5

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-9' CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

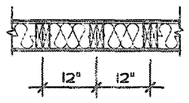
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

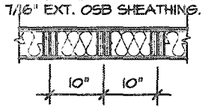
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C. FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

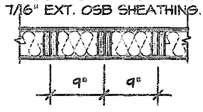
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @9"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

C1 = 4"X4"X1/4" H.S.S.
W/ 10"X8"X1/2" BASE PLATE & 2-3/4" DIA. ANCHOR BOLTS
C2 = 5"X5"X1/4" H.S.S.
W/ 12"X12"X1/2" BASE PLATE & 4-3/4" DIA. ANCHOR BOLTS

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COULMN = 35 kNm

AREA CALCULATIONS — ELEV. 2

GROUND FLOOR AREA	=	1276	Sq. Ft.
SECOND FLOOR AREA	=	1646	Sq. Ft.
TOTAL FLOOR AREA	=	2922	Sq. Ft.
		271.46	Sq. M.
1ST FLOOR OPEN AREA	= 0		Sq. Ft.
2ND FLOOR OPEN AREA	= 11		Sq. Ft.
ADD TOTAL OPEN AREAS	=	11	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2933	Sq. Ft.
		272.48	Sq. M.
GROUND FLOOR COVERAGE	=	1276	Sq. Ft.
GARAGE COVERAGE /AREA	=	397	Sq. Ft.
PORCH COVERAGE / AREA	=	58	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1731	Sq. Ft.
	=	160.82	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1673	Sq. Ft.
	=	155.43	Sq. m.

VALLEYCREEK 5 — ELV. 2

ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	746.53	69.35	157.08	14.59	21.04 %
LEFT SIDE	1331.79	123.73	65.75	6.11	4.94 %
RIGHT SIDE	1377.94	128.01	48.00	4.46	3.48 %
REAR	831.53	77.25	183.62	15.20	19.68 %
TOTAL	4287.79	398.35	434.45	40.36	10.13 %

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

CITY OF HAMILTON
Building Division
Permit No. 21- 107128
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
MAR 30 2021
DATE

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
November 25, 2020

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (fotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 269	NOV 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — NAME — SIGNATURE — 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0748

REGION DESIGN INC.

SHEET TITLE: GENERAL NOTES & CHARTS

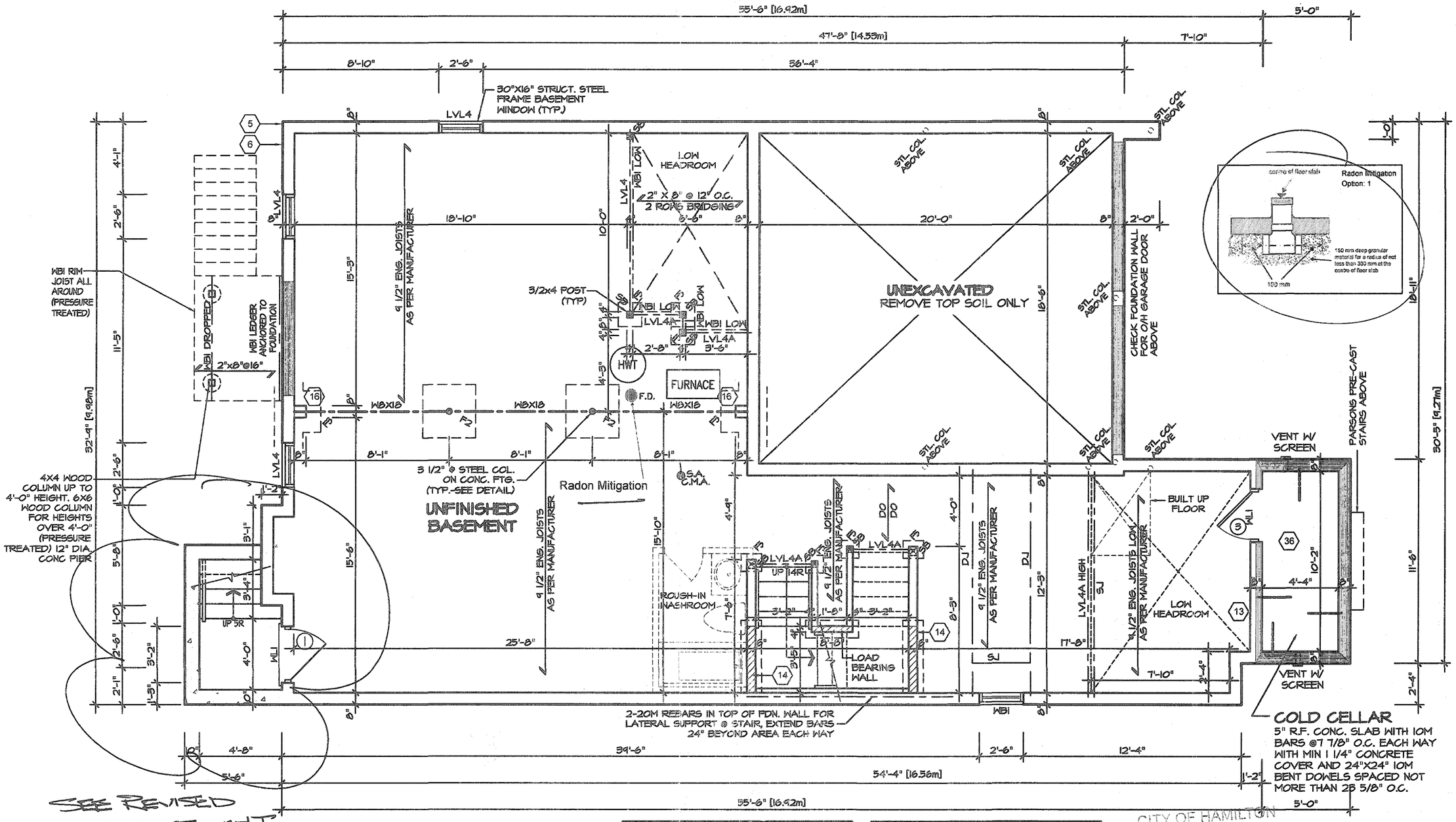
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED

