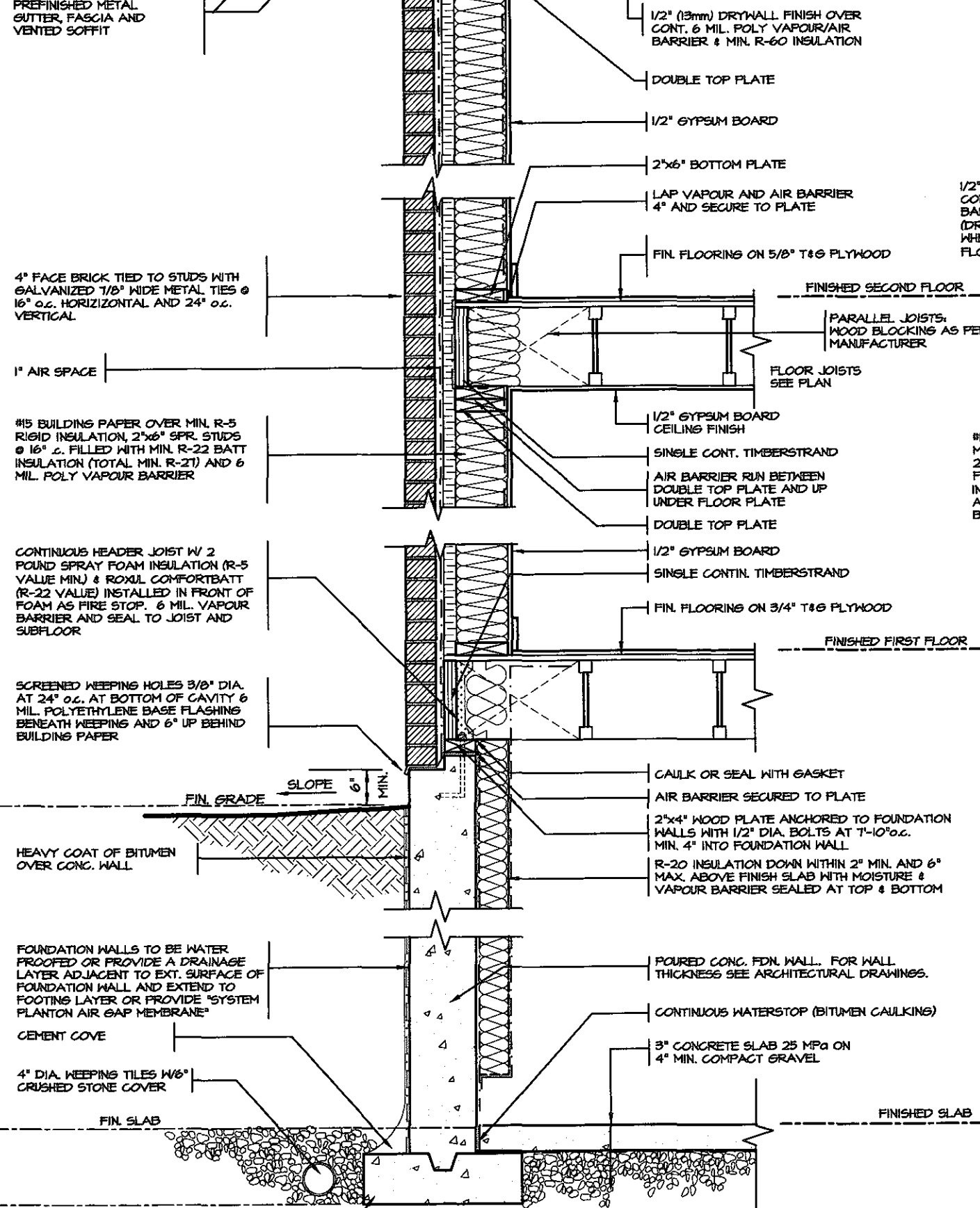
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

STRUDET INC.



FOR STRUCTURE ONLY

DETAIL FOR INTERIOR GARAGE WALLS & CEILINGS



1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-31 INSULATION. (DRYWALL ON THE CEILING ONLY WHEN THERE IS NO SECOND FLOOR ABOVE GARAGE)

FIN. FLOORING ON 5/8" T&G PLYWOOD

#15 BUILDING PAPER OVER MIN. R-5 RIGID INSULATION, 2"x6" SFR. STUDS @ 16" c. FILLED WITH MIN. R-22 BATT INSULATION (TOTAL MIN. R-27) AND 6 MIL. POLY VAPOUR BARRIER

1/2" GYPSUM BOARD CEILING FINISH
AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE
DOUBLE TOP PLATE

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

SCREENED WEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH WEEPING AND 6" UP BEHIND BUILDING PAPER

FIN. GRADE
SLOPE 6" MIN.
HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. WEEPING TILES W/6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING CAN FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

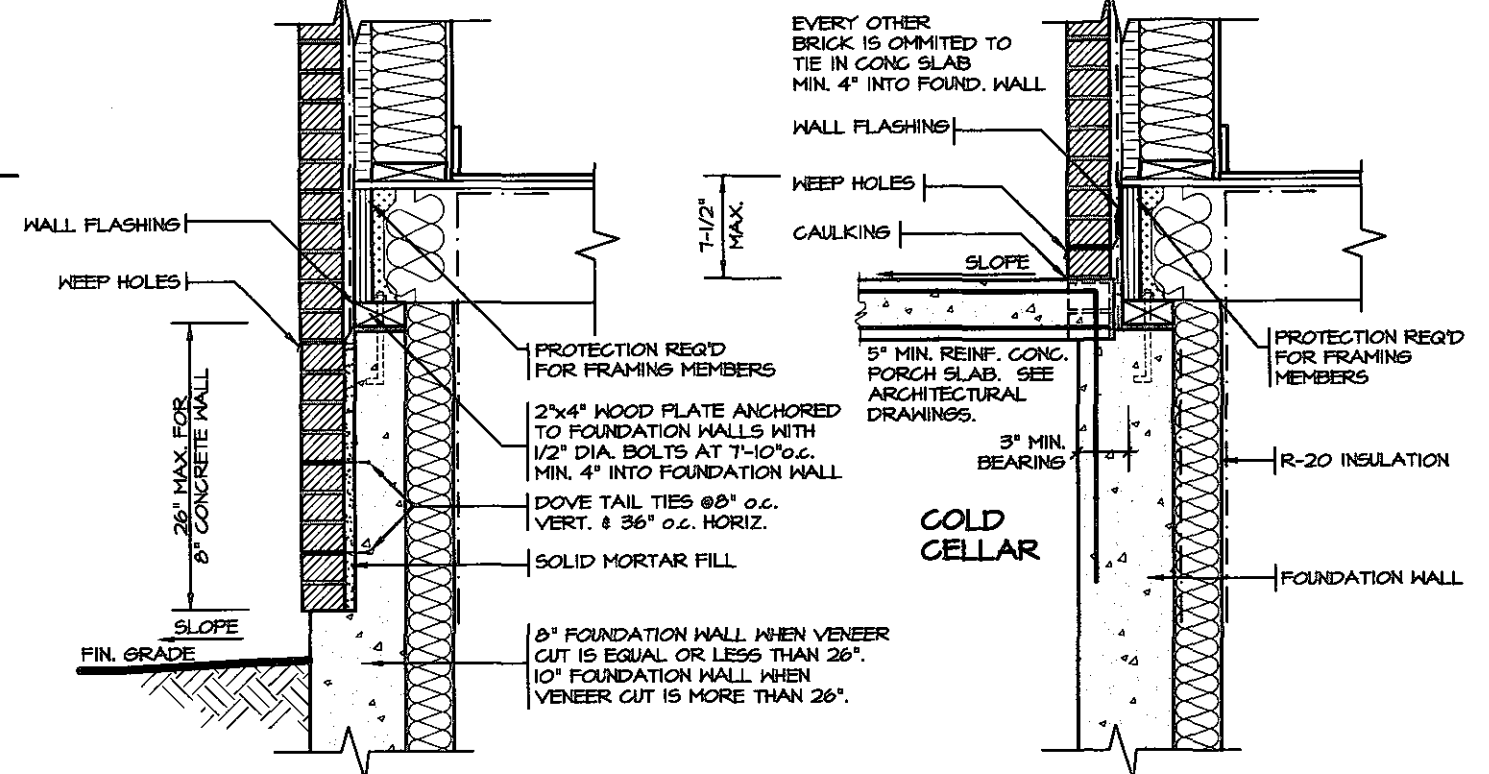
CAULK OR SEAL WITH GASKET
AIR BARRIER SECURED TO PLATE

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL
R-20 INSULATION DOWN WITHIN 2" MIN. AND 6" MAX. ABOVE FINISH SLAB WITH MOISTURE & VAPOUR BARRIER SEALED AT TOP & BOTTOM

POURED CONC. FDN. WALL. FOR WALL THICKNESS SEE ARCHITECTURAL DRAWINGS.

CONTINUOUS WATERSTOP (BITUMEN CAULKING)

3" CONCRETE SLAB 25 MPa ON 4" MIN. COMPACT GRAVEL



EVERY OTHER BRICK IS OMITTED TO TIE IN CONC SLAB MIN. 4" INTO FOUND. WALL

WALL FLASHING

WEEP HOLES

CAULKING

SLOPE

5" MIN. REINF. CONC. PORCH SLAB. SEE ARCHITECTURAL DRAWINGS.

3" MIN. BEARING

R-20 INSULATION

FOUNDATION WALL

PROTECTION REQ'D FOR FRAMING MEMBERS

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

DOVE TAIL TIES @8" o.c. VERT. & 36" o.c. HORIZ.

SOLID MORTAR FILL

8" FOUNDATION WALL WHEN VENEER CUT IS EQUAL OR LESS THAN 26".
10" FOUNDATION WALL WHEN VENEER CUT IS MORE THAN 26".

DETAIL FOR CONCRETE VENEER DROPPED GRADE

DETAIL FOR COLD CELLAR PORCH SLAB

FEB 14 2019



5.	
4.	
3.	
2.	
1.	REVISED FOR TRINAR HALL HOMES INC. JAN 18
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE 2 STOREY SECTION 2"x6" BRICK VENEER ENERGY STAR	
SCALE 3/4"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No. 5
PROJECT	

PROJECT NAME STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.	
---	--

EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'M' CLIPS FOR TRUSSES

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF TRUSSES @ 24" o.c. MAX. RAISED HEEL TO MATCH PLATE

STRUDET INC.



FOR STRUCTURE ONLY



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

WOOD SHEATHING

AIR/MOISTURE BARRIER

FIBRE MESH EMBEDDED IN PREP COAT

INSULATION BOARD (R-5) MIN. W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"

STARTER MESH (BACKWRAPPED)

CAULK WITH BEAD VENT

FLASHING

CONCRETE SILL

MASONRY CLADDING AS PER ELEVATION

A. TERMINATION AT MASONRY CLADDING WITH SEALANT 1

1 1/2" = 1'0"

- FIN. COAT OF EXTERIOR ACRYLIC STUCCO
- FIBRE MESH EMBEDDED IN PREP COAT
- INSULATION BOARD (MIN. R5) W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"
- AIR/MOISTURE BARRIER
- 1/16" EXTERIOR GRADE OSB SHEATHING
- 2" X 6" STUDS
- MIN. R-22 BATT INSULATION
- CONT. VAPOUR / AIR BARRIER
- 1/2" DRYWALL

(EIFS APPROVED SYSTEM, ALL MATERIALS AND SYSTEMS SHALL CONFORM TO CANULC-5716.1)

CONCRETE SILL

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 1/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

SCREENED KEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH KEEPING AND 6" UP BEHIND BUILDING PAPER

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. KEEPING TILES W/ 6" CRUSHED STONE COVER

CONC. FOOTING C/M FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

1/2" GYPSUM BOARD CEILING FINISH

SINGLE CONT. TIMBERSTRAND

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

SINGLE CONTIN. TIMBERSTRAND

FIN. FLOORING ON 3/4" T&G PLYWOOD

FINISHED FIRST FLOOR

CAULK OR SEAL WITH GASKET

AIR BARRIER SECURED TO PLATE

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

R-20 INSULATION DOWN WITHIN 2" MIN. AND 6" MAX. ABOVE FINISH SLAB WITH MOISTURE & VAPOUR BARRIER SEALED AT TOP & BOTTOM

POURED CONC. FDN. WALL. FOR WALL THICKNESS SEE ARCHITECTURAL DRAWINGS.

CONTINUOUS WATERSTOP (BITUMEN CAULKING)

3" CONCRETE SLAB 25 MPa ON 4" MIN. COMPACT GRAVEL

FINISHED SLAB

WALL FLASHING

WEEP HOLES

26" MAX FOR 8" CONCRETE WALL

SLOPE

FIN. GRADE

PROTECTION REQ'D FOR FRAMING MEMBERS

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

DOVE TAIL TIES @ 8" o.c. VERT. & 36" o.c. HORIZ.

SOLID MORTAR FILL

8" FOUNDATION WALL WHEN VENEER CUT IS EQUAL OR LESS THAN 26". 10" FOUNDATION WALL WHEN VENEER CUT IS MORE THAN 26".

DETAIL FOR CONCRETE VENEER DROPPED GRADE

3/4" = 1'0"

EVERY OTHER BRICK IS OMITTED TO TIE IN CONC SLAB MIN. 4" INTO FOUND. WALL

WALL FLASHING

WEEP HOLES

CAULKING

SLOPE

5" MIN. REINF. CONC. PORCH SLAB. SEE ARCHITECTURAL DRAWINGS.

3" MIN. BEARINGS

R-12 INSULATION FULL HEIGHT

PROTECTION REQ'D FOR FRAMING MEMBERS

FOUNDATION WALL

COLD CELLAR

FIN. GRADE

7'-1/2" MAX.

DETAIL FOR COLD CELLAR PORCH SLAB

3/4" = 1'0"

NO.	REVISIONS	DATE
5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
2"X6" STUCCO WALL
2 STOREY SECTION

SCALE
AS NOTED

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

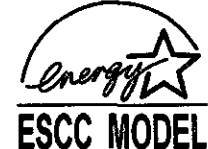
AREA
PAGE No.
5-2

PROJECT
00-00-00

Greenpark

STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.

