

BASEMENT PLAN 3

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

STRUDET INC.



FOR STRUCTURE ONLY

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GLENWAY 3A-031

ENERGY STAR

REVISIONS	
5.	
4.	
3. UPDATED FOR LOT 31	NOV 2020
2. ISSUED FOR COORDINATION	SEP 2017
1. REVISED GLENWAY 3 FROM FARTHINGALE	AUG 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

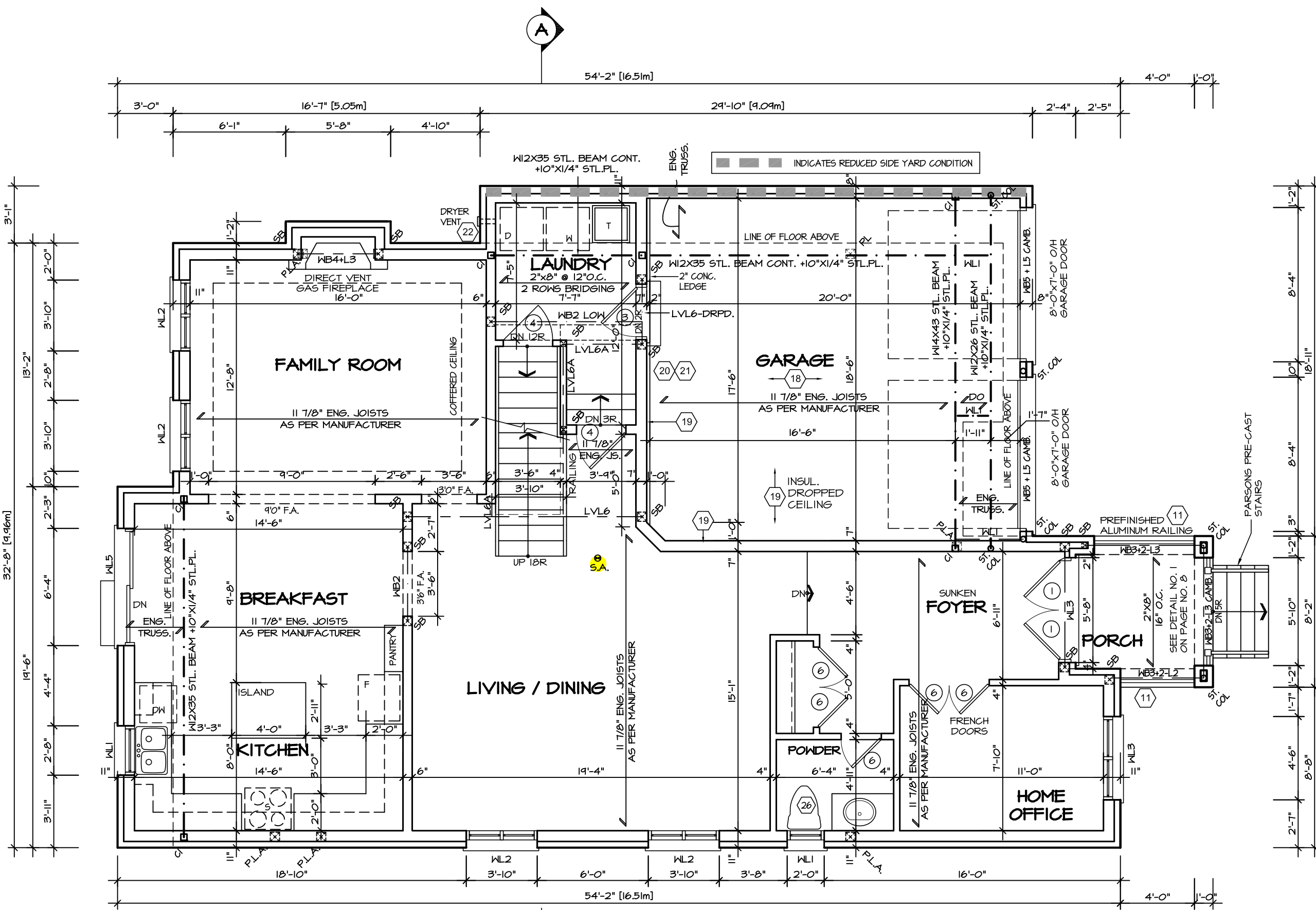
REGION DESIGN INC.

