FOUNDATION WALLS WITH ENGINEEED JOISTS OVER 16' SPANS 24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

### FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

## ASSUME THE LARGER FOOTING SIZE

#### HEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

#### PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

FI = 42"x42"xI8" CONCRETE PAD F2 = 36"x36"xI6" CONCRETE PAD =3 = 30"x30"x12" CONCRETE PAD

FI = 48"x48"x20" CONCRETE PAI F2 = 40"x40"x16" CONCRETE PAI F3 = 34"x34"x14" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F4 = 24"x24"xI2" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD REFER TO ELOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAITMENT

MLI = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2 WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2 WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2

WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2ML5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2 WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2 WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2

 $\begin{array}{l} \text{NL} 6 = 5^{\text{H}} \times 3 - 1/2^{\text{H}} \times 5/16^{\text{H}} \text{L} & (125 \times 40 \times 8.0 \text{L}) + 3 - 2^{\text{H}} \times 12^{\text{H}} \times 9 + 8.0 \text{L} \\ \text{NL} 9 = 6^{\text{H}} \times 4^{\text{H}} \times 3/8^{\text{H}} \text{L} & (150 \times 100 \times 10.0 \text{L}) + 3 - 2^{\text{H}} \times 12^{\text{H}} \times 9 + 8.0 \text{L} \\ \end{array}$ 

#### WOOD LINTELS AND BEAMS

WBI = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)

= 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2) = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2) = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)

= 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2) = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2) = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)

WB7

WBII = 4-2"xIO" SPR. No.2 (4-38x235 SPR. No.2) WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

## LAMINATED VENEER LUMBER (LVL) BEAMS

LAMINATED VENEER LUMBER (LVL) BE.

LVLIA = I-I 3/4" × 7 I/4" (I-45×l84)

LVL1 = 2-I 3/4" × 7 I/4" (2-45×l84)

LVL2 = 3-I 3/4" × 7 I/4" (2-45×l84)

LVL3 = 4-I 3/4" × 7 I/4" (4-45×l84)

LVL4A = I-I 3/4" × 9 I/2" (I-45×240)

LVL5 = 3-I 3/4" × 9 I/2" (2-45×240)

LVL5A = 4-I 3/4" × 9 I/2" (4-45×240)

LVL6A = I-I 3/4" × II 7/8" (I-45×240)

LVL6A = I-I 3/4" × II 7/8" (1-45×300)

LVL7 = 3-I 3/4" × II 7/8" (3-45×300)

LVL7 = 3-I 3/4" × II 7/8" (4-45×360)

LVL7 = 3-I 3/4" × II 7/8" (3-45×356)

LVL8 = 2-I 3/4" × I4" (3-45×356)

LVL10 = 2-I 3/4" × I8" (3-45×356)

LVLIO = 2-1 3/4" x 18" (3-45x456)

## LOOSE STEEL LINTELS

LI = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)

1.3 = 5"x3-1/2"x5/16"1 (125x90x801)

L4 = 6"x3-1/2"x3/8"L (150x40x10.0L) L5 = 6"x4"x3/8"L (150x100x10.0L)

L6 = 7"x4"x3/8"L (175x100x10.0L)

I = 3'-0" x 6'-8" (914x2033) - INSULATED ENTRANCE DOOR

|a = 2'-10" x 7'-10" (815x2387) - INSULATED FRONT DOORS |2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR

 $3 = 2'-8" \times 6'-8 \times 1-3/4" (8)5 \times 2033 \times 45) - EXTERIOR SLAB DOOR 4 = 2'-8" \times 6'-8" \times 1-3/8" (8)5 \times 2033 \times 35) - INTERIOR SLAB DOOR$ 

5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR

6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR 7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

 $\mathcal{S} = 3'-0" \times 6'-\mathcal{S}"$  (914×2033) - BARRIER FREE ACCESS DOOR

REVISIONS

ANCHOR BOLTS C2 = 5"X5"XI/4" HSSW/ |2"X|2"X|/2" BASE PLATE \$ 4-3/4" DIA. ANCHOR BOLTS

CI = 4"X4"XI/4" H.S.S.

SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-O" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.

12"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL.) L5F

STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL

10"

DETAIL IS 20'-2" AND MAXIMUM WIDTH IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @9"O.C. FULL HT C/W SOLID BLOCKING MAX. &'-O"O.C. VERTICAL

7/16" EXT. OSB SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS

DETAIL IS 21'-5" AND MAXIMUM WIDTH IS

TWO STORY HEIGHT WALL DETAIL

7/16" EXT. OSB SHEATHING.