FEB 14 2019

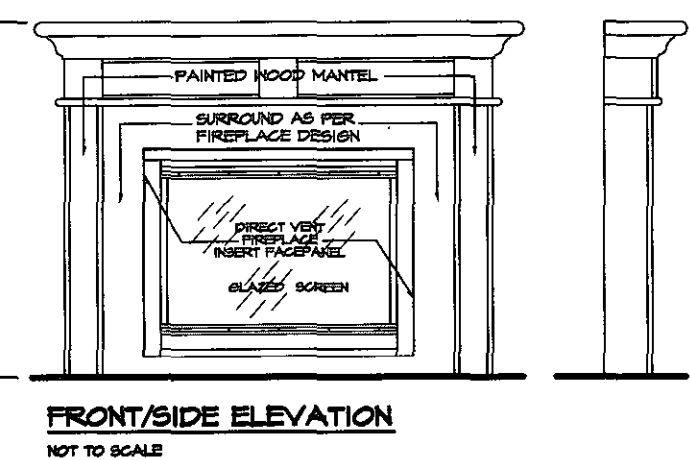
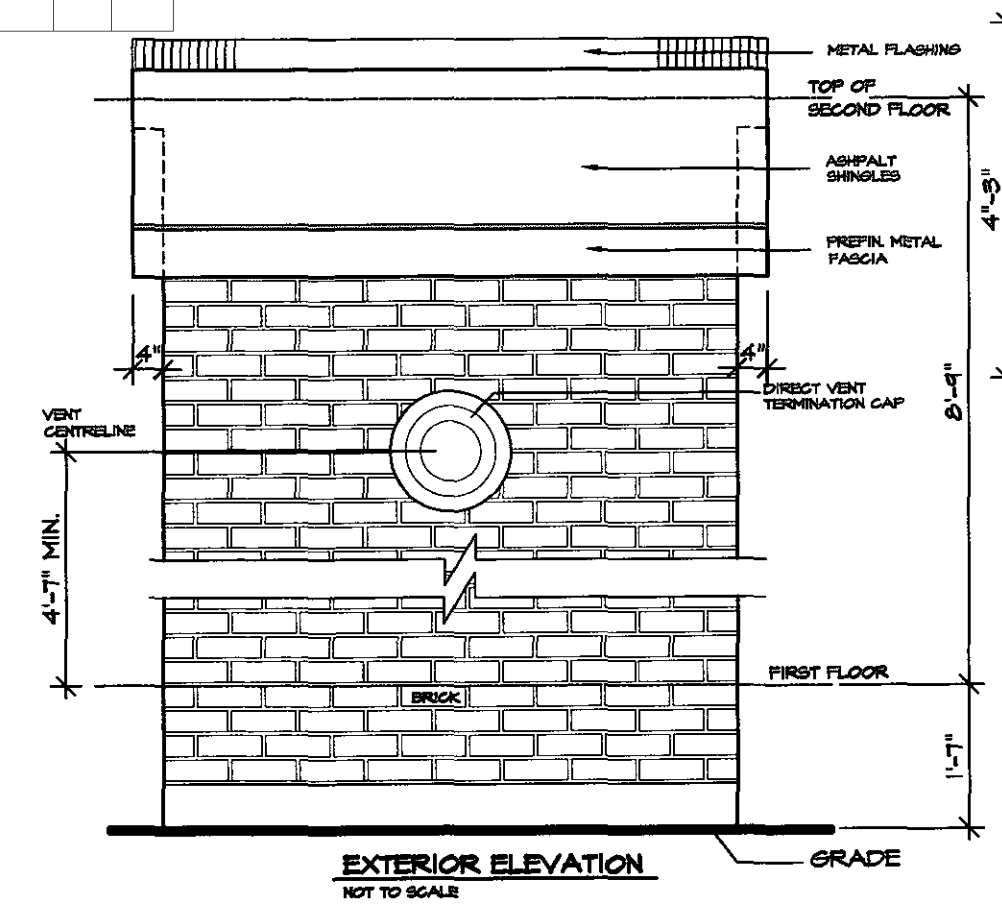
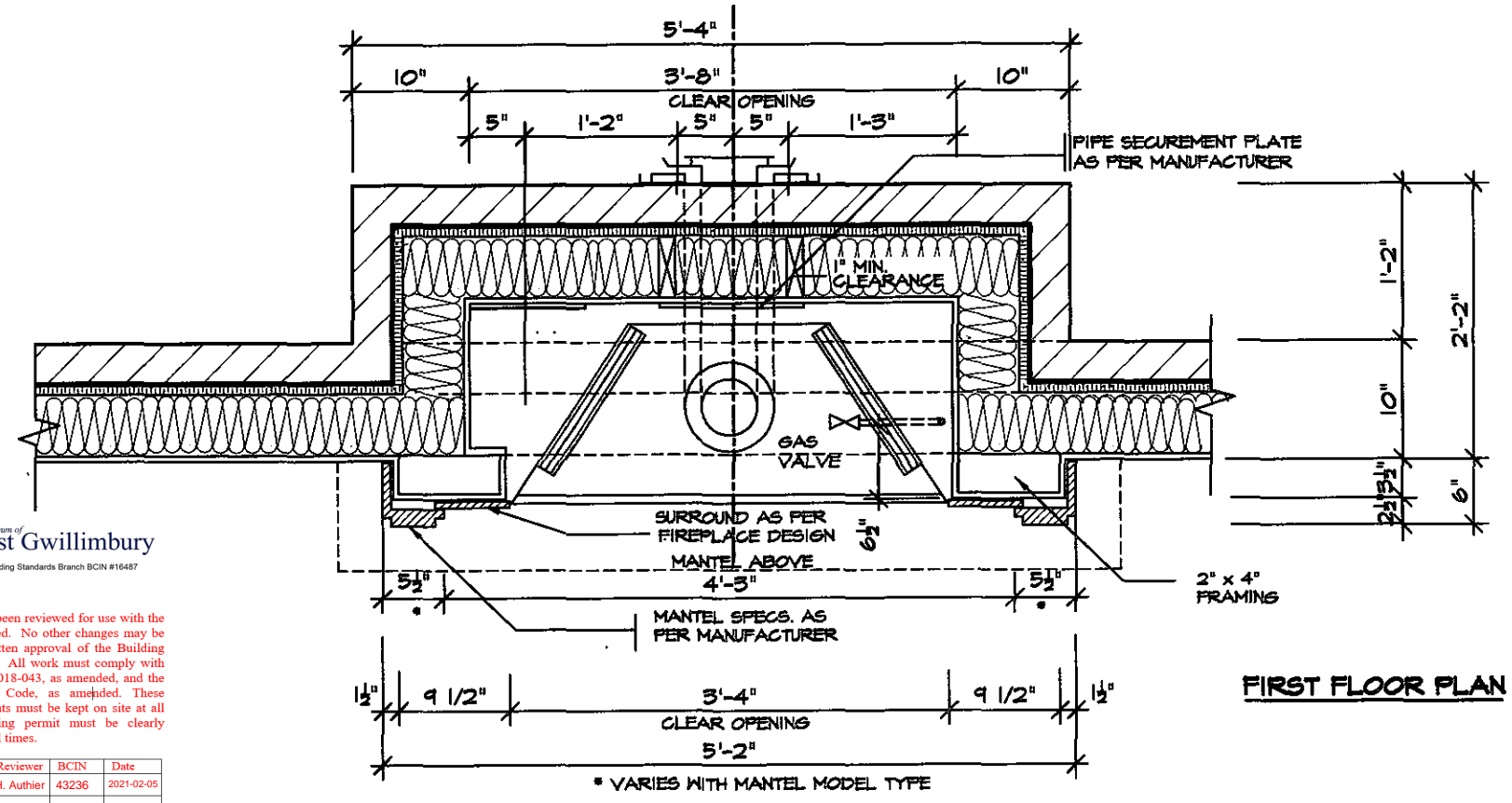
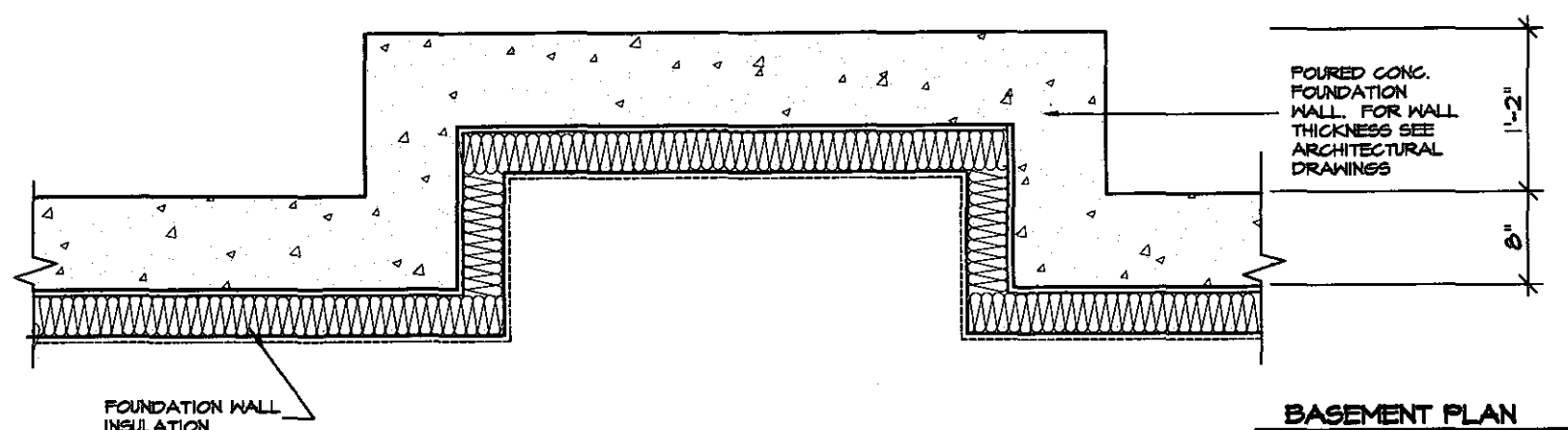


STANDARD DETAILS - 2016 TRINAR HALL HOMES INC. 2-21-26 PM 2019

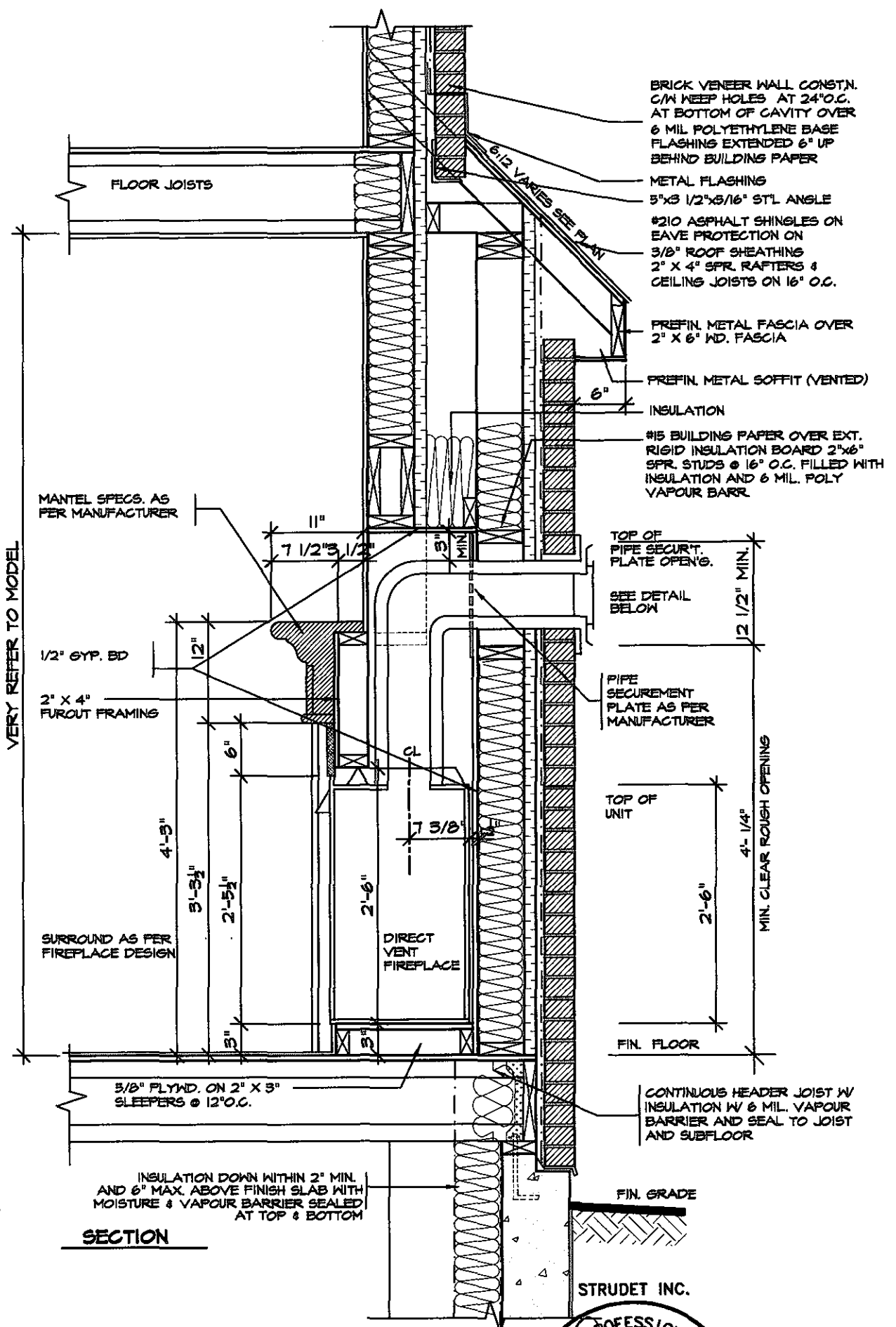
East Gwillimbury
Building Standards Branch BCIN #16487

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



- GENERAL INSTALLATION NOTES**
- 1.0 UNIT INSTALLATION TO STRICTLY CONFORM TO MANUFACTURERS INSTALLATION MANUAL AND ALL APPLICABLE CODES OF LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING CAN/CSA-B149.1 & 2.
 - 2.0 INSTALL WITH THE FOLLOWING MINIMUM CLEARANCES TO COMBUSTIBLES:
 - FROM TOP OF UNIT 0"
 - FROM BACK OF UNIT 1/2"
 - FROM SIDES OF UNIT 1/2"
 - FROM TOP OF HORIZ. VENT 5"
 - FROM SIDES TO VENT 1"
 - 3.0 THE DIRECT VENT UNIT ILLUSTRATED IS THE GC150 MODEL AS MANUFACTURED BY HEATILATOR.
 - 4.0 THE MANTEL ILLUSTRATED IS THE S-2 GB AS SUPPLIED BY GREATER TORONTO FIREPLACE.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
FEB 14/19
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

FEB 14 2019

Energy Star
ESCC MODEL

5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
DIRECT VENT FIREPLACE

SCALE
3/4"=1'-0"

