

3042 SF.

**STRIP FOOTINGS – FOR SINGLES & SEMIS UP TO 2 STOREYS**

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

**FOOTINGS ON ENGINEERED FILL**

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.  
BELOW PARTY WALLS.  
(REFER TO ENGINEER FILL FOOTING DETAIL)

**ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY**

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa  
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

**PAD FOOTINGS**

**120 KPa. NATIVE SOIL**

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

**90 KPa. ENGINEERED FILL SOIL**

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

**VENEER CUT**

WHEN VENEER CUT IS GREATER THAN 26", A 10"  
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

**EXPOSED CONCRETE (FLATWORK)**

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.  
FLAT WORK) TO BE 32 MPa. WITH 5-8% AIR ENTRAINMENT.

**BRICK VENEER LINTELS (WL)**

WL1 = 3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2  
WL2 = 4" x 3-1/2" x 5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2  
WL3 = 5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2  
WL4 = 6" x 3-1/2" x 3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2  
WL5 = 6" x 4" x 3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2  
WL6 = 5" x 3-1/2" x 5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2  
WL7 = 5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2  
WL8 = 5" x 3-1/2" x 5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2  
WL9 = 6" x 4" x 3/8"L (150x100x10.0L) + 3-2"x10" SPR. No.2

**WOOD LINTELS AND BEAMS (WB)**

WB1 = 2-2"x8" (2-38x184) SPR. No.2  
WB2 = 3-2"x8" (3-38x184) SPR. No.2  
WB3 = 2-2"x10" (2-38x235) SPR. No.2  
WB4 = 3-2"x10" (3-38x235) SPR. No.2  
WB5 = 2-2"x12" (2-38x286) SPR. No.2  
WB6 = 3-2"x12" (3-38x286) SPR. No.2  
WB7 = 5-2"x12" (5-38x286) SPR. No.2  
WB11 = 4-2"x10" (4-38x235) SPR. No.2  
WB12 = 4-2"x12" (4-38x286) SPR. No.2

**LAMINATED VENEER LUMBER (LVL) BEAMS**

LVL1A = 1-1 3/4"x7 1/4" (1-45x184)  
LVL1 = 2-1 3/4"x7 1/4" (2-45x184)  
LVL2 = 3-1 3/4"x7 1/4" (3-45x184)  
LVL3 = 4-1 3/4"x7 1/4" (4-45x184)  
LVL4A = 1-1 3/4"x9 1/2" (1-45x240)  
LVL4 = 2-1 3/4"x9 1/2" (2-45x240)  
LVL5 = 3-1 3/4"x9 1/2" (3-45x240)  
LVL5A = 4-1 3/4"x9 1/2" (4-45x240)  
LVL6A = 1-1 3/4"x11 7/8" (1-45x300)  
LVL6 = 2-1 3/4"x11 7/8" (2-45x300)  
LVL7 = 3-1 3/4"x11 7/8" (3-45x300)  
LVL8 = 2-1 3/4"x14" (2-45x356)  
LVL9 = 3-1 3/4"x14" (3-45x356)

**LOOSE STEEL LINTELS (L)**

L1 = 3-1/2" x 3-1/2" x 1/4"L (90x90x6.0L)  
L2 = 4" x 3-1/2" x 5/16"L (100x90x8.0L)  
L3 = 5" x 3-1/2" x 5/16"L (125x90x8.0L)  
L4 = 6" x 3-1/2" x 3/8"L (150x90x10.0L)  
L5 = 6" x 4" x 3/8"L (150x100x10.0L)  
L6 = 7" x 4" x 3/8"L (180x100x10.0L)

**CERAMIC TILE FOR CONVENTIONAL LUMBER**

(OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C.  
BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0",  
2 ROWS FOR SPANS GREATER THAN 7'0".

**NOTE: ROOF FRAMING**

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL  
ROOF FRAMING INFORMATION UNLESS OTHERWISE  
NOTED.

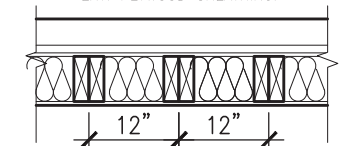
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO  
FINAL APPROVED GRADING PLAN.

**NOTE: ENGINEERED FLOOR FRAMING**

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL  
ENGINEERED FLOOR FRAMING INFORMATION AND  
DETAILS. UNLESS OTHERWISE NOTED.

**TWO STOREY HEIGHT  
WALL DETAIL**

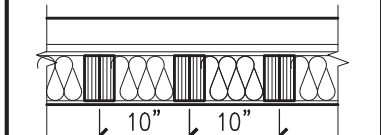
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" o.c. FULL HEIGHT, c/w SOLID  
BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 18'-0" AND MAX. SUPPORTED  
LENGTH OF TRUSS IS 40'-0".

**TWO STOREY HEIGHT  
WALL DETAIL**

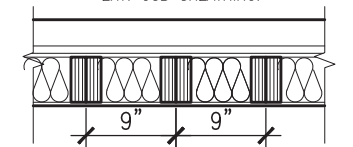
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED & NAILED TOGETHER AND  
SPACED MAX. @ 10" o.c. FULL HEIGHT, c/w SOLID  
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"  
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAX. SUPPORTED  
LENGTH OF TRUSS IS 40'-0".

**TWO STOREY HEIGHT  
WALL DETAIL**

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED & NAILED TOGETHER AND  
SPACED MAX. @ 9" o.c. FULL HEIGHT, c/w SOLID  
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"  
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 21'-5" AND MAX. SUPPORTED  
LENGTH OF TRUSS IS 40'-0".

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ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
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Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
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with the applicable Architectural Design  
Guidelines approved by the Town of  
EAST GWILLIMBURY.

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING:	
ENERGY STAR V-17	
JANUARY 2019	
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.56 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	4.75 (R22+R5)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
EDGE OF BELOW GRADE SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY STAR • ZONE 2 (ER 29/UV 1.4)
SPACE HEATING EQUIPMENT MINIMUM AFUE	96% AFUE
GAS FIREPLACE	ELECTRONIC SPARK IGNITION
HRV MINIMUM EFFICIENCY	75% SRE ENERGY STAR • *HRV TO BE INTERCONNECTED TO THE FURNACE FAN. MUST BE BALANCED INDICATING ON HIGH SPEED FRESH/STALE
HOT WATER TANK	CONDENSING HOT WATER TANK 90% TE ENVIROSENCE
DRAIN WATER HEAT RECOVERY	TWO SHOWERS > 42%
AIR TIGHTNESS MUST MEET MINIMUM	DETACHED LEVEL 1 (2.5 ACH/0.18 NLR) ATTACHED LEVEL 1 (3.0 ACH/0.26 NLR)
DUCT SEALING	ALL SUPPLY DUCTS & 1m OF RETURN DUCTS
LIGHTS	75% CFLs OR LEDs

UNINSULATED OPENINGS (PER OBC. SB-12,3.1.1(7))			
GLENWAY 12A-036, ELEV. 2	ENERGY EFFICIENCY – ENERGY STAR		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	824.5 S.F.	112.66 S.F.	13.66 %
LEFT SIDE	1223.3 S.F.	257.69 S.F.	21.07 %
RIGHT SIDE	1243.1 S.F.	9.33 S.F.	0.75 %
REAR	742.3 S.F.	167.01 S.F.	22.50 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.0 S.F.	
TOTAL SQ. FT.	4033.20 S.F.	546.69 S.F.	13.55 %
TOTAL SQ. M.	374.69 S.M.	50.79 S.M.	13.55 %

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	1451 SF
SECOND FLOOR AREA	1507 SF
<b>TOTAL FLOOR AREA</b>	<b>2958 SF</b> (274.81 m2)
FIRST FLOOR OPEN AREA	XX SF
SECOND FLOOR OPEN AREA	73 SF
ADD TOTAL OPEN AREAS	+73 SF
ADD FINISHED BSMT AREA	+XX SF
<b>GROSS FLOOR AREA</b>	<b>3031 SF</b> (281.59 m2)
GROUND FLOOR COVERAGE	1457 SF
GARAGE COVERAGE/AREA	398 SF
PORCH COVERAGE/AREA	182 SF
<b>COVERAGE W/ PORCH</b>	<b>2037 SF</b> (189.24 m2)
<b>COVERAGE W/O PORCH</b>	<b>1855 SF</b> (172.33 m2)

**TOWN OF EAST GWILLIMBURY  
BUILDING STANDARDS BRANCH**

THIS PERMIT APPLICATION HAS BEEN  
REVIEWED FOR COMPLIANCE WITH  
THE ZONING BY-LAW 2018-043, AS  
AMENDED

FOR .Model Review.....

