FLEV '2'

1451/SF

1507 SF

2958 SF

XX SF

73 SF

+73 SF

+XX SF

3031 SF

1457 SF

398 SF

182 SF

2037 SF

1855 SK

(189.24 m²)

(172.33 m2)

(281.59 m2)

(2/14.81 m2)

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

OOTINGS ON ENGINEERED FILL 4"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.

BELOW PARTY WALLS: (REFER TO ENGINEER FILL FOOTING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

assumed 120 kpg (18 p.s.i.) soil bearing capacity for singles or 90 kpg for engineered fill, to be verified on site.

PAD FOOTINGS

120 KPg. NATIVE SOIL 90 KPa. ENGINEERED FILL SOIL F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD (refer to floor plan for unusual size pads not on chart.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2 WL2 = 4" x 3-1/2" x 5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2 WL3 = 5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2 WL4 = 6" x 3-1/2" x 3/8"L (150x90x8.0L) + 2-2"x10" SPR. No.2 2-2"x10" SPR, No.2 + 2-2"x12" SPR. No.2 WL5 =6" x 4" x 3/8"L (150x100x10.0L) WL6 =5" x 3-1/2" x 5/16"L (125x90x8.0L) WL7 =5" x 3-1/2" x 5/16"L (125x90x8.0L) WL8 =5" x 3-1/2" x 5/16"L (125x90x8.0L) 2-2"x12" SPR. No.2 + 2-2"x12" SPR. No.2 + 3-2"x12" SPR. No.2 + 3-2"x10" SPR. No.2 WL9 =6" x 4" x 3/8"L (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

=2-2"x8" (2-38x184) SPR. No.2 =3-2"x8" (3-38x184) SPR. No.2 =2-2"x10" (2-38x235) SPR. No.2 =3-2"x10" (3-38x235) SPR. No.2 =2-2"x12" (2-38x236) SPR. No.2 WB3 WB5 =3-2"x12" (3-38x286) SPR. No.2 WB7 =5-2"x12" (5-38x286) SPR. No.2 =4-2"x10" (4-38x235) SPR. No.2 WB12 =4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

=1-1 3/4"x7 1/4" (1-45x184) =2-1 3/4"x7 1/4" (2-45x184) =3-1 3/4"x7 1/4" (3-45x184) LVL2 $=4-1 \frac{3}{4}$ "x7 $\frac{1}{4}$ " (4-45x184) =4-1 3/4"x7 1/4" (4-45x184) =1-1 3/4"x9 1/2" (1-45x240) =2-1 3/4"x9 1/2" (2-45x240) =3-1 3/4"x9 1/2" (3-45x240) =4-1 3/4"x9 1/2" (4-45x240) =1-1 3/4"x11 7/8" (1-45x300) =2-1 3/4"x11 7/8" (2-45x300) =3-1 3/4"x11 7/8" (3-45x300) =2-1 3/4"x14" (2-45x356) =3-1 3/4"x14" (3-45x356) LVL4A LVL4 LVL5 LVL6A LVL7 LVL8 LVL9

LOOSE STEEL LINTELS (L)

=3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L) =4" x 3-1/2" x 5/16"L (100x90x8.0L) =5" x 3-1/2" x 5/16"L (125x90x8.0L) L5 = 5" x 3-1/2" x 3/8"L (120x90x0.0L) L5 = 6" x 4" x 3/8"L (150x90x10.0L) L6 = 7" x 4" x 3/8"L (150x100x10.0L) L6 = 7" x 4" x 3/8"L (180x100x10.0L)

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0", 2 ROWS FOR SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL APPROVED GRADING PLAN.

TWO STOREY HEIGHT

WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND

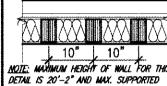
SPACED @ 12"o.c. FULL HEIGHT, c/w SOLID

BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16" EXT. PLYMOOD SHEATHING.

NOTE: ENGINEERED FLOOR FRAMING
REFER TO ENGINEERED FLOOR FLAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

<u>TWO STOREY HEIGHT</u>

<u>WALL_DETAIL</u> 2–1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10"o.c. FULL HEIGHT, c/w SOLIL BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"

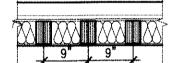


12" 12" NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND MAX. SUPPORTED

LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2"x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NALED TOGETHER AND SPACED MAX. @ 9"o.c. FULL HEIGHT, c/w SOLIL BLOCKING # 8'-0" a.c. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MUXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

It is the builder's complete responsibility to ensure that all plans submitted for approval tully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

EXT. OSB SHEATHING.

BUILDING PERMIT

TOWN OF EAST GWILLIMBURY

Building Standards Branch

PRBD 2021-0041

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMUM THERMAL PERFORMANCE O SHALL CONFORM TO THE FOLLOWING:	F BUILDING ENVELOPE AND EQUIPMENT
ENERGY STAR V-17	JANUARY 2019
COMPONENT	NOTE

CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRY MINIMUM EFFICIENCY	75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS

75% CFLs OR LEDs

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7)) GLENWAY 12A, ELEV. 1 **ENERGY EFFICIENCY -- ENERGY STAR** ELEVATION ALL AREA S.F. OPENING S.F. PERCENTAGE FRONT 710.5 S.F. 99.78 S.F. 14.04 % 1105.8 S.F. LEFT SIDE 259.13 S.F 23.43 % RIGHT SIDE 1152.3 S.F 9.33 S.F. 0.81 % 734.7 S.F. 176.28 S.F. 23.99 % * OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. 0.0 S.F REFER TO ELEVATION FOR LOCATION TOTAL SQ. FT. 3703.30 S.F. 544.52 S.F. 14.70 % TOTAL SQ. M. 344.04 S.M. 50.59 S.M. 14.70 %

AREA CALCULATIONS	ELEY '1'
GROUND FLOOR AREA SECOND FLOOR AREA	1462 SF 1507 SF
TOTAL FLOOR AREA	2969 SF (275.82 m2)
FIRST FLOOR OPEN AREA SECOND FLOOR OPEN AREA	XX SF 73 SF
ADD TOTAL OPEN AREAS ADD FINISHED BSMT AREA	+73 SF +XX SF
GROSS FLOOR AREA	3042 SF (282.61 m2)
GROUND FLOOR COVERAGE GARAGE COVERAGE/AREA PORCH COVERAGE/AREA	1468 SF 398 SF 61 SF
COVERAGE W/ PORCH	1927 SF (179.02 m2)
COVERAGE W/O PORCH	1866 SF (173.36 m2)