SCALE	BY	AREA	PAGE No.
	VG	2,930	0
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:36:23 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



SEE REVISED FOR BASEMENT STAIRS

BASEMENT FLOOR PLAN 2

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

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Building Division
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FOR CHIEF BUILDING OFFICIAL
MAR 30 2021
DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 25/2020
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 269	NOV 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — NAME — SIGNATURE — 28770 — BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

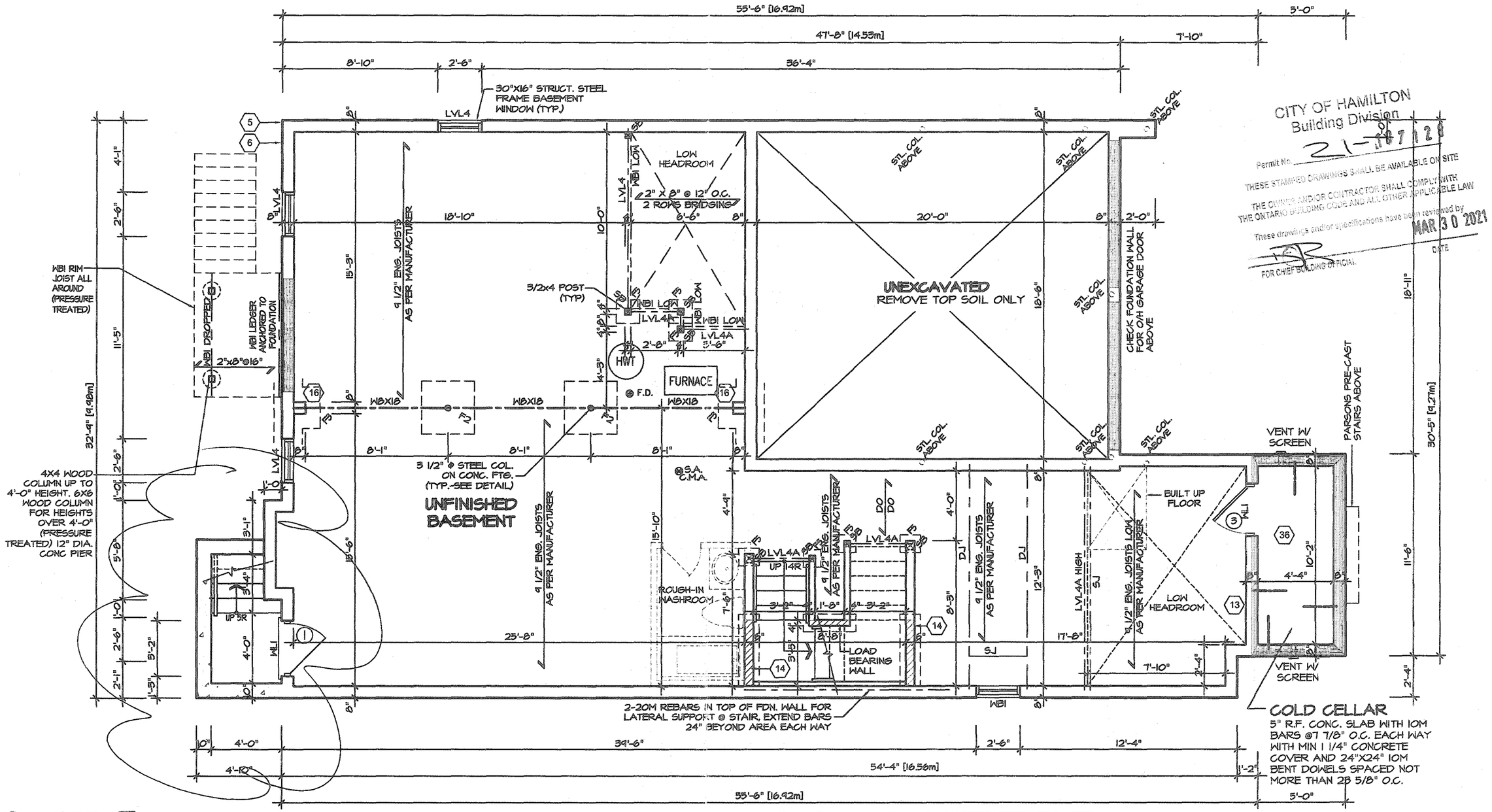
SHEET TITLE: BASEMENT PLAN ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	1-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III



CITY OF HAMILTON
Building Division
Permit No. 21-107120
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FOR CHIEF BUILDING OFFICIAL
MAR 30 2021
DATE

REVISED FOR BASEMENT WALKOUT

BASEMENT FLOOR PLAN 2

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
MAR 02/2021
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 269	NOV 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

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REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