BY .....cfooster.....

DATE .....21/01/2021.....



Building Standards Branch BCIN #16487

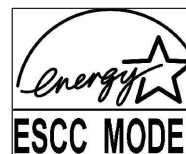
These plans have been reviewed for use with the  
corrections as noted. No other changes may be  
made without written approval of the Building  
Standards Branch. All work must comply with  
Zoning By-Law 2018-043, as amended, and the  
Ontario Building Code, as amended. These  
approved documents must be kept on site at all  
times. The building permit must be clearly  
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**DECEMBER 17, 2020**

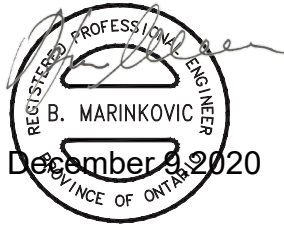
**FINAL** BY: GGE

This stamp is only for the purposes of design  
control and carries no other professional obligations.



ENERGY STAR- V 17

**GLENWAY 12A-036**  
**ENERGY STAR**



STRUDET INC.  
FOR STRUCTURE ONLY

18				9	.	.	.
17				8	.	.	.
16				7	CUSTOM PLAN PER PURCHASER.	DEC 8/20	GW
15				6	E-STAR UPDATED.	JAN 31/19	GW
14				5	ISSUED FOR PERMIT.	NOV. 23/17	GW
13				4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW
11				2	.	AUG. 30/17	.
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW
no. description		date	by	no. description		date	by

The undersigned has reviewed and takes responsibility for this design  
and has the qualifications and meets the requirements set out in the  
Ontario Building Code to be a Designer.  
qualification information  
**Richard Vink** 24488  
signature  
name  
registration information  
**VA3 Design Inc.** 42658  
Contractor must verify all dimensions on the job and report any  
discrepancy to the Designer before proceeding with the work. All  
drawings and specifications are instruments of service and the property  
of the Designer which must be returned at the completion of the work.  
Drawings are not to be scaled.

**VA3  
DESIGN**

255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
t 416.630.2255 f 416.630.4782  
va3design.com

**Greenpark™**

project name <b>TRINAR HALL HOMES INC.</b>	municipality <b>Town of EAST GWILLIMBURY</b>	project no. <b>17026</b>
date <b>AUG. 2017</b>	checked by <b>GW</b>	scale <b>3/16" = 1'-0"</b>
GENERAL NOTES & CHARTS		file name <b>17026-GLENWAY-12A-036</b>
drawing no. <b>A0</b>		

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3042 SF.



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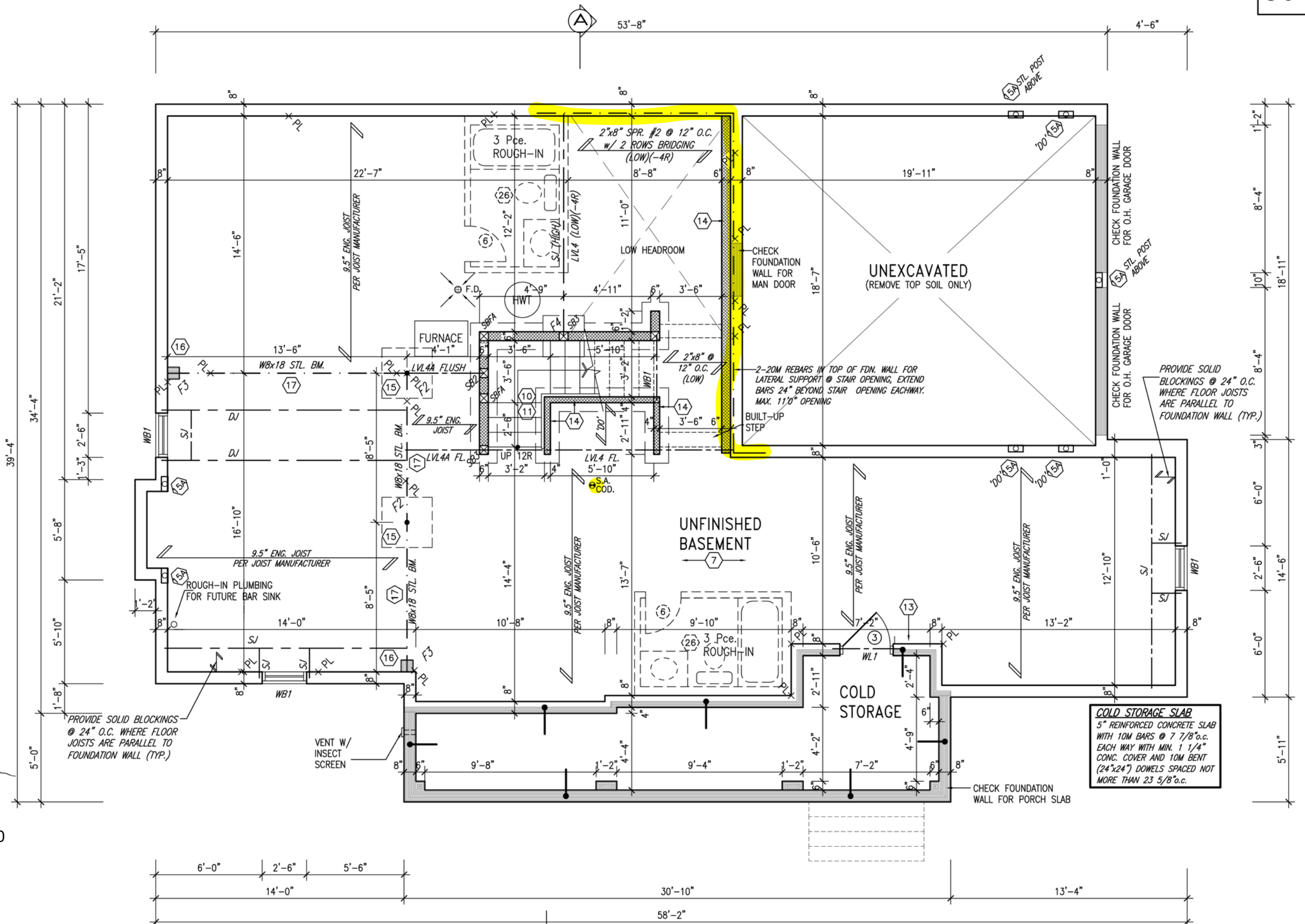
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



STRUDET INC.  
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BASEMENT PLAN - ELEV. 2

GLENWAY 12A-036  
ENERGY STAR

18			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17			8			qualification information	
16			7	CUSTOM PLAN PER PURCHASER.	DEC 8/20	GW	
15			6	E-STAR UPDATED.	JAN 31/19	GW	
14			5	ISSUED FOR PERMIT.	NOV. 23/17	GW	
13			4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW	
12			3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	
11			2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	
10			1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description	date	by	no.	description	date	by

24488	Richard Vink	BCIN	42658	VA3 Design Inc.
255 Consumers Rd Suite 120	Toronto ON M2J 1R4	t 416.630.2255	f 416.630.4782	vo3design.com

project name	TRINAR HALL HOMES INC.	municipality	Town of EAST GWILLIMBURY	project no.	17026
date	AUG. 2017	checked by	scale	3/16" = 1'-0"	
drawn by	GW	file name	17026-GLENWAY-12A-036	drawing no.	A1a

BASEMENT PLAN - ELEV. 2

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3042 SF.