AREA CALCULATIONS

GROUND FLOOR AREA

SECOND FLOOR AREA

FIRST FLOOR OPEN AREA

ADD TOTAL OPEN AREAS

ADD FINISHED BSMT ARKA

GROUND FLOOR COVERAGE

GARAGE COVERAGE/AREA

PORCH COVERAGE/AREA

COVERAGE W/ PORCH

COMERAGE W/O PORCH

GROSS FLOOR AREA/

SECOND FLOOR OPEN AREA

TOTAL FLOOR AREA

<u>UNINSULATED OPEN</u>	I <mark>NGS</mark> (PER OB	C. SB-12,3.1.1	(7))
GLENWAY 12A, ELEV. 2	ENERGY EF	FICIENCY - ENS	RGY STAR
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTA
FRONT	697.0 S.F.	112.66 S.F.	16.16
LEFT SIDE	1105.8 S.F.	234.52 S.F.	21.21
RIGHT SIDE	1152.3 S.F.	9.33 S.F.	0.81
REAR	697.0 S.F.	166.28 S.F.	23.86
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	3652.10 S.F.	522.79 S.F.	14.31
TOTAL SQ. M.	339.29 S.M.	48.57 S.M.	14.31

TOWN OF EAST GWILLIMBURY BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH THE ZONING BY-LAW 2018-043, AS AMENDED

Model Reviewcfoster..... DATE2.1/0.1/2021...





These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-24
Sewage System			
Zoning			



ENERGY STAR- V 17

17026

A0

For Lot 14 GLENWAY 12A **ENERGY STAR**



FOR STRUCTURE ONLY

8				9			·		·	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the	Ī
7				8	,					Ontario Building Code to be a Designer.	i
6				7						qualification information	į
5				6	E-STAR UPDATED.	JAN	31/	19 (W	Richard Vink 24488	
4				5	ISSUED FOR PERMIT.	NOV	. 23/	17 0	W	name V signature BCIN	Į
3				4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT	. 04/	17 0	W	registration information VA3 Design Inc. 42658	
2				3	REV. PER CLIENT COMMENTS.	SEP	. 05/	17 0	₩		
1				2		AUG	. 30/	17		Contractor must verify of dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All	
0				1	ISSUED FOR CLIENT REVIEW.	AUG	. 14/	17 0	W	drowings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	t
0.	description	date	by	no.	description	1	date	t		Drowings are not to be accided.	

LIGHTS



255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782

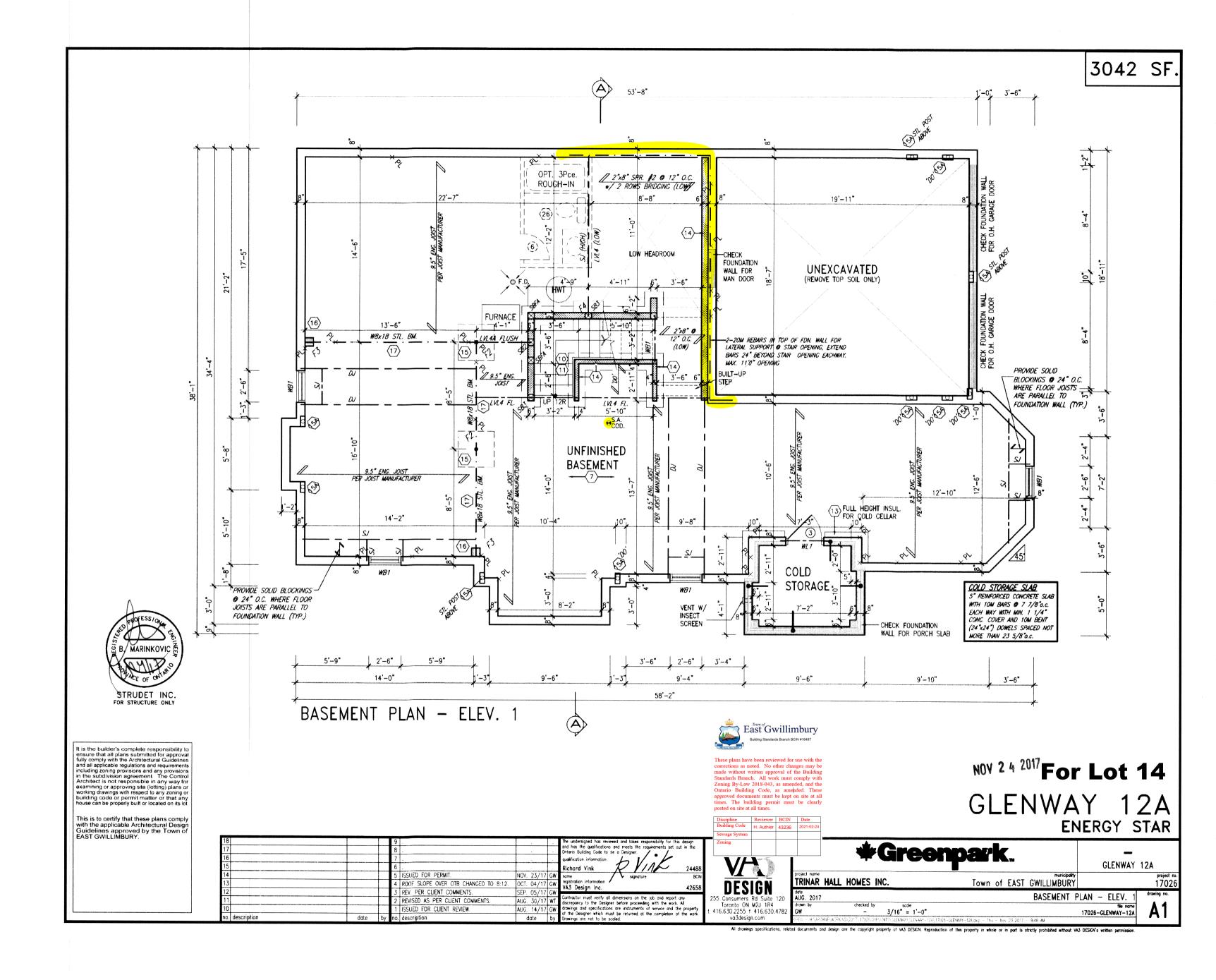
project name TRINAR HALL HOMES INC.