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS

10"

12"

NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-O"

USE 4 BOLTS FOR MOMENT CONNECTION

"M" - MOMENT CONNECTION BEAM/COULMN : 35 kNm

#### SPACE CONVENTIONAL FLOOR JOISTS @ 12" AREA CALCULATIONS ELEV. 3 O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE I ROW BRIDGING FOR SPANS OF 1330 Sq. Ft. GROUND FLOOR AREA 1539 SECOND FLOOR AREA Sq. Ft. 5'-7', 2 ROWS FOR SPANS GREATER THAN 7' 2869 Sq. Ft. TOTAL FLOOR AREA 266.54 Sq. M. REFER TO ROOF TRUSS SHOP DRAWINGS FOR = 0 IST FLOOR OPEN AREA Sq. Ft. ALL ROOF FRAMING INFORMATION Sq. Ft. 2ND FLOOR OPEN AREA 0 Sq. Ft. ADD TOTAL OPEN AREAS 0 Sq. Ft. PLANS NOT DRAWN TO ACTUAL GRADE. REFER ADD FIN. BASEMENT AREA 2869 Sq. Ft. TO FINAL GRADING PLAN. GROSS FLOOR AREA 266.54 Sq. M. 1330 Sq. Ft. SROUND FLOOR COVERAGE = REFER TO FLOOR FRAMING SHOP DRAWINGS 391 Sq. Ft. SARAGE COVERAGE /AREA = FOR ENGINEERED FRAMING LAYOUTS 58 Sq. Ft. PORCH COVERAGE / AREA = 1779 Sq. Ft. TOTAL COVERAGE W/ PORCH 2-2"x6" STUD WALL NAILED TOGETHER AND 165.27 Sq. m.

TOTAL COVERAGE WO PORCH

GLENMAY 3A		ELV. 3			
ELEVATI ON	MALL FT <sup>2</sup>	MALL MT²	OPENING FT <sup>2</sup>	OPENING MT2	PERCENTA GE
FRONT	786.43	73.06	124.07	11.53	15.78 %
LEFT SIDE	1225.71	113.87	89.67	8.33	7.32 %
RIGHT SIDE	1225.71	113.87	29.33	2.72	2.39 %
REAR	719.98	66.89	147.80	13.73	20.53 %
TOTAL	3957.83	367.69	390.87	36.31	9.88 %

# THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

1721 Sq. Ft.

159.89 Sq. m.

10.56 (R60)
5.46 (R3I)
5.46 (R3I)
4.75 (R22+R5)
3.52 (R20 BLANKET)
1.76 (RIO)
1.76 (RIO)
ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
MIN. 96% AFUE
ELECTRONIC SPARK IGNITION
TIER 2 75% SRE ENERGY STAR ® HRY TO BE INTERCONNECTED TO THE FURNACE FAN MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
TWO SHOWERS > 42% STEADY R3-42 OR TD342
DETACHED LEVEL I (2.5 ACH/O.18 NLR) ATTACHED LEVEL I (3.0 ACH/O.26 NLR)
ALL SUPPLY DUCTS AND I M OF RETURN DUCTS

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R2O BLANKET)
EDGE OF BELOW GRADE SLAB ( 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (RIO)
SLAB ≤ <i>600</i> mm BEL <i>0W G</i> RADE MINIMUM RSI (R) VALUE	1.76 (RIO)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR ® ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	MIN. 96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRY MINIMUM EFFICIENCY	TIER 2 75% SRE ENERGY STAR ® HRV TO BE INTERCONNECTED TO THE FURNACE FAI MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42% STEADY R3-42 OR TD342
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL I (2,5 ACH/O,16 NLR) ATTACHED LEVEL I (3,0 ACH/O,26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS AND I M OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

Charles on hard	Building Standards Branch BCIN #16487
	ve been reviewed for use wit

AMENDED

FOR

TOWN OF EAST GWILLIMBURY

BUILDING STANDARDS BRANCH

THIS PERMIT APPLICATION HAS BEEN REVIEWED FOR COMPLIANCE WITH

THE ZONING BY-LAW 2018-043, AS

Model Review

....cfoster...

DATE .....21/01/2021...

made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amehded. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

STRUDET INC. PROFESS/ON4/ ốg B. MARINKOVIC 흙 80/2020 NCE OF ONTAR

It is the builder's complete responsibility to ensure that all plans submitted for approva fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contro Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or working drawings with respect to any zoning or pulliflier cort but any

W Architect Inc.

**DESIGN CONTROL REVIEW** DEC. 04, 2020

This is to certify that these plans comply with the applicable Architectural Design Suidelines approved by the Town of EAST GWILLIMBURY.