SHEET TITLE	
BASEMENT PLAN 3	
SCALE	3/16"=1'-0"
DATE	AUG 2017
BY	ZMP
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2,866
PAGE No.	1-3
PROJECT	05-15-03



PROJECT NAME
TRINAR HALL HOMES INC.

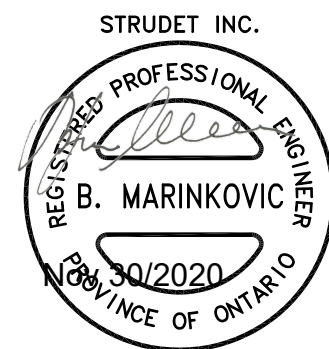


FIRST FLOOR PLAN 3



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Zoning			



FOR STRUCTURE ONLY

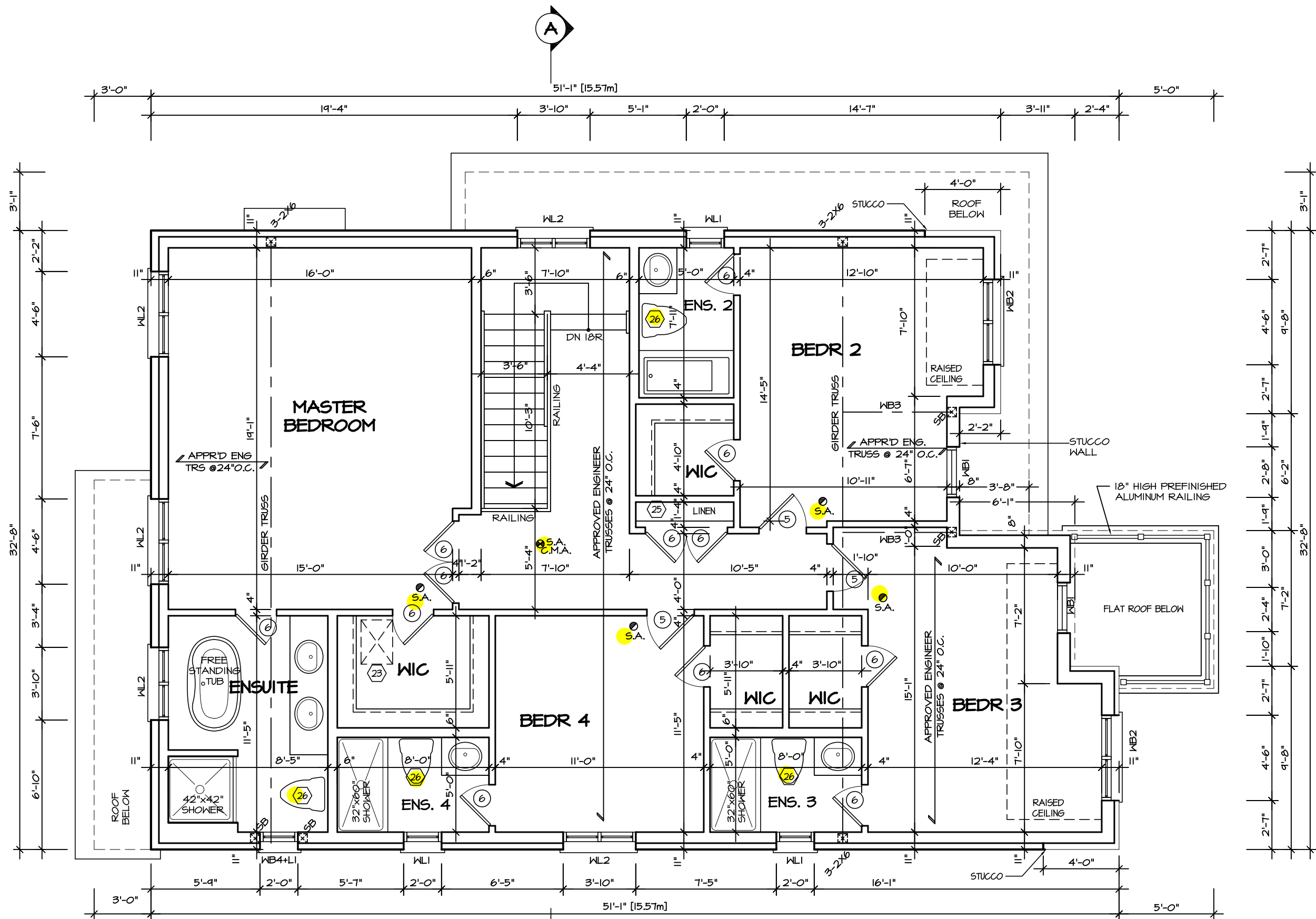
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GLENWAY 3A-031