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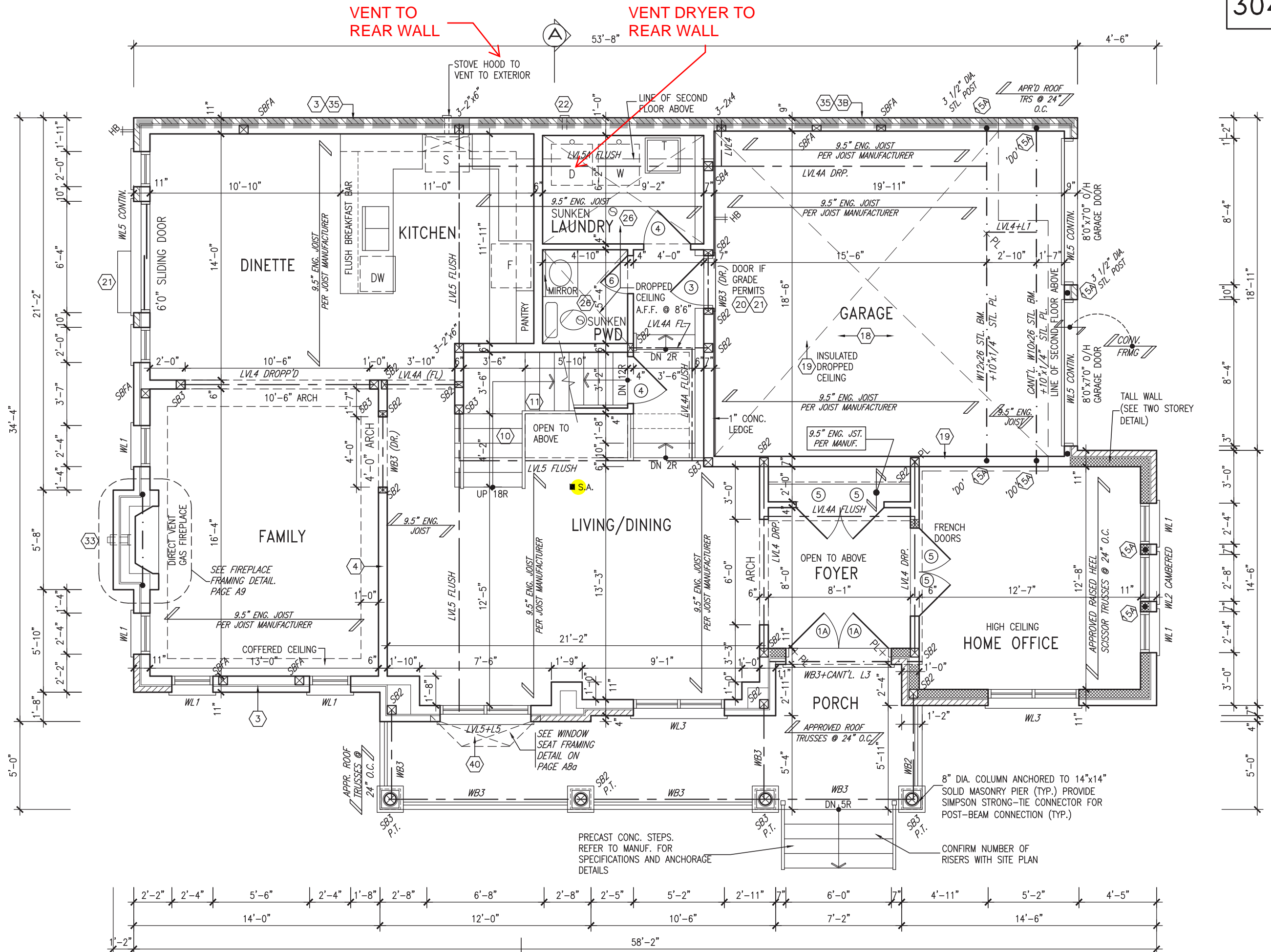
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GROUND FLOOR PLAN - ELEV. 2

GLENWAY 12A-036  
ENERGY STAR


18				9			
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no. description		date	by	no. description		date	by

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qualification information  
**Richard Vink** 24488  
signature  
name registration information  
**VA3 Design Inc.** 42658

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t 416.630.2255 f 416.630.4782  
va3design.com

 <b>Greenpark™</b>			— GLENWAY 12A	
project name <b>TRINAR HALL HOMES INC.</b>		municipality Town of EAST GWILLIMBURY		project no. <b>17026</b>
date <b>AUG. 2017</b>		GROUND FLOOR PLAN — ELEV. 2		
drawn by <b>GW</b>	checked by —	scale <b>3/16" = 1'-0"</b>	file name <b>17026—GLENWAY—12A—036</b>	<b>A2a</b>
GREG — H:\ARCHIVE\WORKING\2017\17026.GRE\UNITS\GLENWAY\GLENWAY—12A\17026—GLENWAY—12A—036.dwg — Tue — Dec 8 2020 — 3:59 PM				

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Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			





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GLENWAY 12A-036  
ENERGY STAR

18				9	.	.	.	The undersigned has reviewed and takes responsibility for this design	<div>VA3 DESIGN</div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.com</div>	<div></div> <div>- GLENWAY 12A</div>	project name <b>TRINAR HALL HOMES INC.</b>	municipality <b>Town of EAST GWILLIMBURY</b>	project no. <b>17026</b>
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no.	description	date	hw	no.	description	date	hw						

SECOND FLOOR PLAN - ELEV. 2

date  
AUG. 2017

checked by  
-

scale  
3/16" = 1'-0"

