

WINDOWS -
CANADA ZONE C

- (1) MINIMUM BEDROOM WINDOW (*OBC 9.9.10.1.)
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS
TO HAVE MIN. 0.35m² (3.8 SQ.FT.) UNOBSTRUCTED GLAZED
OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3")
GLASS AREA NOT MORE THAN 17% OF GROSS
PERIPHERAL WALL AREA.
MAXIMUM U-VALUE 1.61 & MIN ER-VALUE 29
- (2) WINDOW GUARDS (*OBC 9.8.8.1(6))
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW
SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN.
FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE
ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

GENERAL:

- (1) MECHANICAL VENTILATION
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3
AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS.
SEE MECHANICAL DRAWINGS.
- (2) REINFORCEMENT FOR GRAB BARS (*OBC 9.5.2.3.)
REINFORCEMENT OF STUD WALLS FOR FUTURE GRAB
BARS SHALL BE INSTALLED ADJACENT TO WATER
CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.
SEE DETAIL.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE-PINE-FIR No.1&2 GRADE,
UNLESS NOTED OTHERWISE.
- 2) LUMBER EXPOSED TO THE EXTERIOR TO BE
SPRUCE-PINE-FIR No.1&2 GRADE PRESSURE TREATED OR
CEDAR, UNLESS NOTED OTHERWISE.
- 3) ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER
CONNECTIONS SUPPORTING ROOF FRAMING TO BE
DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 4) LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi
MIN.) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 8dmm
(3-1/2") LONG COMMON WIRE NAILS @ 300mm (12") o.c.
STAGGERED IN 2 ROWS FOR 184, 240, & 300mm
(7-1/4", 9-1/2", 11-1/8") DEPTHS AND STAGGERED IN 3 ROWS
FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD
1/2" (13mm) DIA. GALVANIZED BOLTS BOLTED AT
MID-DEPTH OF BEAM @ 915mm (3'-0") o.c.
- 5) PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVL BEAM
TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 6) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND
BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP
WOOD MEMBERS.
- 7) WOOD FRAMING NOT TREATED WITH A WOOD
PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE
SEPARATED FROM THE CONC. BY AT LEAST 2mm.
POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR
OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE
WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE
GROUND.

STEEL:

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS
SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350M.

REINFORCING STEEL SHALL CONFORM TO CSA-G30-10M
GRADE 400R.

STABILITY OF NARROW (20'-25')
& TALL (±30') HOUSES

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING
TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.
FURTHER RECOMMENDATIONS:

- 1) REDUCE THE FOUNDATION WALL SILL PLATE ANCHOR
BOLT SPACING FROM 2400mm o.c. (7'-10") TO 1220mm o.c.
(4'-0") FOR STANDARD CONDITIONS.
- 2) USE 9.5mm (3/8") THICK PLYWOOD OR WAFFERBOARD FOR
THE EXTERIOR WALL SHEATHING.
- 3) TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION
USE 9.5mm (3/8") THICK PLYWOOD NAILED TO THE
INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2
INTERIOR PARTITION WALLS ON BOTH SIDES AND
PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (100x90x6.OL) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.OL) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.OL) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.OL) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.OL) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.OL) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x238 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x238 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB8 = 4-2"x10" SPR. No.2 (4-38x238 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (100x90x6.OL)
L2 = 4"x3-1/2"x5/16"L (100x90x8.OL)
L3 = 5"x3-1/2"x5/16"L (125x90x8.OL)
L4 = 6"x3-1/2"x3/8"L (150x90x10.OL)
L5 = 6"x4"x3/8"L (150x100x10.OL)
L6 = 7"x4"x3/8"L (175x100x10.OL)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

1 = 2'-0" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

LEGEND

DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
GT	GIRDER TRUSS
	POINT LOAD
	SOLID WOOD BEARING. SOLID BEARINGS TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.
	LOAD-BEARING WALL
	TWO-STOREY WALL. SEE NOTE 39
	FLAT ARCH
F.D.	FLOOR DRAIN
SA	SMOKE ALARM. SEE NOTE 43
SA & CO	SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE 44



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corrections as noted. No other changes may be
made without written approval of the Building
Standards Branch. All work must comply with
Zoning By-Law 2018-043, as amended, and the
Ontario Building Code, as amended. These
approved documents must be kept on site at all
times. The building permit must be clearly
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Seismic System			
Zoning			



FEB 4 2019

ENERGY STAR V-17 ESCC MODEL



PROJECT NAME
STANDARD NOTES - 2016
TRINAR HALL HOMES INC.

5.	REVISIONS
4.	
3.	
2.	
1.	REVISED FOR SECONDO VALES ESTATE INC. JAN 18

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
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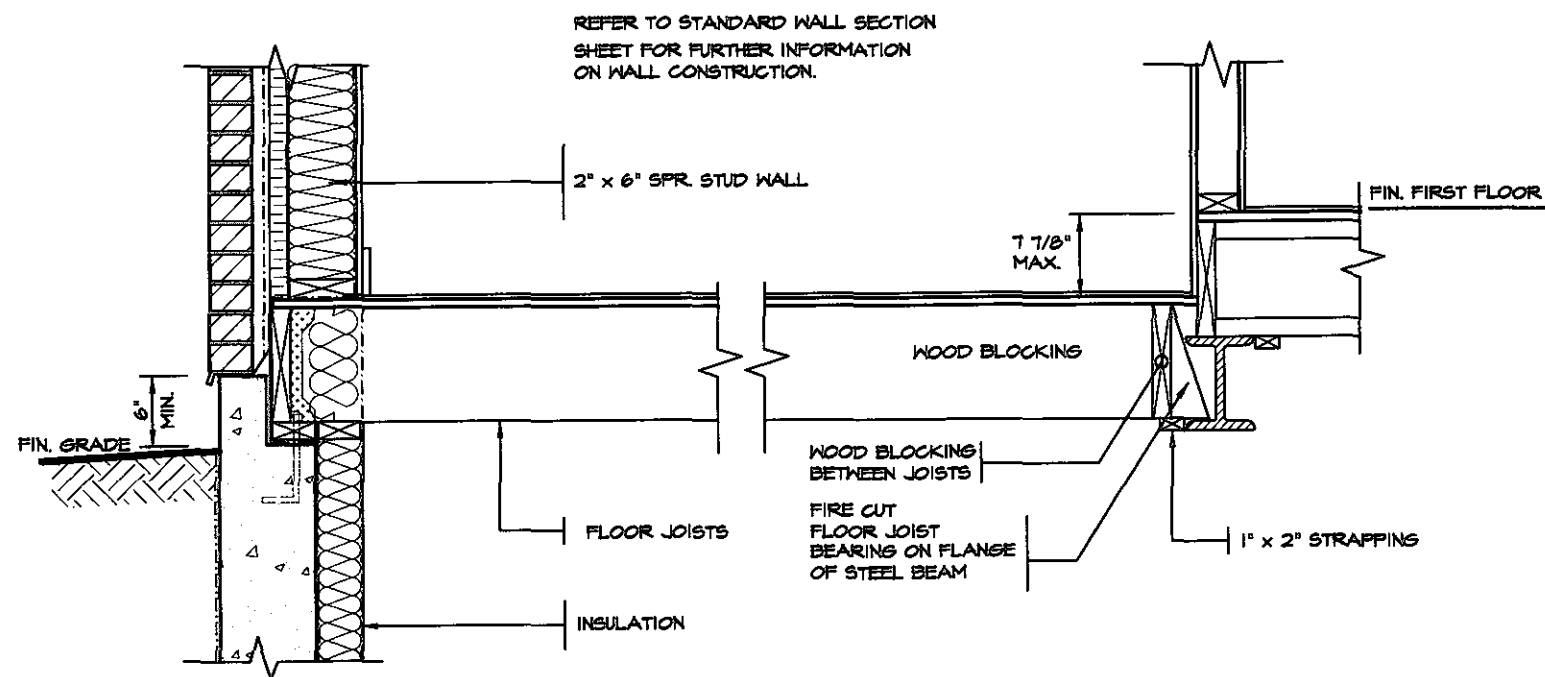
REGION
DESIGN
INC.