**ESCC MODEL** FNFRGY STAR - V 17

FOR STRUCTURE ONLY

GLENWAY 3A-031

**ENERGY STAR** 

5.		
4.		
3.	UPDATED FOR LOT 31	NOV 2020
2.	ISSUED FOR COORDINATION	SEP 2017
1.	REVISED GLENWAY 3 FROM FARTHINGALE	AUG 2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

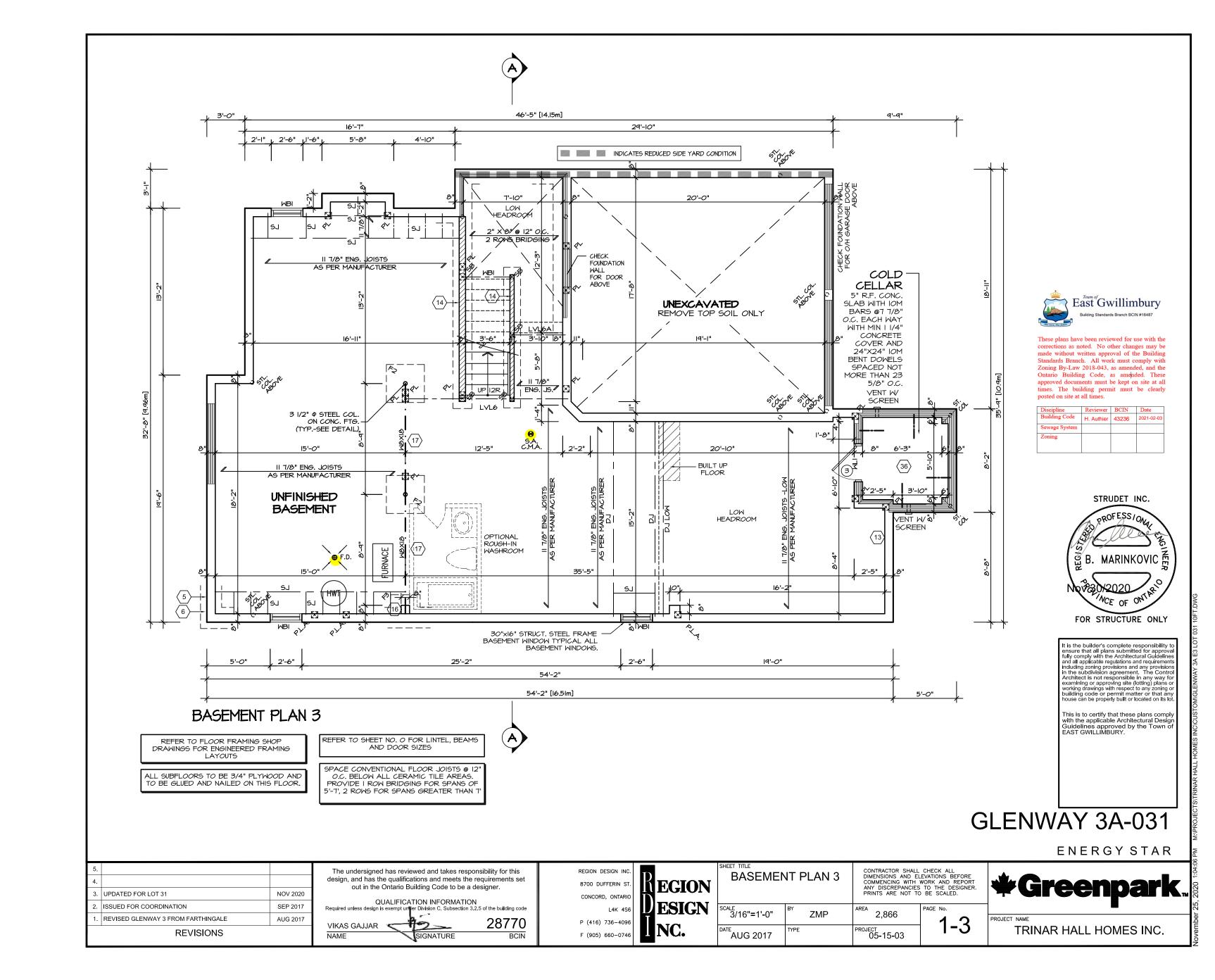
VIKAS GAJJAR SIGNATURE NAME

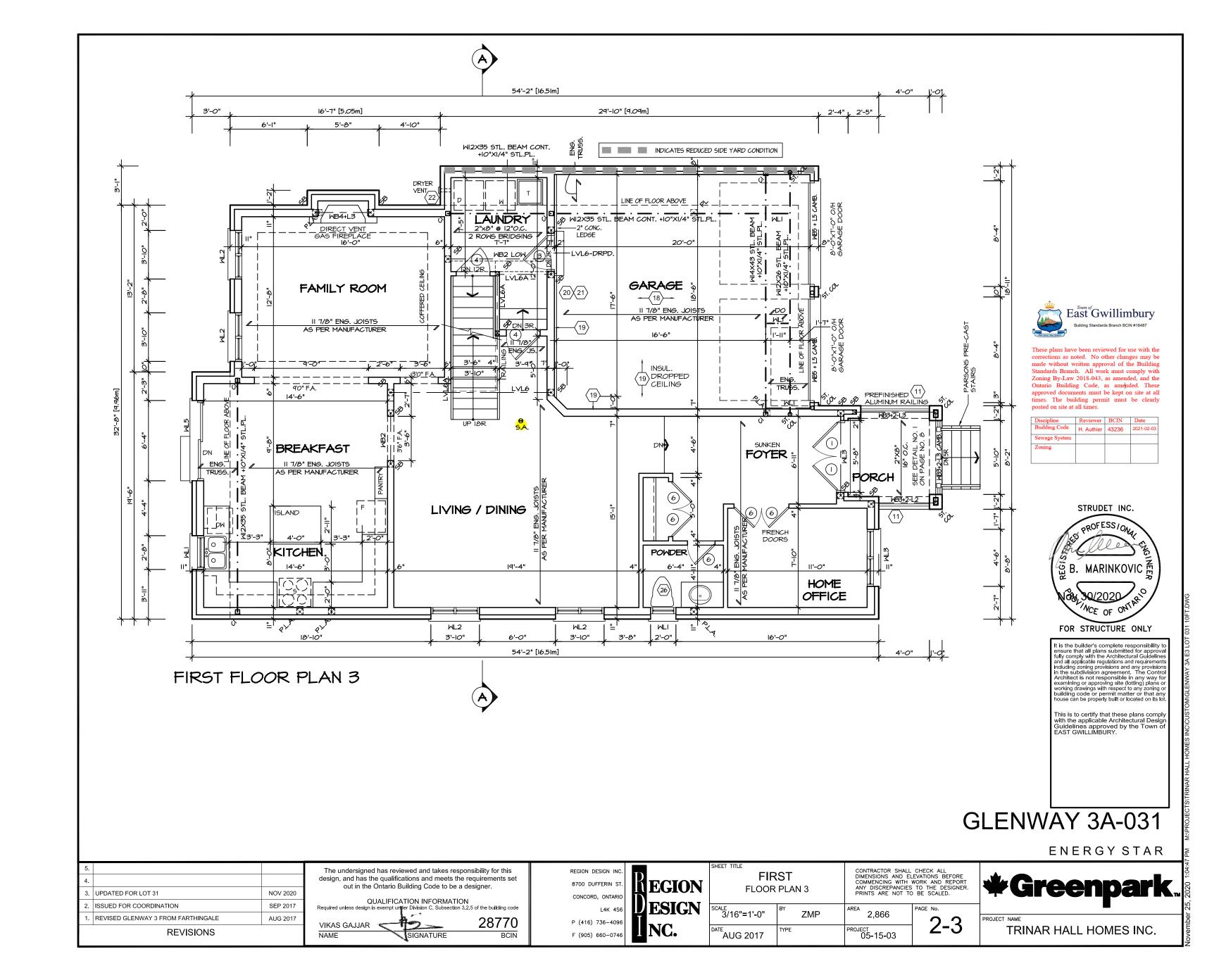
28770 BCIN REGION DESIGN INC. 8700 DUFFERIN ST. **EGION** CONCORD, ONTARIO **ESIGN** L4K 4S6 P (416) 736-4096 F (905) 660-0746