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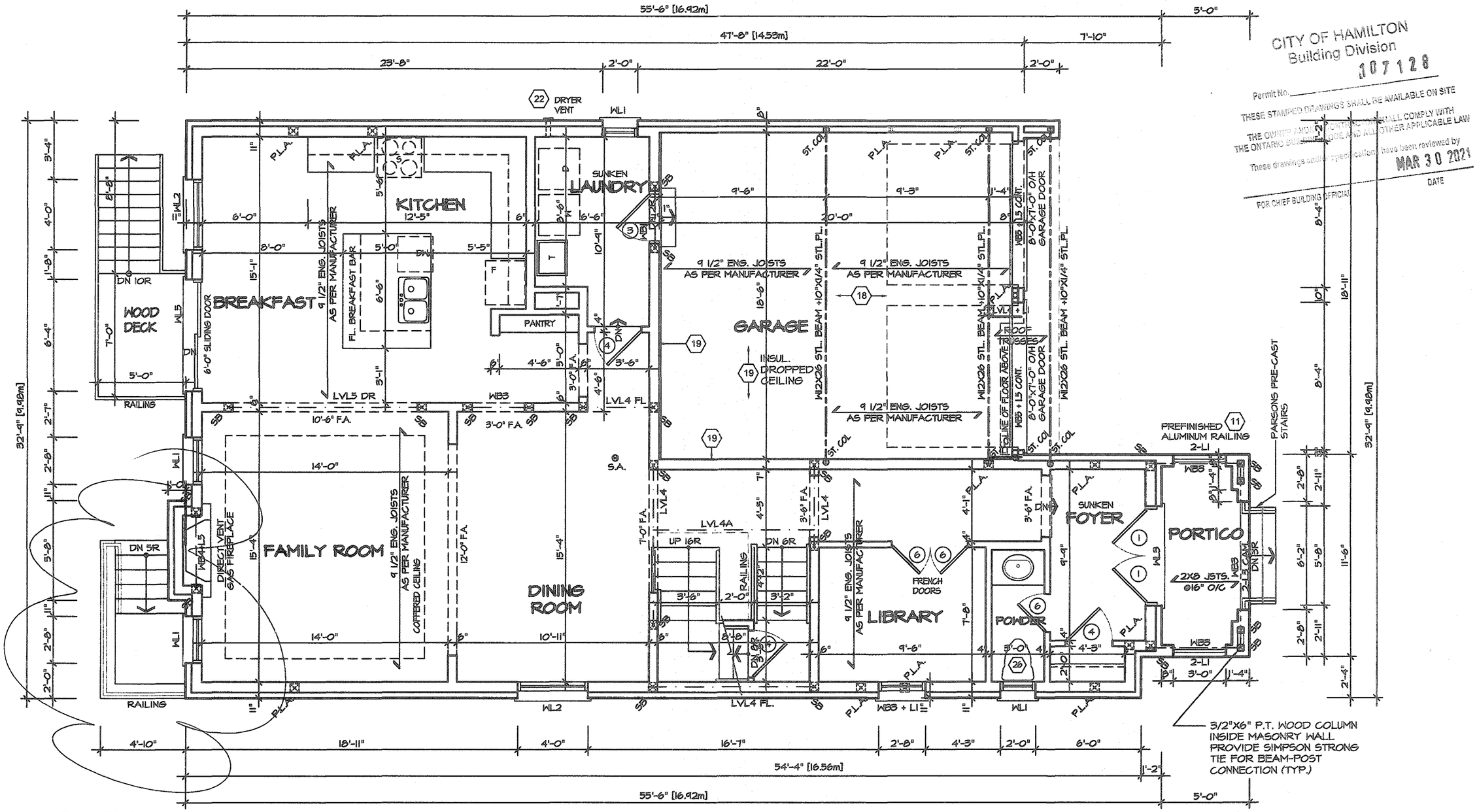
SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	1-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

March 2, 2021 10:35:35 AM M:\PROJECTS\RUSSELL GARDENS 3\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



CITY OF HAMILTON
Building Division
Permit No. 107128
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MAR 30 2021
DATE
FOR CHIEF BUILDING OFFICIAL

REVISED FOR BASEMENT WALKOUT

FIRST FLOOR PLAN 2

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MAR 02/2021
PROVINCE OF ONTARIO
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VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

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1.	ISSUED FOR COORDINATION	JAN 2020

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: FIRST FLOOR ELEVATION 2

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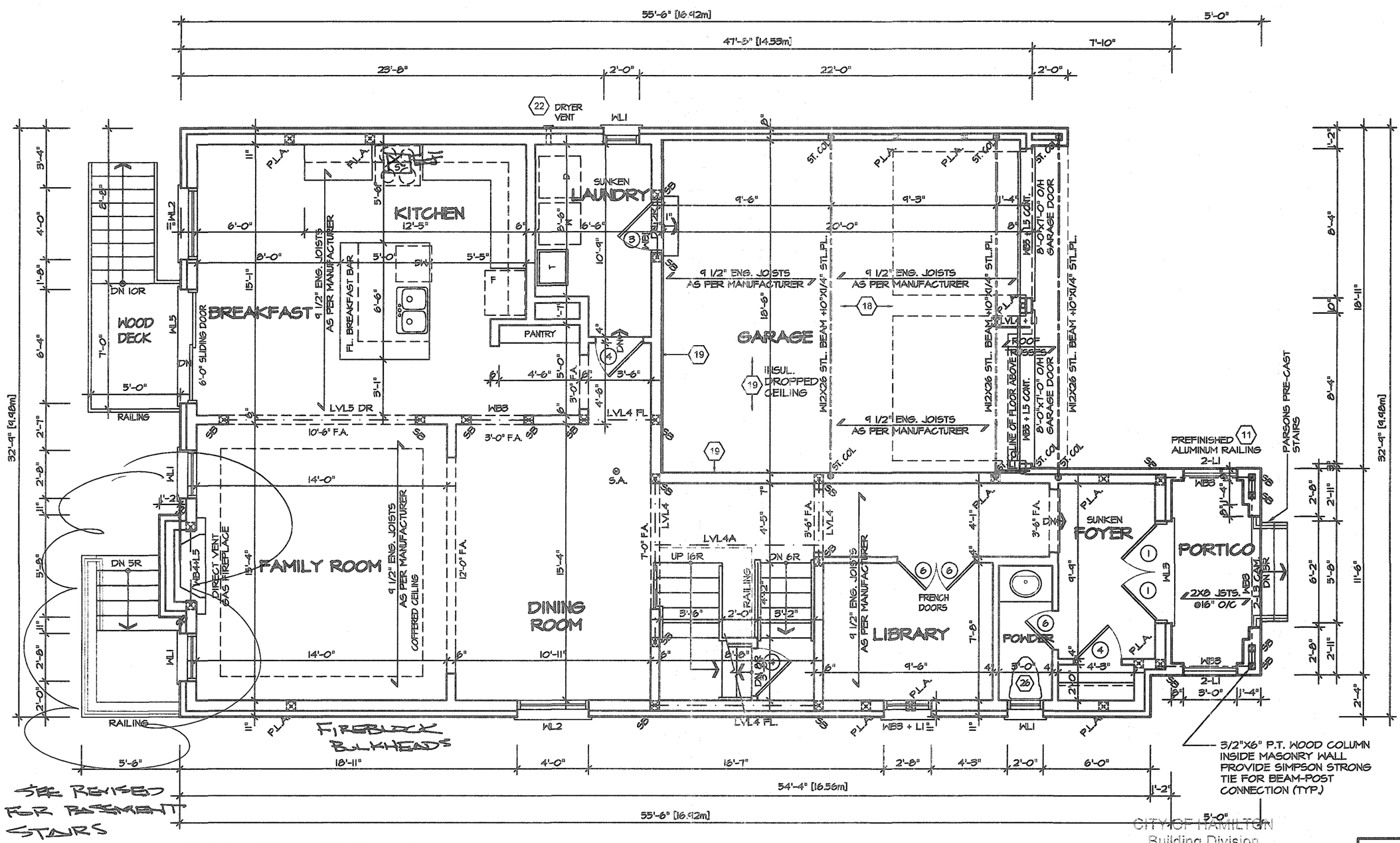
SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	2-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