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

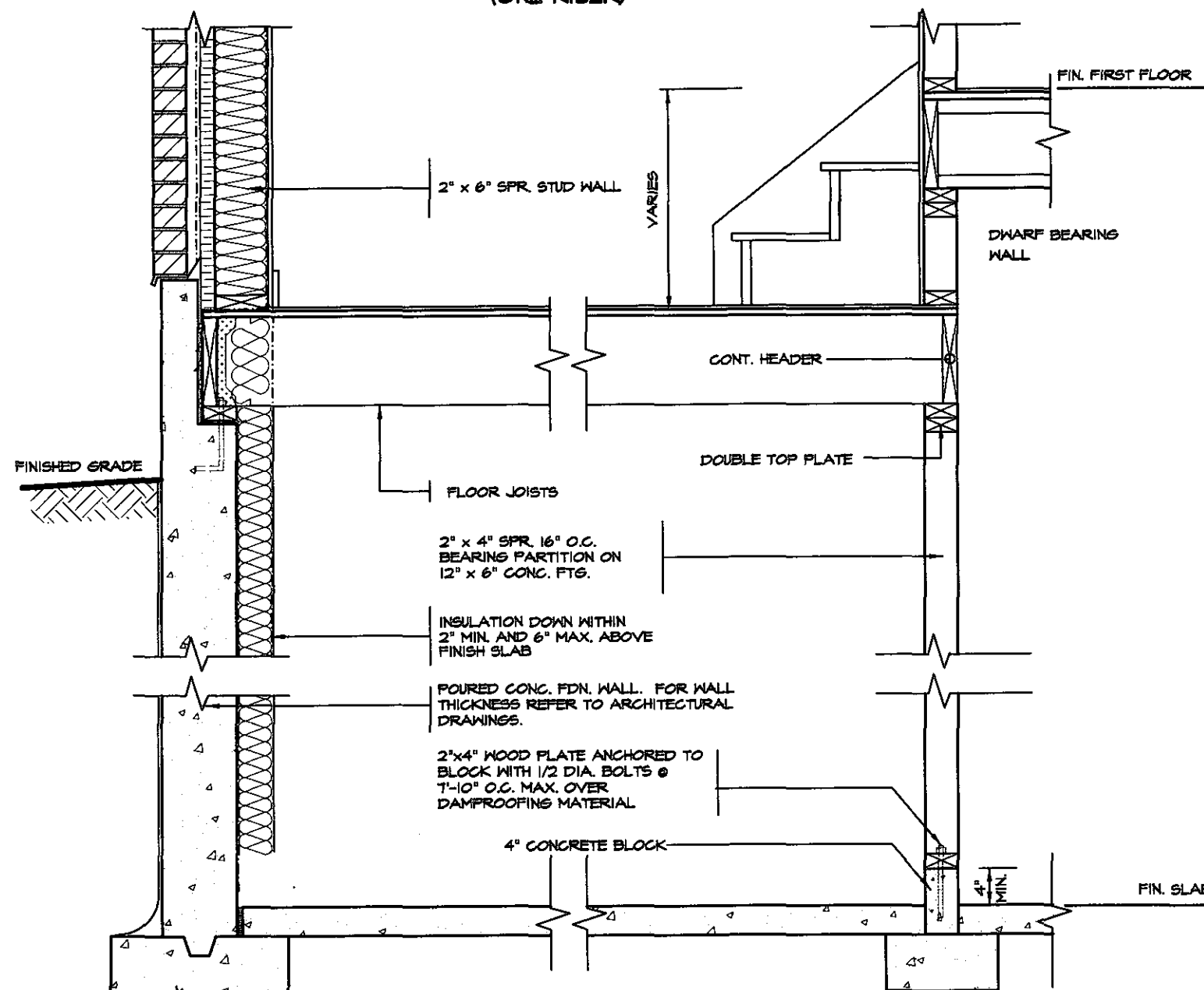
SCALE N.T.S. BY
DATE NOV 2016 TYPE

AREA
PROJECT 00-00-00
PAGE No.
2

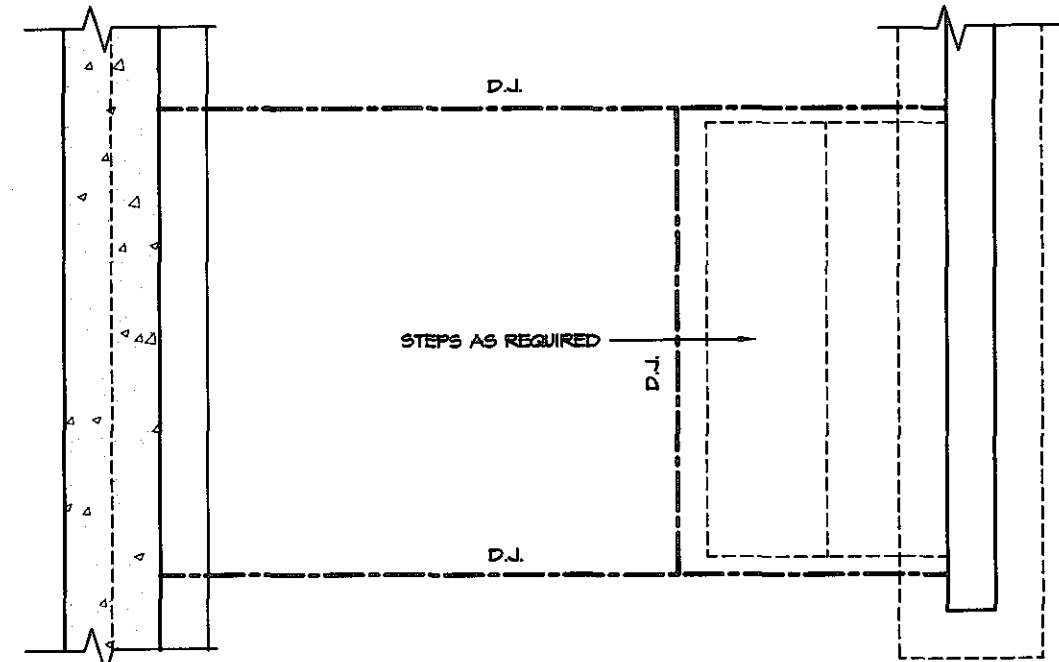
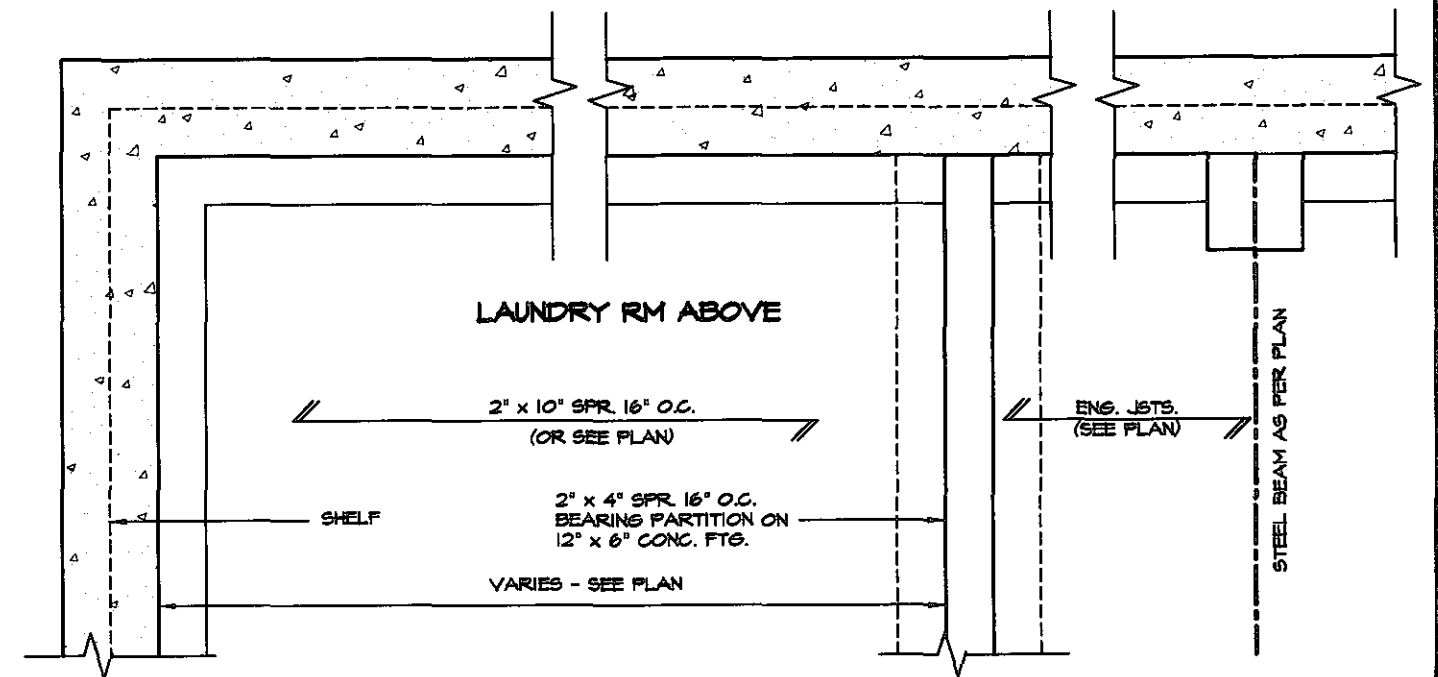
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**DETAIL OF SUNKEN LAUNDRY
(ONE RISER)**



**DETAIL OF SUNKEN LAUNDRY
(MORE THAN ONE RISER)**

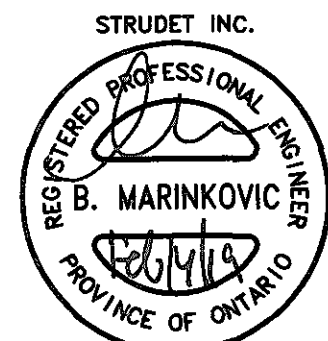


PARTIAL PLAN



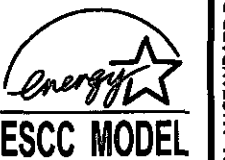
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME SIGNATURE

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**REGION
DESIGN
INC.**

SHEET TITLE SUNKEN LAUNDRY DETAILS	
SCALE 3/4"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No. 4
PROJECT	

Greenpark.
PROJECT NAME
**STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.**

EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'H' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x5" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

CONVENTIONAL ROOF RAFTERS AND CEILING JOISTS OR ROOF TRUSSES @ 24" o.c. MAX.

CEILING JOISTS (SEE PLAN)

TOP OF WOOD PLATE

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-60 INSULATION

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

2"x6" BOTTOM PLATE

LAP VAPOUR AND AIR BARRIER 4" AND SECURE TO PLATE

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

PARALLEL JOISTS, WOOD BLOCKING AS PER MANUFACTURER

FLOOR JOISTS SEE PLAN

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 1/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

1" AIR SPACE

#15 BUILDING PAPER OVER MIN. R-5 RIGID INSULATION, 2"x6" SFR. STUDS @ 16" c. FILLED WITH MIN. R-22 BATT INSULATION (TOTAL MIN. R-27) AND 6 MIL. POLY VAPOUR BARRIER

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

SCREENED WEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH WEEPING AND 6" UP BEHIND BUILDING PAPER

FIN. GRADE

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. WEEPING TILES W/6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING CAN FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

CAULK OR SEAL WITH GASKET AIR BARRIER SECURED TO PLATE

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

R-20 INSULATION DOWN WITHIN 2" MIN. AND 6" MAX. ABOVE FINISH SLAB WITH MOISTURE & VAPOUR BARRIER SEALED AT TOP & BOTTOM

POURED CONC. FDN. WALL. FOR WALL THICKNESS SEE ARCHITECTURAL DRAWINGS.

CONTINUOUS WATERSTOP (BITUMEN CAULKING)

3" CONCRETE SLAB 25 MPa ON 4" MIN. COMPACT GRAVEL

FINISHED SLAB

DETAIL FOR INTERIOR GARAGE WALLS & CEILINGS

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-31 INSULATION (DRYWALL ON THE CEILING ONLY WHEN THERE IS NO SECOND FLOOR ABOVE GARAGE)

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

GARAGE

#15 BUILDING PAPER OVER MIN. R-5 RIGID INSULATION, 2"x6" SFR. STUDS @ 16" c. FILLED WITH MIN. R-22 BATT INSULATION (TOTAL MIN. R-27) AND 6 MIL. POLY VAPOUR BARRIER

1/2" GYPSUM BOARD CEILING FINISH

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

WALL FLASHING

WEEP HOLES

26" MAX FOR 8" CONCRETE WALL

SLOPE

FIN. GRADE

PROTECTION REQ'D FOR FRAMING MEMBERS

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

DOVE TAIL TIES @8" o.c. VERT. & 36" o.c. HORIZ.

SOLID MORTAR FILL

8" FOUNDATION WALL WHEN VENEER CUT IS EQUAL OR LESS THAN 26". 10" FOUNDATION WALL WHEN VENEER CUT IS MORE THAN 26".

DETAIL FOR CONCRETE VENEER DROPPED GRADE

EVERY OTHER BRICK IS OMITTED TO TIE IN CONC SLAB MIN. 4" INTO FOUND. WALL

WALL FLASHING

WEEP HOLES

CAULKING

SLOPE

5" MIN. REINF. CONC. PORCH SLAB. SEE ARCHITECTURAL DRAWINGS.

3" MIN. BEARING

R-20 INSULATION

FOUNDATION WALL

COLD CELLAR

DETAIL FOR COLD CELLAR PORCH SLAB

STRUDET INC.



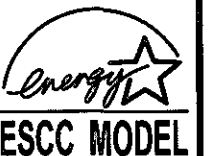
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Seepage System			
Zoning			

FEB 14 2019



5.	
4.	
3.	
2.	
1.	REVISED FOR TRINAR HALL HOMES INC. JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

SIGNATURE

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**REGION
DESIGN
INC.**

SHEET TITLE 2 STOREY SECTION 2"x6" BRICK VENEER ENERGY STAR	
SCALE 3/4"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA	PAGE No.
PROJECT	5

Greenpark™
PROJECT NAME
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.

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210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'M' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x6" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

1 1/2"x6" RAISED STUCCO FRIEZE BOARD (TYP.)

MESH BACKWRAPPED

- FIN. COAT OF EXTERIOR ACRYLIC STUCCO
- FIBER MESH EMBEDDED IN PREP COAT
- INSULATION BOARD (MIN. R5) W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"
- AIR/MOISTURE BARRIER
- 1/16" EXTERIOR GRADE OSB SHEATHING
- 2" X 6" STUDS
- MIN. R-22 BATT INSULATION
- CONT. VAPOUR / AIR BARRIER
- 1/2" DRYWALL

(EIFS APPROVED SYSTEM, ALL MATERIALS AND SYSTEMS SHALL CONFORM TO CANULC-5716.1)

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF TRUSSES @ 24" o.c. MAX. RAISED HEEL TO MATCH PLATE

TOP OF WOOD PLATE

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-60 INSULATION

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

2"x6" BOTTOM PLATE

LAP VAPOUR AND AIR BARRIER 4" AND SECURE TO PLATE

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

PARALLEL JOISTS: WOOD BLOCKING AS PER MANUFACTURER

FLOOR JOISTS SEE PLAN

1/2" GYPSUM BOARD CEILING FINISH

SINGLE CONT. TIMBERSTRAND

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

SINGLE CONTIN. TIMBERSTRAND

FIN. FLOORING ON 3/4" T&G PLYWOOD

FINISHED FIRST FLOOR

CONCRETE SILL

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 1/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

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HEAVY COAT OF BITUMEN OVER CONC. WALL

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CEMENT COVE

4" DIA. KEEPING TILES W/ 6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING C/M FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

STRUDET INC.