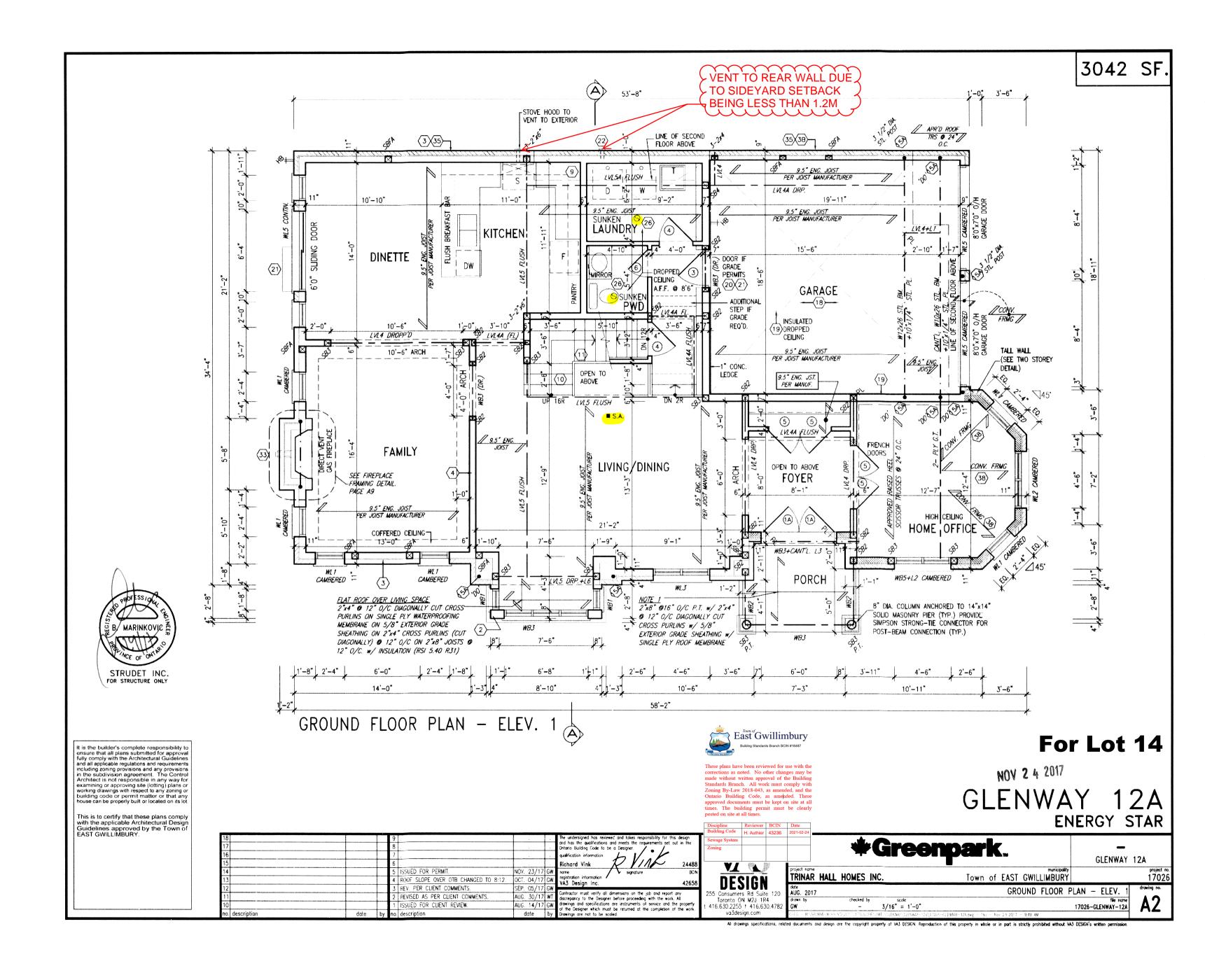
#Greenpark.

