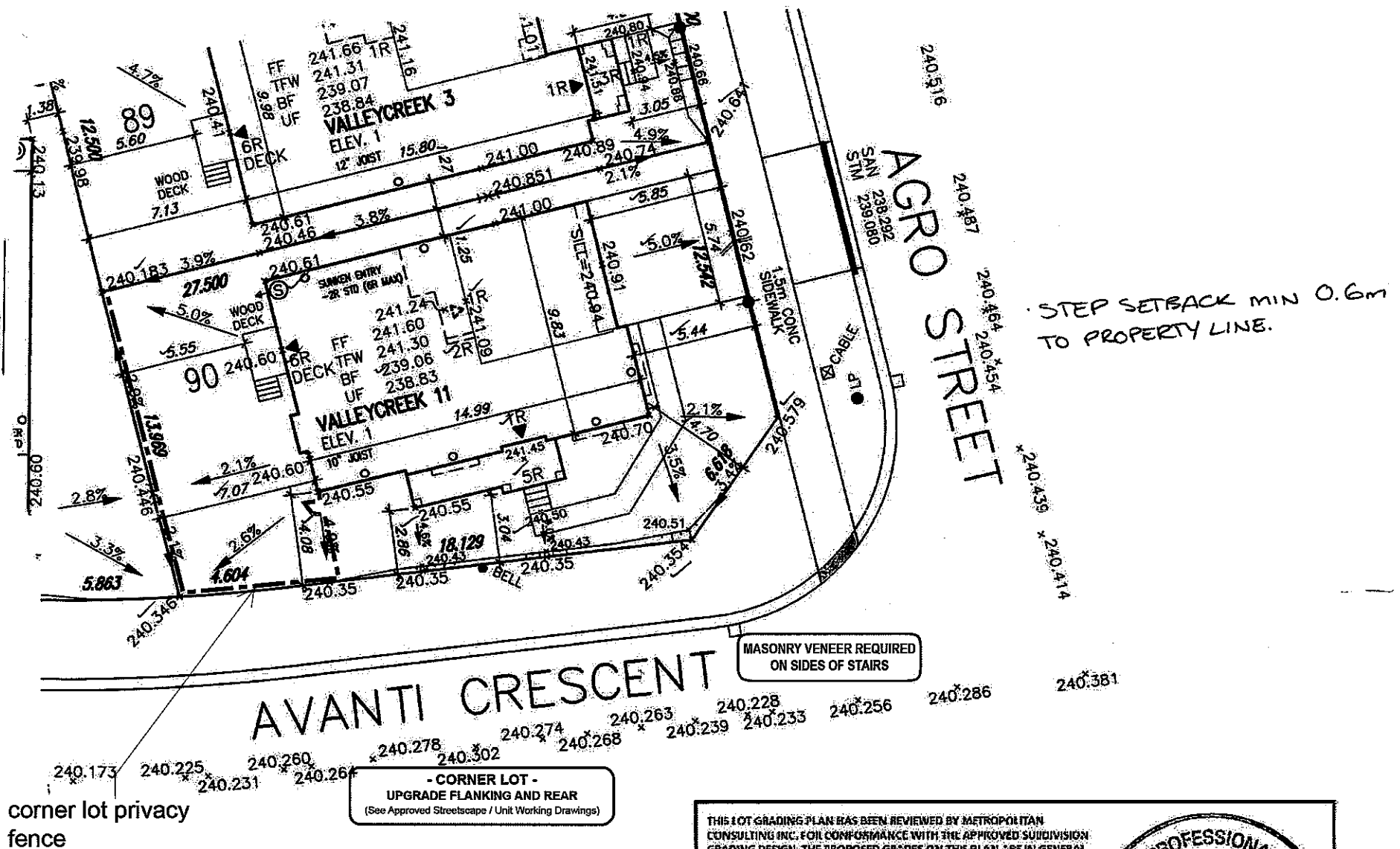


CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
DEC 07 2020
REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: _____
DATE: OCT 30, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



corner lot privacy
fence

CITY OF HAMILTON
Building Division

Permit No. 26-197991

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE 3/24/21

LOT 90		
LOT No.	LOT WIDTH (M) (± 6.0m)	LOT AREA (M ²)
90	16.79	422.49

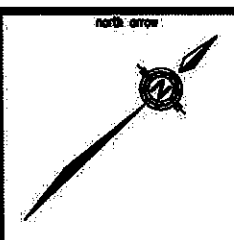
NOTE: SUMP PUMP REQUIRED. SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	NO. OF RISERS
LIGHT POLE	FF FINISHED FLOOR ELEVATION
WATER SERVICE	ML FINISHED MAIN LEVEL ELEVATION
DOUBLE STA./SW. CONNECTION	UF UNDERSIDE FOOTING ELEVATION
SINGLE STA./SW. CONNECTION	BF FIN. BASEMENT FLOOR SLAB
CATCH BASIN	TFW TOP OF FOUNDATION WALL
BELL CABLE TELEVISION PEDESTAL	UFFR UNDERSIDE FOOTING AT REAR
BELL PEDESTAL	UFF UNDERSIDE FOOTING AT FRONT
	UFFS UNDERSIDE FOOTING AT SIDE
	W.O.D. WALK OUT DECK
	W.O.B. WALK OUT BASEMENT
	REV REVERSE PLAN

SHEET SIGN	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
WALK BOX	THIS LOT CONTAINS ENGINEERED FILL
RETAINING WALL	AIR CONDITIONER REQUIRED
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPASHPAD)
ACoustical FENCE (SEE LANDSCAPE PLAN)	SIDE WINDOW LOCATION
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	OPT. DOOR LOCATION
HYDRO SERVICE LATERAL	EXTERIOR DOOR LOCATION
HYDRO METER	REDUCE SIDE YARD
GAS METER	
EMBANKMENT (SEE SLOPE UNLESS OTHERWISE NOTED)	

PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA	THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPASHPAD)
SIDE WINDOW LOCATION	OPT. DOOR LOCATION
EXTERIOR DOOR LOCATION	REDUCE SIDE YARD



9					
8					
7					
6					
5					
4					
3					
2					
1	ISSUED FOR PERMIT.	SEP/29/20	GW		
no.	description	date	by		

VAS DESIGN
255 Consumers Rd. Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

project name	RUSSELL GARDENS PHASE 3	lot/block no.	090
project no.	19014	registered plan no.	62M-1266
date	SEPT. 2020	project no.	19014
drawn by	GW	checked by	
scale	1:250	file name	19014-RG3-SITE-LAYOUTS
date	Oct 13 2020	time	8:39 AM

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