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Sewage System			
Zoning			

WOOD SHEATHING

AIR/MOISTURE BARRIER

FIBRE MESH EMBEDDED IN PREP COAT

INSULATION BOARD (R-5) MIN W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"

STARTER MESH (BACKWRAPPED)

CAULK WITH BEAD VENT

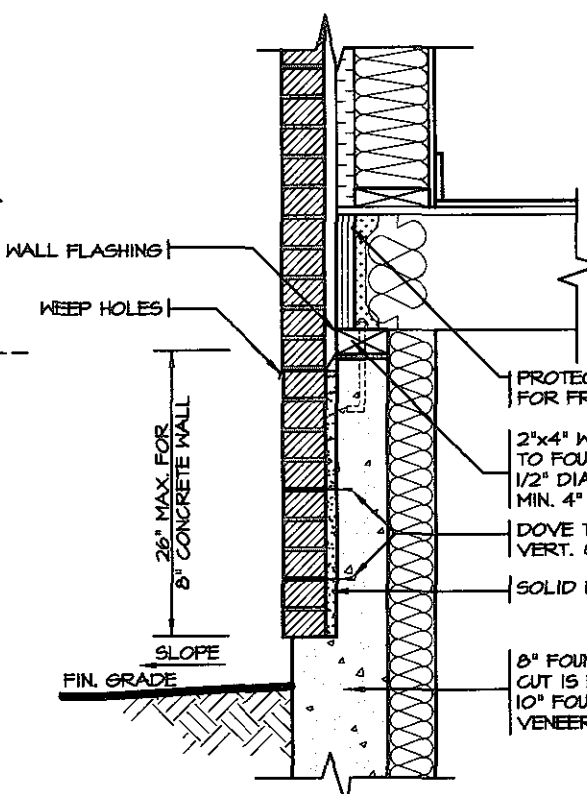
FLASHING

CONCRETE SILL

MASONRY CLADDING AS PER ELEVATION

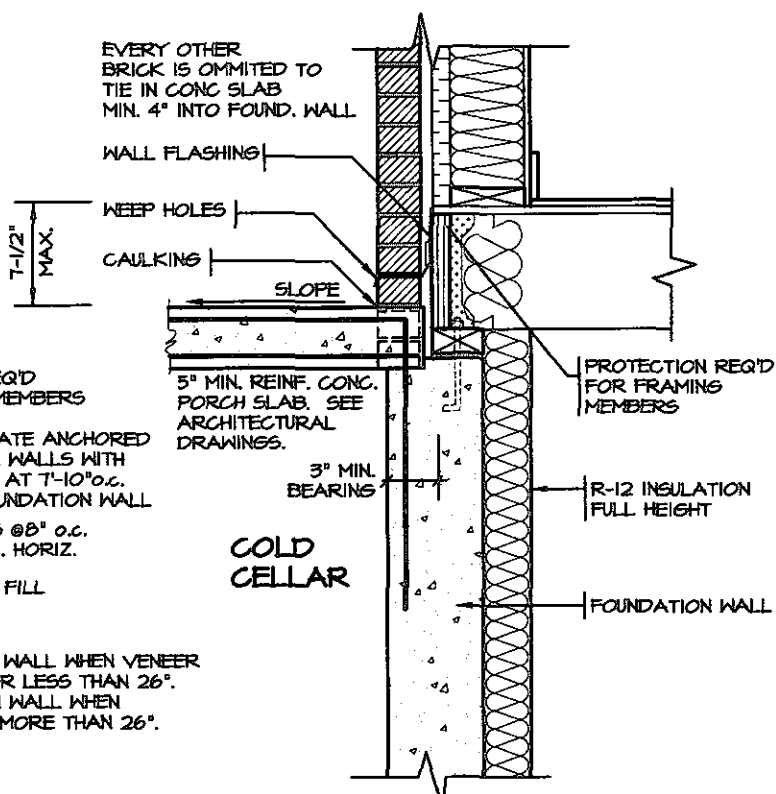
A. TERMINATION AT MASONRY CLADDING WITH SEALANT 1

1 1/2" = 1'0"



DETAIL FOR CONCRETE VENEER DROPPED GRADE

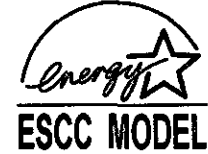
3/4" = 1'0"



DETAIL FOR COLD CELLAR PORCH SLAB

3/4" = 1'0"

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
2"X6" STUCCO WALL
2 STOREY SECTION

SCALE
AS NOTED

DATE
NOV 2016

BY
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

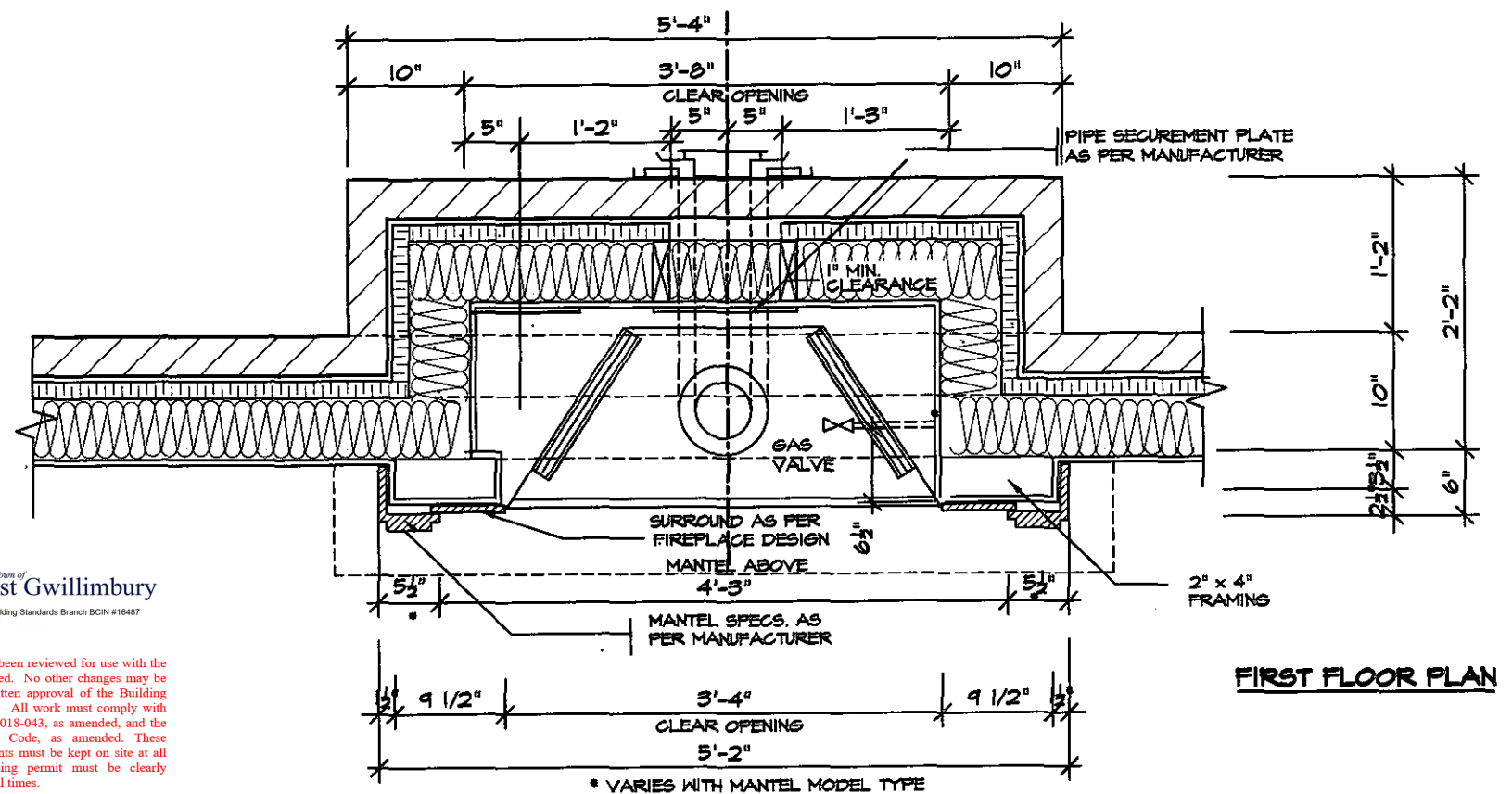
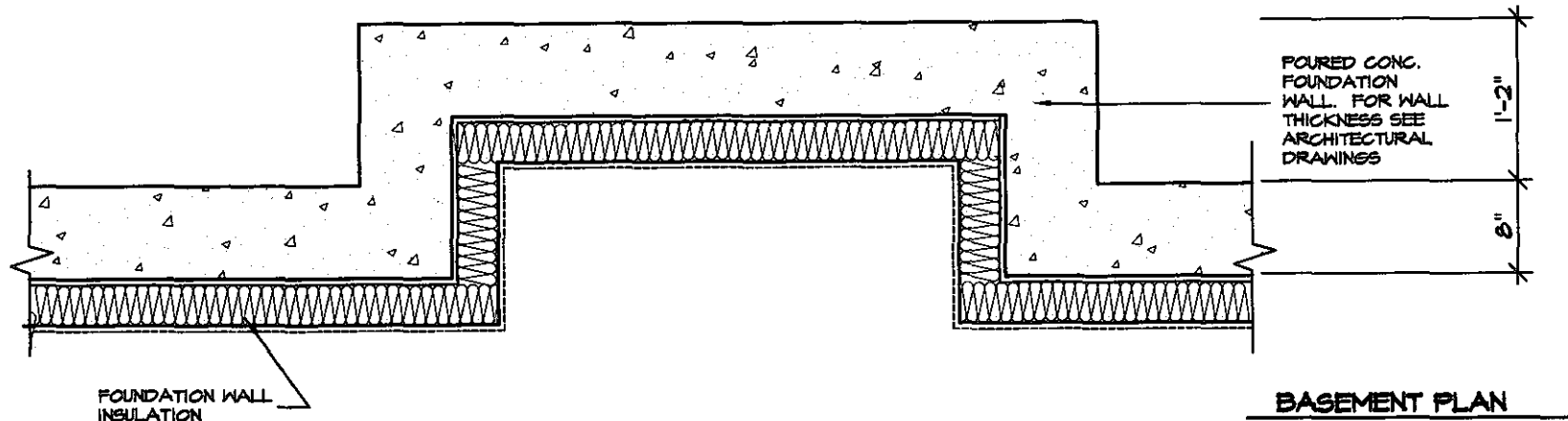
AREA
PAGE No.
5-2