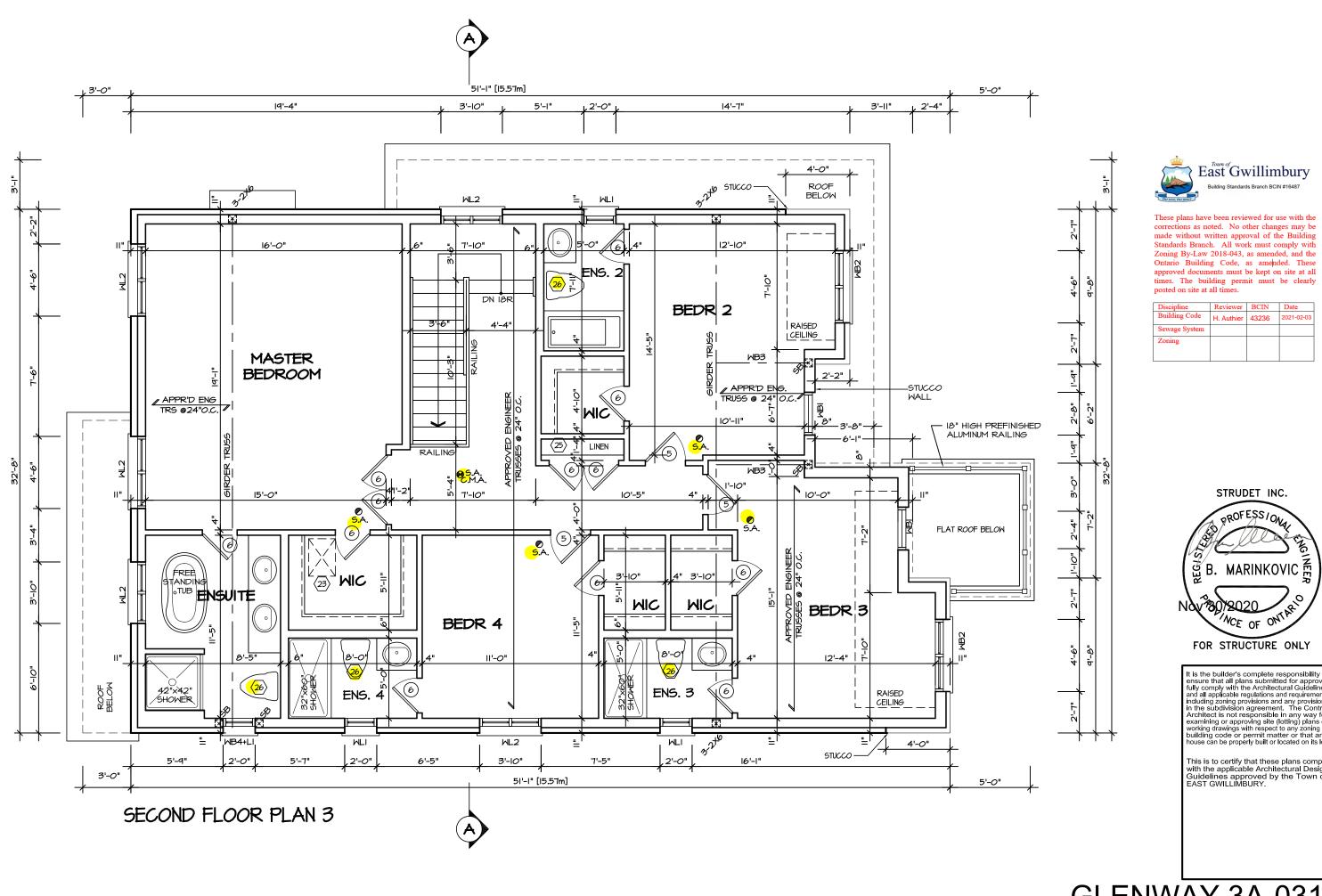
**GENERAL NOTES** & CHARTS ZMP 2,866 0 05-15-03 AUG 2017



PROJECT NAM TRINAR HALL HOMES INC.







GLENWAY 3A-031

ENERGY STAR

East Gwillimbury

STRUDET INC.

