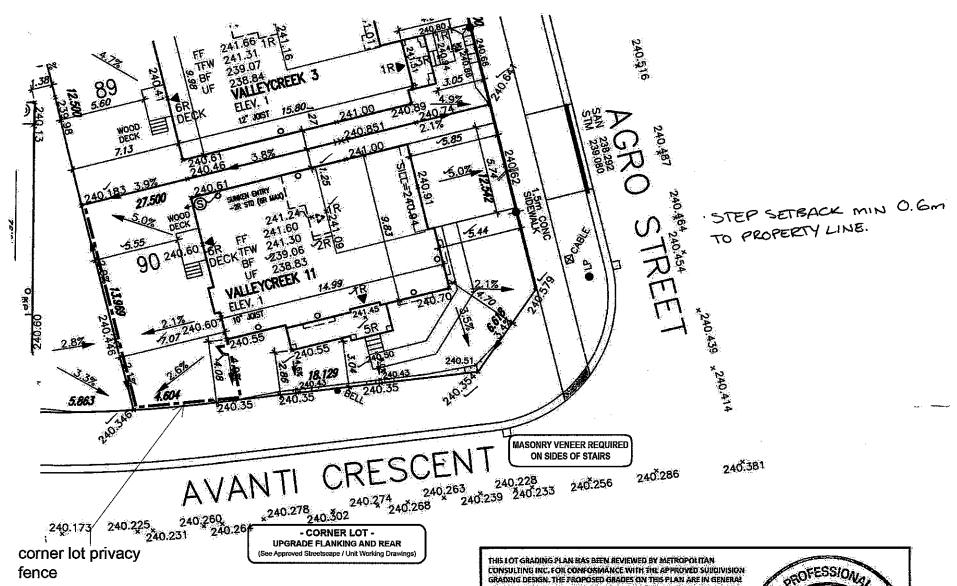
CITY OF HAMILTON BUILDING DIVISION DEC 07 2020 DATE REC'D BY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT ARCHITECTURAL CONTROL REVIEW APPROVED BY: ост 30, 2020 DATE: This stamp certifies compliance with the applicat Design Guidelines only and bears no further



## CITY OF HAMILTON **Building Division**

20-197991

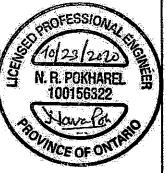
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

3/24/21 FOR CHIEF BUILDING OFFICIAL

LOT 90 LOT LOT LOT AREA (M2) WIDTH (M) 90 -16.79 422.49

CONFORMIN WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADIACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.R.C. AND CITY DESIGN CRITERIA, NOTE, THIS CERTIFICATION DOYS NOT HEPLACE THE MILLDER'S RESPONSEBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM RESPONSESSITY TO EXPOSE THE SEVERE LATERALS AND CONSINUOUS ELECTROPIC FOR THE SEVERE LATERALS AND CONSINUOUS ELECTROPIC FOR THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN COASULTING ANY DISCREPANCY ON LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE



Grading Males: It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sonitory services off the street are to meet the requirements of the municipality having jurisdiction.

VIJ Design Inc. is to be notified promptly of any discrepancies at least 1 (ane) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of ar cost to VIJ Design Inc. Foundation wall shall be poured to a minimum of 6° above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: SUMP PUMP REQUIRED SIX SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

P 🗣	LIGHT POLE H O INDRVIT	FF
•	WATER SERVICE TRANSFORMER	UF
Y	DOUBLE STM /SMN. COMMECTION	eF.
Ĭ	SINGE STIL/SWL CONNECTION	UFI
	CYTCH BIGH	UFS
N.	CABLE TELEVISION PEDESTAL	W.O
م	YOUR MICHIGAN	00/

Ø FROPOSED VALVE

_R:	No. OF RESERS
FF	FINISHED FLOOR ELEVATION
٠.	FINISHED WWW LEVEL ELEVATION
UF	UNDERSIDE FOOTING ELEVATION
eF.	FIN. BISEMENT FLOOR SLAB
TFW	TOP OF FOUNDATION WALL
UFR	UNDERSIDE FOOTING AT REAR
UFF	UNDERSIDE FOOTING AT FRONT
UFS	UNDERSIDE FOOTING AT SIDE
W.O.D.	WEEK OUT DECK
BO.W	WALK OUT BASEMENT
REY	REVERSE PLAN

<u> 23<b>6</b>.2</u> ,	SREET SIGN
$\mathbf{\Sigma}$	WAL BOX
	RETAINING WALL CHAN LINK FERCE (SEE LANDSCAPE PLAN)
	ACOUSTICAL FERCE (SEE LANDSCAPE PLAN)
	WOOD SCREEN FENCE (SEE LANDSCAPE PLA
<b>—#</b> —	HYDRO SERVICE LATERAL
8 M	HYDRO METER
	GKS METER
Milit	EMBANCHENT (3:1 SLOPE unless otherwise acted)

SEPT. 2020

٠.			100
<b>77</b>		P20	H
v	/////X	-	
- 12		. SIU	æ
E.	- OR (**)		73
$\mathbf{w}$		TIME	11
	ᄦᅜᅑ	्गास्त्र	·
	•		
	177		
	AC.	AR.	α
}			
AH)	O OR	RIS	. 10
AN)	OOR	-	-
	150	RUM (DIS	œ
	4	17	
	£ Y	CSS2	

3/4" DIA CLEAR IN THIS AREA OT CONTAINS ENGINEERED FILL HOMONER REQUIRED

nter downspout location NAGE ONTO SPLASHPAD) MOON LOCATION A OPT. DOOR LOCATION EXTERIOR DOOR LOCATION



090 62M-1266

19014

			-	A BIL KHENE	ner nerest	•
9	•	,	7.0			-
8	Ta.			Chiefe Belling Code to be a Designer.	/	
7				qualification information		
6				Richard Vink 7/1/1/	2448	8
5	4	.:	177	nome / signotare	90	Ķ
4		ē		registration information VA3 Design Inc.	4265	æ
3	•					
2	2	d.	8	Builder to verify location of all hydroxia, street lights, other services. If minimum descending are not mainta	ined, builder is to	Ĭ.
1	ISSUED FOR PERMIT.	SEP 29/20	GW.	relocate at his own expense. Builder to verify service connection elevations prior to		
ΠŌ.	description	date	by	foundations. ** Drawings HOT to be scaled **	comencing	

	$I\Delta 2$
	<u>VI (J</u>
l	DESIGN
	255 Consumers Rd Suite 120 Toronto ON M2J 1R4 416.630.2255 f 416.630.4782
1	t 416.630.2255 f 416.630.4782 vo3design.com



1:250

HAMILTON:	
LOT SITING/GRADING	3
file non	:

CREC: - H:\ARCHVE\WORKGKC\S019\19014.GRE\SITE PLAN\19014-RG3-SITE-LANOUTS.Grg - Tob - Oct 13 2020 - 9:39 AN de and design are the copyright properly of MS (CERC). Rep estes of this properly in which or in part in obtain probabled without 145 SESSA's within p