PROJECT
00-00-00

Greenpark

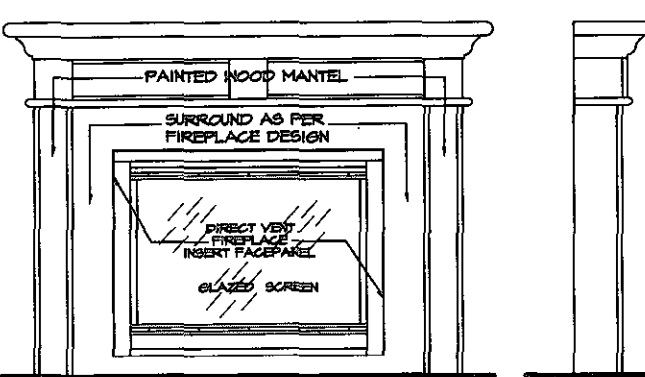
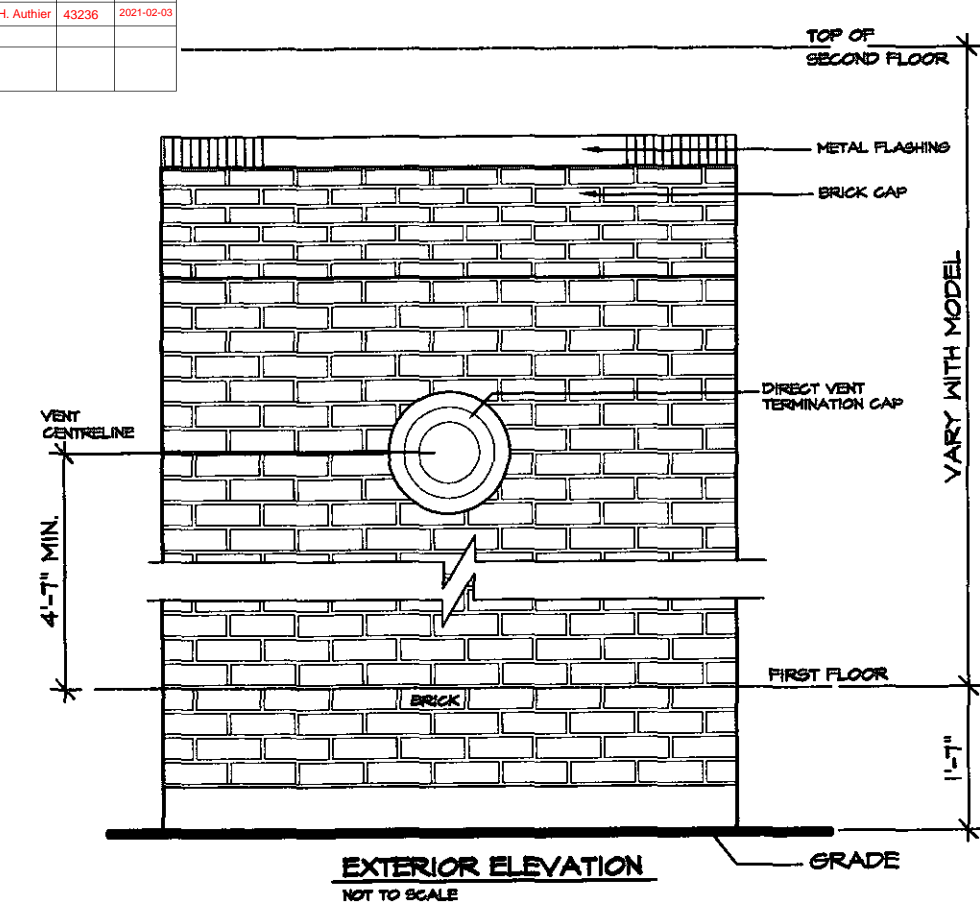
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.





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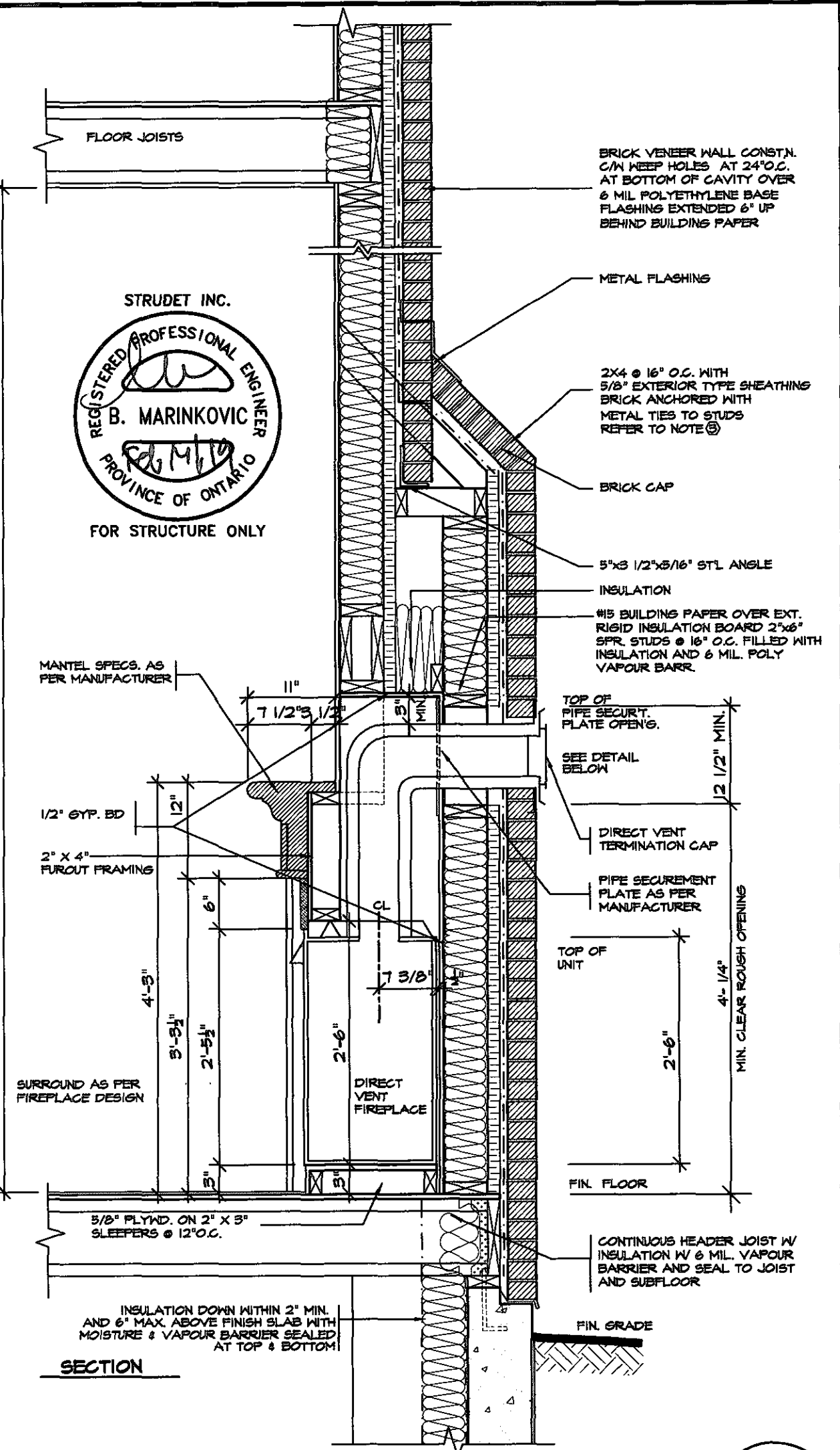
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



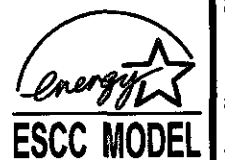
GENERAL INSTALLATION NOTES

- 1.0 UNIT INSTALLATION TO STRICTLY CONFORM TO MANUFACTURERS INSTALLATION MANUAL AND ALL APPLICABLE CODES OF LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING CAN/CSA-B144.1 & 2.
- 2.0 INSTALL WITH THE FOLLOWING MINIMUM CLEARANCES TO COMBUSTIBLES:
 - FROM TOP OF UNIT 0"
 - FROM BACK OF UNIT 1/2"
 - FROM SIDES OF UNIT 1/2"
 - FROM TOP OF HORIZ. VENT 3"
 - FROM SIDES TO VENT 1"
- 3.0 THE DIRECT VENT UNIT ILLUSTRATED IS THE SC150 MODEL AS MANUFACTURED BY HEATILATOR.
- 4.0 THE MANTEL ILLUSTRATED IS THE S-2 GB AS SUPPLIED BY GREATER TORONTO FIREPLACE.

VARY REFER TO MODEL



FEB 14 2019



5.		
4.		
3.		
2.		
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CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
DIRECT VENT FIREPLACE WITH BRICK CAP

SCALE
3/4"=1'-0"

DATE
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

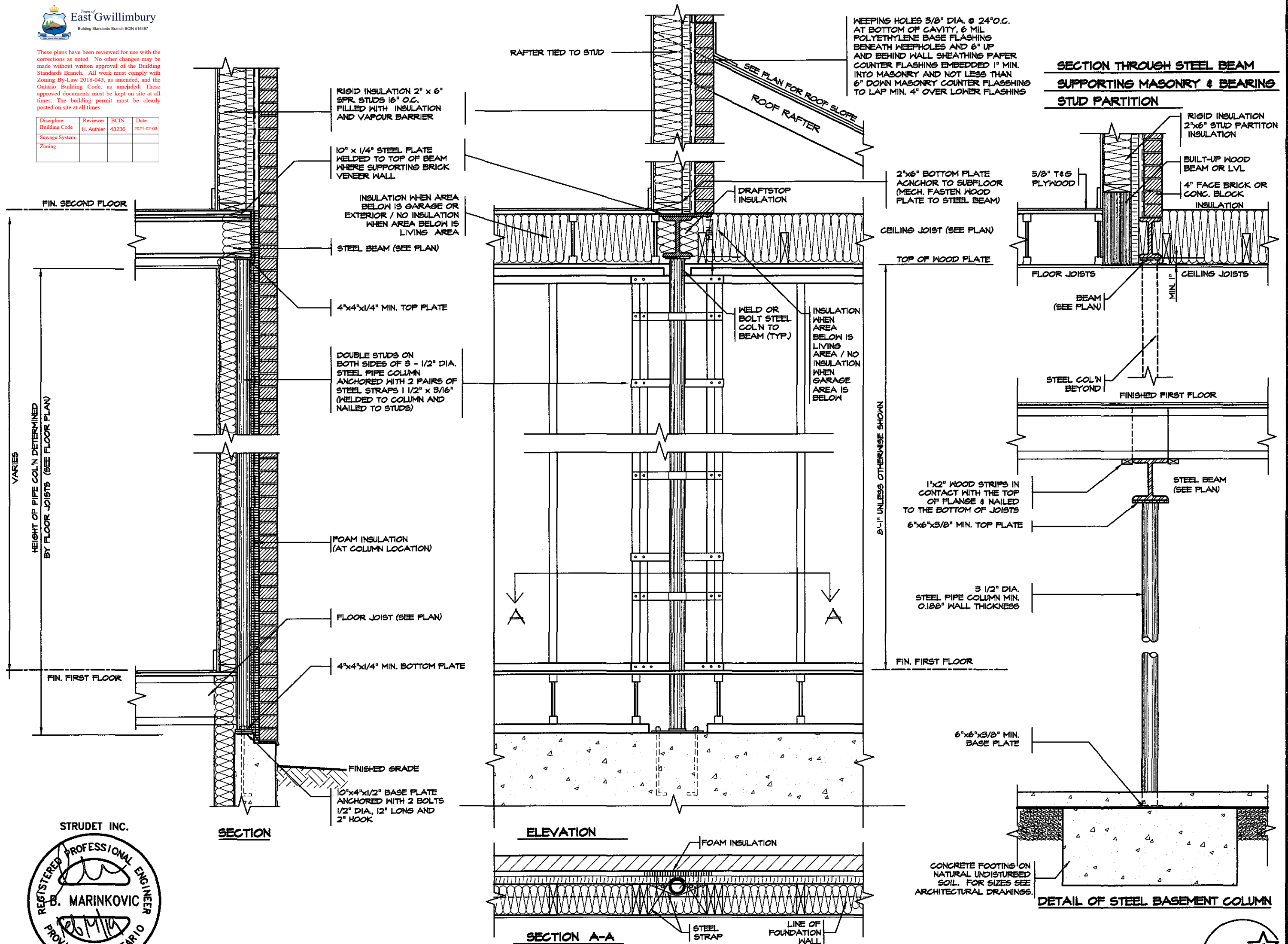
AREA
PAGE No.
6-2

Greenpark

PROJECT NAME
STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



NO.	REVISIONS	DATE
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

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VIKAS GAJJAR 28770
 NAME SIGNATURE BCIN

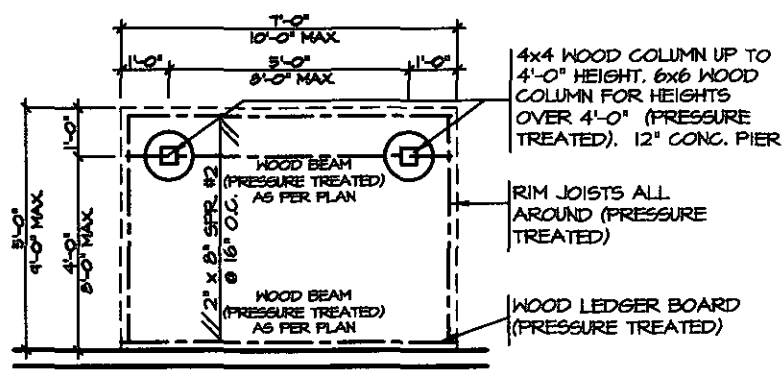
REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S8
 P (416) 736-4096
 F (905) 660-0746

REGION DESIGN INC.