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

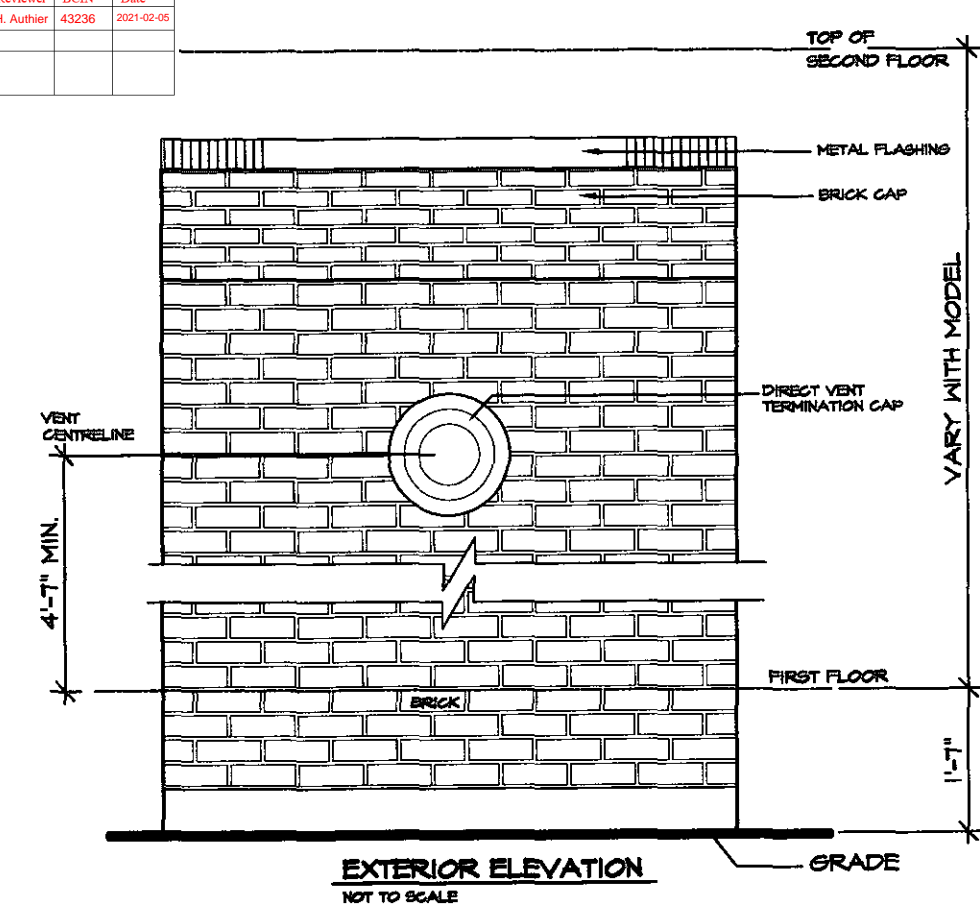
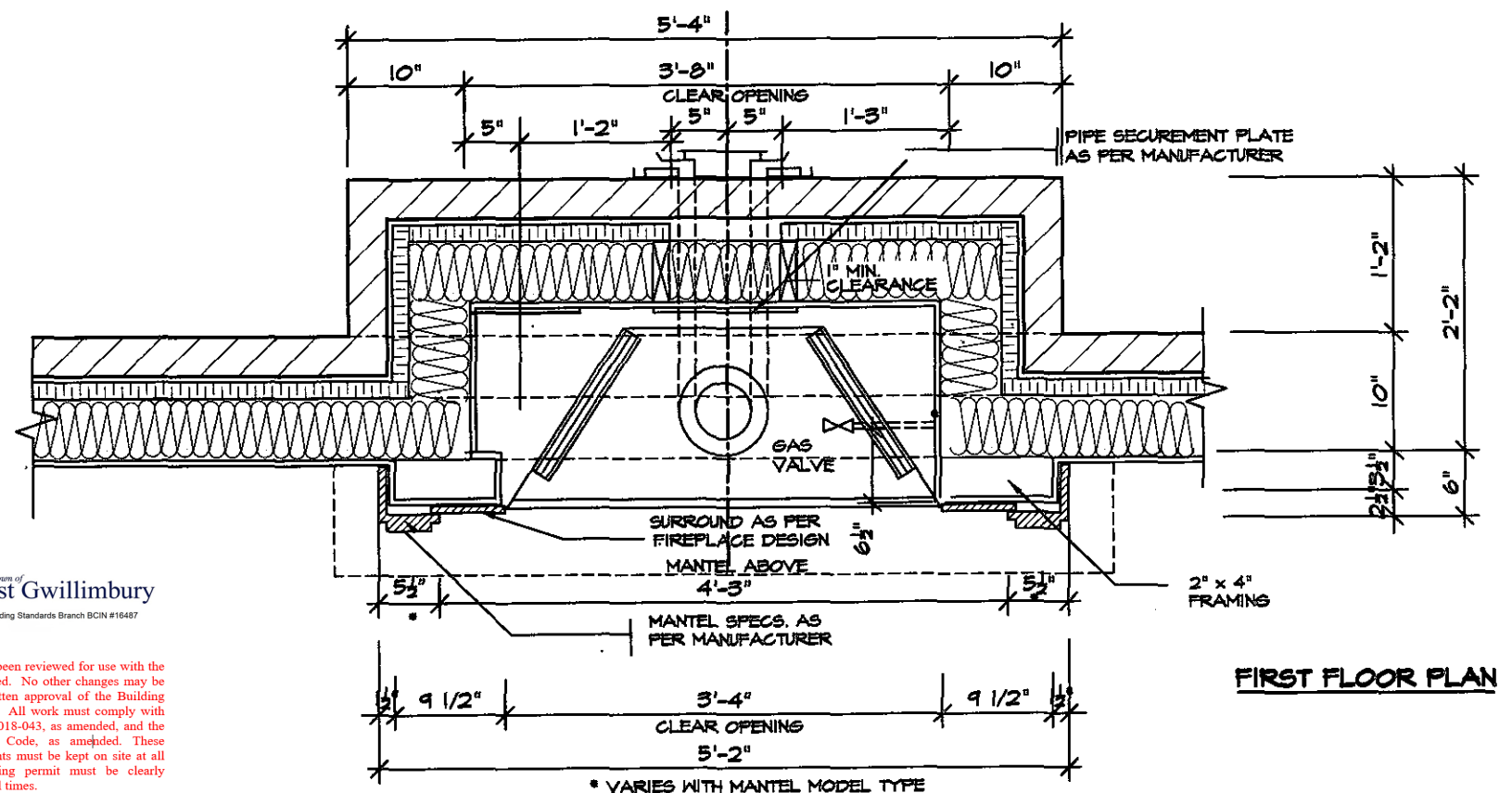
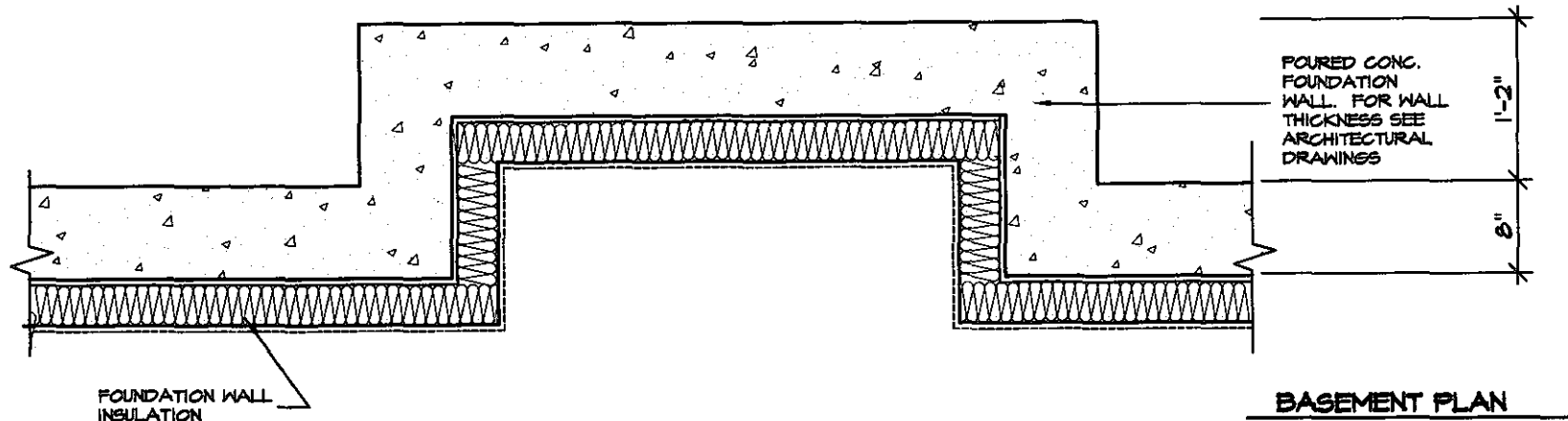
AREA

PROJECT

PAGE NO.
6

Greenpark

PROJECT NAME
STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.

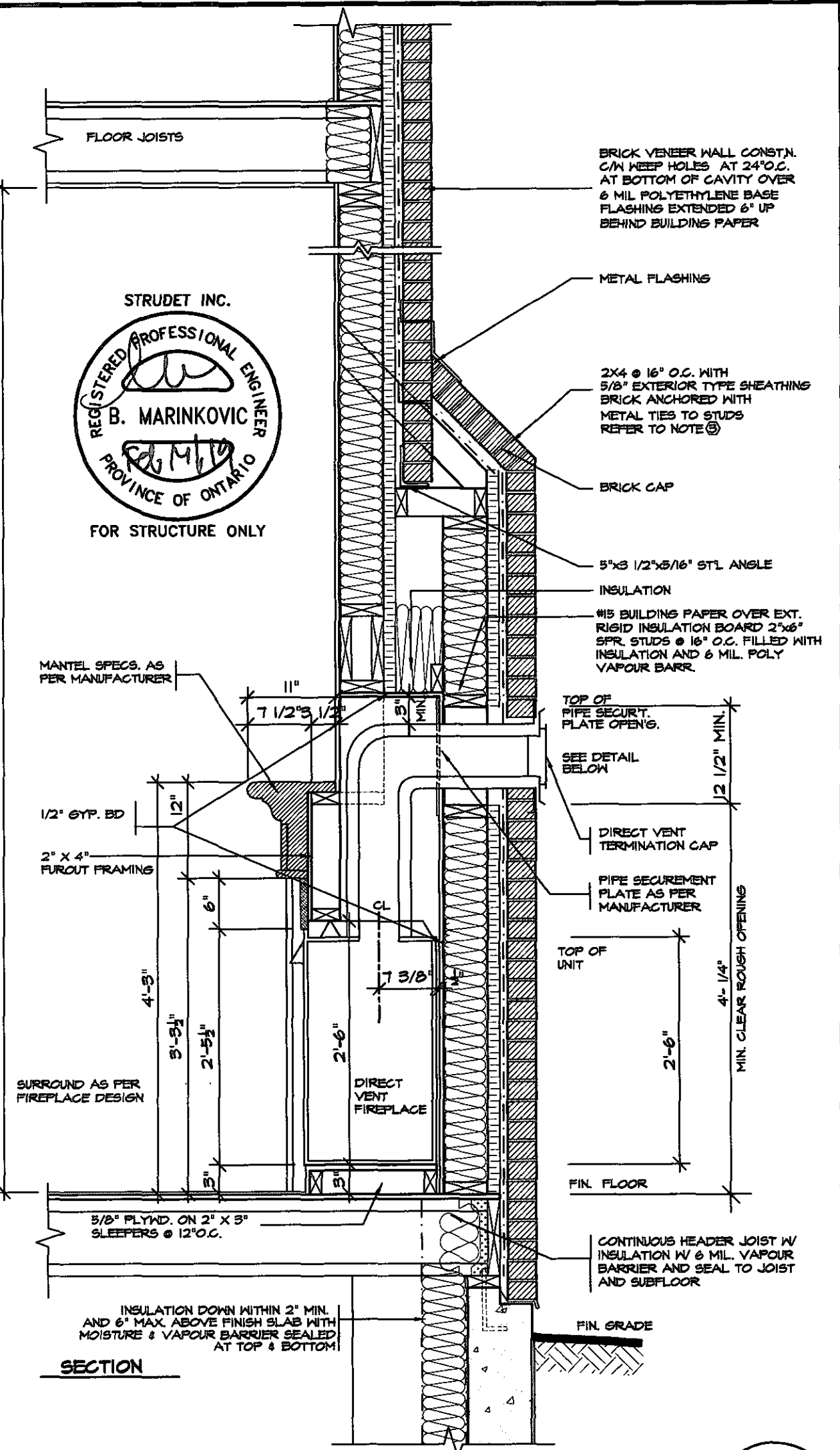


FRONT/SIDE ELEVATION
NOT TO SCALE

GENERAL INSTALLATION NOTES

- 1.0 UNIT INSTALLATION TO STRICTLY CONFORM TO MANUFACTURERS INSTALLATION MANUAL AND ALL APPLICABLE CODES OF LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING CAN/CSA-B144.1 & 2.
- 2.0 INSTALL WITH THE FOLLOWING MINIMUM CLEARANCES TO COMBUSTIBLES:
- FROM TOP OF UNIT 0"
- FROM BACK OF UNIT 1/2"
- FROM SIDES OF UNIT 1/2"
- FROM TOP OF HORIZ. VENT 3"
- FROM SIDES TO VENT 1"
- 3.0 THE DIRECT VENT UNIT ILLUSTRATED IS THE SC150 MODEL AS MANUFACTURED BY HEATILATOR.
- 4.0 THE MANTEL ILLUSTRATED IS THE S-2 GB AS SUPPLIED BY GREATER TORONTO FIREPLACE.

VARY REFER TO MODEL



MANTEL SPECS. AS PER MANUFACTURER

1/2" GYP. BD
2" x 4" FURCUT FRAMING

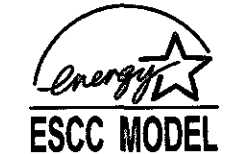
SURROUND AS PER FIREPLACE DESIGN

SECTION

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



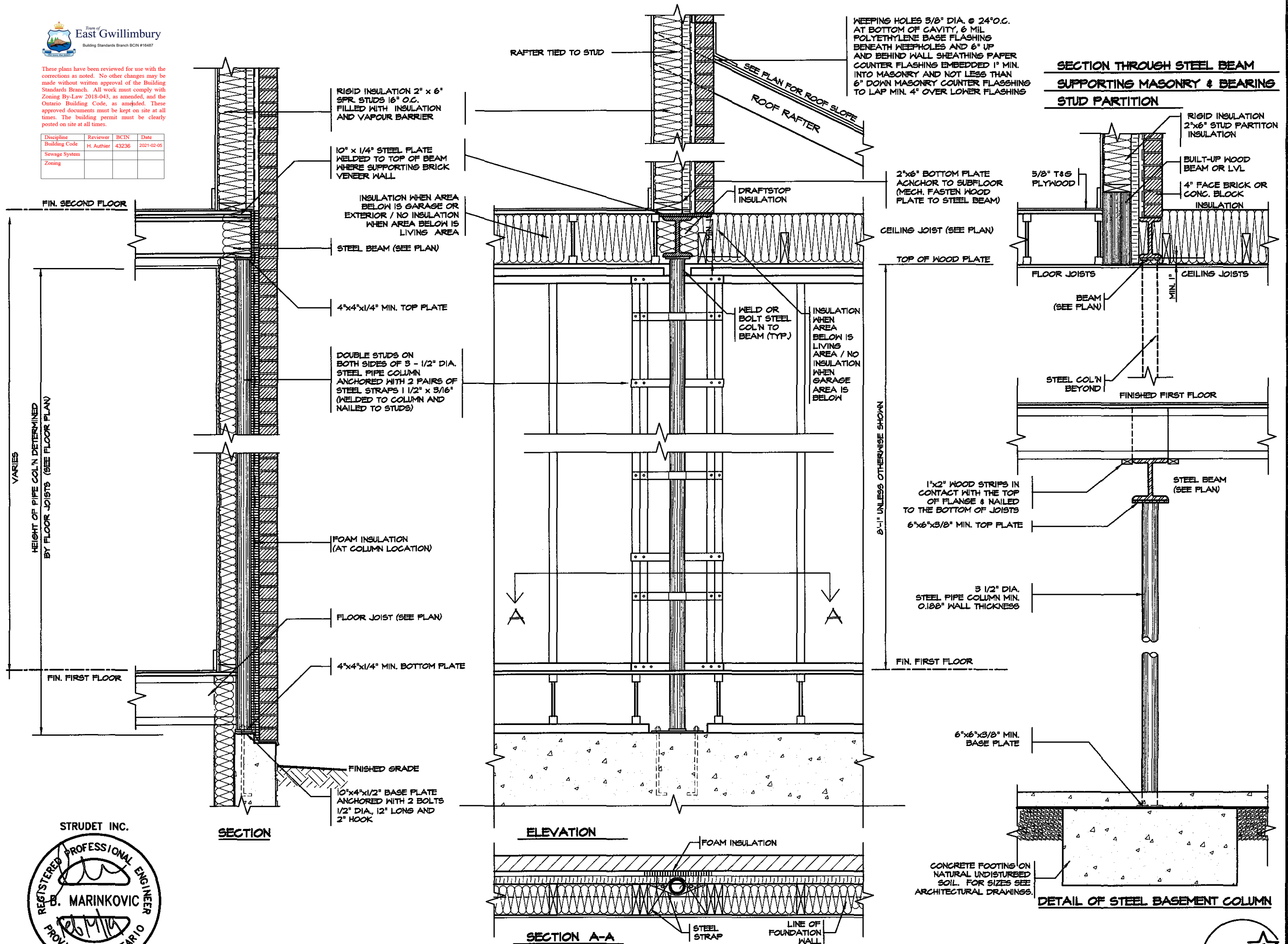
SHEET TITLE	DIRECT VENT FIREPLACE WITH BRICK CAP
SCALE	3/4"=1'-0"
DATE	NOV 2016
BY	
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No.
PROJECT	6-2

Greenpark
PROJECT NAME STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.