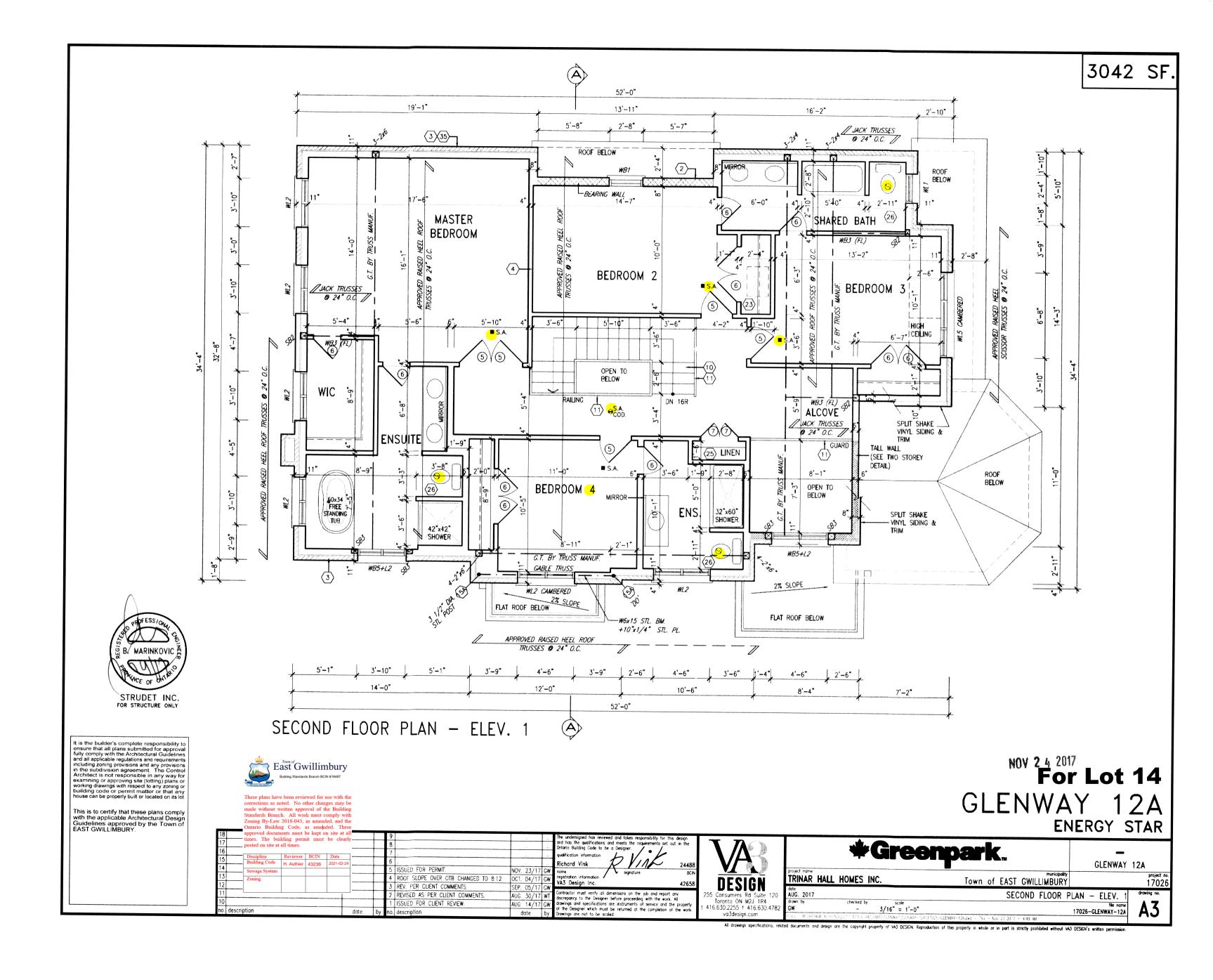
GLENWAY 12A

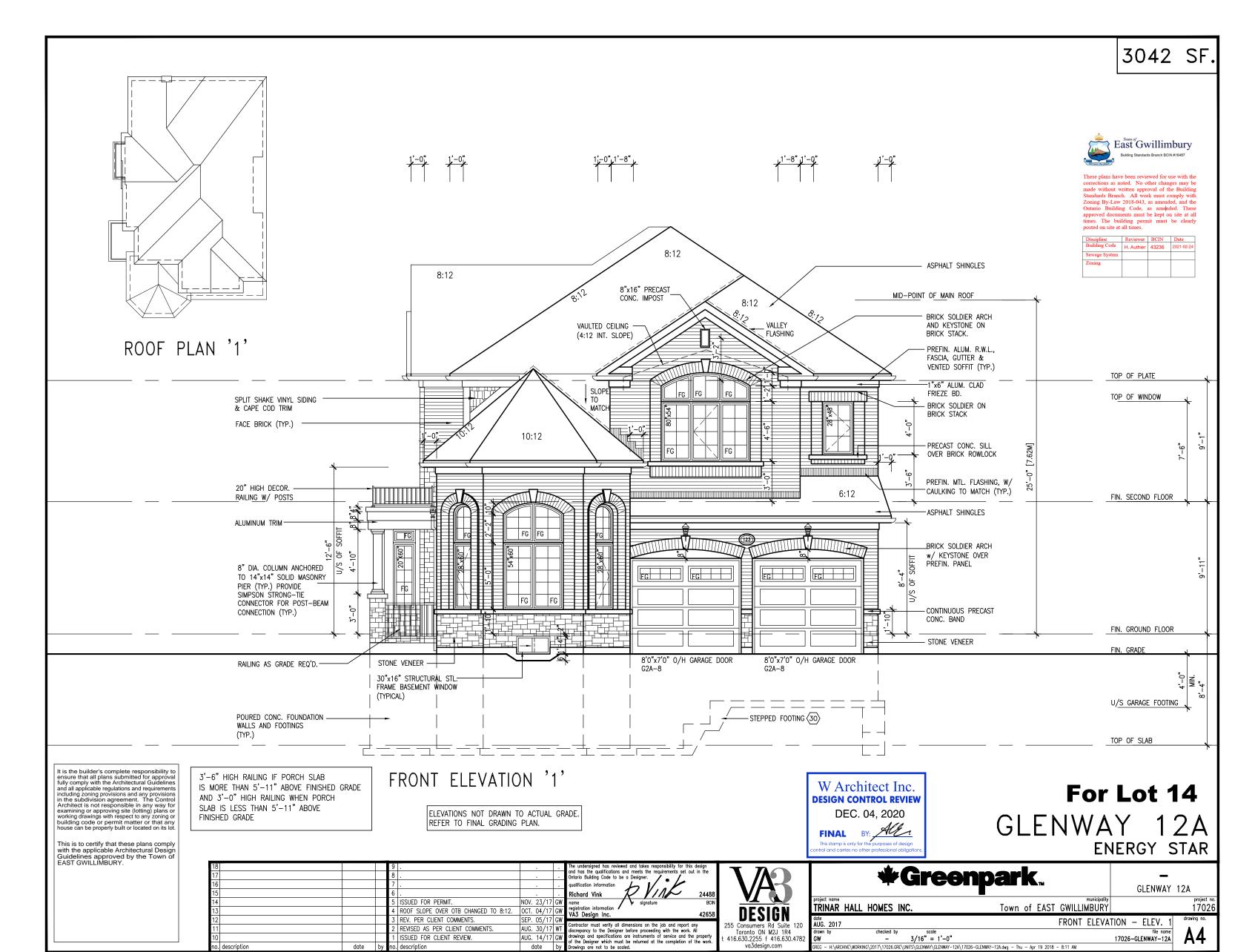
Town of EAST GWILLIMBURY diate AUG. 2017 drawn by GENERAL NOTES & CHARTS 3/16" = 1'-0" 17026-GLENWAY-12A