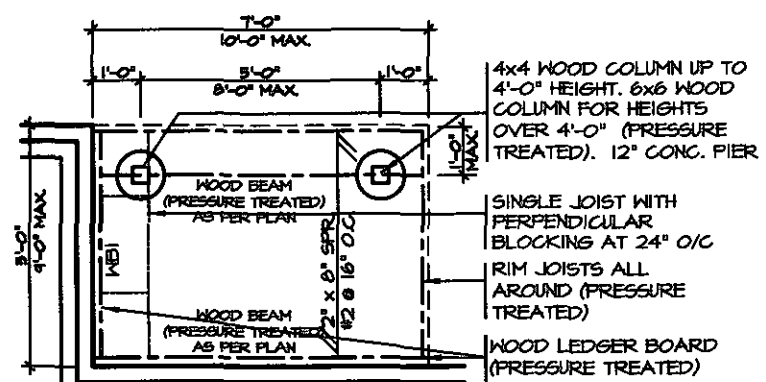
SHEET TITLE
STEEL COLUMN DETAILS
 SCALE 3/4"=1'-0"
 DATE NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
 AREA PAGE NO.
 PROJECT 7

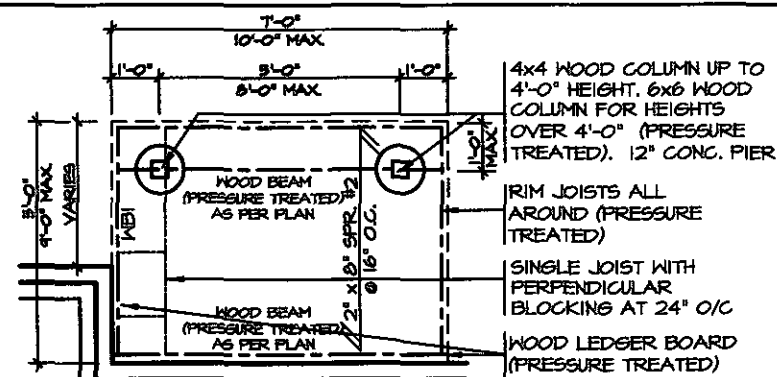
Greenpark
 PROJECT NAME
STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.



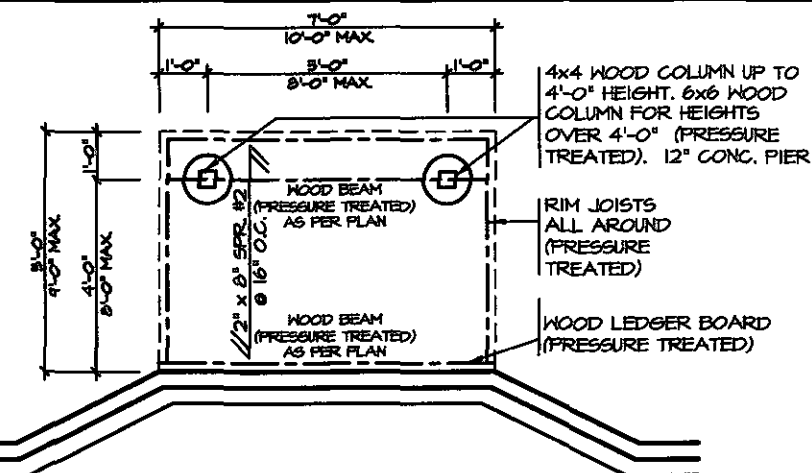
TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"

2" x 2" PICKETS CHAMFERED AT BOTTOM WITH 2" x 6" TOP CAP AND 2" x 4" TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

RIM JOISTS (PRESSURE TREATED)

GUARDS FOR STAIRS SHALL NOT BE LESS THAN 2'-11" HIGH MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF THE STAIR NOSINGS

2x4 WOOD BLOCKING @ 4'-0" O.C. MIN. BETWEEN STRINGERS

2x12 STRINGER

PRECAST CONCRETE SLAB

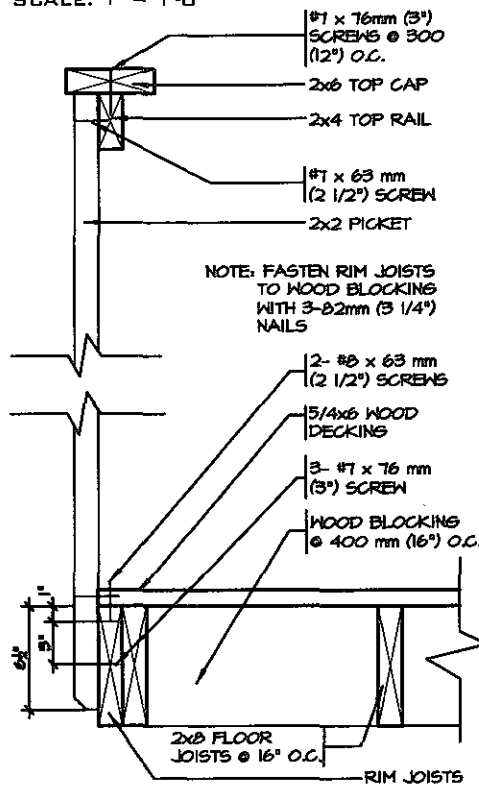
(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE. 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

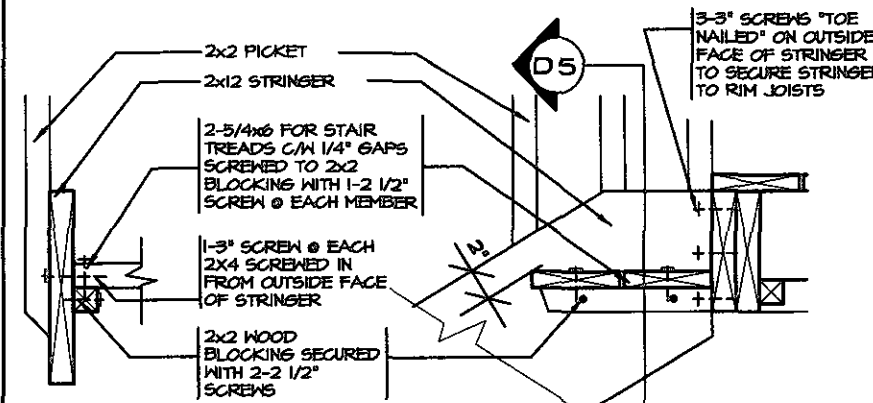
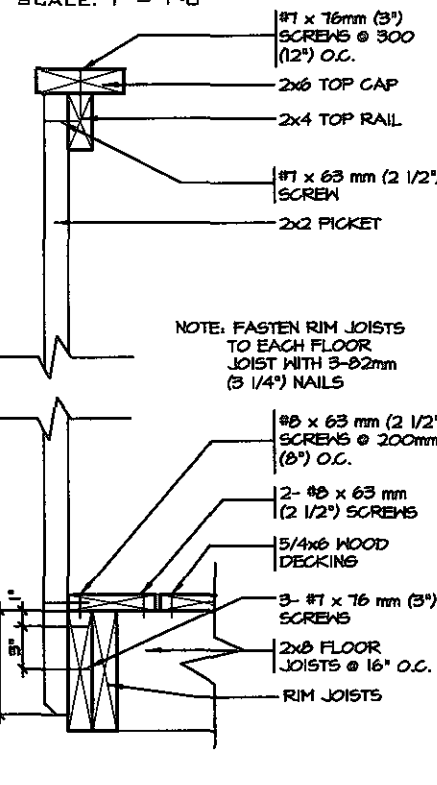
DECK SECTION WITH BRICK VENEER
SCALE: 1/2" = 1'-0"

DETAIL 1
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK

GUARD PARALLEL TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GUARD PERPENDICULAR TO FLOOR JOISTS
SCALE: 1" = 1'-0"



DETAIL 5
SECTION THROUGH STAIR STRINGER
SCALE: 1" = 1'-0"

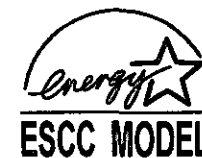
DETAIL 4
SECTION @ TREAD AND STRINGER SECUREMENT
SCALE: 1" = 1'-0"

GENERAL NOTES

1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
3. ALL NAILS AND SCREWS TO BE GALVANIZED.
4. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.



FEB 14 2019



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Seismic System			
Zoning			

1. REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS	

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QUALIFICATION INFORMATION
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VIKAS GAJJAR
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SIGNATURE
28770
BCIN

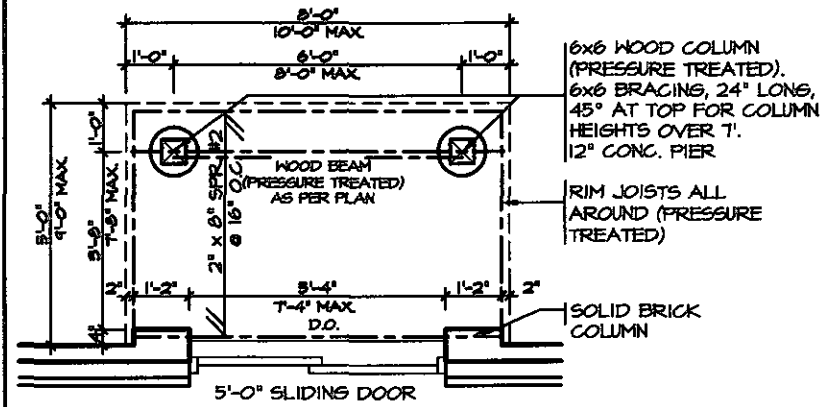
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

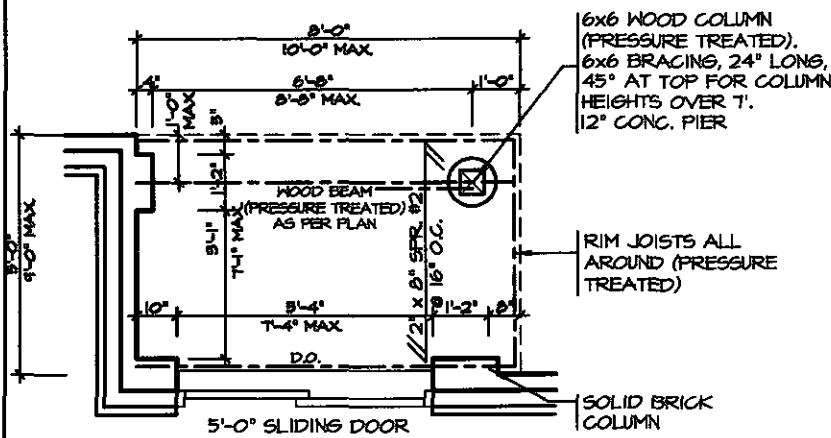
SHEET TITLE
WOOD DECK DETAIL
SCALE AS SHOWN
BY
DATE NOV 2016
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
PAGE No.
8
PROJECT 00-00-00

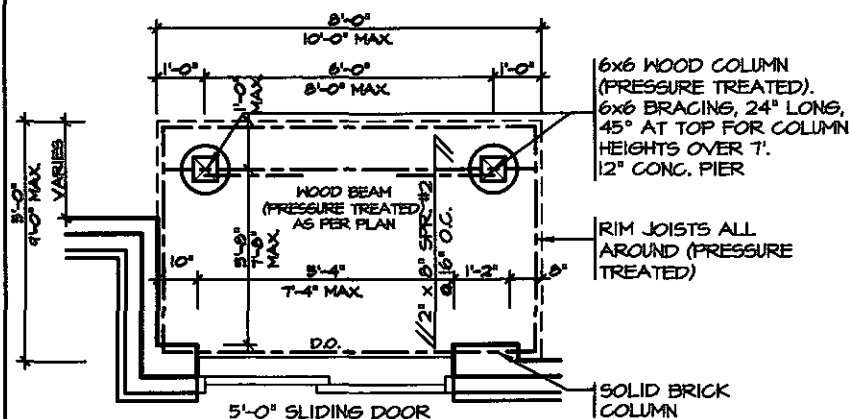
Greenpark.
PROJECT NAME
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"