These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
STEEL COLUMN DETAILS

SCALE
3/4"=1'-0"

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

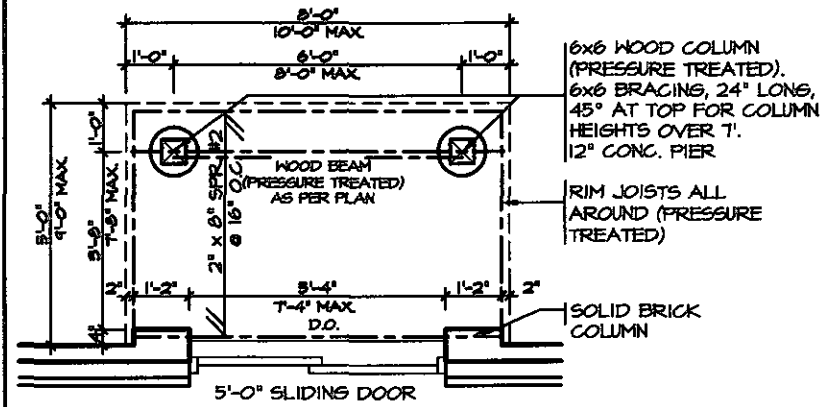
AREA
PROJECT

PAGE No.
7

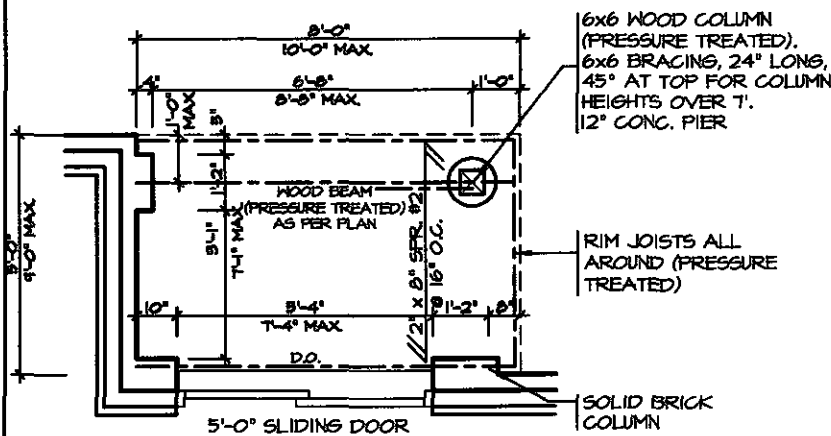
Greenpark.

PROJECT NAME
STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.

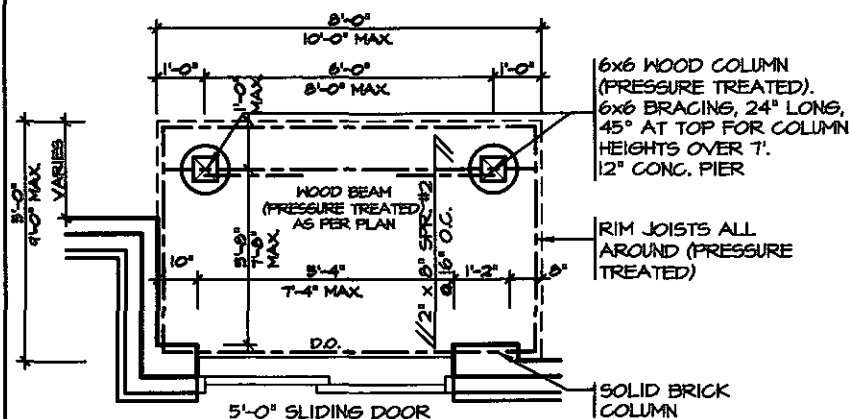




TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"

2x2 PICKETS CHAMFERED AT BOTTOM WITH 2x6 TOP CAP AND 2x4 TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

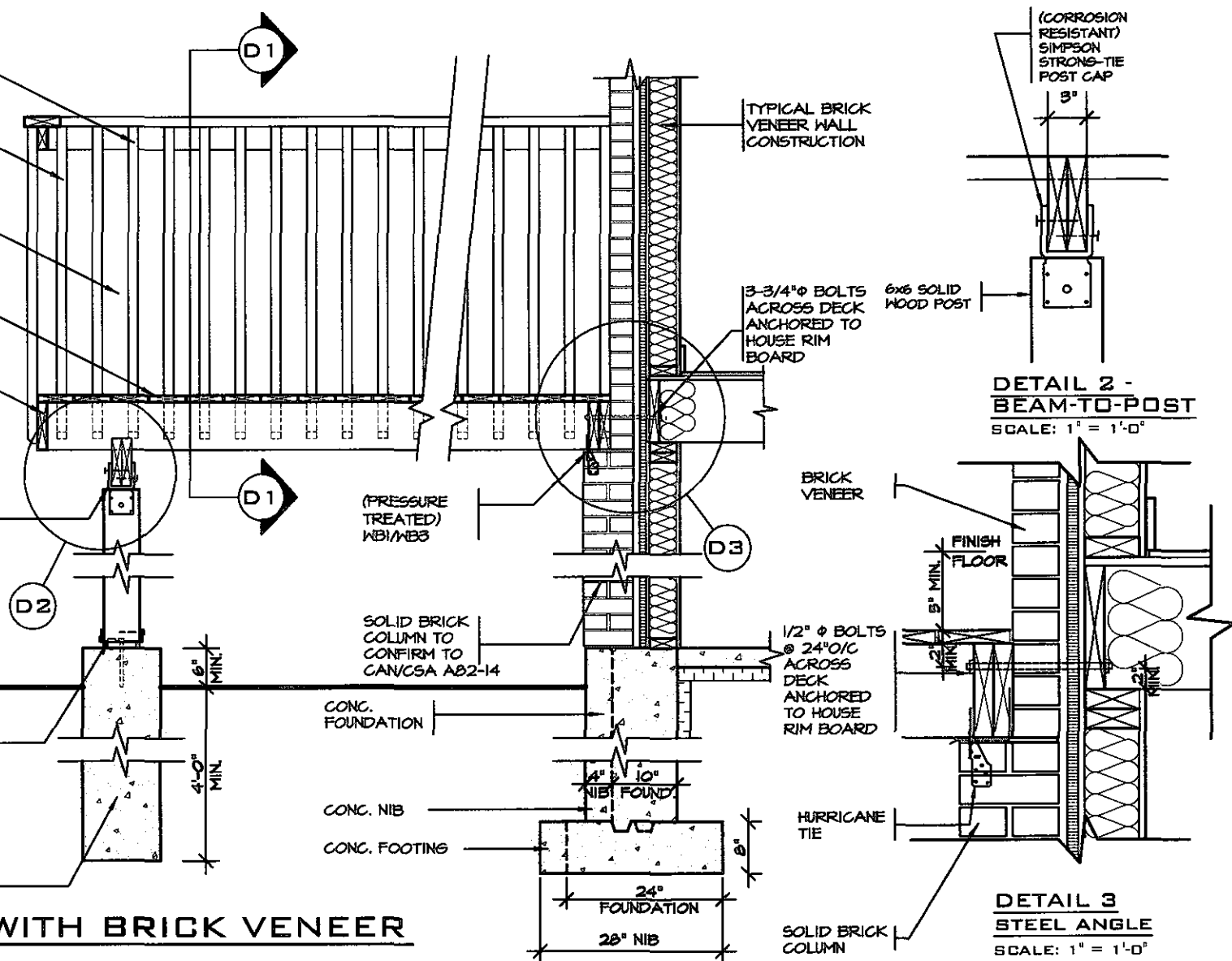
WBI RIM JOISTS (PRESSURE TREATED)

(CORROSION RESISTANT) SIMPSON STRONG-TIE POST CAP

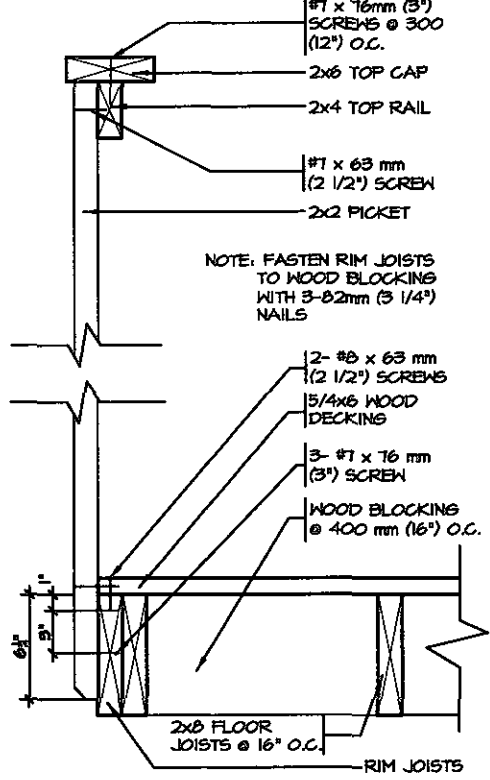
(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE, 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

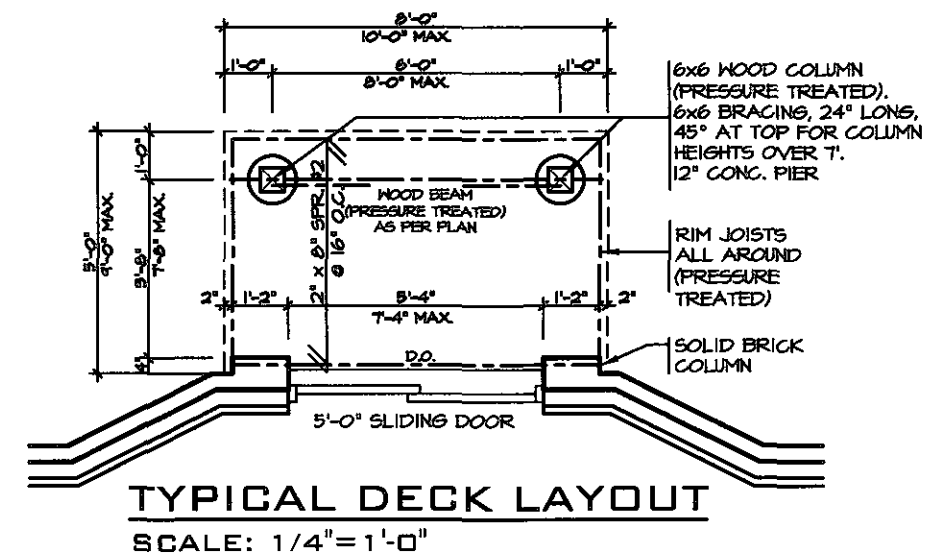
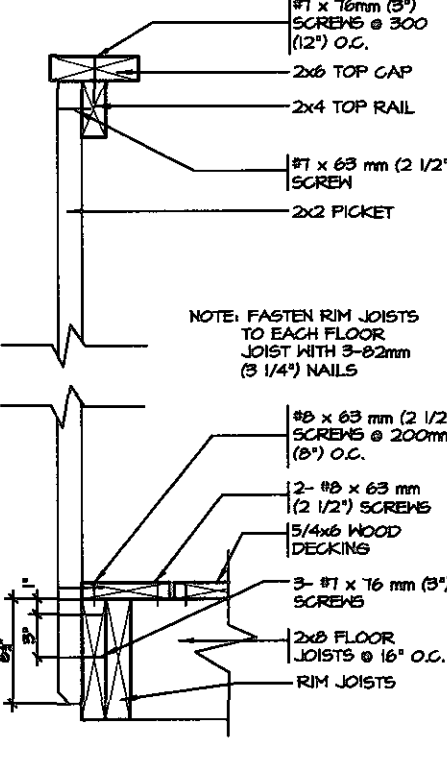
DECK SECTION WITH BRICK VENEER
SCALE: 1/2" = 1'-0"



DETAIL 1
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK
GUARD PARALLEL TO FLOOR JOISTS
SCALE: 1" = 1'-0"

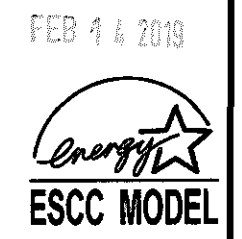
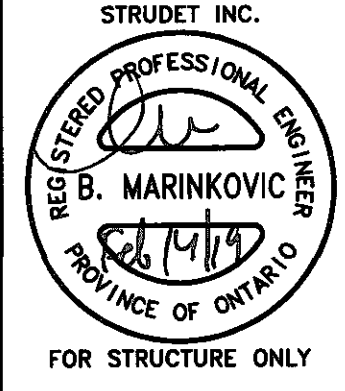


GUARD PERPENDICULAR TO FLOOR JOISTS
SCALE: 1" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"

- GENERAL NOTES**
- BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
 - MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
 - ALL NAILS AND SCREWS TO BE GALVANIZED.
 - WBI = 2- 2 x 8 (PRESSURE TREATED) WBS = 2- 2 x 10 (PRESSURE TREATED)
 - WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-05
Sewage System			
Zoning			

REVISIONS	
IR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746



SHEET TITLE
WALK-OUT DECK DETAILS

SCALE AS SHOWN BY
DATE NOV 2016 TYPE

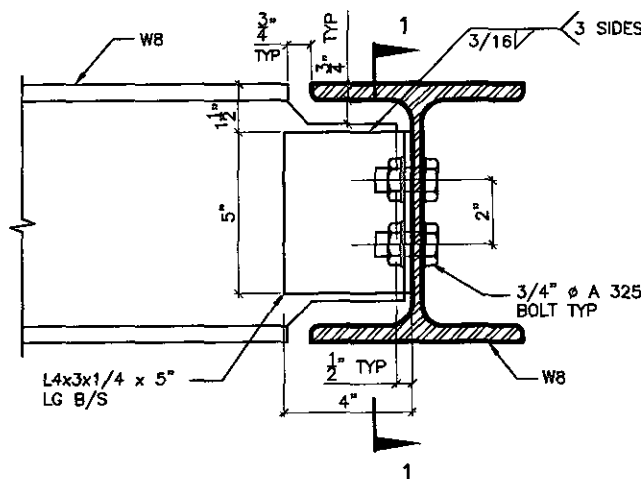
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
PROJECT 00-00-00

PAGE No.
8-2

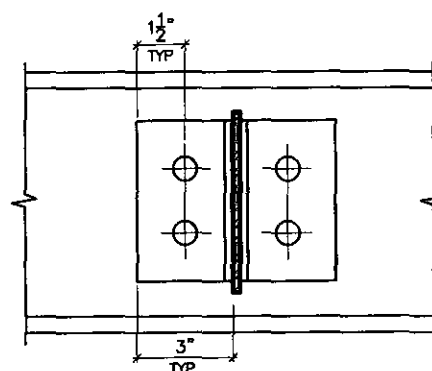


11-3636 AM MASTANDARD DETAIL SUP R M I T S E TENERGY STAR2016 TRINAR HALL V17 705 A2 - WALK-OUT DECK DETAIL ENERGY STAR PWS

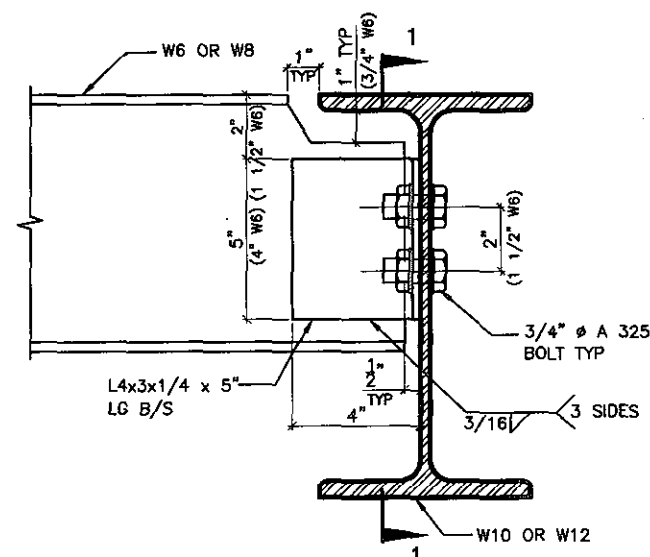


DETAIL 1.