file name  
17026-GLENWAY-12A-036

drawing no.  
A3a

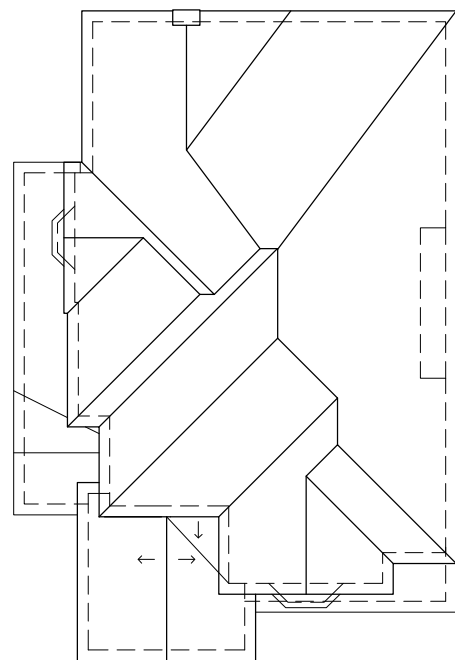
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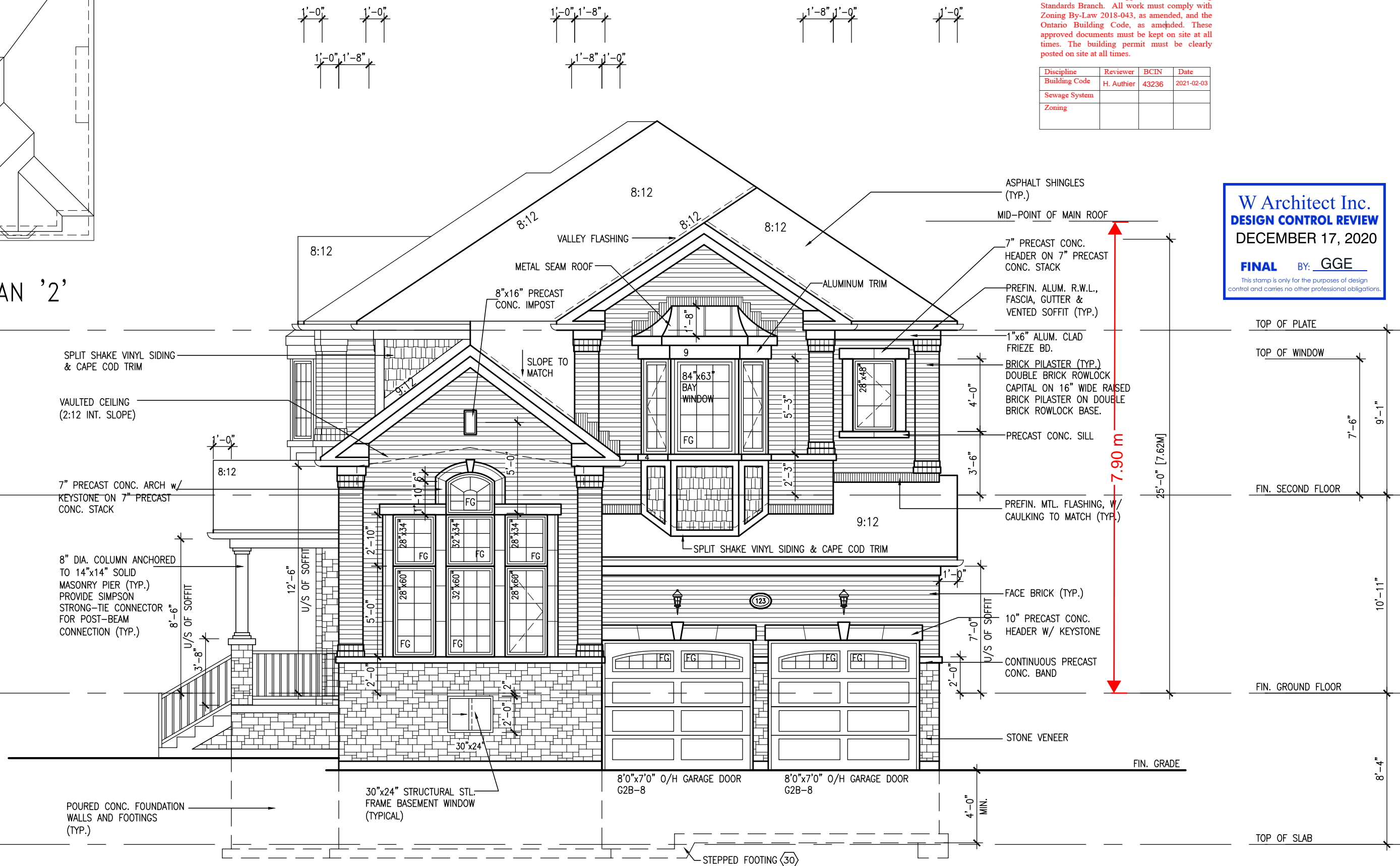
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

**W Architect Inc.**  
**DESIGN CONTROL REVIEW**  
**DECEMBER 17, 2020**  
**FINAL** BY: GGE  
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ROOF PLAN '2'




FRONT ELEVATION '2'


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3'-6" HIGH RAILING IF PORCH SLAB  
IS MORE THAN 5'-11" ABOVE FINISHED GRADE  
AND 3'-0" HIGH RAILING WHEN PORCH  
SLAB IS LESS THAN 5'-11" ABOVE  
FINISHED GRADE

18				9 .	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8 .	.	.	
16				7 CUSTOM PLAN PER PURCHASER.	DEC 8/20	GW	
15				6 E-STAR UPDATED.	JAN 31/19	GW	qualification information
14				5 ISSUED FOR PERMIT.	NOV. 23/17	GW	name  signature
13				4 ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW	registration information VA3 Design Inc.
12				3 REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	2448-801
11				2 REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT	4265-
10				1 ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW	
no.	description	date	by	no.	description	date	by

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 <b>Greenpark™</b>		— GLENWAY 12A	
project name <b>TRINAR HALL HOMES INC.</b>		municipality Town of EAST GWILLIMBURY	
date AUG. 2017		project no. 17026	
drawing no. 2		FRONT ELEVATION — ELEV. 2	
drawn by GW	checked by —	scale 3/16" = 1'-0"	file name 17026—GLENWAY—12A—036
<small>         G5FC - H:\ARCHIVE\WORKINGS\2017\17026.GRF\UNITS\GLENWAY\GLENWAY-12A\17026-GLENWAY-12A-036.dwg - Tue - Dec 8, 2020 - 3:59 PM       </small>			

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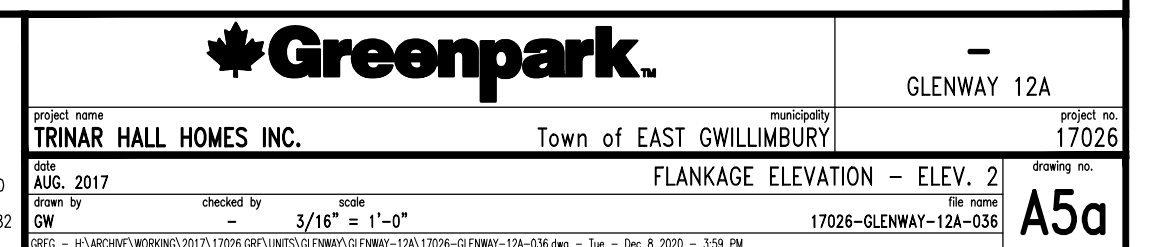


Town of  
**East Gwillimbury**  
Building Standards Branch BCIN #16487

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

### BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE)

#### 45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH INSULATION CONFORMING TO CAN/ULC-S702, "MINERAL FIBRE THERMAL INSULATION FOR BUILDINGS" WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