2x2 PICKETS CHAMFERED AT BOTTOM WITH 2x6 TOP CAP AND 2x4 TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

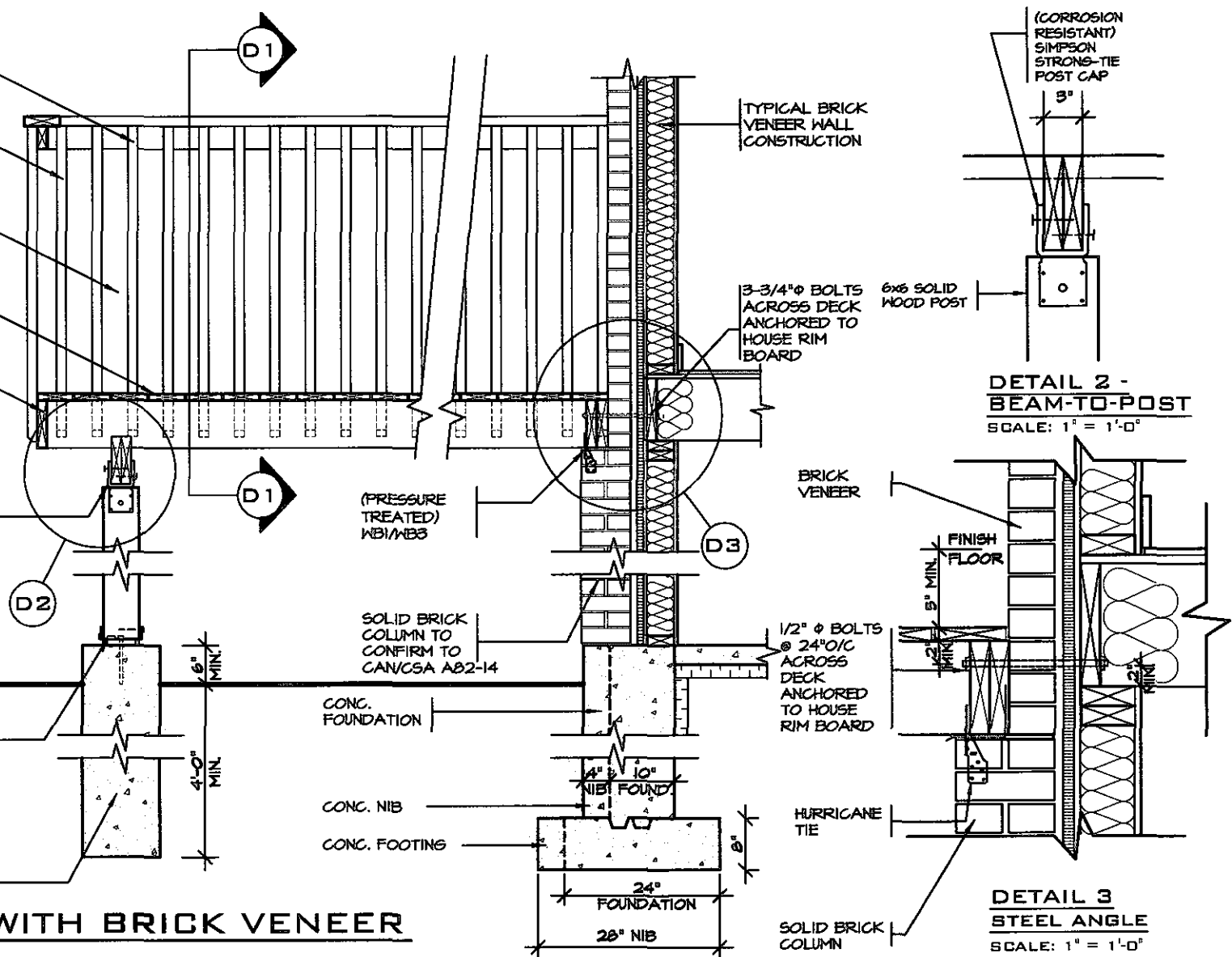
WBI RIM JOISTS (PRESSURE TREATED)

(CORROSION RESISTANT) SIMPSON STRONG-TIE POST CAP

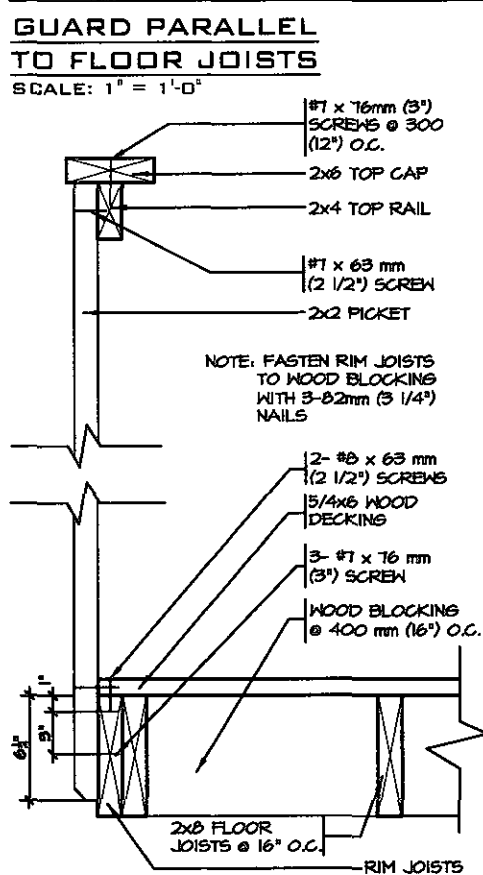
(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE, 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

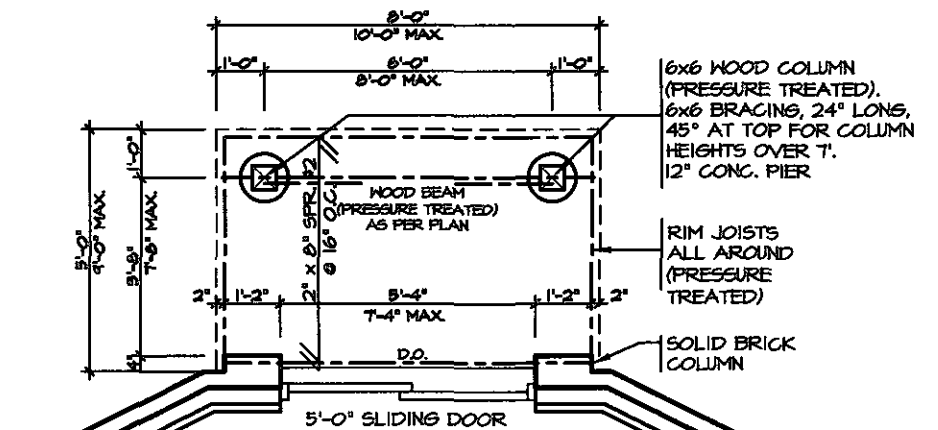
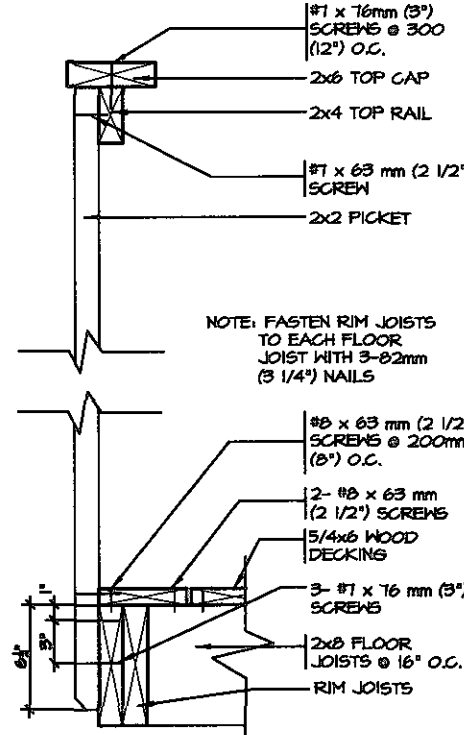
DECK SECTION WITH BRICK VENEER
SCALE: 1/2" = 1'-0"



DETAIL 1
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK
GUARD PARALLEL TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GUARD PERPENDICULAR TO FLOOR JOISTS
SCALE: 1" = 1'-0"



TYPICAL DECK LAYOUT
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
3. ALL NAILS AND SCREWS TO BE GALVANIZED.
4. WBI = 2- 2 x 8 (PRESSURE TREATED) WBS = 2- 2 x 10 (PRESSURE TREATED)
5. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.

STRUDET INC.



FOR STRUCTURE ONLY

FEB 16 2019



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

TRINAR HALL HOMES INC.	JAN 18
REVISIONS	

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NAME
SIGNATURE
28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE
WALK-OUT DECK DETAILS

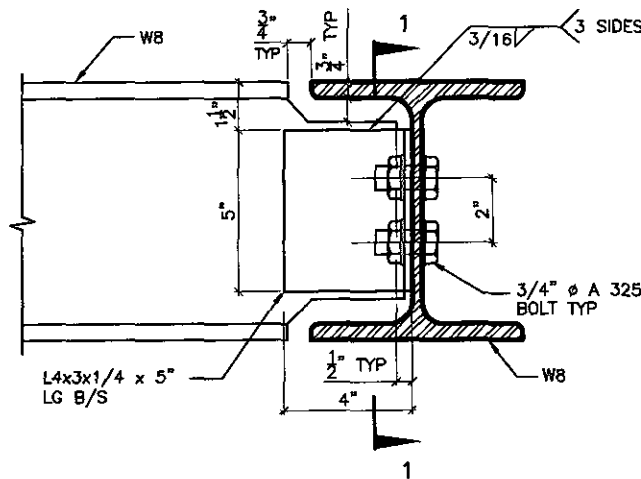
SCALE AS SHOWN BY
DATE NOV 2016 TYPE

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AREA
PAGE No.
7-2
PROJECT
00-00-00

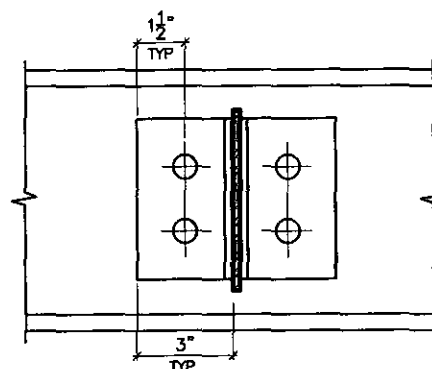
Greenpark

PROJECT NAME
STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.

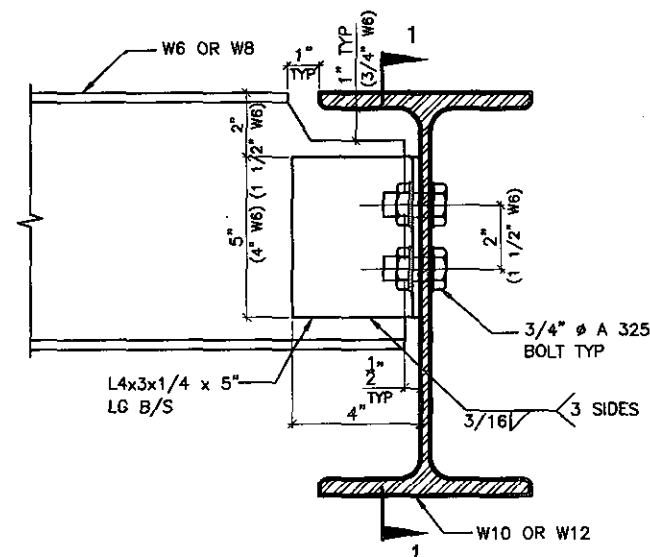


DETAIL 1.