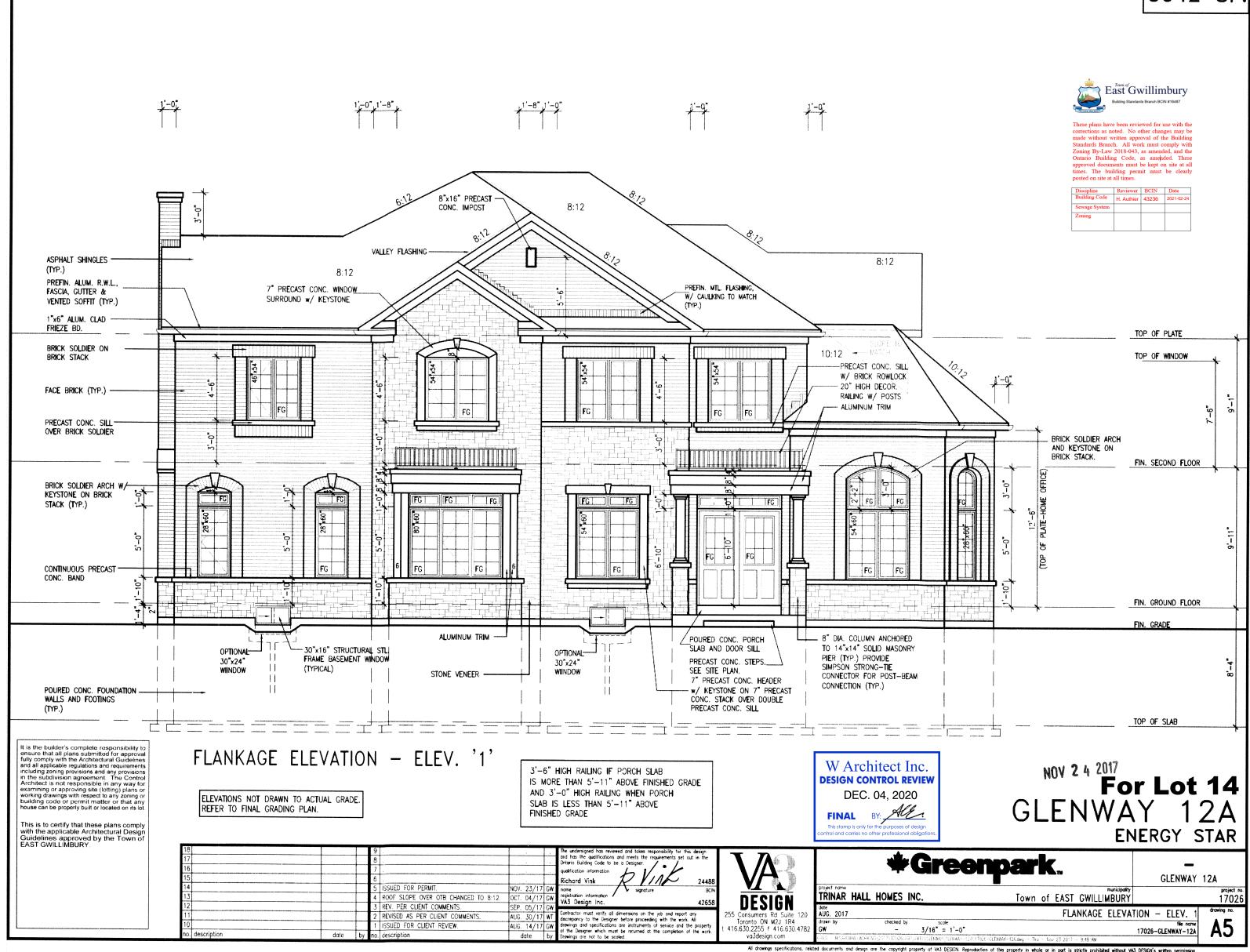
GREG - H:\ARCHIVE\WORKING\2017\17026.GRE\UNITS\GLENWAY\GLENWAY-12A\17026-GLENWAY-12A.dwg - Thu - Jon 31 2019 - 10:58 AM