ENERGY STAR

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3.	UPDATED FOR LOT 31							
2.	ISSUED FOR COORDINATION							
1.	REVISED GLENWAY 3 FROM FARTHINGALE							
		VIKAS GAJJAR	28770		SCALE 3/16"=1'-0"	AREA 2,866	PAGE No. 2-3	
		NAME	SIGNATURE	BCIN	DATE AUG 2017	PROJECT 05-15-03		

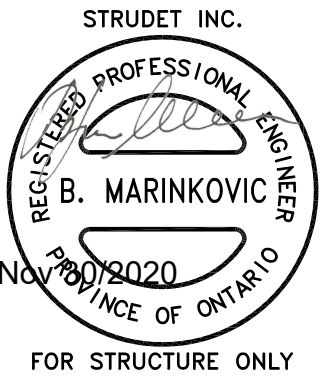


SECOND FLOOR PLAN 3



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Sewage System			
Zoning			



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ENERGY STAR

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SIGNATURE

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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE

SECOND
FLOOR PLAN 3

SCALE

3/16"=1'-0"

DATE

AUG 2017

BY

ZMP

TYPE

CONTRACTOR SHALL CHECK ALL
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PRINTS ARE NOT TO BE SCALED.

AREA

2,866

PROJECT

05-15-03

PAGE No.