**W8
TO
W8
CONNECTION**

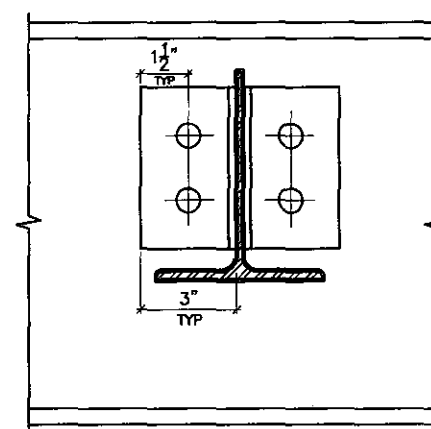


SECTION 1-1

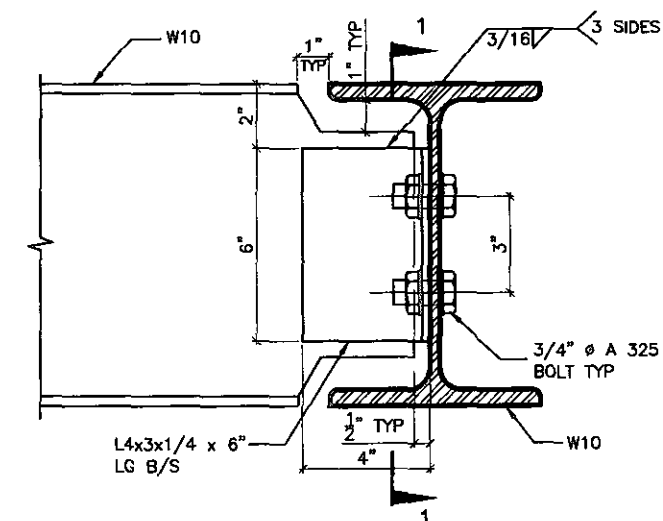


DETAIL 2.

**W6(W8)
TO
W10(W12)
CONNECTION**

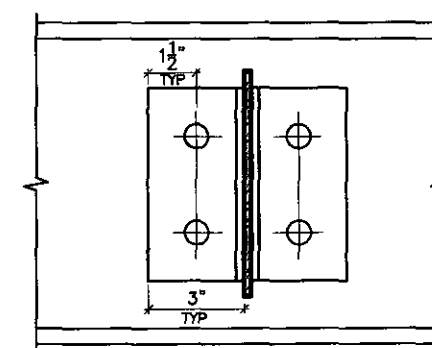


SECTION 1-1



DETAIL 3.

**W10
TO
W10
CONNECTION**

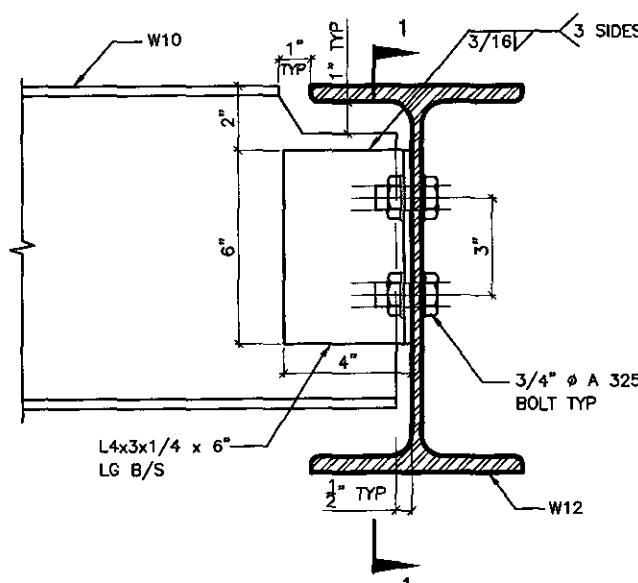


SECTION 1-1



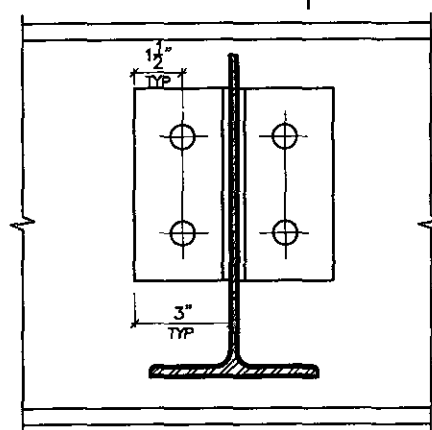
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

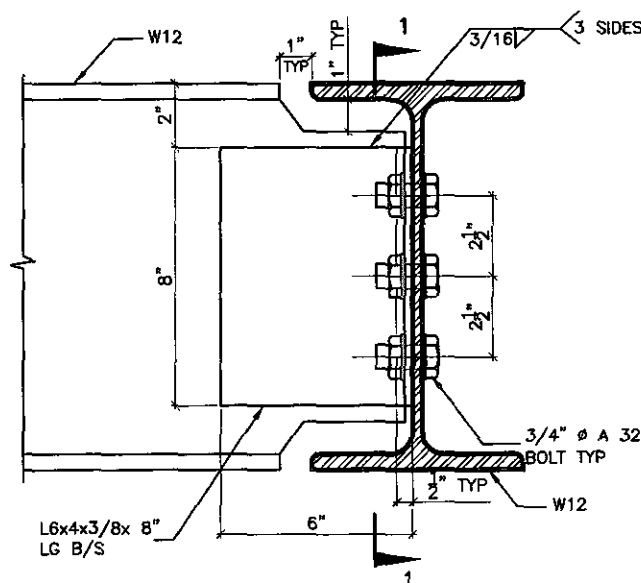


DETAIL 4.

**W10
TO
W12
CONNECTION**

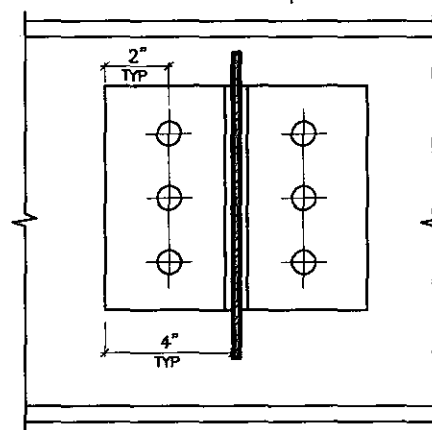


SECTION 1-1



DETAIL 5.

**W12
TO
W12
CONNECTION**

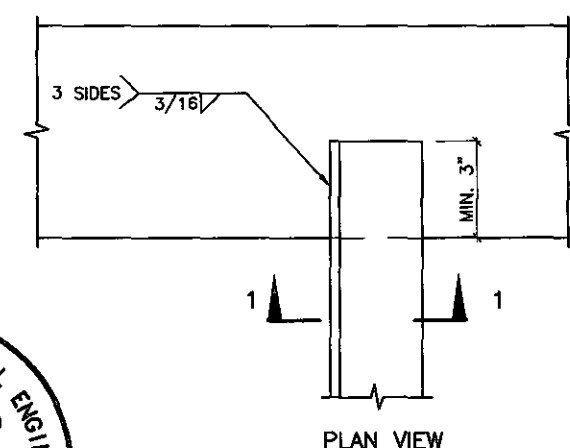


SECTION 1-1

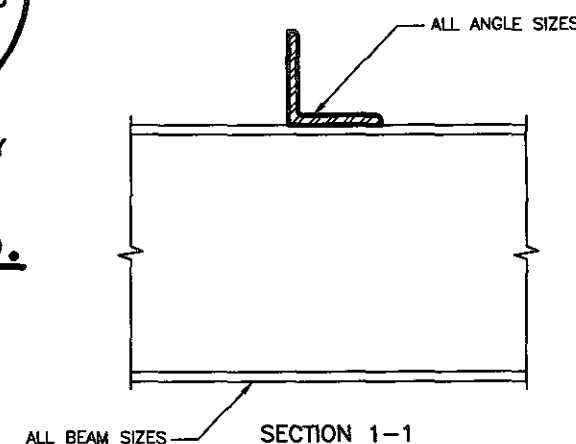


DETAIL 6.

**ANGLE
TO
BEAM
CONNECTION**



PLAN VIEW



SECTION 1-1

FEB 14 2018



5.	REVISIONS	
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4095
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
**STEEL
BEAM DETAILS**

SCALE
N.T.S.

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
PAGE No.
9

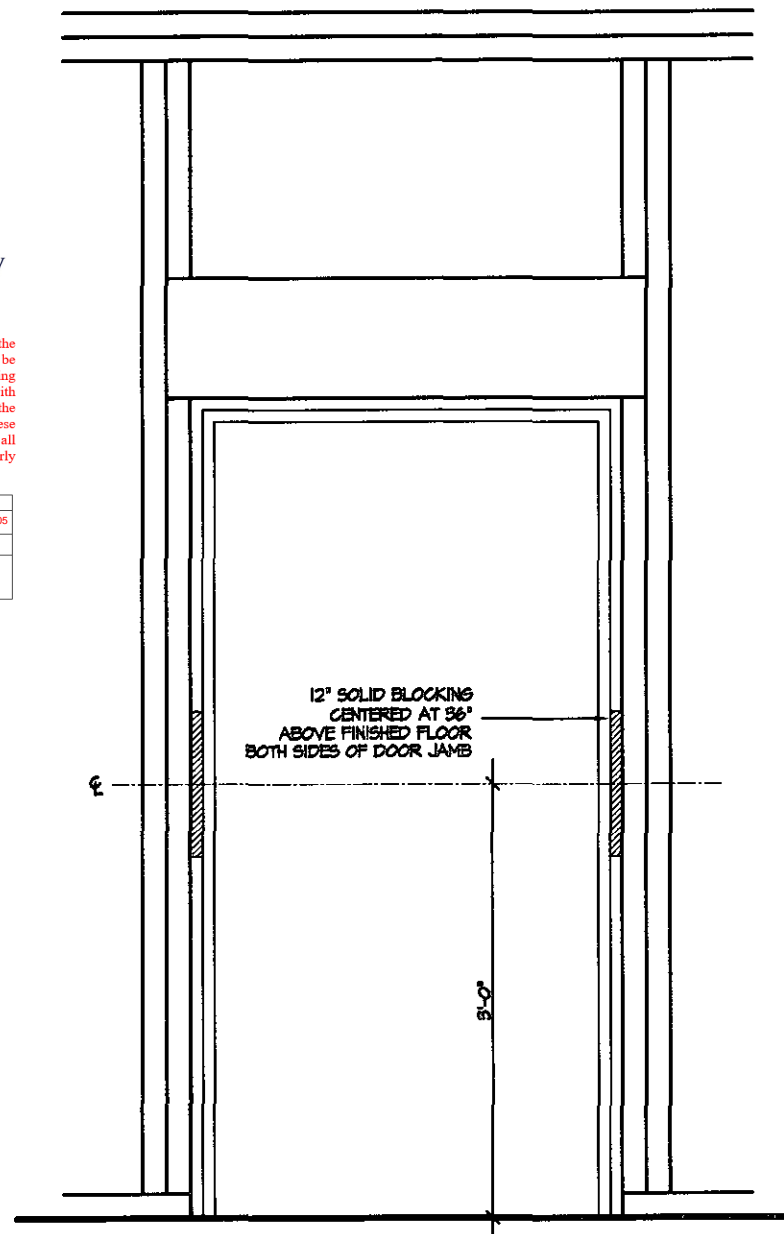
Greenpark

PROJECT NAME
**STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.**

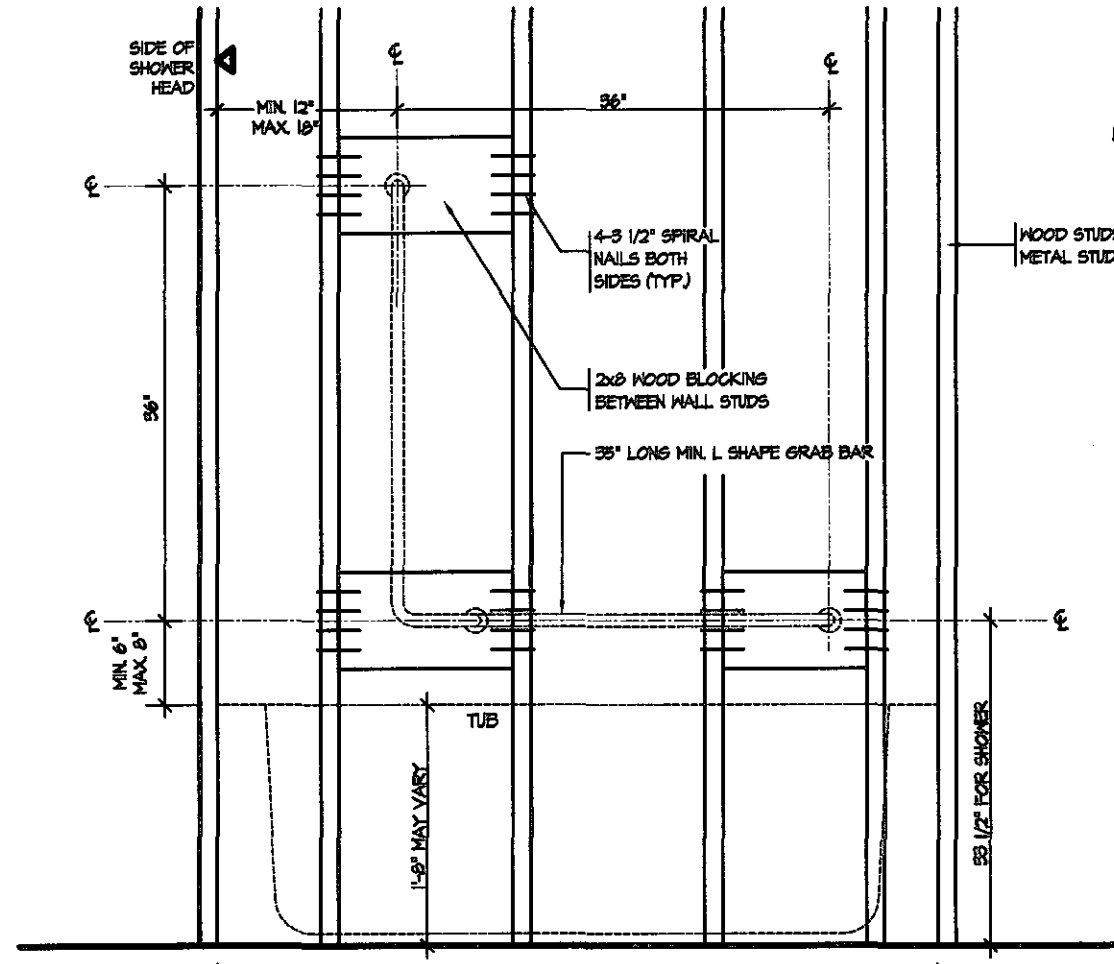


These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

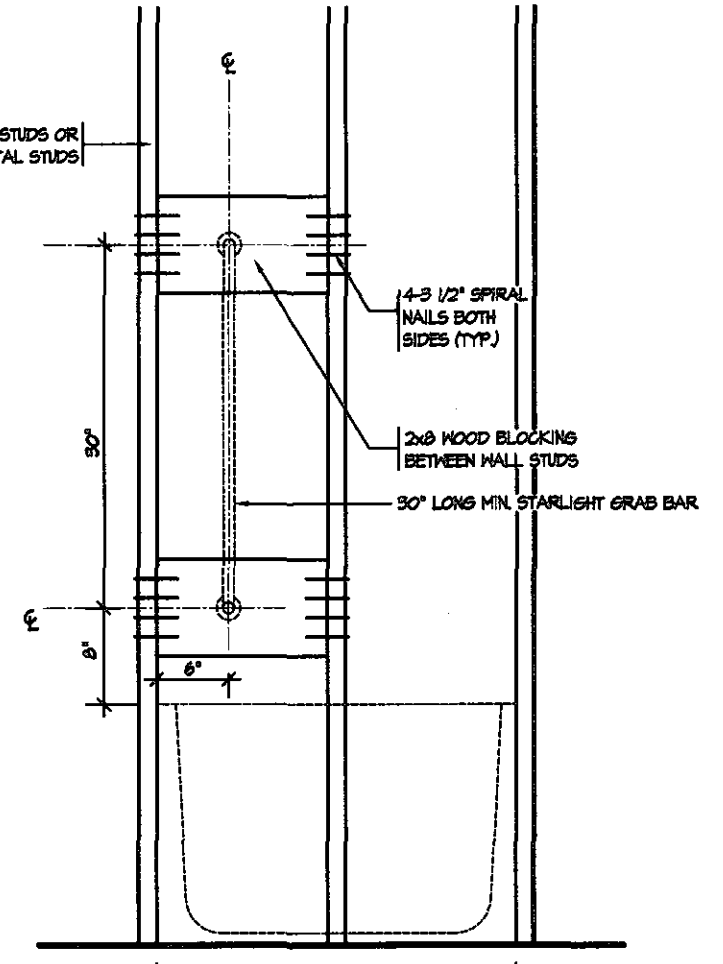
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