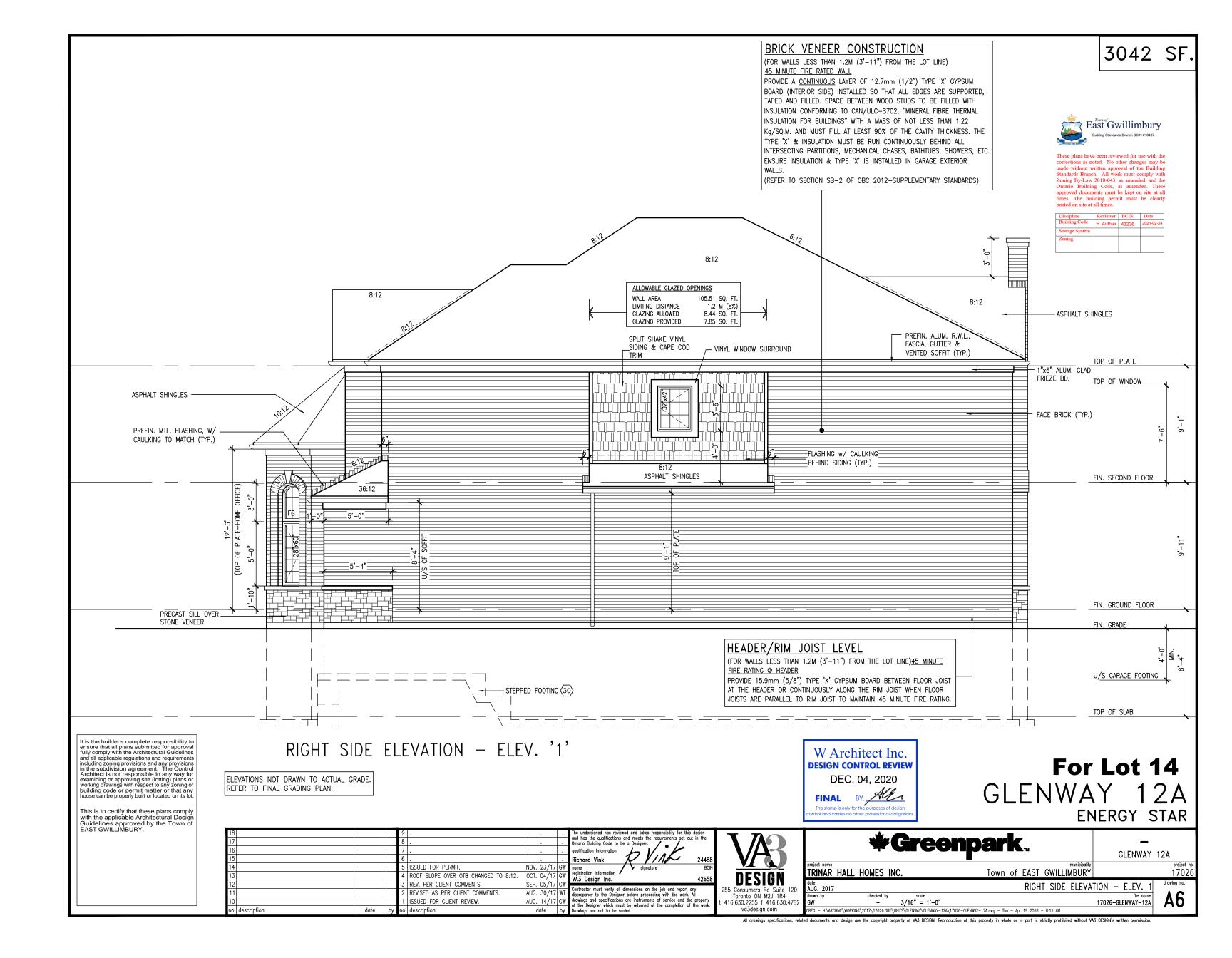






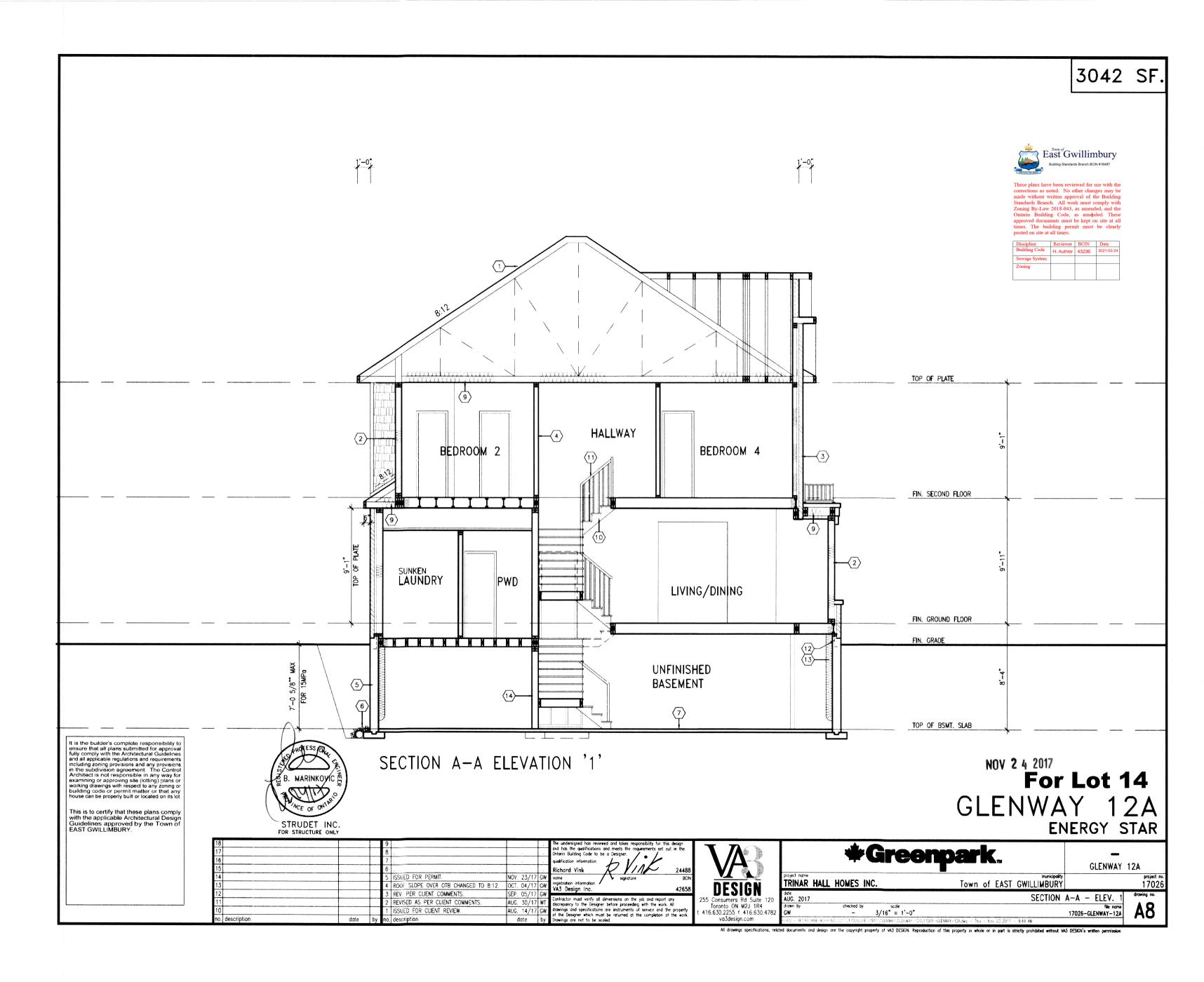


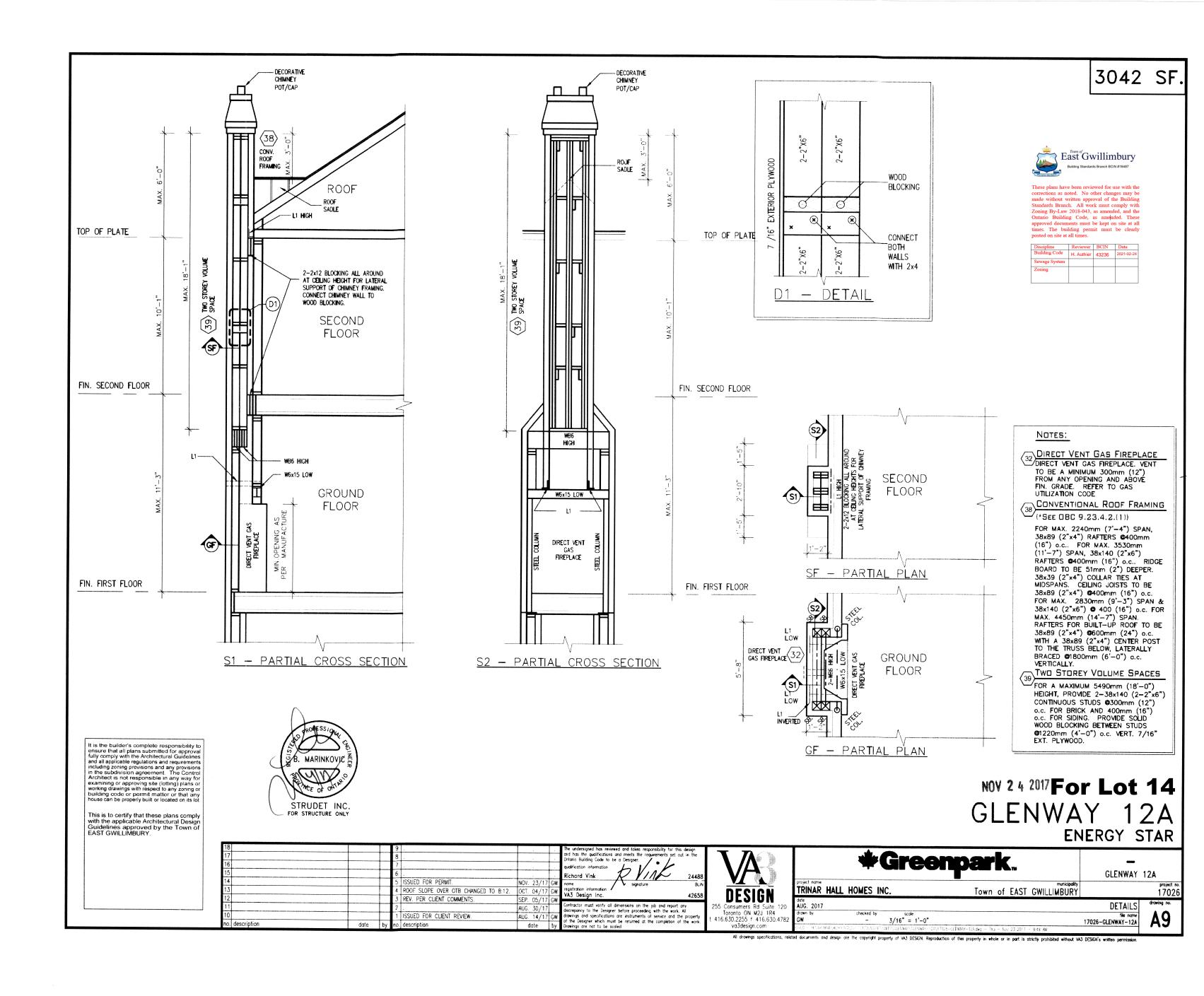










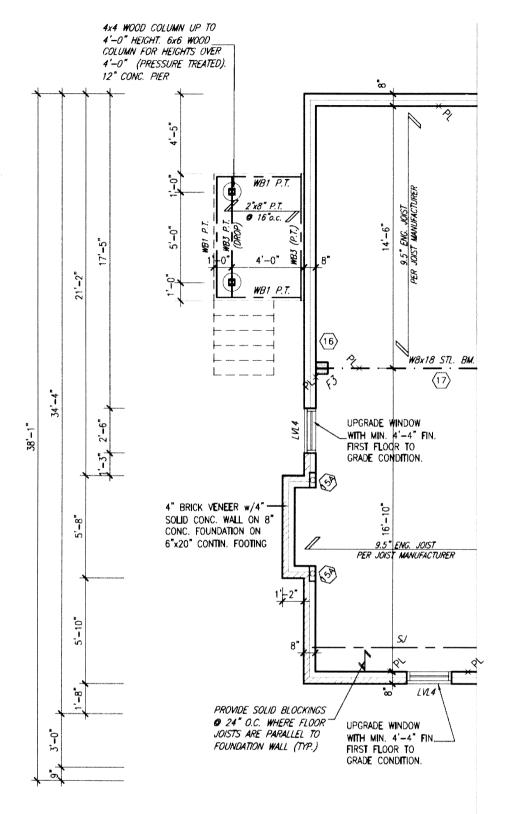


REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

