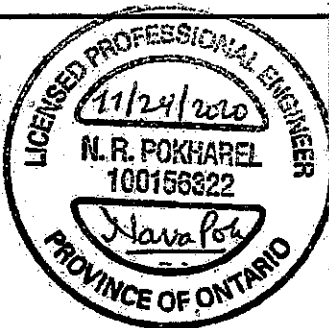


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS, THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.S.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department

JAN 26 2021

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

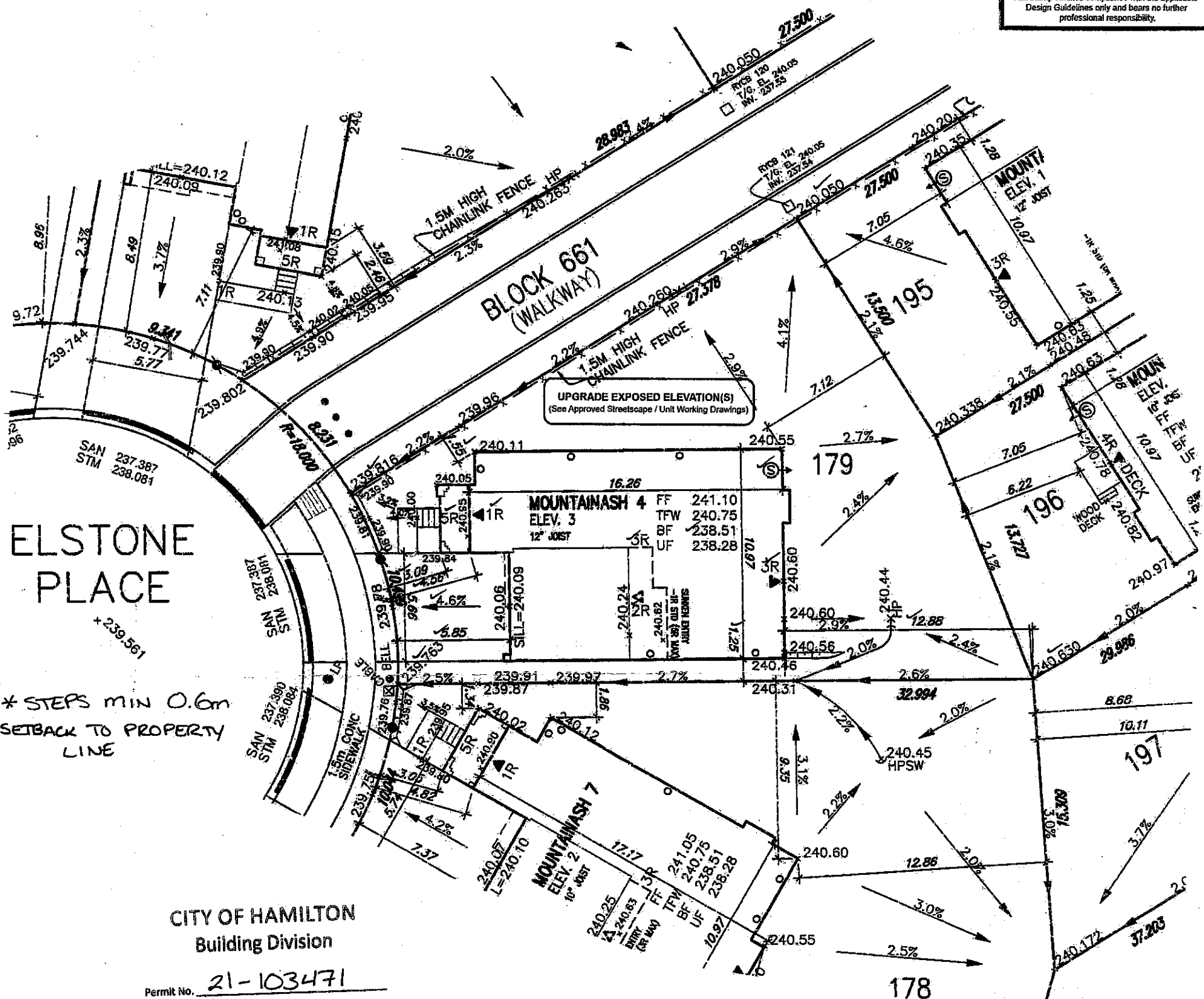
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: DEC 07 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CITY OF HAMILTON  
Building Division

Permit No. 21-103471

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE 3/24/21

A SEPARATE PERMIT IS REQUIRED TO CONSTRUCT A REAR DECK.

LOT 179		
LOT No.	LOT WIDTH (M) (± 0.0m)	LOT AREA (M²)
179	13.42	1647.56

NOTE: SUMP PUMP REQUIRED. SUMP PUMPS CONNECTED TO STORM SEWER ARE REQUIRED AS PER THE APPROVED SITE ENGINEERING DRAWINGS. REFER TO DRAWINGS PREPARED BY METROPOLITAN CONSULTING INC. SHEET #14017-N1.

NOTE: REFER TO LANDSCAPE FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALVE	IP	LIGHT POLE	HYDRANT	TRANSFORMER	DOUBLE STM/SAN. CONNECTION	SINGLE STM/SAN. CONNECTION	CATCH BASIN	CABLE TELEVISION PEDESTAL	BELL PEDESTAL	No. of RISERS	FINISHED FLOOR ELEVATION	FINISHED MAIN LEVEL ELEVATION	UNDERSIDE FOOTING ELEVATION	FIN. BASEMENT FLOOR SLAB	TOP OF FOUNDATION WALL	UNDERSIDE FOOTING AT REAR	UNDERSIDE FOOTING AT FRONT	UNDERSIDE FOOTING AT SIDE	W.O.D. WALK OUT DECK	W.O.D. WALK OUT BASEMENT	REVERSE PLAN

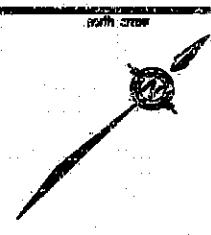
Grading Notes:  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

STREET SIGN	MAIL BOX	RETAINING WALL	CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	ACoustical FENCE (SEE LANDSCAPE PLAN)	WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	HYDRO SERVICE LATERAL	HYDRO METER	GAS METER	EMBARKMENT (3:1 SLOPE unless otherwise noted)	PROVIDE 3/4" OR CLEAR STONE IN THIS AREA	THIS LOT CONTAINS ENGINEERED FILL	AIR CONDITIONER REQUIRED	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPLASHPAD)	SIDE WINDOW LOCATION	OPT. DOOR LOCATION	EXTERIOR DOOR LOCATION	REDUCE SIDE YARD



no.	description	date	by
8			
7			
6			
5			
4			
3			
2			
1	ISSUED FOR PERMIT.	NOV 20/20	CW

qualification information	signature	date
Richard Vink		24/08
name	signature	date
VA3 Design Inc.		4/26/21

VA3 DESIGN  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

project name	location	date	scale	file name
RUSSELL GARDENS PHASE 3	HAMILTON	SEPT. 2020	1:250	19014-RG3-SITE-LAYOUTS
drawn by	checked by	scale	file name	
CW				
19014-RG3-SITE-LAYOUTS				
19014-RG3-SITE-LAYOUTS.dwg - FR - Nov 20 2020 - 9:54 AM				