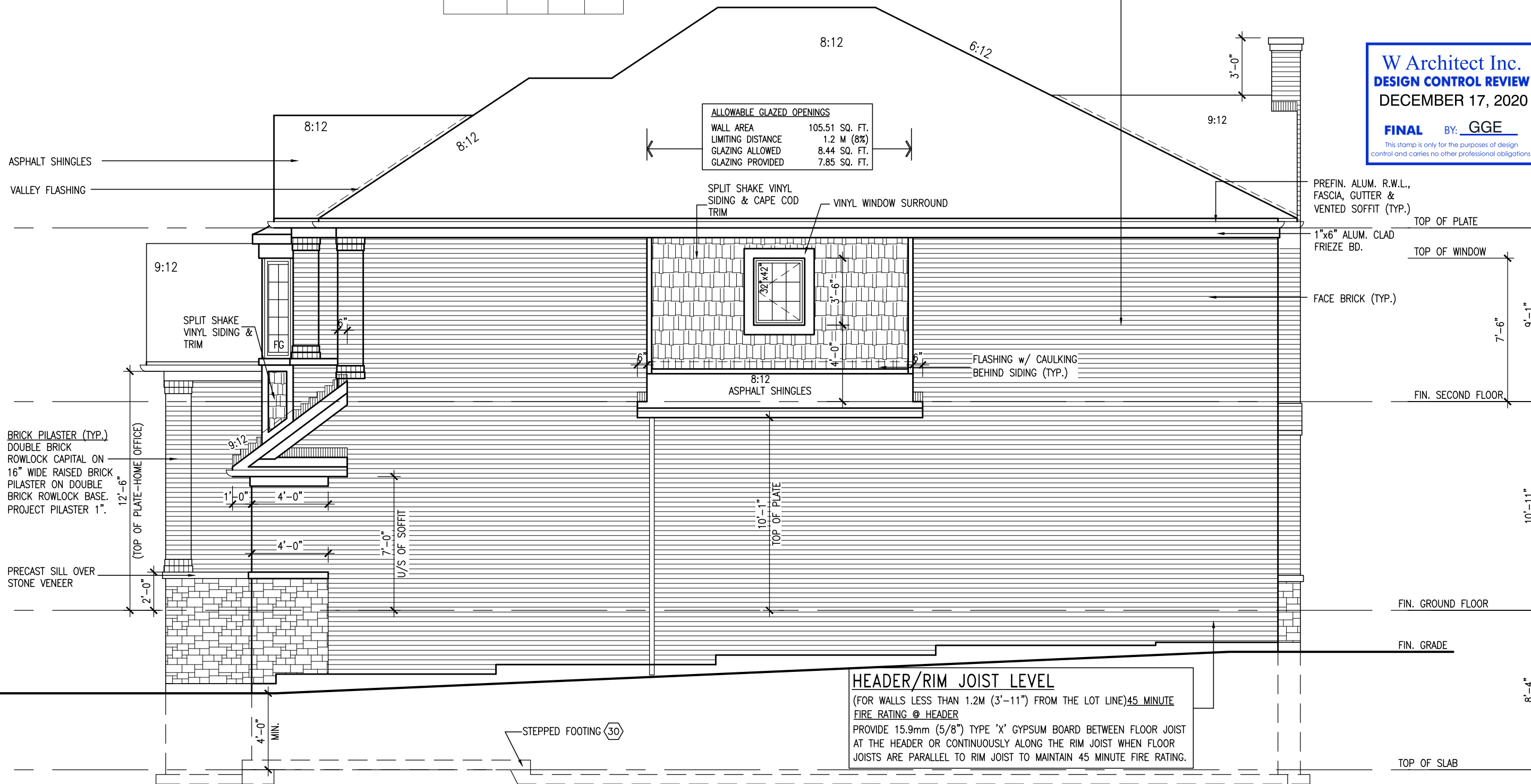
(REFER TO SECTION SB-2 OF OBC 2012-SUPPLEMENTARY STANDARDS)

3042 SF.

W Architect Inc.  
DESIGN CONTROL REVIEW  
DECEMBER 17, 2020

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RIGHT SIDE ELEVATION - ELEV. '2'

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### HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2M (3'-11") FROM THE LOT LINE) 45 MINUTE

#### FIRE RATING @ HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

GLENWAY 12A-036  
ENERGY STAR

18			9		
17			8		
16			7	CUSTOM PLAN PER PURCHASER.	DEC. 8/20 GW
15			6	E-STAR UPDATED.	JAN. 31/19 GW
14			5	ISSUED FOR PERMIT.	NOV. 23/17 GW
13			4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17 GW
12			3	REV. PER CLIENT COMMENTS.	SEP. 05/17 GW
11			2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17 WT
10			1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17 GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24488
signature	BCIN
name	
registration information	
VA3 Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	



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va3design.com



project name	TRINAR HALL HOMES INC.	municipality	Town of EAST GWILLIMBURY	project no.	17026
date	AUG. 2017	checked by	scale	RIGHT SIDE ELEVATION - ELEV. 2	drawing no.
drawn by	GW		3/16" = 1'-0"	17026-GLENWAY-12A-036	A6a
GREG - H:\ARCHIVE\WORKING\2017\17026.GRE\UNITS\GLENWAY\GLENWAY-12A\17026-GLENWAY-12A-036.dwg - Tue - Dec 8 2020 - 3:59 PM					

3042 SF.



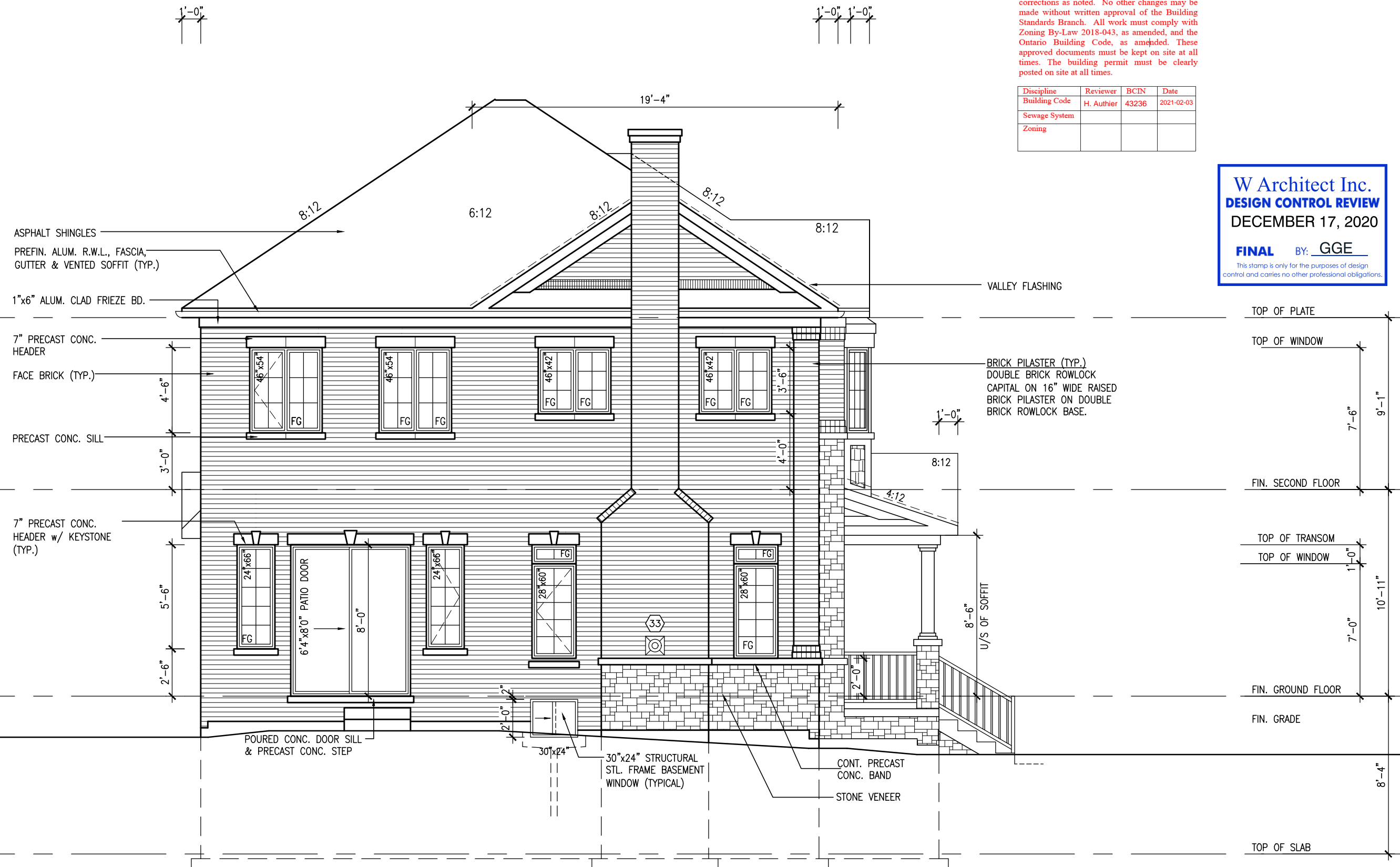
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-04
Sewage System			
Zoning			