3-3



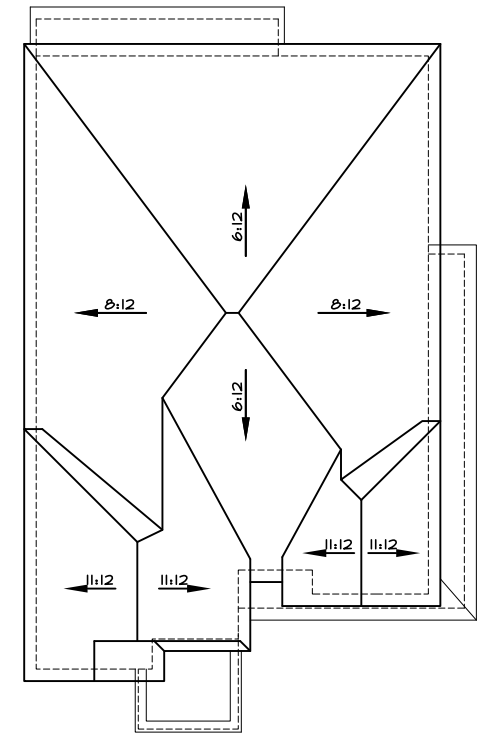
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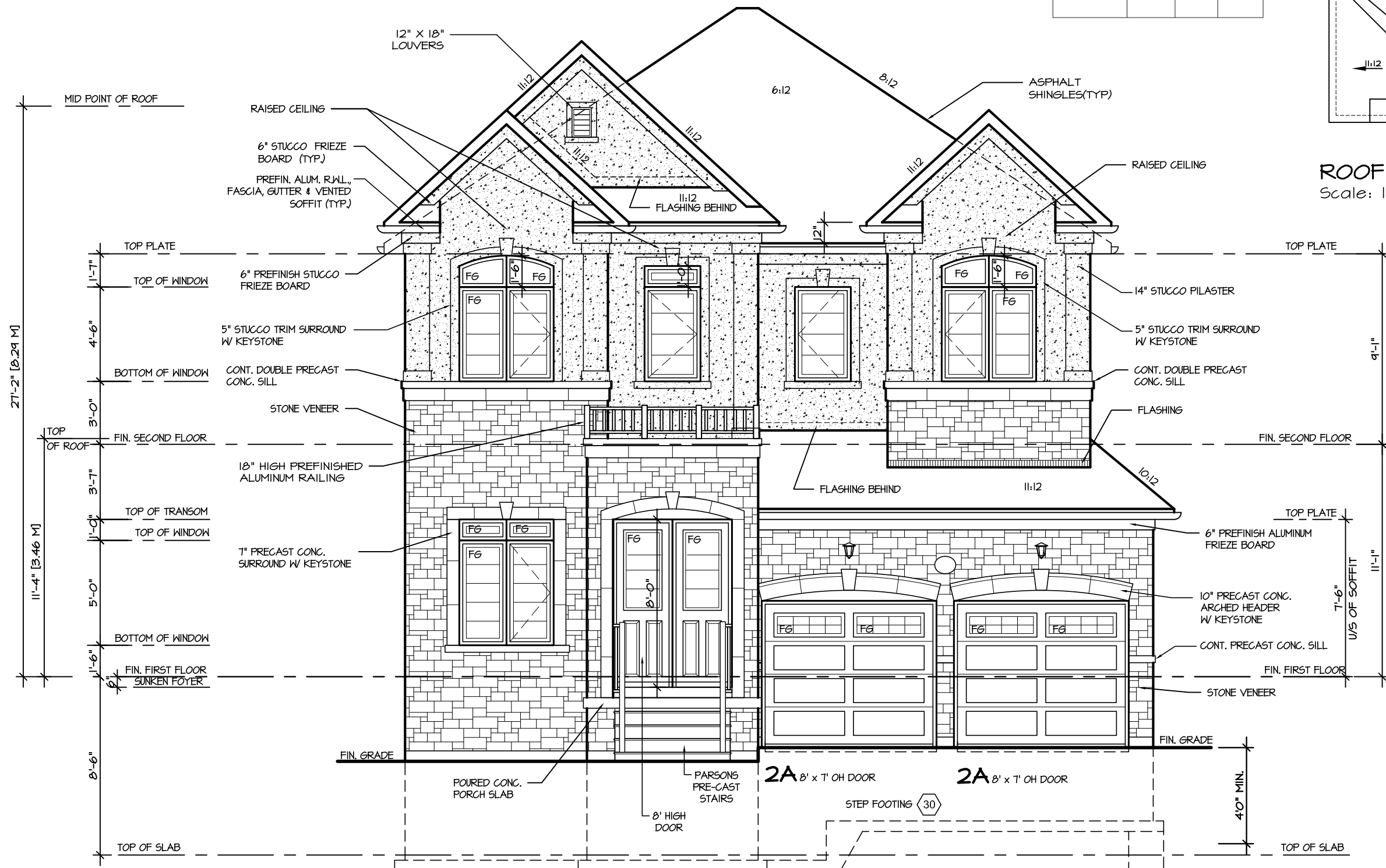


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Sewage System			
Zoning			



ROOF PLAN 3
Scale: 1/16"=1'-0"



FRONT ELEVATION 3

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: *W. Architect*
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[Signature]
SIGNATURE

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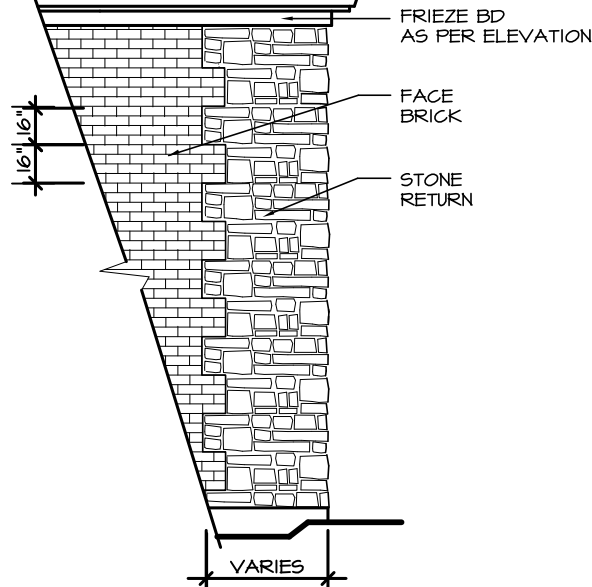
SHEET TITLE FRONT ELEVATION 3	
SCALE 3/16"=1'-0"	BY ZMP
DATE AUG 2017	TYPE

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AREA 2,866	PAGE No. 4-3
PROJECT 05-15-03	

Greenpark
PROJECT NAME
TRINAR HALL HOMES INC.