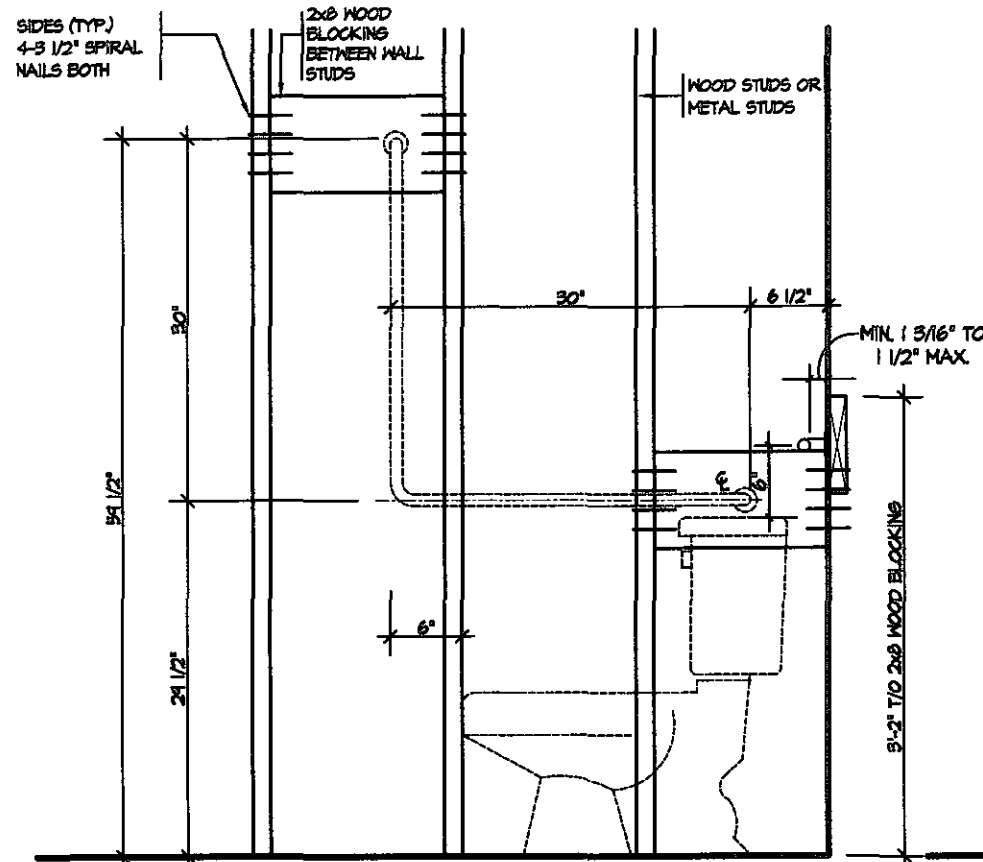
RESISTANCE TO FORCED ENTRY (OBC 9.6.2)



BATH TUB OR SHOWER FRONT ELEVATION

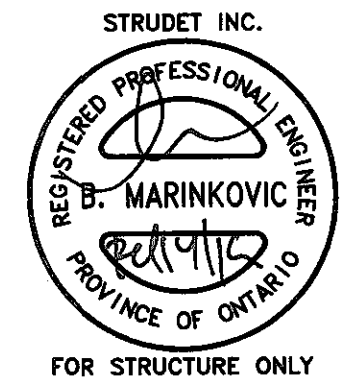
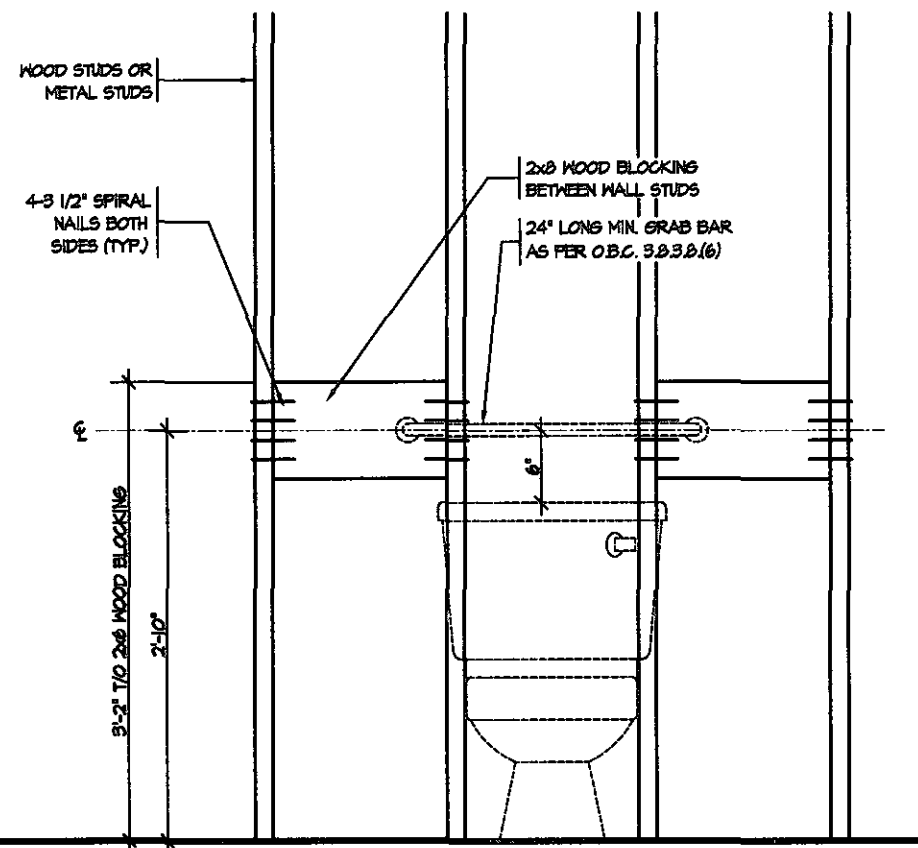


BATH TUB SHOWER HEAD SIDE ELEVATION

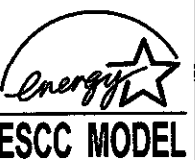


TOILET SIDE ELEVATION

STRUCTURAL REINFORCEMENT FOR GRAB BAR (OBC 9.5.2.3)
FOR MAIN BATH ONLY



FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 680-0746



SHEET TITLE
BLOCKING
FORCED ENTRY & GRAB BAR
SCALE 3/4"=1'0"
DATE NOV 2016
BY
TYPE
AREA
PROJECT 00-00-00
PAGE No. 10

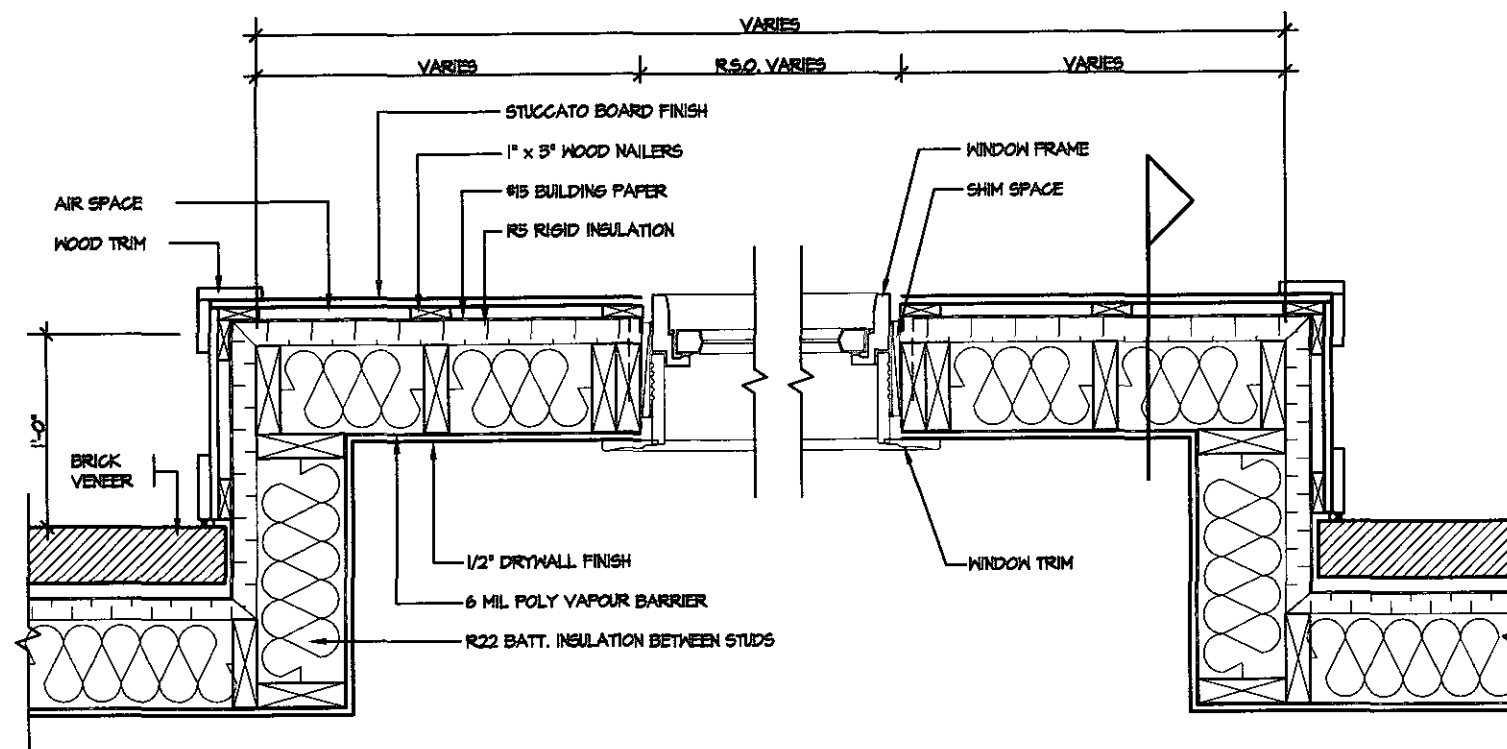
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.





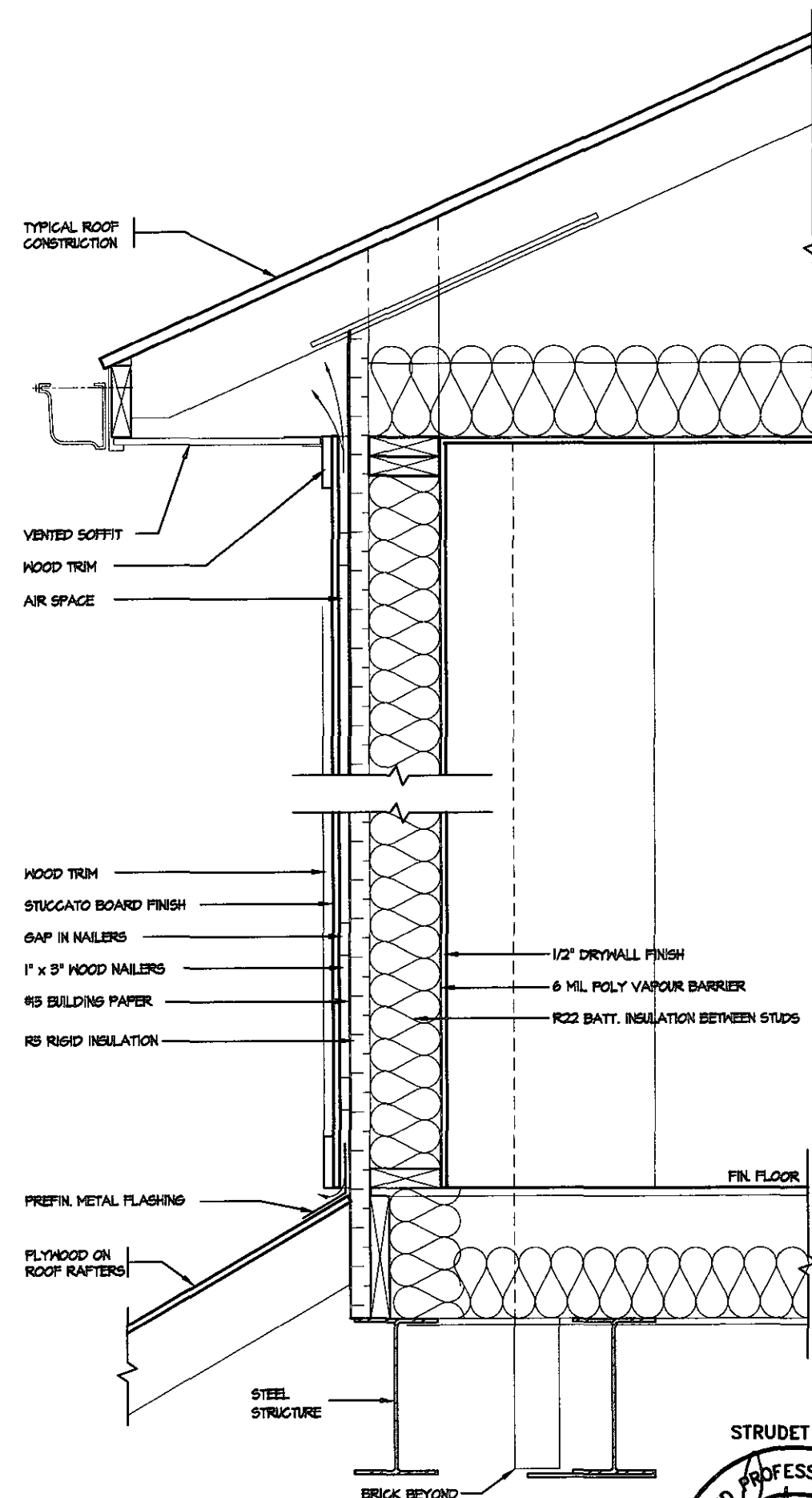
These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			

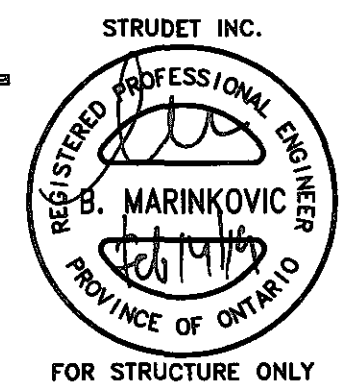


PLAN VIEW

STUCCATO BOARD FINISH CLADDING OR EQUAL (OBC 9.27.)