W Architect Inc.  
DESIGN CONTROL REVIEW  
DECEMBER 17, 2020

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REAR ELEVATION '2'

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GLENWAY 12A-036  
ENERGY STAR

18				19	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	<div>VA3 DESIGN</div> <div>255 Consumers Rd Suite 120 Toronto ON M2J 1R4 t 416.630.2255 f 416.630.4782 va3design.ca</div>	<div></div> <div>GLENWAY 12A</div>	project name <b>TRINAR HALL HOMES INC.</b>	municipality <b>Town of EAST GWILLIMBURY</b>	project no. <b>17026</b>	drawing no. <b>A7a</b>
17				8	.	.	.							
16				7	CUSTOM PLAN PER PURCHASER.	DEC 8/20	GW	qualification information						
15				6	E-STAR UPDATED.	JAN 31/19	GW	<b>Richard Vink</b> <b>24488</b>						
14				5	ISSUED FOR PERMIT.	NOV. 23/17	GW	name <i>R Vink</i> signature BCIN						
13				4	ROOF SLOPE OVER OTB CHANGED TO 8:12.	OCT. 04/17	GW	registration information <b>VA3 Design Inc.</b> <b>42658</b>						
12				3	REV. PER CLIENT COMMENTS.	SEP. 05/17	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	date <b>AUG. 2017</b>	checked by <b>GW</b>	scale <b>3/16" = 1'-0"</b>	file name <b>17026-GLENWAY-12A-036</b>	<b>REAR ELEVATION - ELEV. 2</b>	
11				2	REVISED AS PER CLIENT COMMENTS.	AUG. 30/17	WT							
10				1	ISSUED FOR CLIENT REVIEW.	AUG. 14/17	GW							
no. description				no. description	date	bv								

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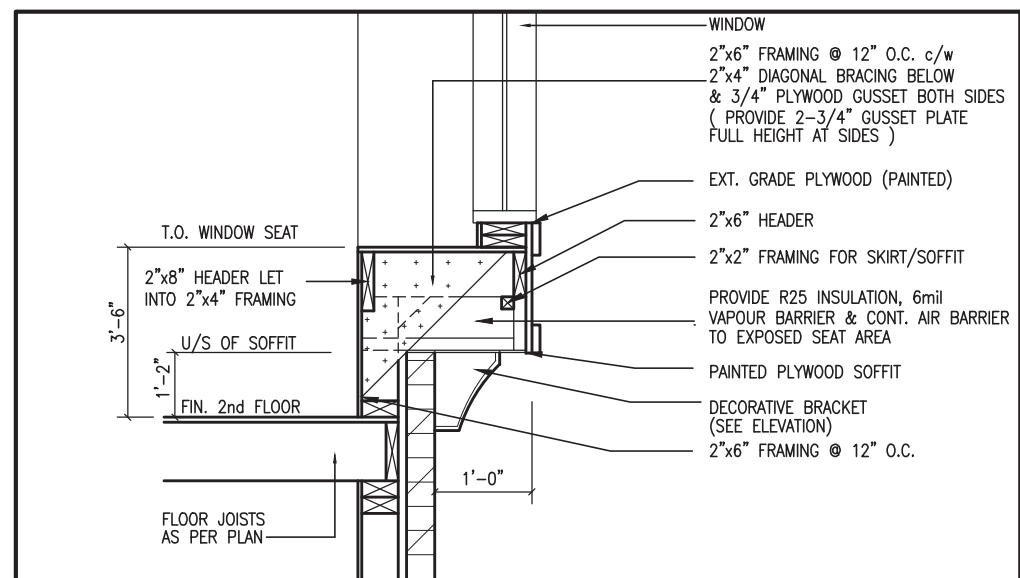


3042 SF.

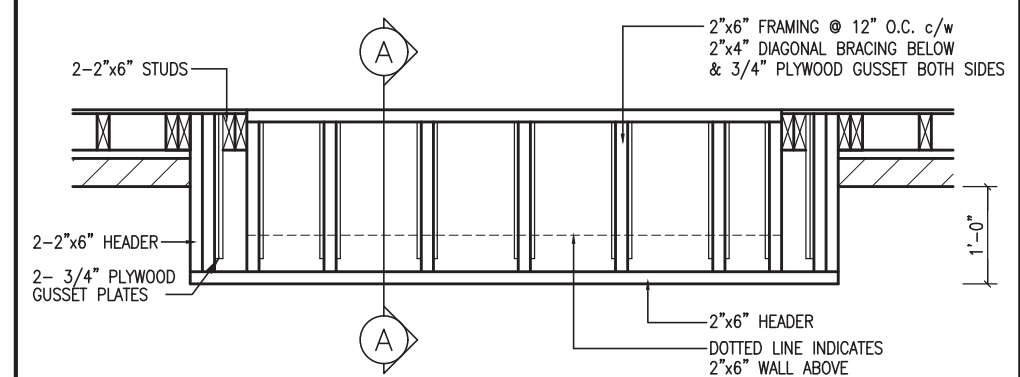


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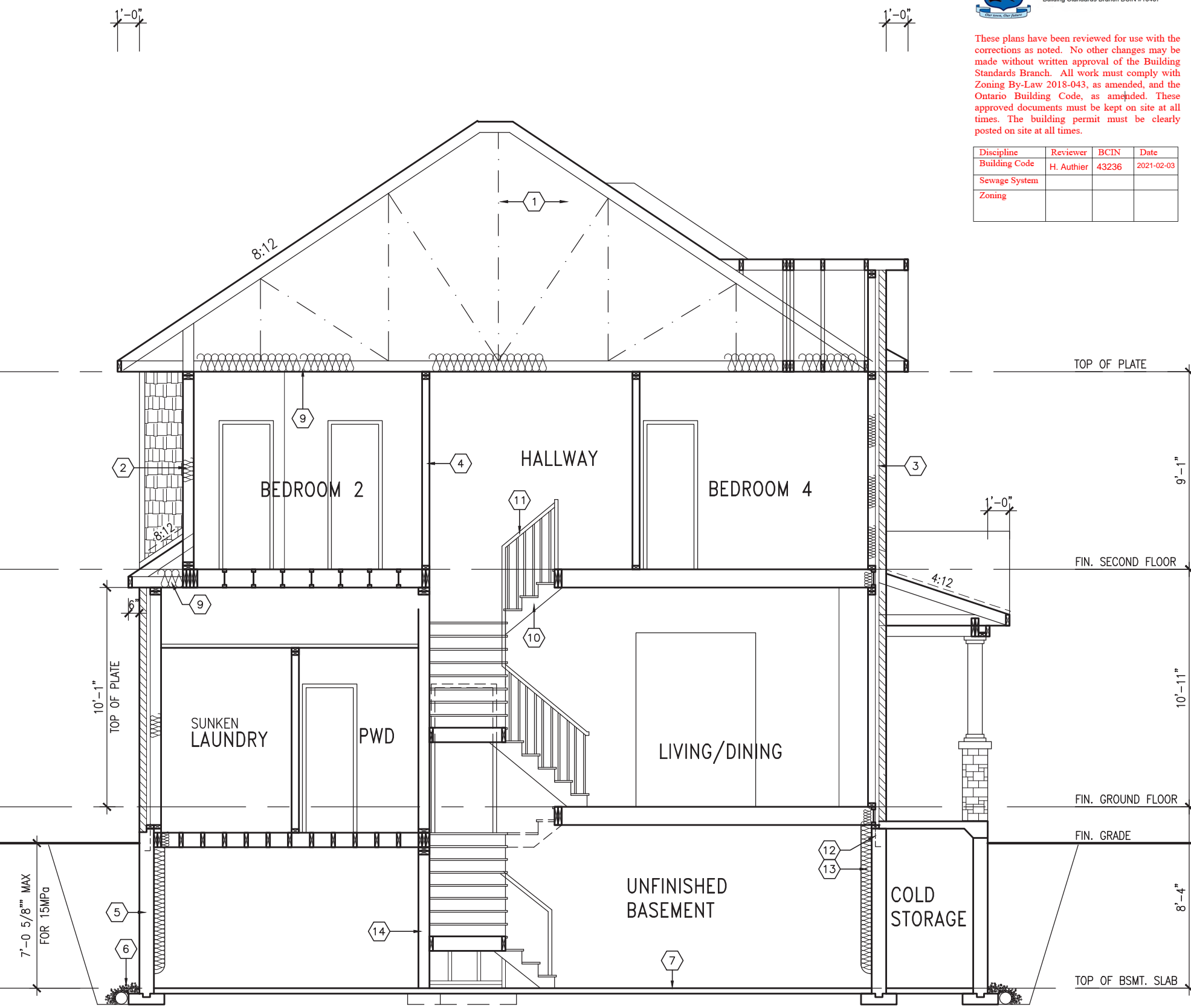
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