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Sewage System			
Zoning			



DETAIL OF STONE TO BRICK TRANSITION

PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)

6" STUCCO FRIEZE BOARD

7" PRECAST CONC. SURROUND W/ KEYSTONE

PREFINISHED ALUMINUM RAILING



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GLENWAY 3A-031

ENERGY STAR

LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA

WALL AREA

ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)

ACTUAL WINDOW AREA

1221.48

85.54

62.70

5.		
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REGION DESIGN INC.

SHEET TITLE

LEFT
 SIDE ELEVATION 3

SCALE

3/16"=1'-0"

DATE

AUG 2017

BY

ZMP

TYPE

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AREA

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PROJECT

05-15-03

PAGE No.

5-3


Greenpark

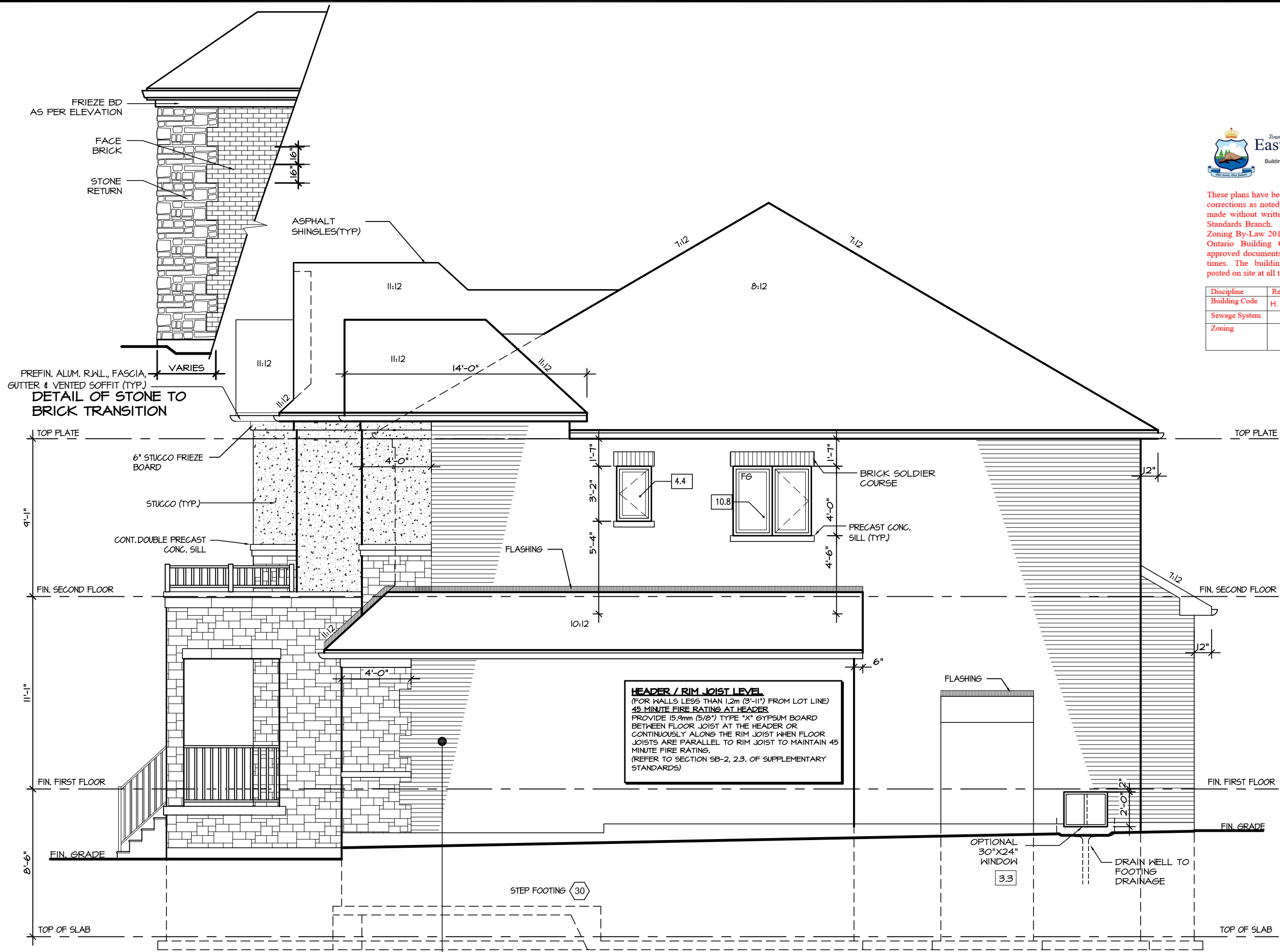
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HEADER / RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATING AT HEADER
PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