March 2, 2021 10:40:15 AM M:\PROJECTS\RUSSELL GARDENS 3\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



FIRST FLOOR PLAN 2

CITY OF HAMILTON
Building Division
Permit No. 21-107128

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MAR 30 2021
FOR CHIEF BUILDING OFFICIAL DATE

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
November 25/2020

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VALLEYCREEK 5-269

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5.		
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REGION DESIGN INC.

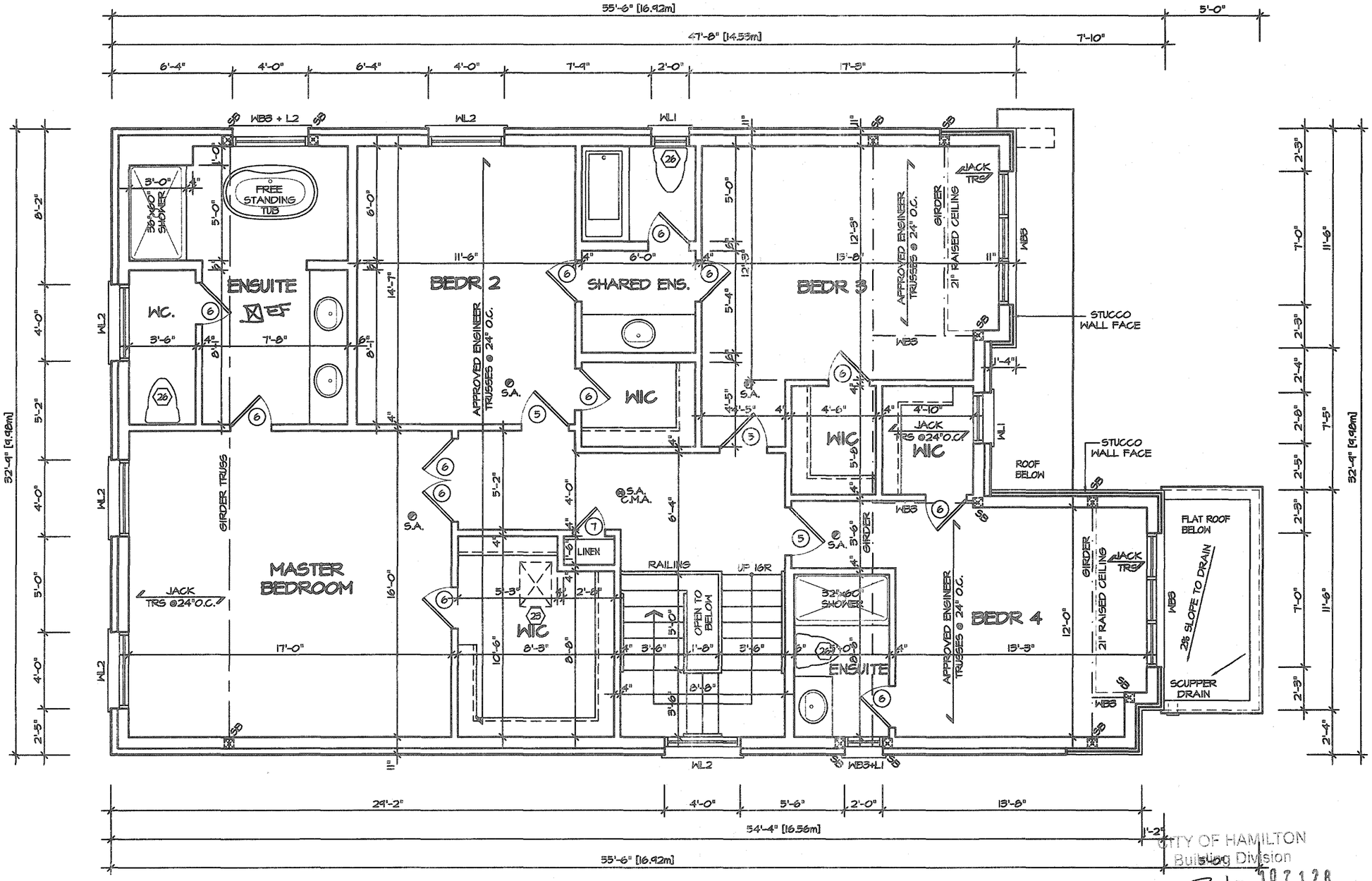
SHEET TITLE: FIRST FLOOR ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	2-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III



SECOND FLOOR PLAN 2

CITY OF HAMILTON
Building Division
Permit No. 21-107126
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
MAR 30 2021
FOR CHIEF BUILDING OFFICIAL — DATE

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 25/2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 269	NOV 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — NAME — SIGNATURE — 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: SECOND FLOOR ELEVATION 2

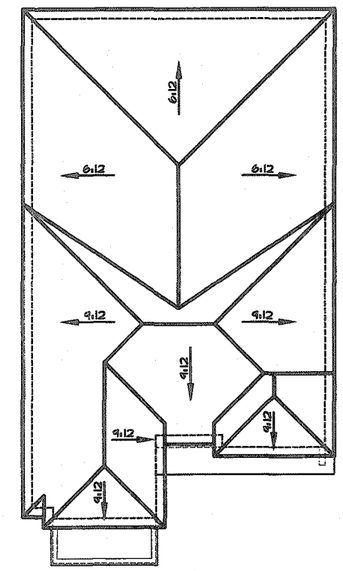
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	3-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