PROFESSION,

DE B. MARINKOVIC F

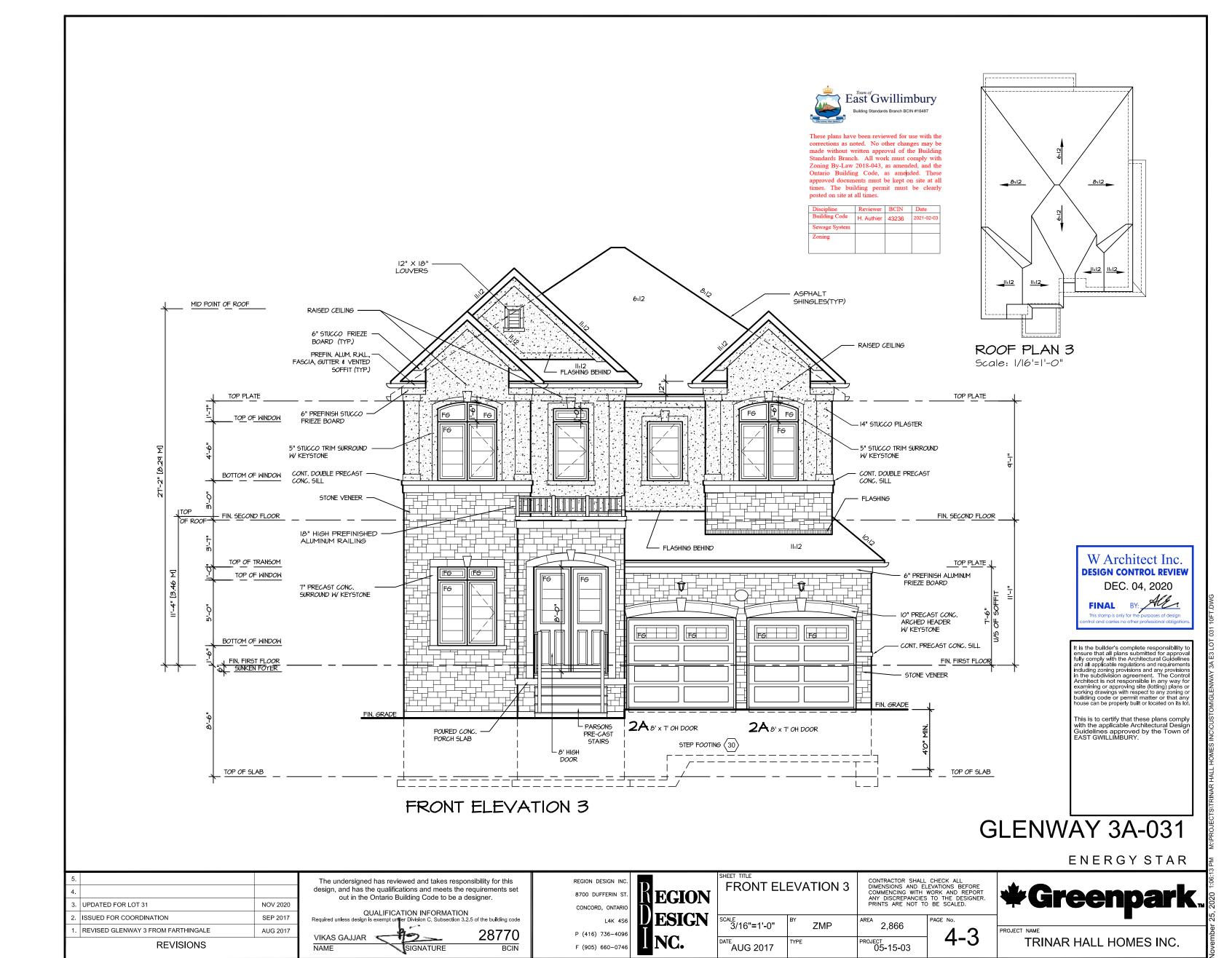
Nov 30/2020

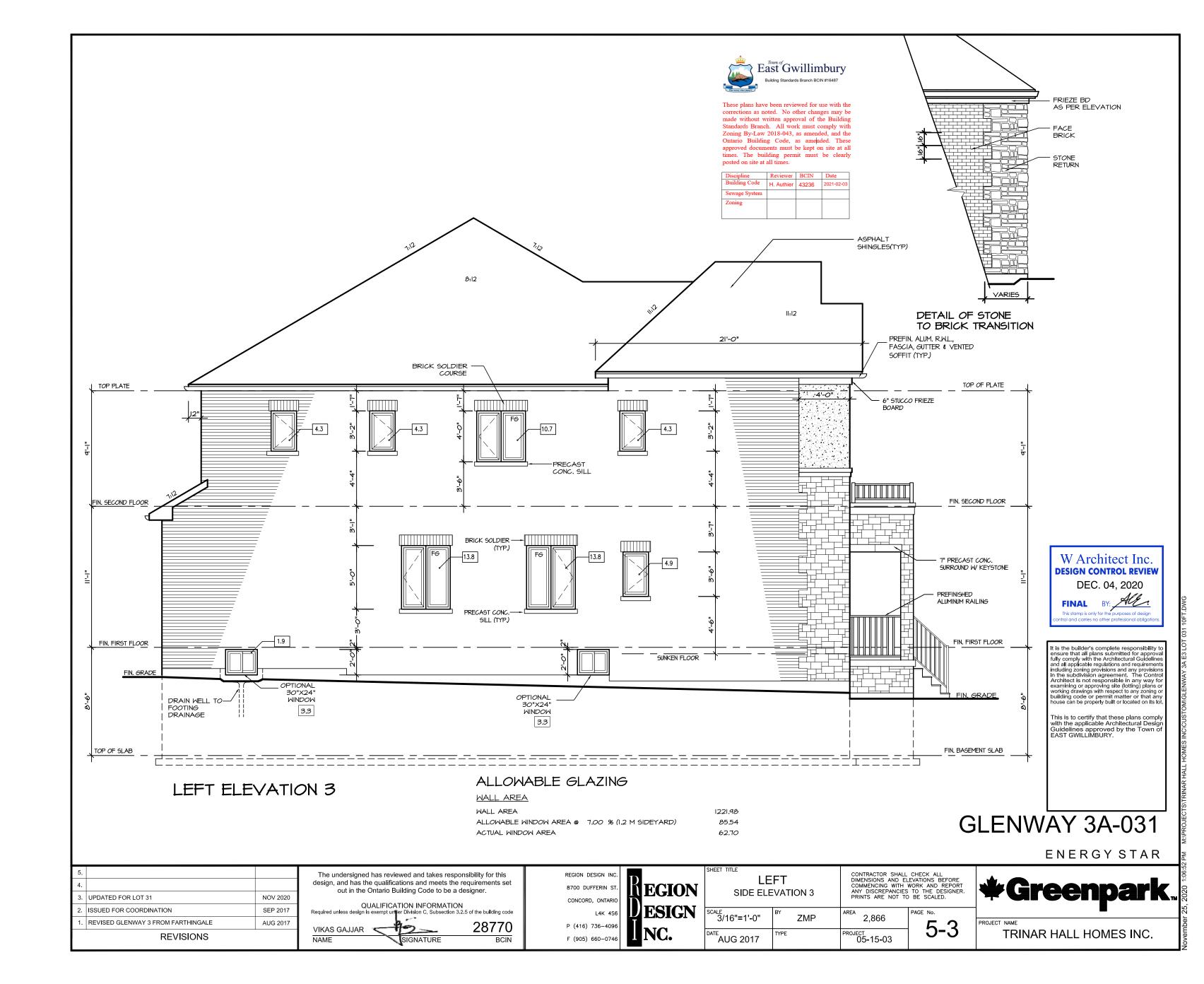