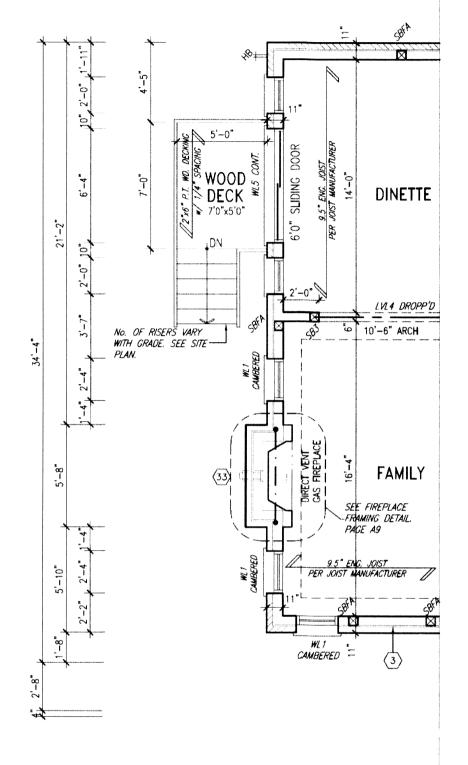
REFER TO STANDARD FLOOR PLANS

FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS . BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-4" FROM FINISHED FIRST FLOOR TO GRADE.