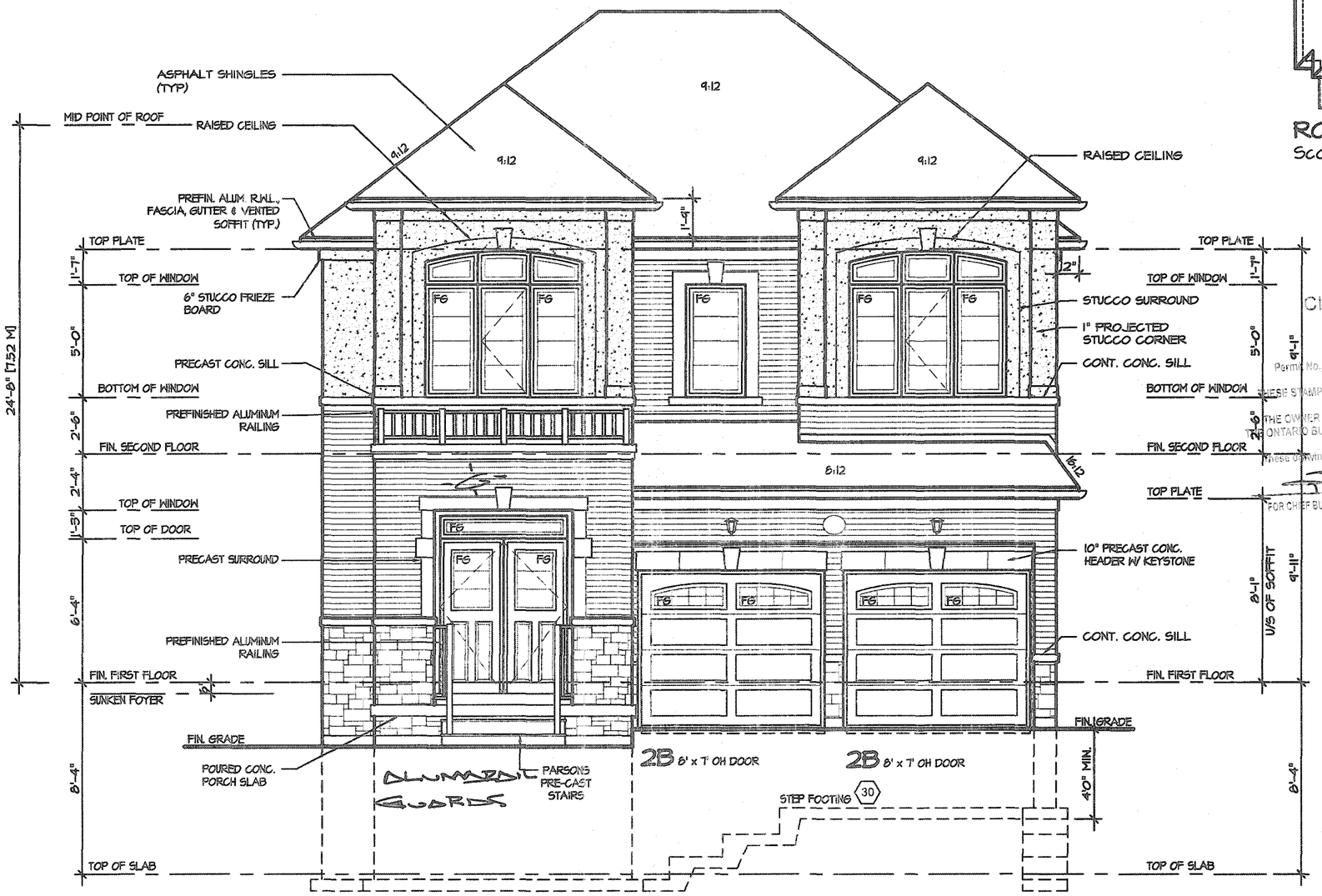
PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:36:24 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP DWG



ROOF PLAN 2
Scale: 1/16"=1'-0"

INSIDE PORTICO
ELEVATION 2



FRONT ELEVATION 2

CITY OF HAMILTON
Building Division
Permit No. 21-107128
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MAR 30 2021
FOR CHIEF BUILDING OFFICIAL — DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY:
DATE: JAN 28, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 269	NOV 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR — NAME — SIGNATURE — 28770 BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: FRONT ELEVATION 2