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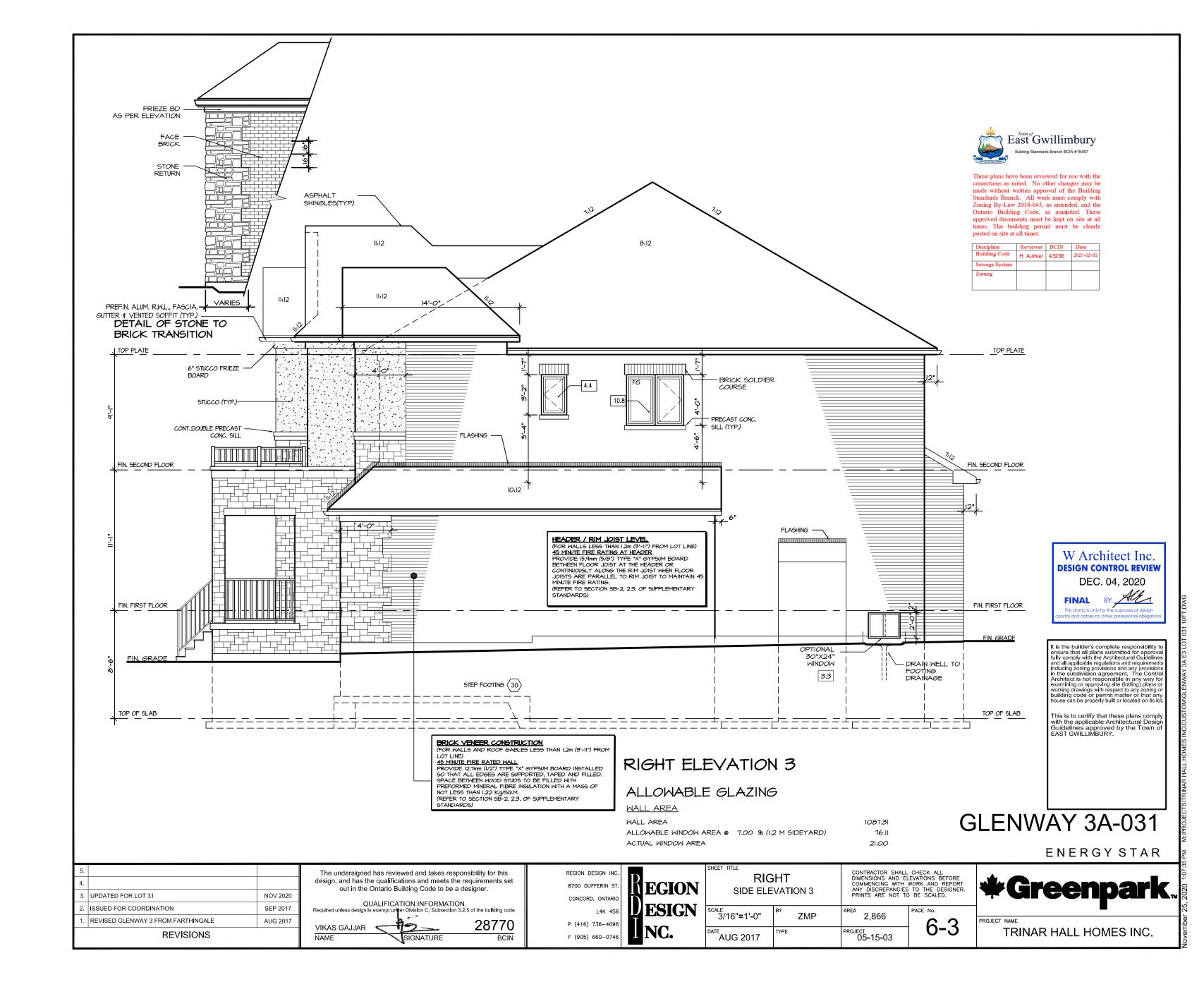
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