CROSS SECTION



FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE BCIN 28770

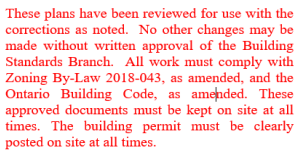
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 880-0746



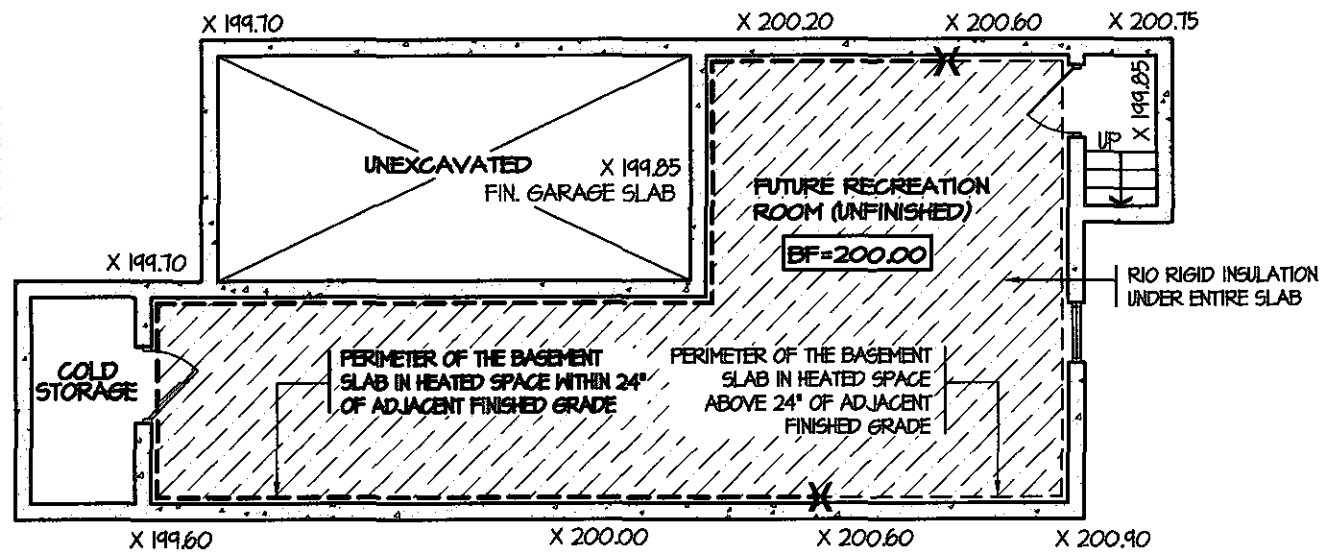
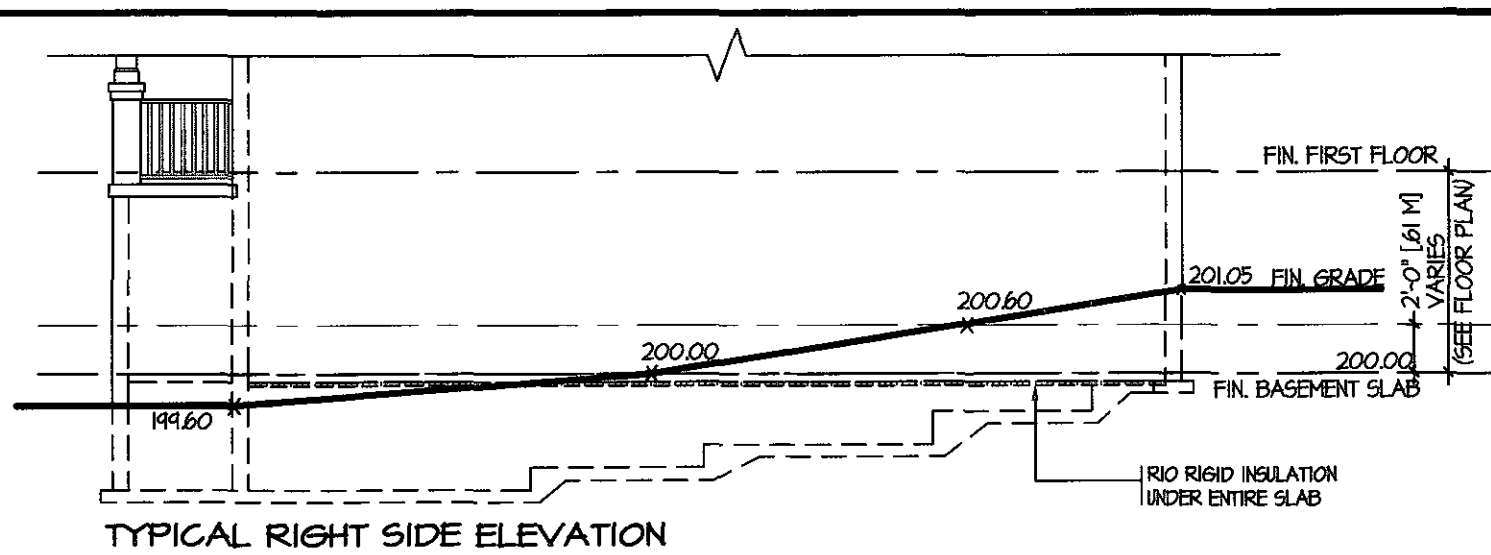
SHEET TITLE			
STUCCATO BOARD FINISH CLADDING			
SCALE	BY	AREA	PAGE No.
1/2"=1'0"			11
DATE	TYPE	PROJECT	
NOV 2016		00-00-00	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.





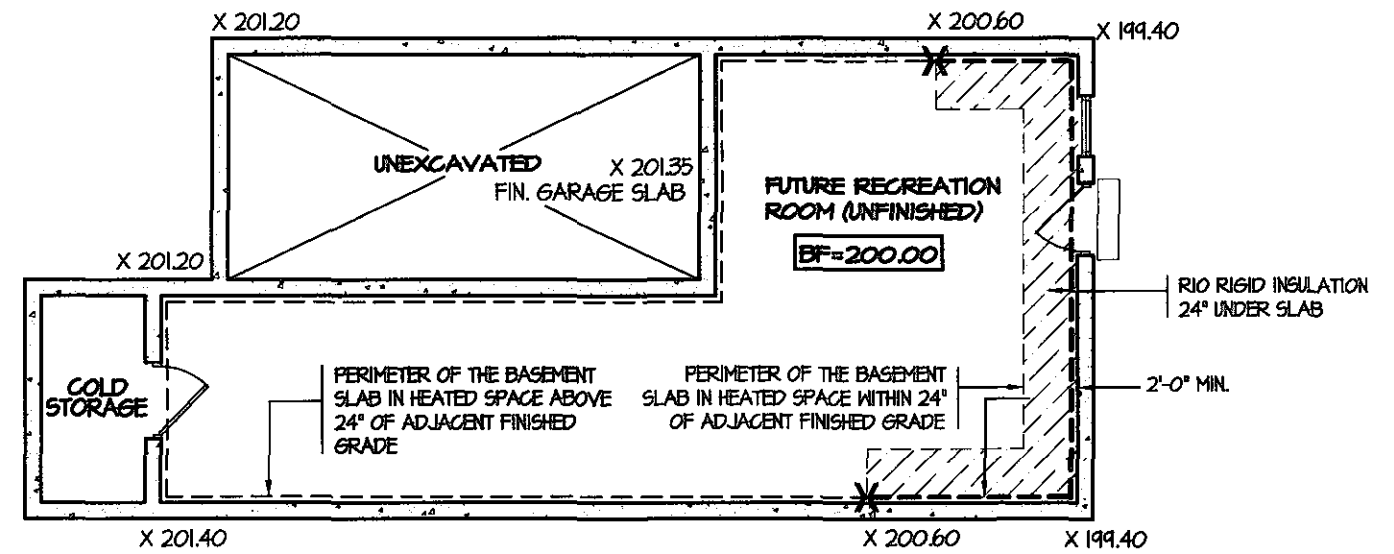
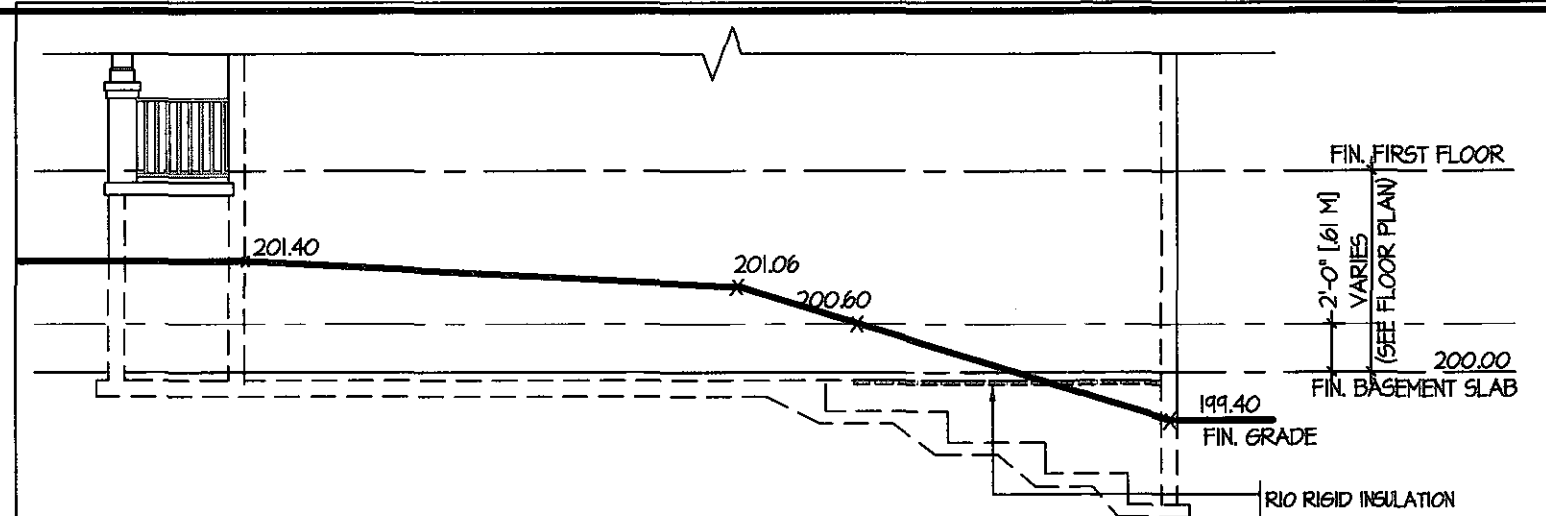
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



SLAB ON GRADE CONDITION

NOTES:

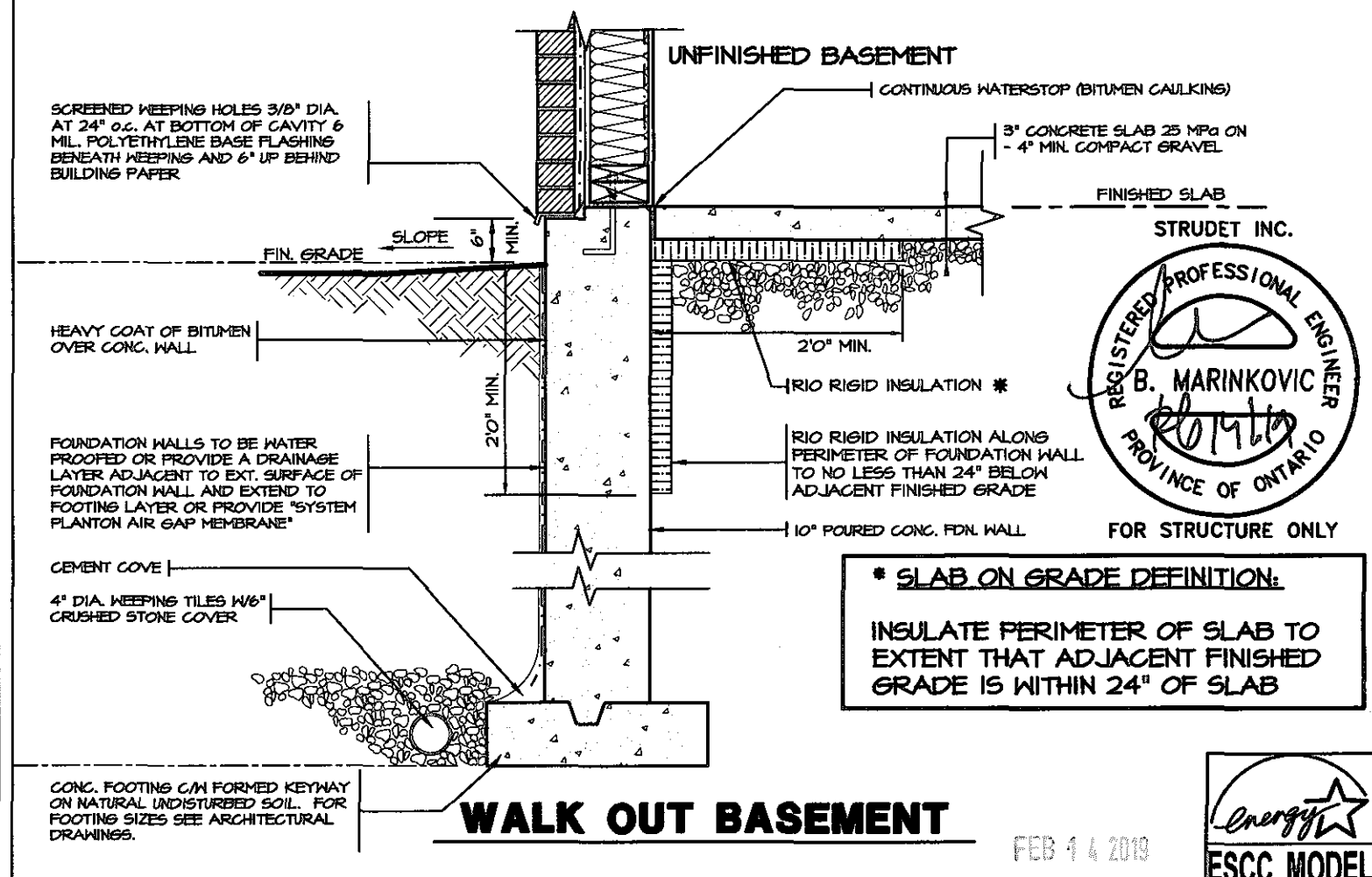
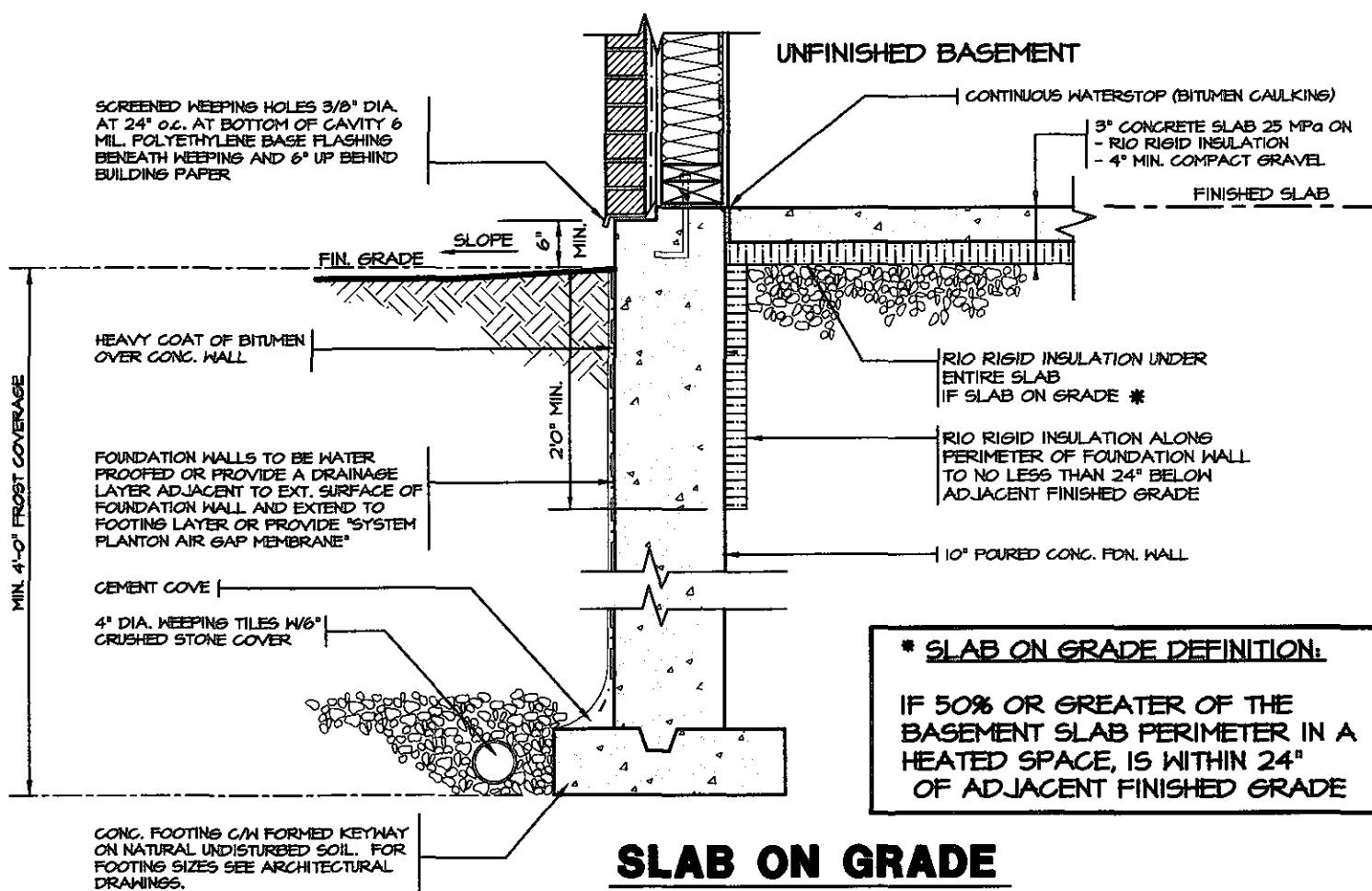
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS
2. ALL LEVELS ARE SHOWN IN METRIC