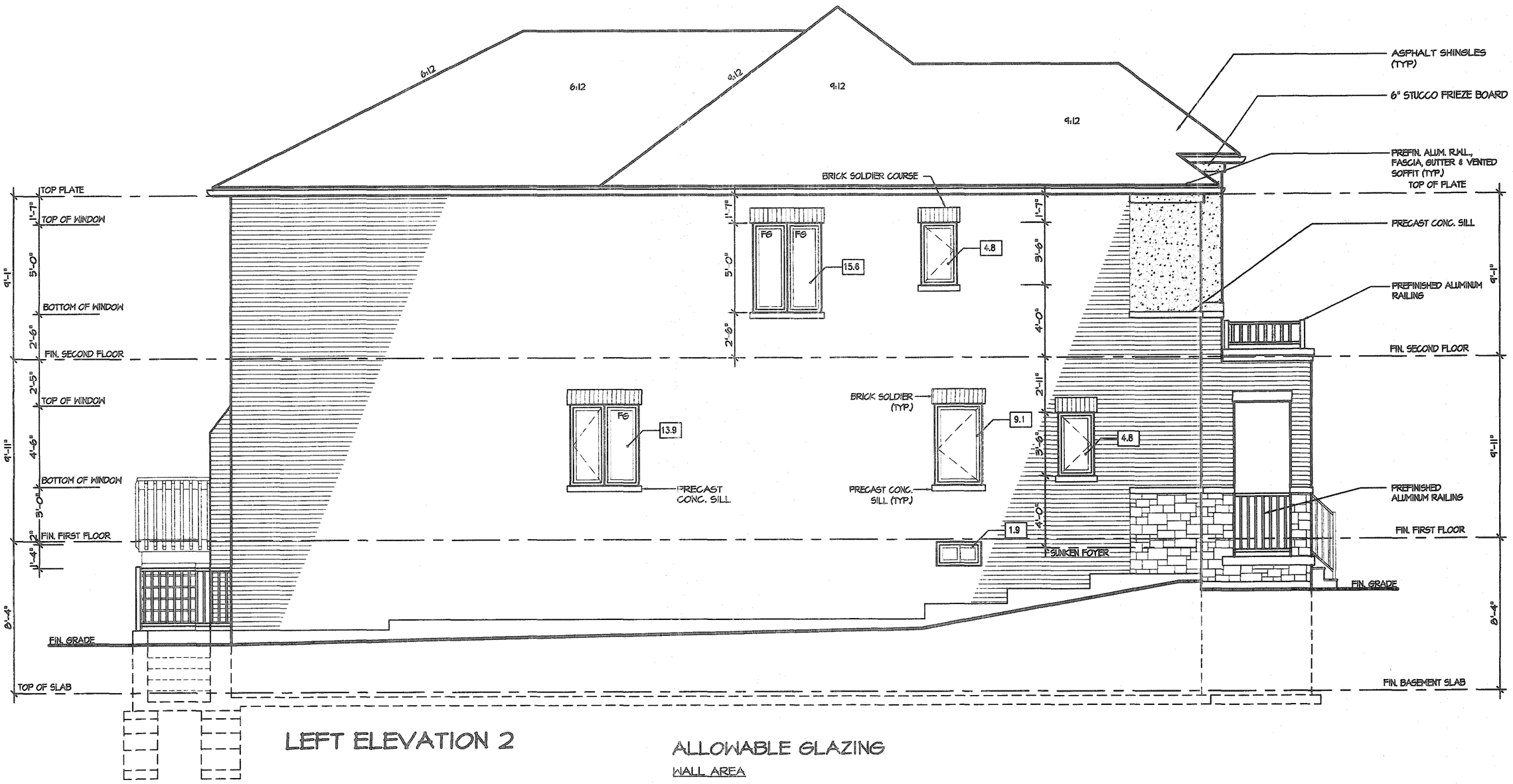
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	4-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:38:25 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



LEFT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1331.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	93.17
ACTUAL WINDOW AREA	50.10

CITY OF HAMILTON
Building Division
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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY
DATE JAN 28 2021
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VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 269	NOV 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

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QUALIFICATION INFORMATION
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9700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: LEFT SIDE ELEVATION 2

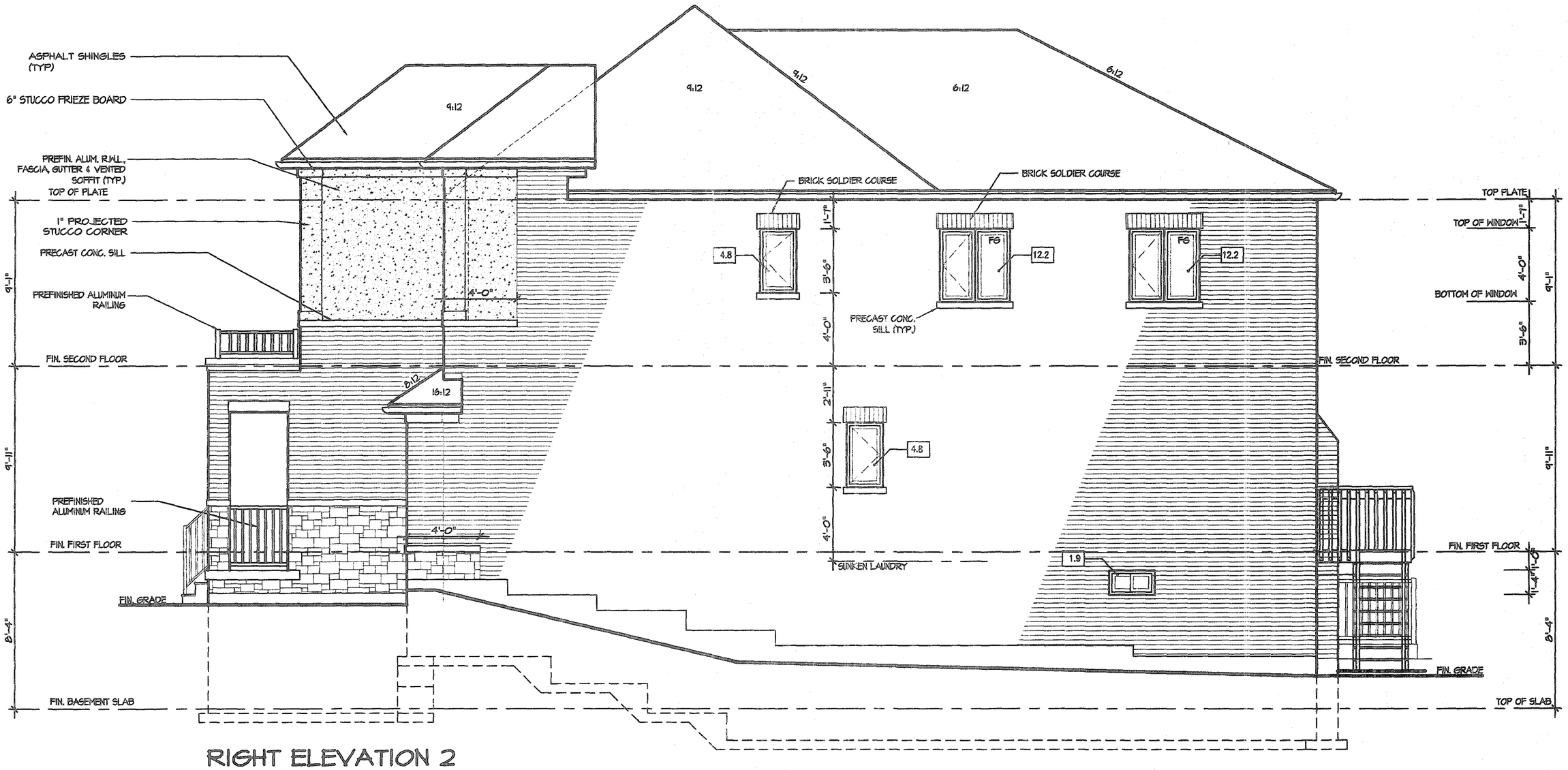
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	5-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:36:26 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