**W8
TO
W8
CONNECTION**

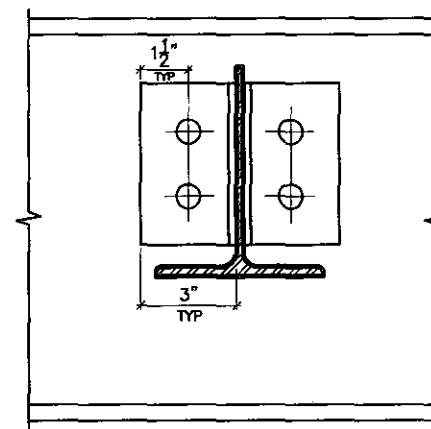


SECTION 1-1

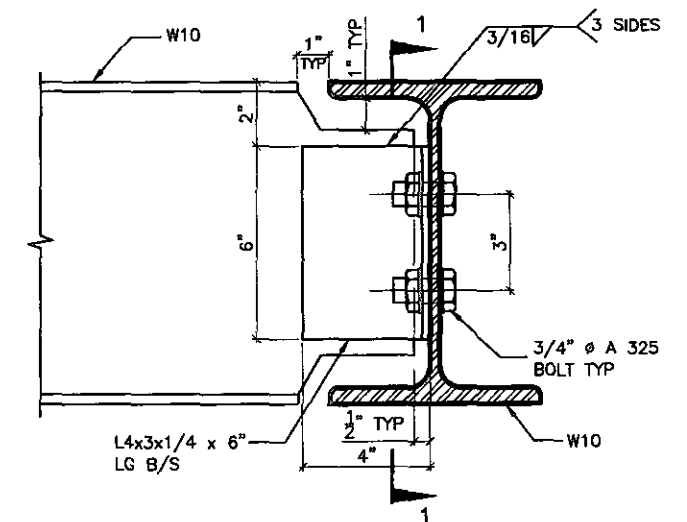


DETAIL 2.

**W6(W8)
TO
W10(W12)
CONNECTION**

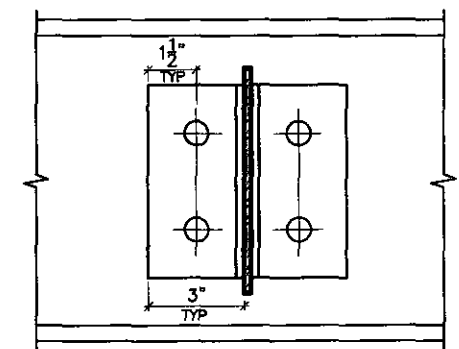


SECTION 1-1

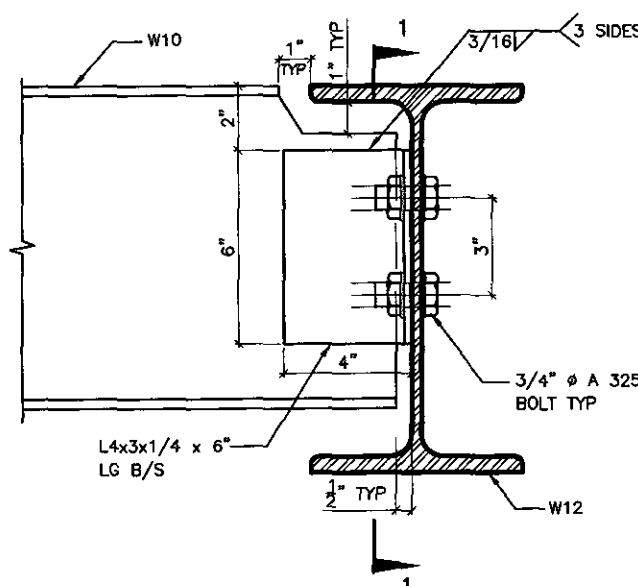


DETAIL 3.

**W10
TO
W10
CONNECTION**

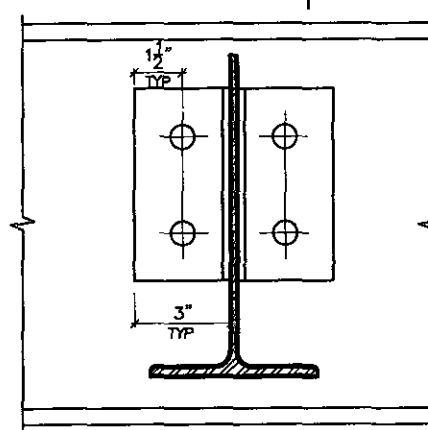


SECTION 1-1

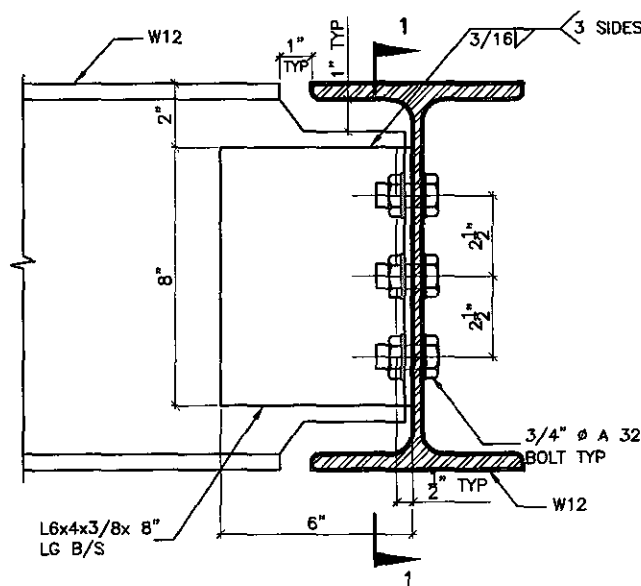


DETAIL 4.

**W10
TO
W12
CONNECTION**

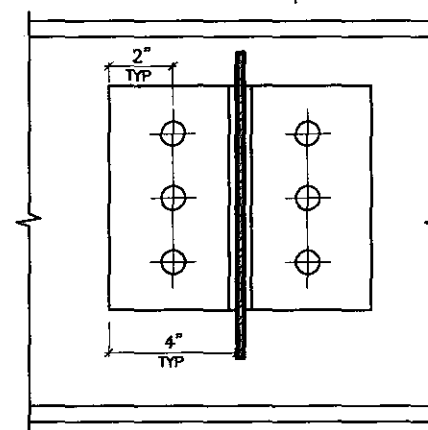


SECTION 1-1

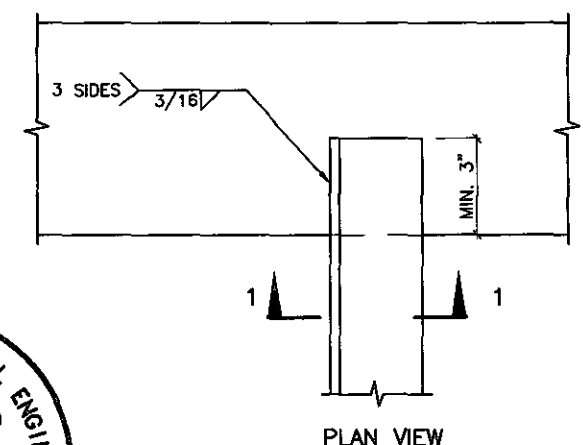


DETAIL 5.

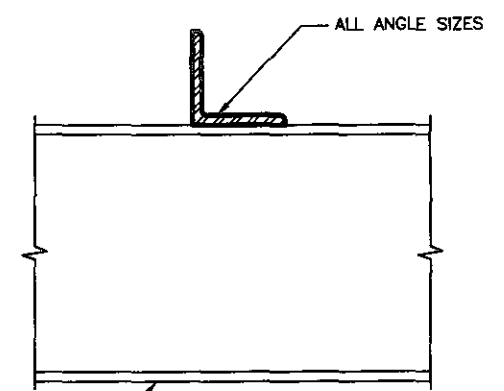
**W12
TO
W12
CONNECTION**



SECTION 1-1



PLAN VIEW



SECTION 1-1



DETAIL 6.

**ANGLE
TO
BEAM
CONNECTION**



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

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P (416) 736-4095
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE

**STEEL
BEAM DETAILS**

SCALE

N.T.S.

DATE

NOV 2016

BY

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA

PROJECT

00-00-00

PAGE No.

9

Greenpark™

PROJECT NAME

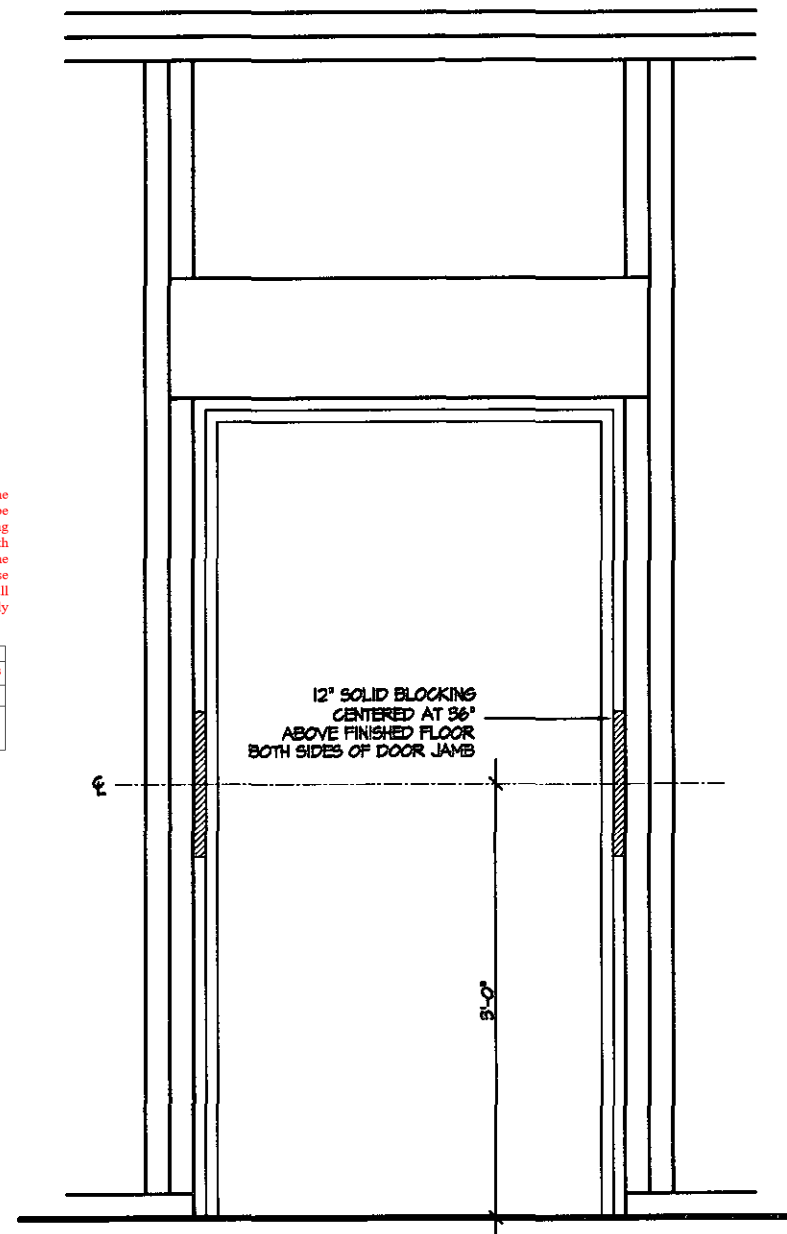
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.