WALK OUT BASEMENT CONDITION

NOTES:

1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS
2. ALL LEVELS ARE SHOWN IN METRIC




5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

VIKAS GAJJAR  28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.


SHEET TITLE	
SLAB ON GRADE WALKOUT BASEMENT	
SCALE	BY
N.T.S.	
DATE	TYPE
NOV 2016	

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

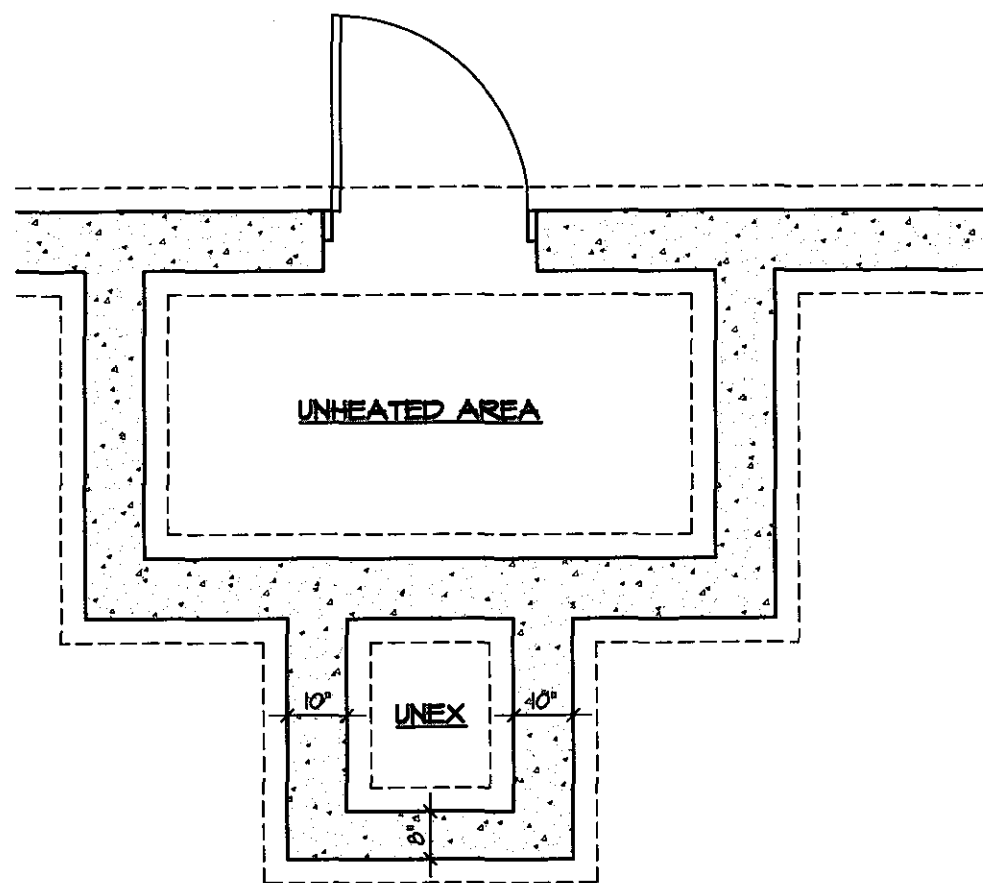
AREA	PAGE No.
PROJECT 00-00-00	12



PROJECT NAME
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.

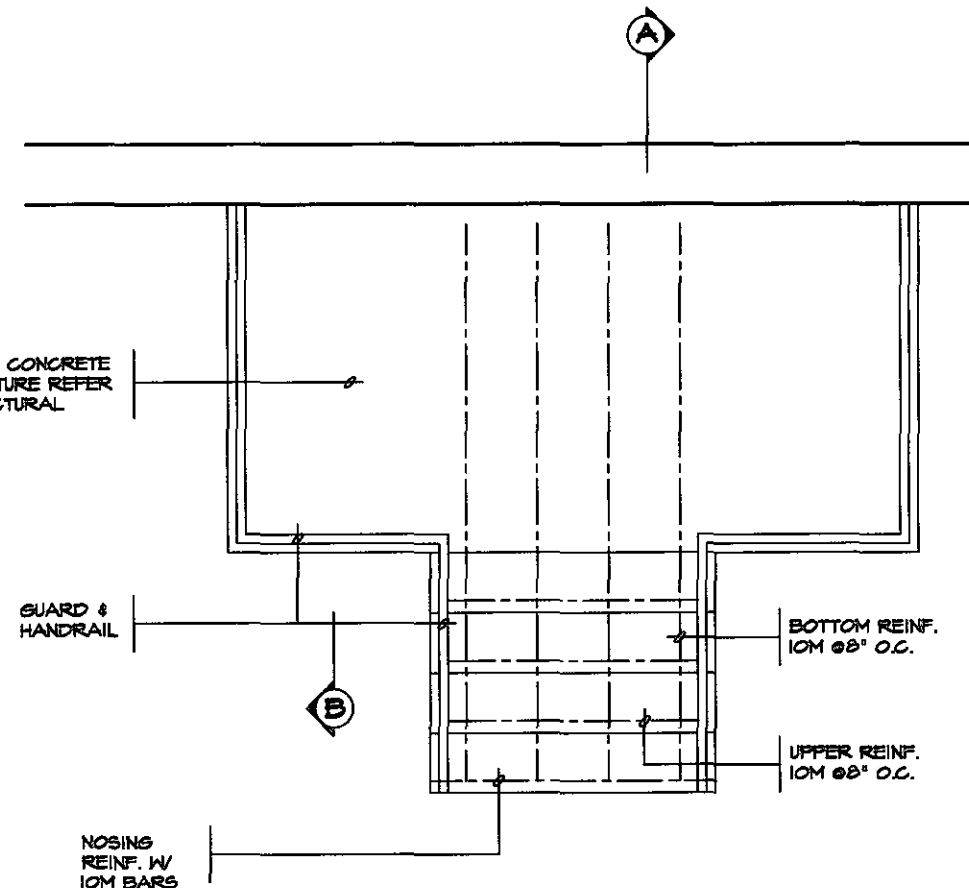


ENERGY STAR
EPA MODEL



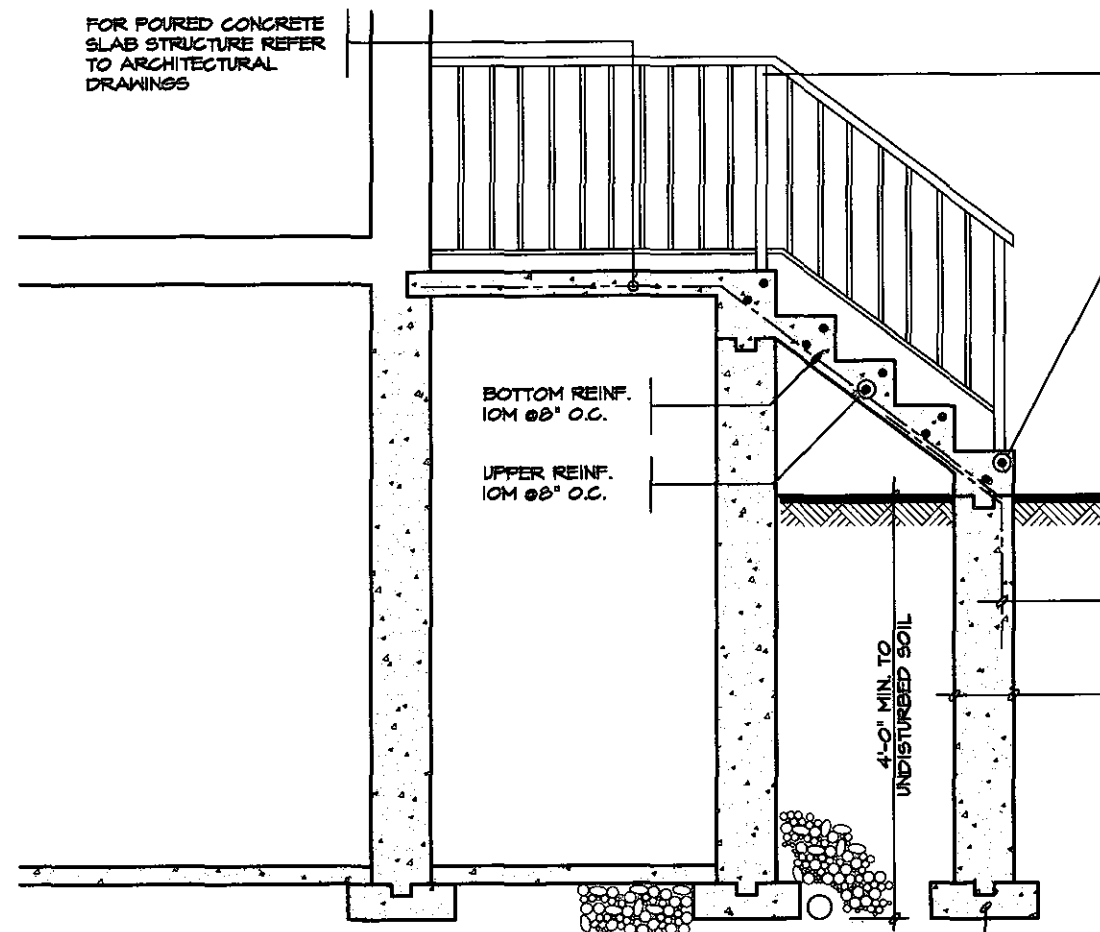
FOUNDATION PLAN

FOR POURED CONCRETE
SLAB STRUCTURE REFER
TO ARCHITECTURAL
DRAWINGS



GROUND FLOOR PLAN

FOR POURED CONCRETE
SLAB STRUCTURE REFER
TO ARCHITECTURAL
DRAWINGS



SECTION 'A'

CLEAR SPACING
BETWEEN PICKETS TO
BE 4" MAX. NO
MEMBER BETWEEN 4" &
2'-11" ABOVE SLAB

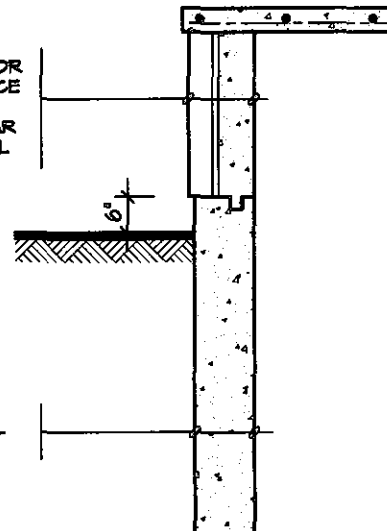
NOSING
REINF. W/
10M BARS

MASONRY EXTERIOR
FACING, FILL SPACE
BETWEEN WALL &
FACING W/ MORTAR
& PROVIDE METAL
TIES SEE NOTE '2'

10M @ 8" O.C.
DOWELS TO
MATCH BOTTOM
REINF.

POURED FDN. WALL

6" X16"
POURED
CONC.
FOOTING



SECTION 'B'

NOTE: FOR MORE THAN 3 RISERS

GENERAL NOTES

- EXTERIOR STAIRS
7 1/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- MASONRY TIES
WHEN BRICK FACING IS USED ABOVE
GROUND LEVEL, PROVIDE 5/16" DIA.
CORROSION RESISTANT METAL TIES @ 36"
HORIZONTAL & 8" VERTICAL
- GUARDS
ARE REQUIRED AROUND CONCRETE SLAB
IF MORE THAN 2'-0" ABOVE GRADE & ON
BOTH SIDES OF STAIRS CONTAINING MORE
THAN 6 RISERS. MINIMUM 31" HIGH FOR
STAIRS MINIMUM 55" HIGH FOR PORCHES
UP TO 5'-11" ABOVE GRADE. MINIMUM 42"
HIGH FOR GREATER HTS.
- HANDRAIL
ARE REQUIRED WHERE STEPS HAVE MORE
THAN 3 RISERS. HANDRAIL HEIGHT 31" -
38".
- FOUNDATION WALLS
THICKNESS OF FOUNDATION WALLS IS
DEPENDANT UPON VENEER CUT @ FOR UP
TO 26" VENEER CUT HEIGHT 10" FOR
VENEER CUT OVER 26" HIGH
- CONCRETE
MINIMUM CONCRETE STRENGTH SHALL BE
4650 PSI [32MPa] W/ 5%-8% AIR
ENTRAINMENT MINIMUM CONCRETE SLAB
THICKNESS 5"
- CONCRETE COVER
PROVIDE MINIMUM 3/4" CLEAR CONCRETE
COVER TO REINFORCING BARS



These plans have been reviewed for use with the
corrections as noted. No other changes may be
made without written approval of the Building
Standards Branch. All work must comply with
Zoning By-Law 2018-043, as amended, and the
Ontario Building Code, as amended. These
approved documents must be kept on site at all
times. The building permit must be clearly
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-05
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
P (416) 736-4096
F (905) 660-0746



SHEET TITLE POURED CONCRETE STAIRS	
SCALE 3/8"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No. 13
PROJECT 00-00-00	

Greenpark.
PROJECT NAME
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.

1:20-15 PM M1 STANDARD DETAIL S1P R M1 T SFT ENERGY STAR 2018 TRINAR HALL V12 70413 - POURED CONCRETE STAIRS DWG