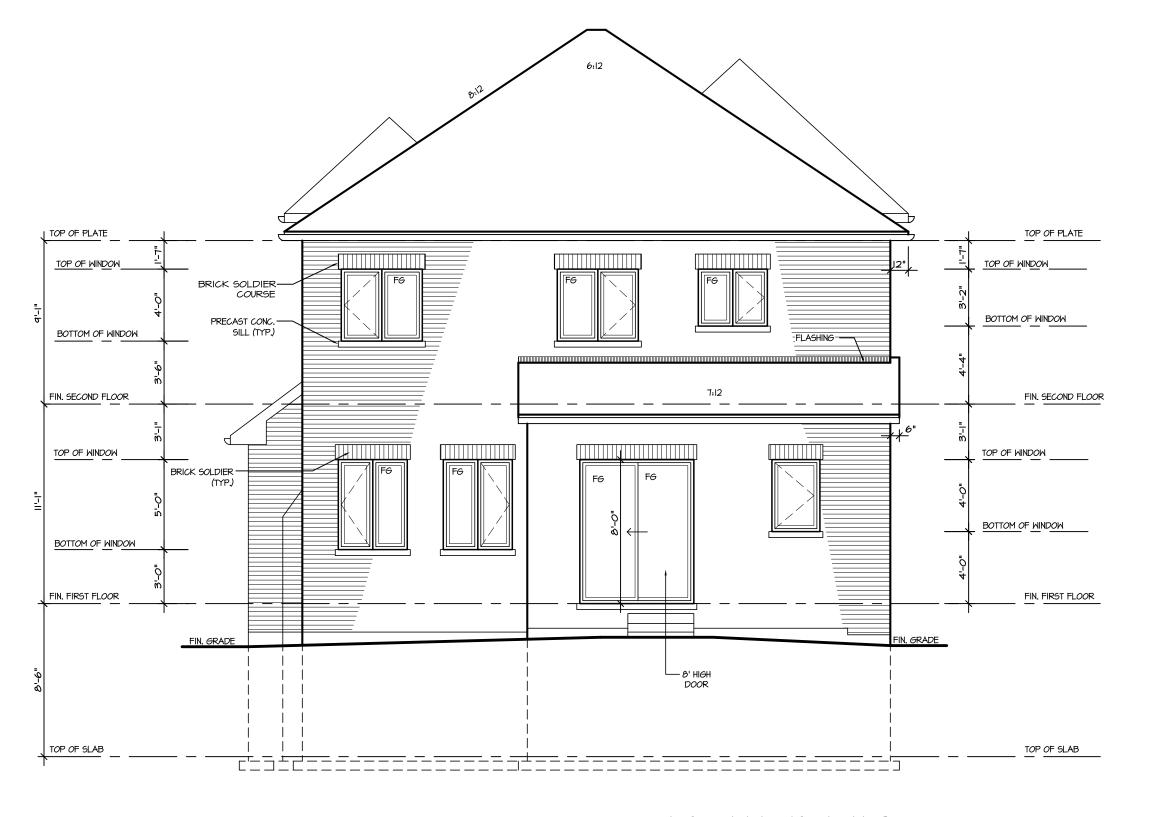
FOR STRUCTURE ONLY













These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

			Discipline
2021-02-03	43236	H. Authier	Building Code
			Sewage System
			Zoning
			Zoning



t is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or sulfding code or permit matter or that any louse can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of EAST GWILLIMBURY.

## REAR ELEVATION 3

GLENWAY 3A-031

ENERGY STAR

5. 4.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST.	REGION	REAR ELE	EVATION 3	
3. UPDATED FOR LOT 31	NOV 2020	ů	CONCORD, ONTARIO	HEGIO!			
2. ISSUED FOR COORDINATION	SEP 2017	QUALIFICATION INFORMATION Required unless design is exempt unler Division C, Subsection 3.2.5 of the building code	L4K 4S6	<b>DESIGN</b>	SCALE	BY	AR
REVISED GLENWAY 3 FROM FARTHINGALE	AUG 2017	vikas gajjar 28770	P (416) 736-4096		3/16"=1'-0"	ZMP	
REVISIONS	·	VIKAS GAJJAR ZOTTU  NAME SIGNATURE BCIN	F (905) 660-0746	L NC.	AUG 2017	TYPE	PR

SHEET TITLE
REAR ELEVATION 3

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

SCALE
3/16"=1'-0"

BY
ZMP

AREA
2,866

PAGE No.

7-3



TRINAR HALL HOMES INC.