BRICK VENEER CONSTRUCTION
(FOR WALLS AND ROOF GABLES LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL
PROVIDE 12.7mm (1/2") TYPE "X" GYPSUM BOARD INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/50Lm.
(REFER TO SECTION SB-2, 2.3. OF SUPPLEMENTARY STANDARDS)

RIGHT ELEVATION 3
ALLOWABLE GLAZING

WALL AREA	1087.31
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	76.11
ACTUAL WINDOW AREA	21.00

W Architect Inc.
DESIGN CONTROL REVIEW
DEC. 04, 2020
FINAL BY: *W*
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CONCORD, ONTARIO
L4K 4S6
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SHEET TITLE

RIGHT
SIDE ELEVATION 3

SCALE
3/16"=1'-0"

DATE
AUG 2017

BY
ZMP

TYPE

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AREA
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PROJECT
05-15-03

PAGE No.

6-3



PROJECT NAME
TRINAR HALL HOMES INC.



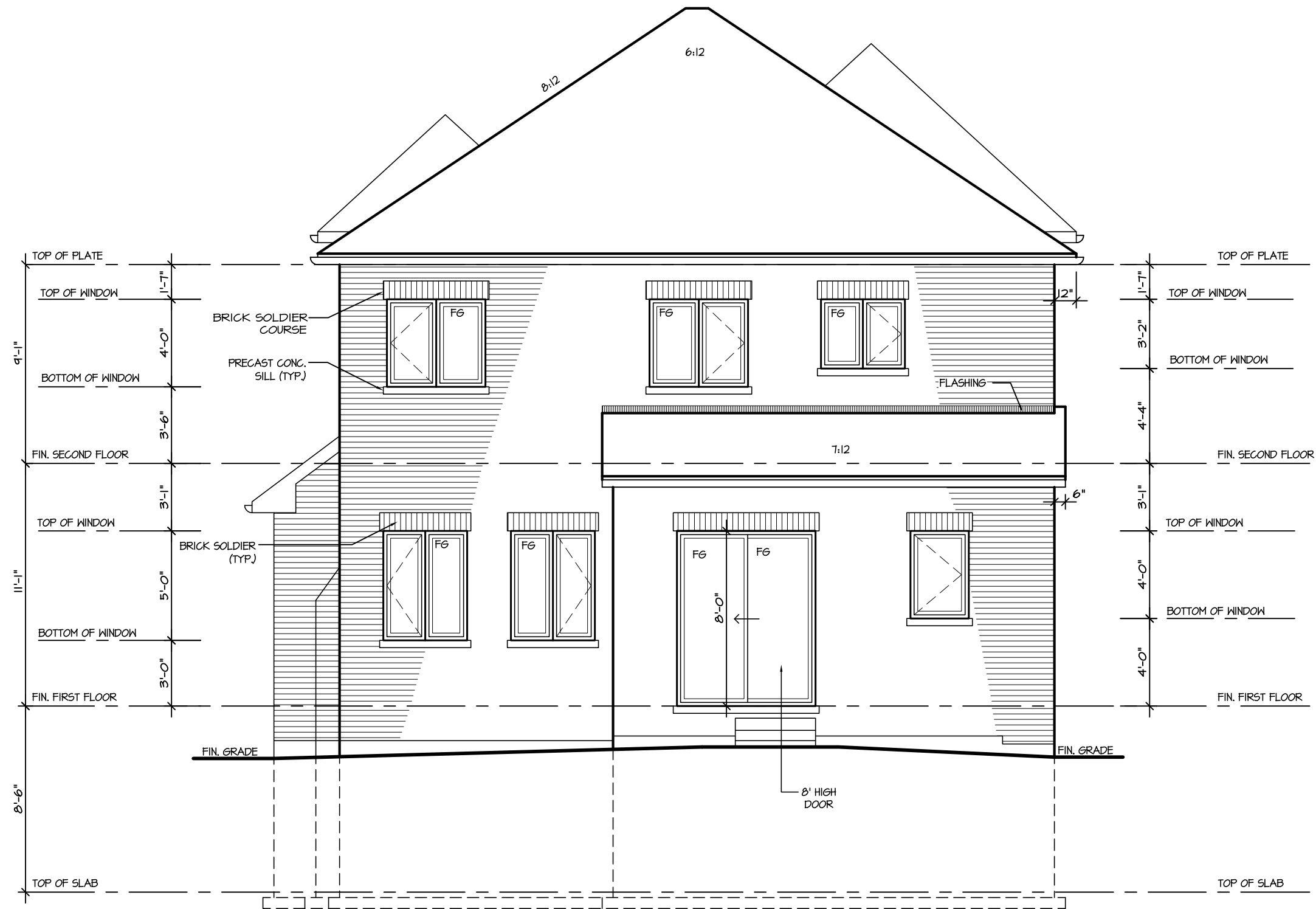