PARTIAL BASEMENT PLAN DECK CONDITION - EL. '1'



PARTIAL GROUND FLOOR PLAN DECK CONDITION - EL. '1'



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-2
Sewage System			
Zoning			

B. MARINKOVIC STRUDET INC.

WOOD DECK DETAILS REFER TO STANDARD DETAIL PACKAGE (PAGE 5, FOR ADDITIONAL WOOD DECK INFORMATION.

NOV 2 4 2017

For Lot 14

GLENWAY 12A **ENERGY STAR**

undersigned has reviewed and takes responsibility for this desic ne uncersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ortanio Building Code to be a Designer.

Qualification information

Richard Vink

2448 ISSUED FOR PERMIT NOV. 23/17 GW OCT. 04/17 GW name registration information VA3 Design Inc. 4 ROOF SLOPE OVER OTR CHANGED TO 8:12 3 REV. PER CLIENT COMMENTS. SEP. 05/17 0 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All all diawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. AUG. 30/17 1 ISSUED FOR CLIENT REVIEW. AUG. 14/17 G no. description date by

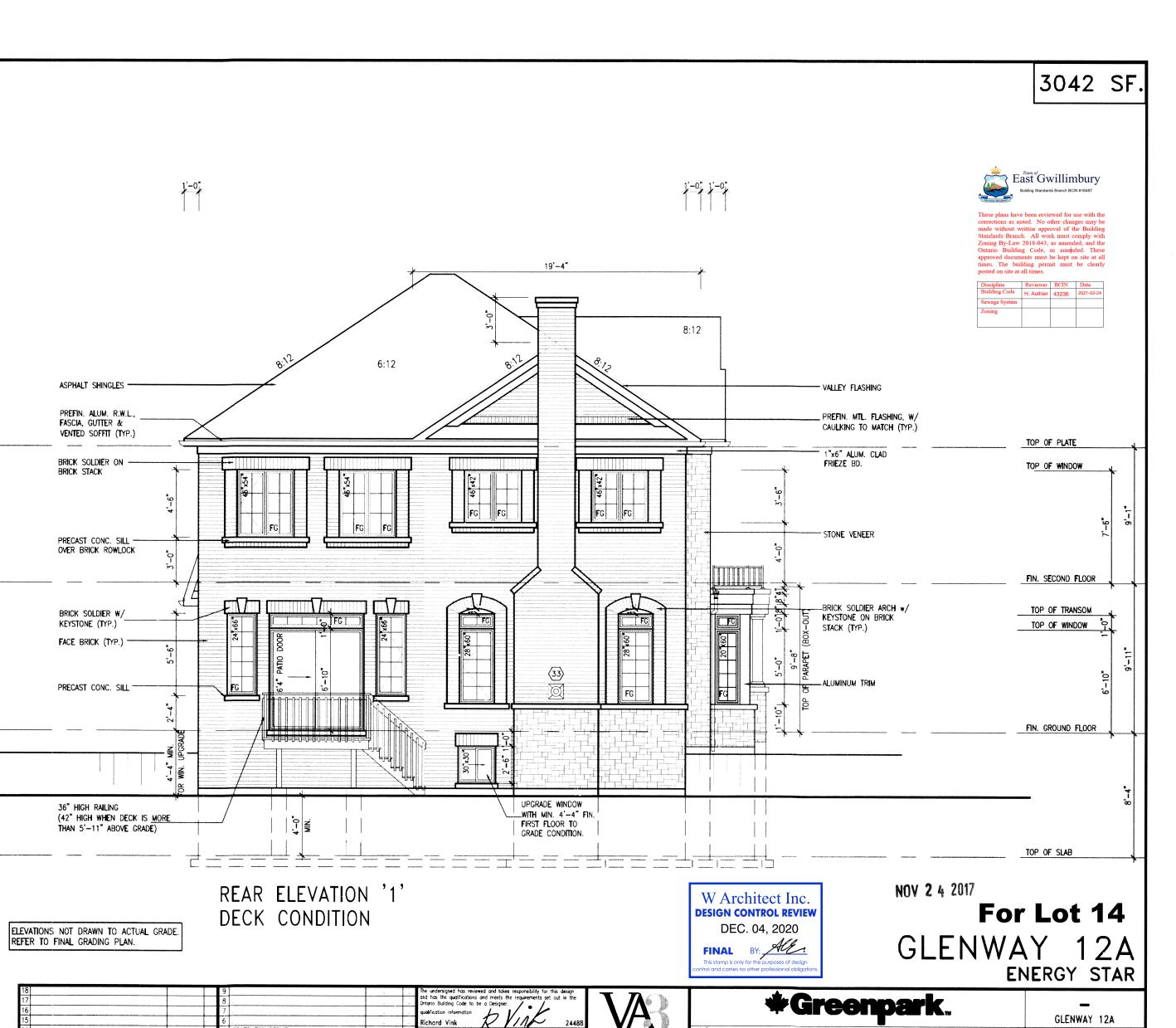
88	W
8	DESIGN
	255 Consumers Rd Suite 120

Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com

***Greenpark**. GLENWAY 12A Town of EAST GWILLIMBURY TRINAR HALL HOMES INC. 17026 date AUG. 2017 PARTIAL PLANS-EL. '2'- DECK CONDITION 3/16" = 1'-0" **A10** 17026-GLENWAY-12A

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NOV. 23/17 OCT. 04/17 ISSUED FOR PERMIT 4 ROOF SLOPE OVER OTB CHANGED TO 8:12. va3 Design Inc REV. PER CLIENT COMMENTS. SEP. 05/17 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All allowings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled. AUG. 30/17 ISSUED FOR CLIENT REVIEW. AUG. 14/17 GW o. description date by

DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 + 416.630.4782
wa3design com date AUG. 2017 drawn by GW va3design.com

project name
TRINAR HALL HOMES INC.

GLENWAY 12A 17026 Town of EAST GWILLIMBURY REAR ELEVATION - ELEV. 1- DECK CONDITION

- 3/16" = 1'-0" 17026-GLENWAY-12A All drawings specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written perm