RIGHT ELEVATION 2

ALLOWABLE GLAZING

WALL AREA

WALL AREA	1212.45
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	84.87
ACTUAL WINDOW AREA	35.90

CITY OF HAMILTON
Building Division
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FOR CHIEF BUILDING OFFICIAL
MAR 30 2021
DATE

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APPROVED BY
DATE: JAN 28, 2021
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VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 269	NOV 2020
1.	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S8
P (416) 736-4086
F (905) 660-0746

REGION DESIGN INC.

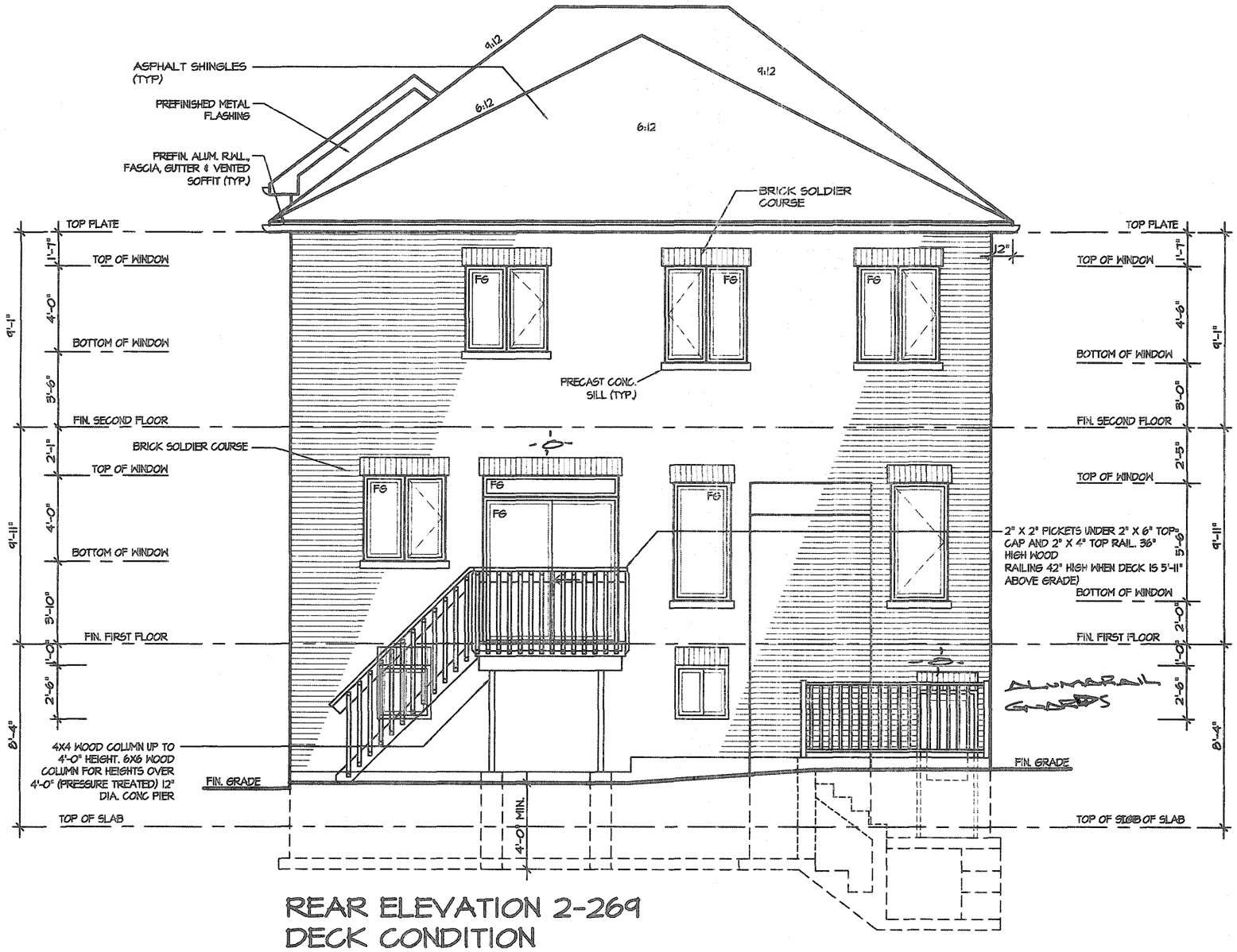
SHEET TITLE: RIGHT SIDE ELEVATION 2

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE 3/16"=1'-0"	BY VG	AREA 2,930	PAGE No. 6-2
DATE DEC 2019	TYPE	PROJECT 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III



REAR ELEVATION 2-269
DECK CONDITION

CITY OF HAMILTON
Building Division
Permit No. 21 — 107128
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MAR 30 2021
DATE

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APPROVED BY
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VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

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4.		
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1.	ISSUED FOR COORDINATION	JAN 2020

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CONCORD, ONTARIO
L4K 4S8
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F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: REAR ELEVATION 2