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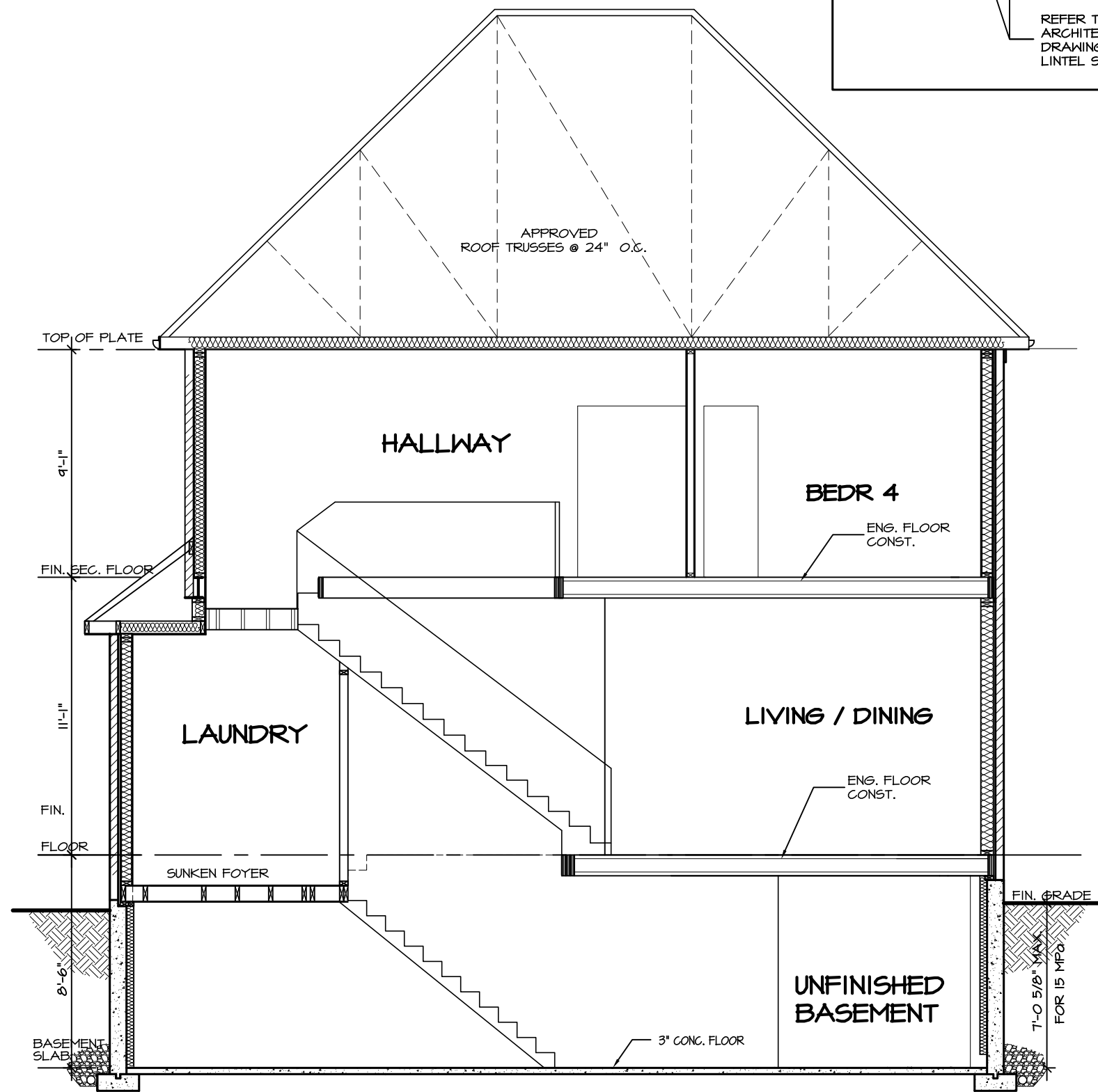
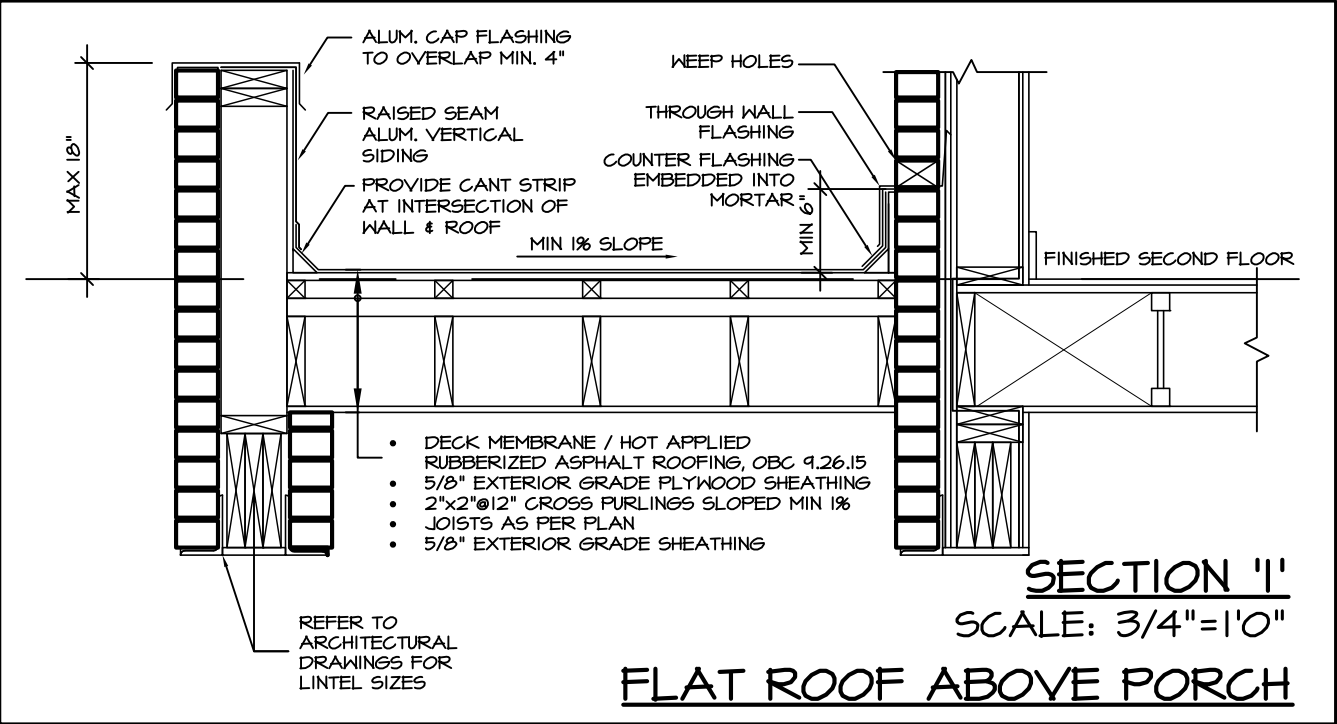
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REAR ELEVATION 3

GLENWAY 3A-031
ENERGY STAR

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CROSS SECTION



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SHEET TITLE
CROSS SECTION
ELEV. 1 & 2

SCALE
3/16"=1'-0"

DATE
AUG 2017

BY
ZMP

TYPE

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PROJECT
05-15-03