SECTION A-A THRU WINDOW SEAT  
SCALE: NTS



WINDOW SEAT FRAMING PLAN  
SCALE: NTS



SECTION A-A ELEVATION '2'

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18			9		
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**Richard Vink** 24488  
signature  
name registration information  
VA3 Design Inc. 42658  
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t 416.630.2255 f 416.630.4782  
va3design.com

project name  
**TRINAR HALL HOMES INC.**

date  
**AUG. 2017**

drawn by  
**GW**

checked by  
**3/16" = 1'-0"**

scale  
**3/16" = 1'-0"**

file name  
**17026-GLENWAY-12A-036**

project no.  
**17026**

drawing no.  
**A8a**

**GLENWAY 12A-036**  
**ENERGY STAR**

**SECTION A-A - ELEV. 2**

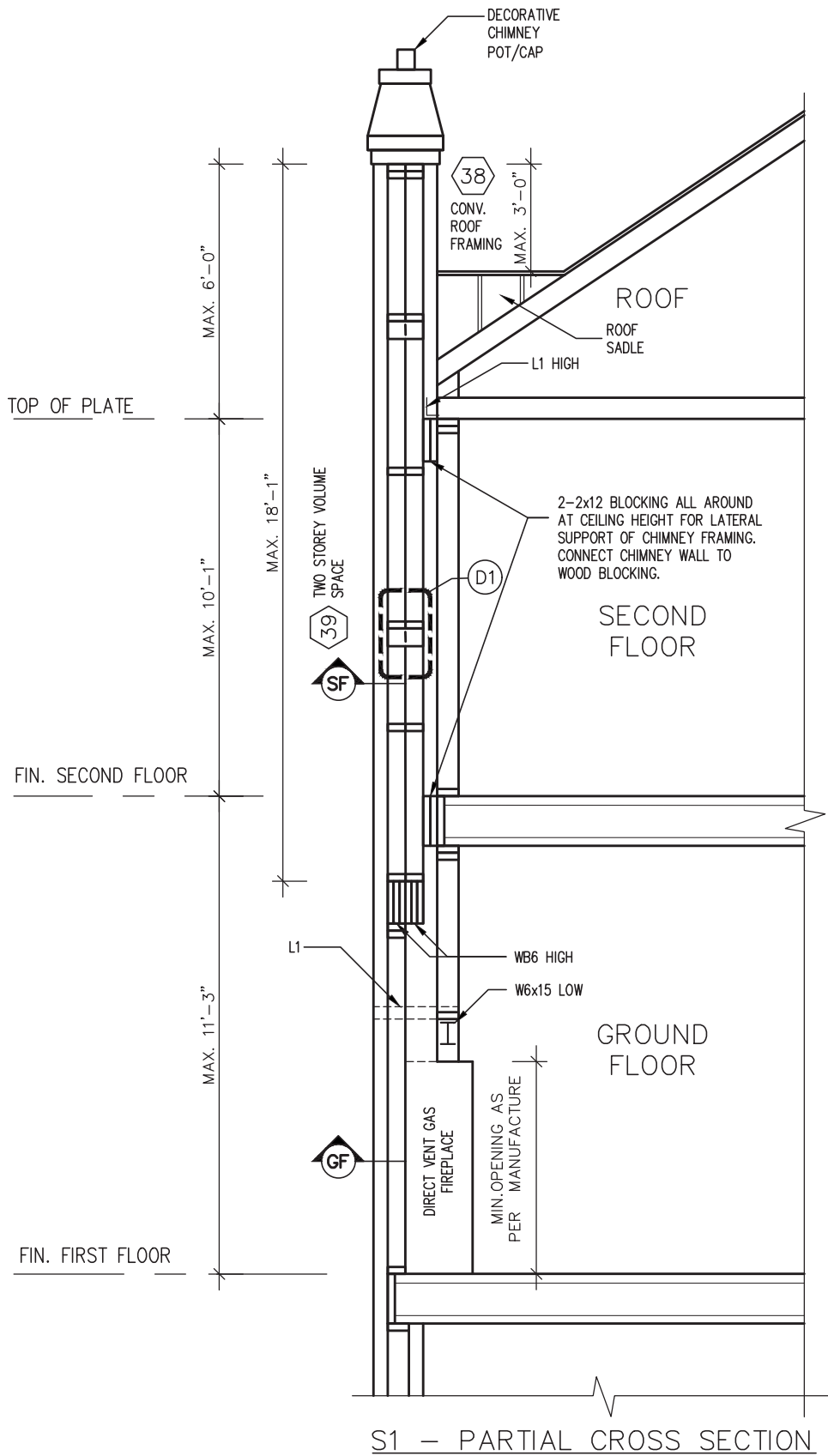
**Town of EAST GWILLIMBURY**

3042 SF.

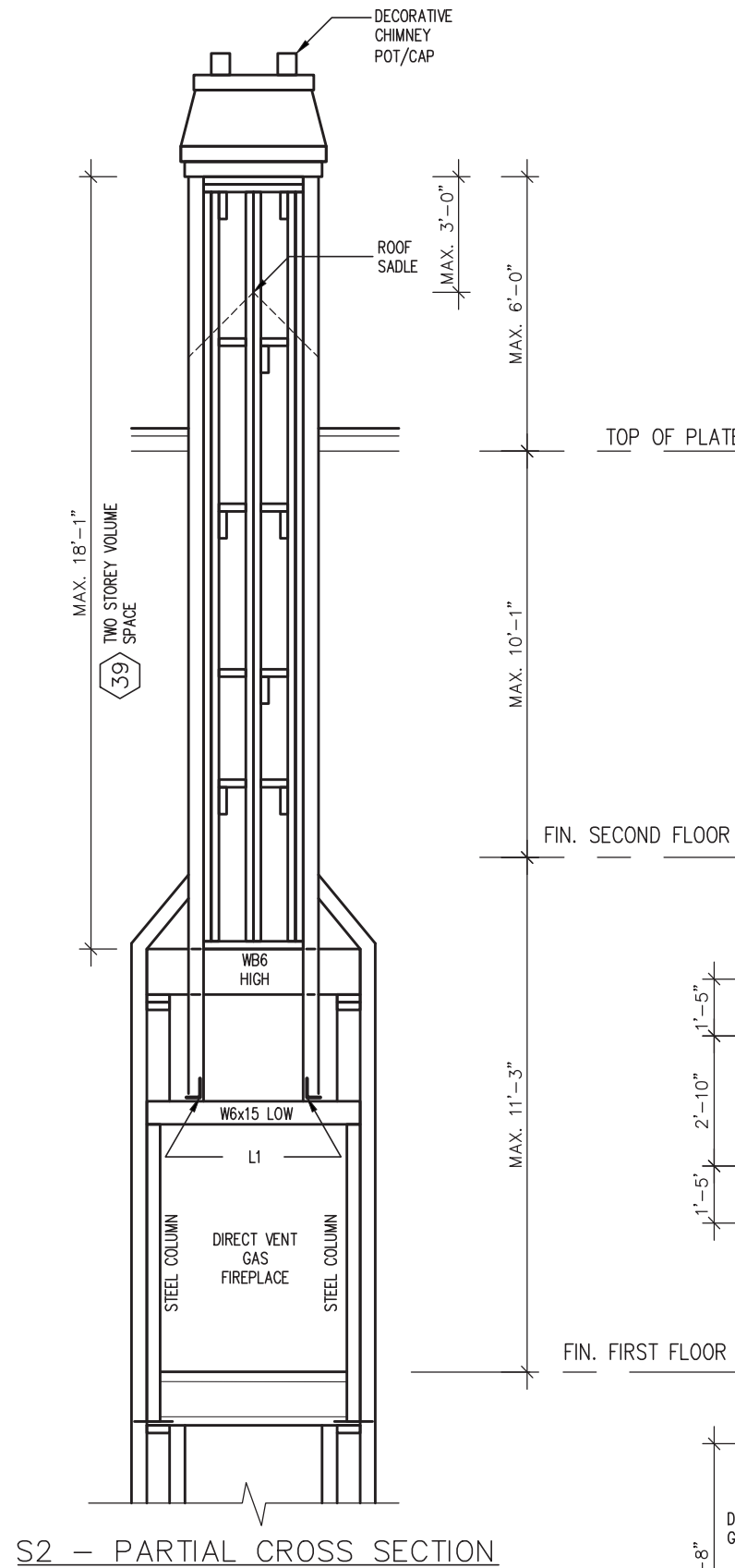


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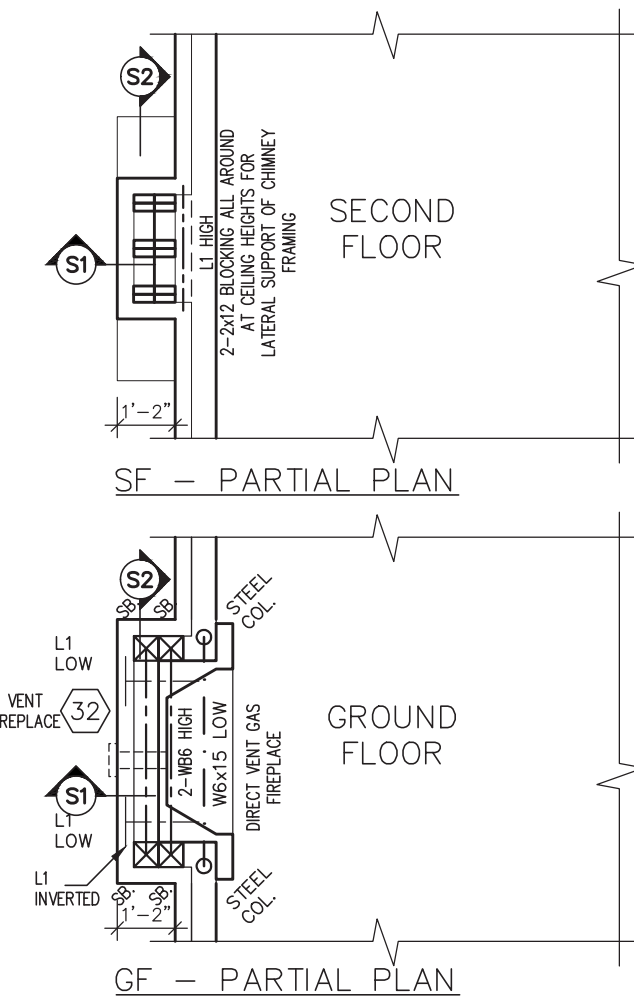
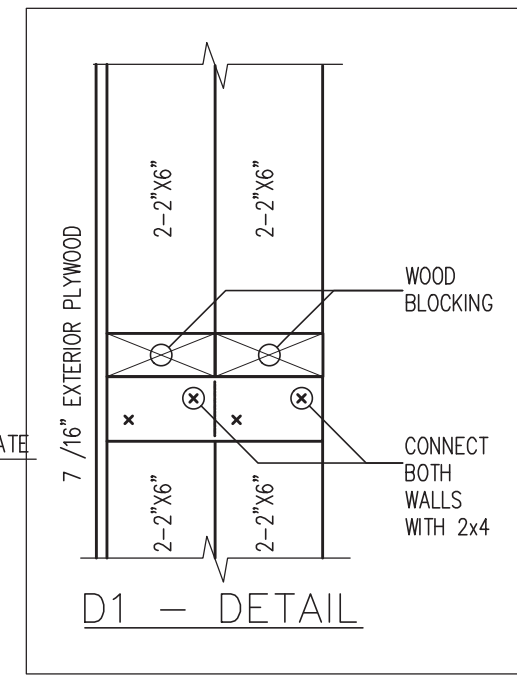
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



S1 - PARTIAL CROSS SECTION



S2 - PARTIAL CROSS SECTION



NOTES:

- 32 DIRECT VENT GAS FIREPLACE  
DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE.
- 38 CONVENTIONAL ROOF FRAMING  