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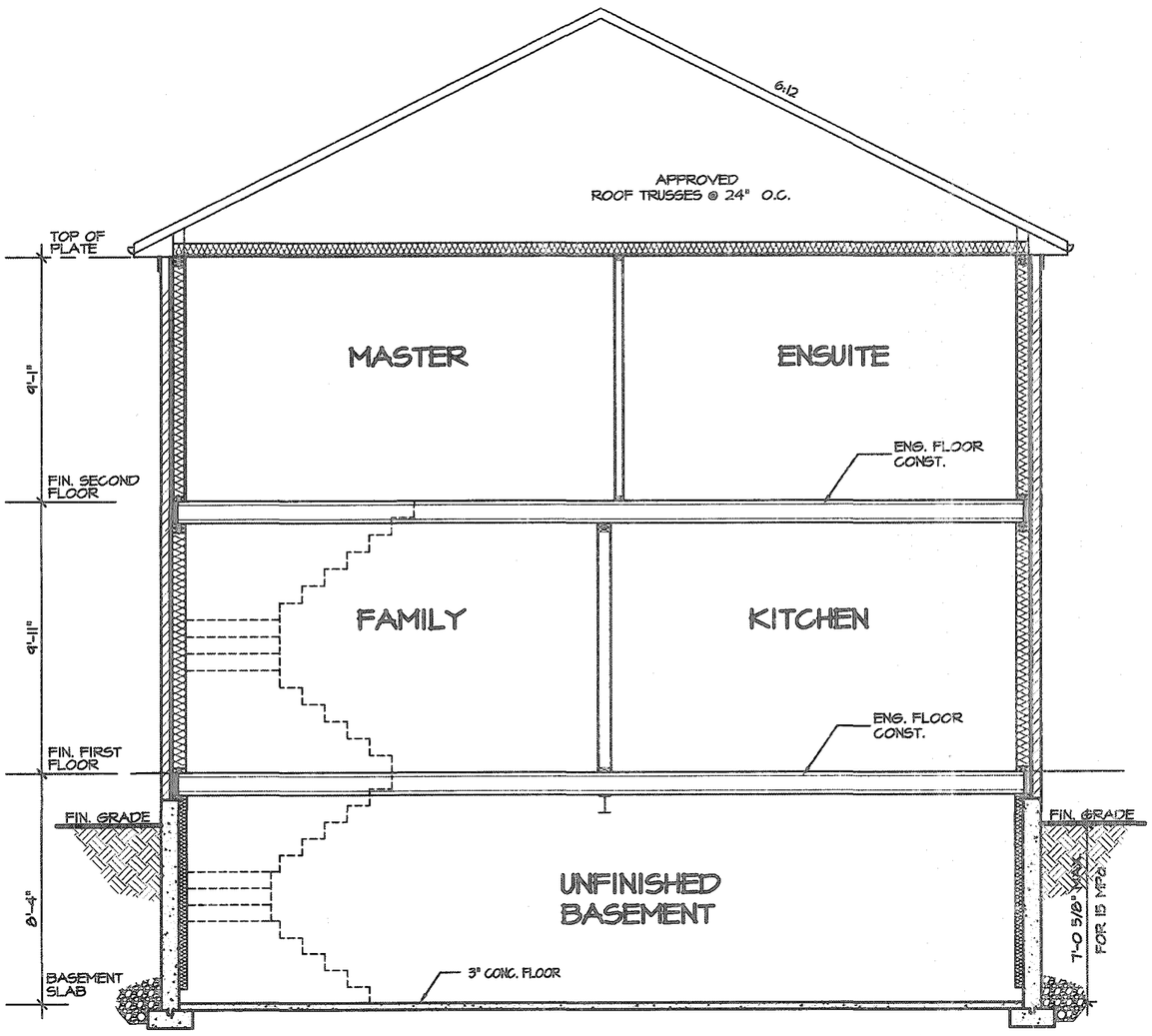
SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	7-2
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

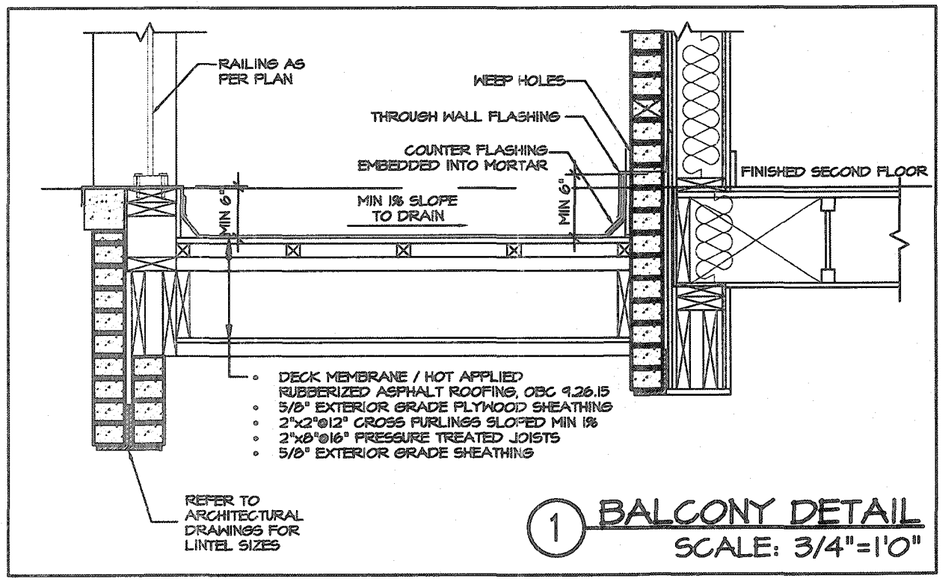
Greenpark

PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:36:27 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG



CROSS SECTION



1 BALCONY DETAIL
SCALE: 3/4"=1'0"

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Building Division
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MAR 30 2021
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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
November 25, 2020
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

VALLEYCREEK 5-269

COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 269	NOV 2020
1	ISSUED FOR COORDINATION	JAN 2020

REVISIONS

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8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE: CROSS SECTION
ELEV. 1, 2 & 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE	BY	AREA	PAGE No.
3/16"=1'-0"	VG	2,930	8
DATE: DEC 2019	TYPE	PROJECT: 12-04-19	

Greenpark

PROJECT NAME: RUSSELL GARDENS III

November 11, 2020 3:36:28 PM M:\PROJECTS\RUSSELL GARDENS III\CUSTOM\VALLEYCREEK 5 LOT 269 E2 WALKUP.DWG