(\*SEE OBC 9.2.3.4.2.(1))  
FOR MAX. 2240mm (7'-4") SPAN, 38x89 (2"x4") RAFTERS @400mm (16") o.c.. FOR MAX. 3530mm (11'-7") SPAN, 38x140 (2"x6") RAFTERS @400mm (16") o.c.. RIDGE BOARD TO BE 51mm (2") DEEPER. 38x39 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") o.c. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @600mm (24") o.c. WITH A 38x89 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @1800mm (6'-0") o.c. VERTICALLY.
- 39 TWO STOREY VOLUME SPACES  
FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. 7/16" EXT. PLYWOOD.

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GLENWAY 12A-036  
ENERGY STAR

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15			6	E-STAR UPDATED.	JAN. 31/19	GW	signature
14			5	ISSUED FOR PERMIT.	NOV. 23/17	GW	name
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project name	TRINAR HALL HOMES INC.	municipality	Town of EAST GWILLIMBURY	project no.	17026
date	AUG. 2017	checked by	scale	3/16" = 1'-0"	
drawn by	GW	file name	17026-GLENWAY-12A-036	drawing no.	A9
GREG - H:\ARCHIVE\WORKING\2017\17026.GRE\UNITS\GLENWAY\GLENWAY-12A\17026-GLENWAY-12A-036.dwg - Tue - Dec 8 2020 - 3:59 PM					

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