11-25-16 AM MASTANDART DETAIL SIP R M I T S F TENERGY STARD2016 TRINAR HALL V177P B. BEAM CONNECTIONS ENERGY STAR DWG

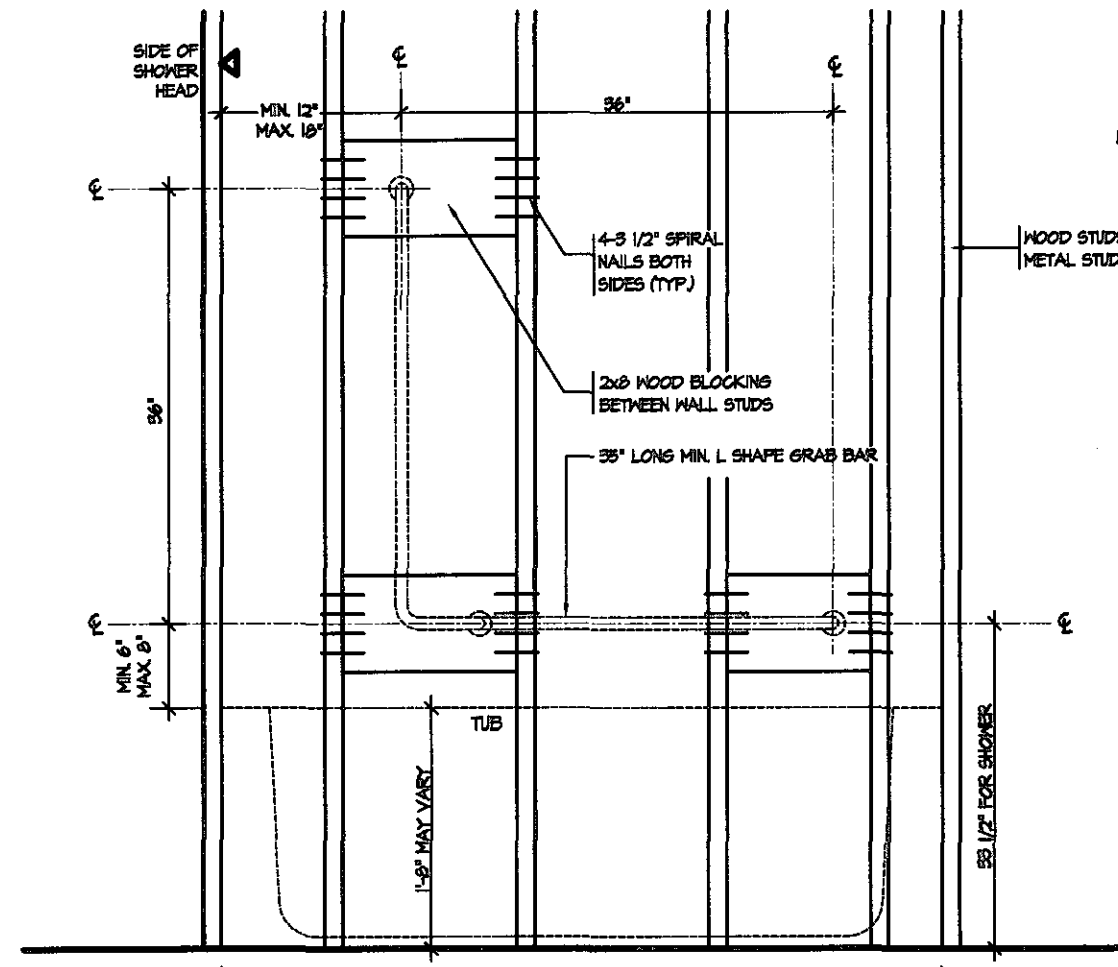


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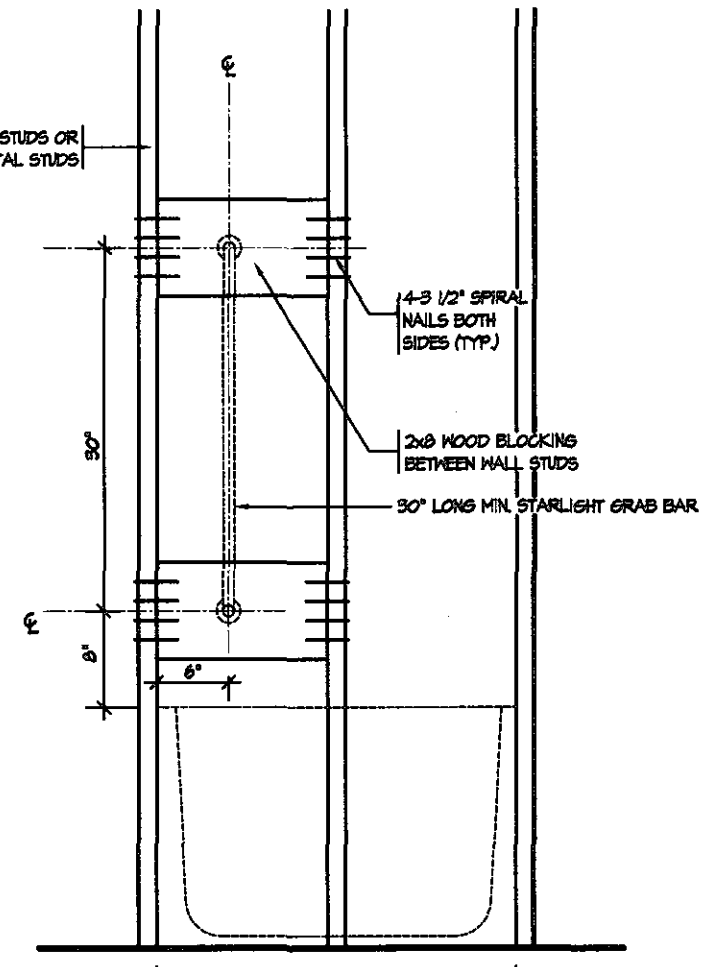
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



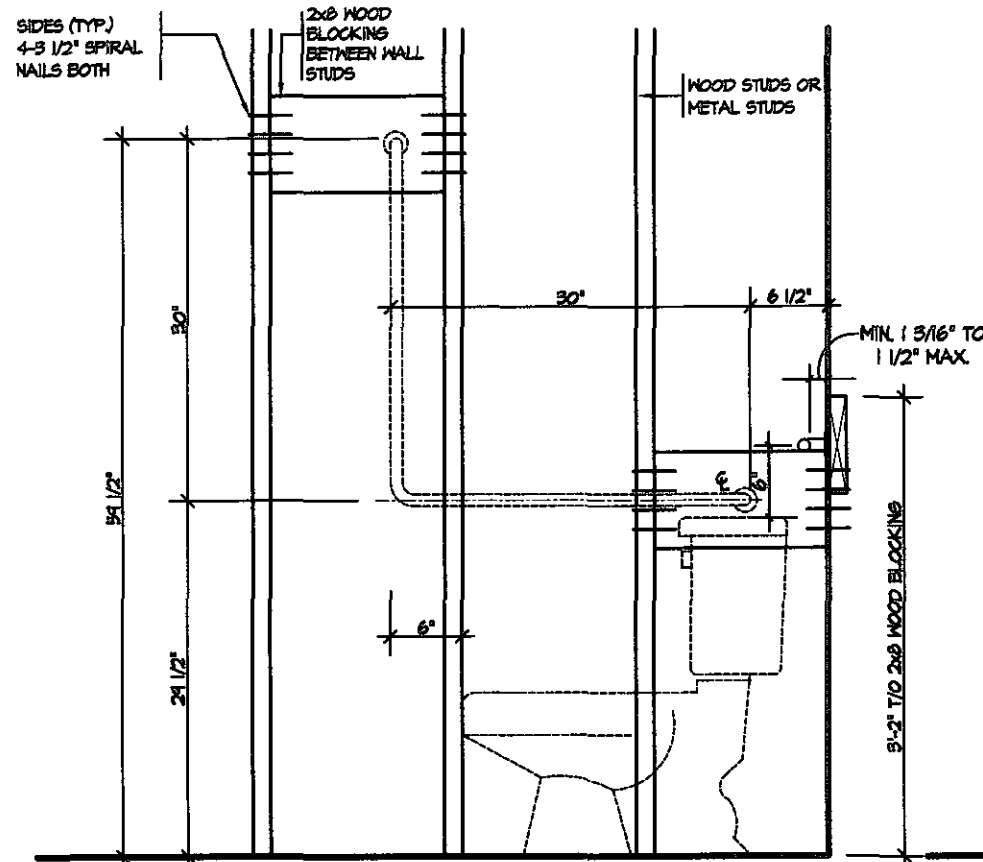
RESISTANCE TO FORCED ENTRY (OBC 9.6.2.)



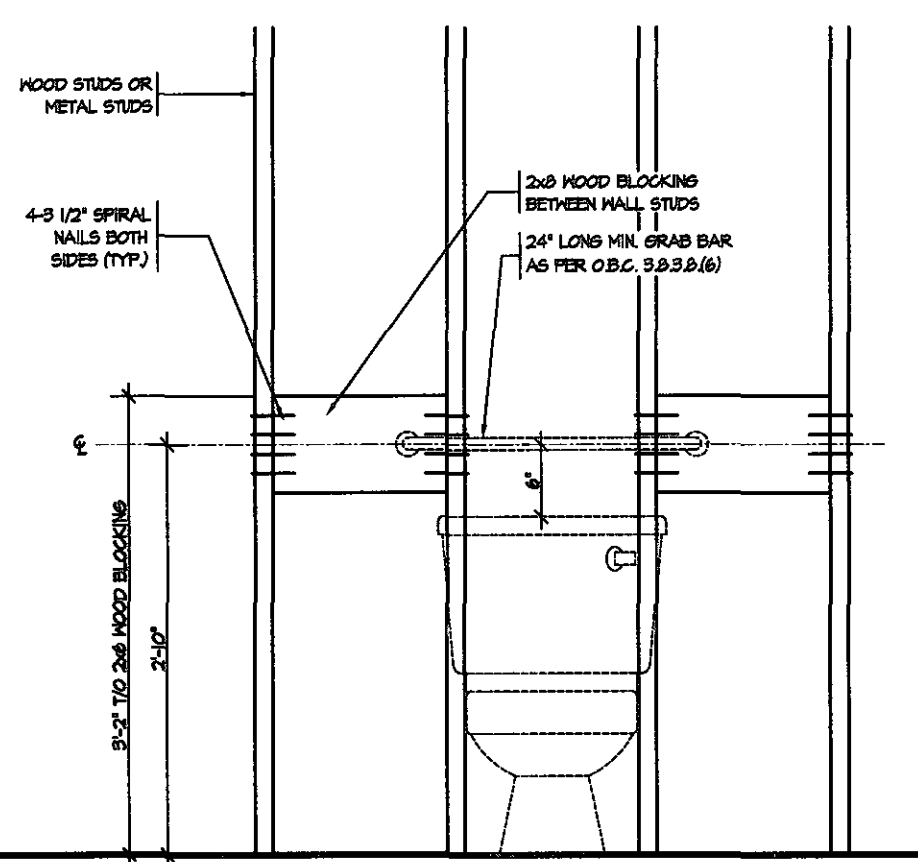
BATH TUB OR SHOWER FRONT ELEVATION



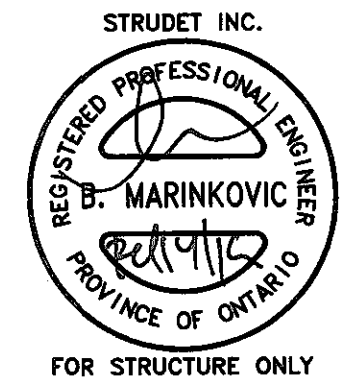
BATH TUB SHOWER HEAD SIDE ELEVATION



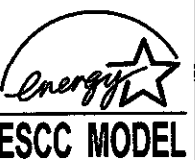
TOILET SIDE ELEVATION



STRUCTURAL REINFORCEMENT FOR GRAB BAR (OBC 9.5.2.3.)
FOR MAIN BATH ONLY



FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
SIGNATURE
BCIN 28770

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 680-0746



SHEET TITLE BLOCKING FORCED ENTRY & GRAB BAR	
SCALE 3/4"=1'0"	BY
DATE NOV 2016	TYPE

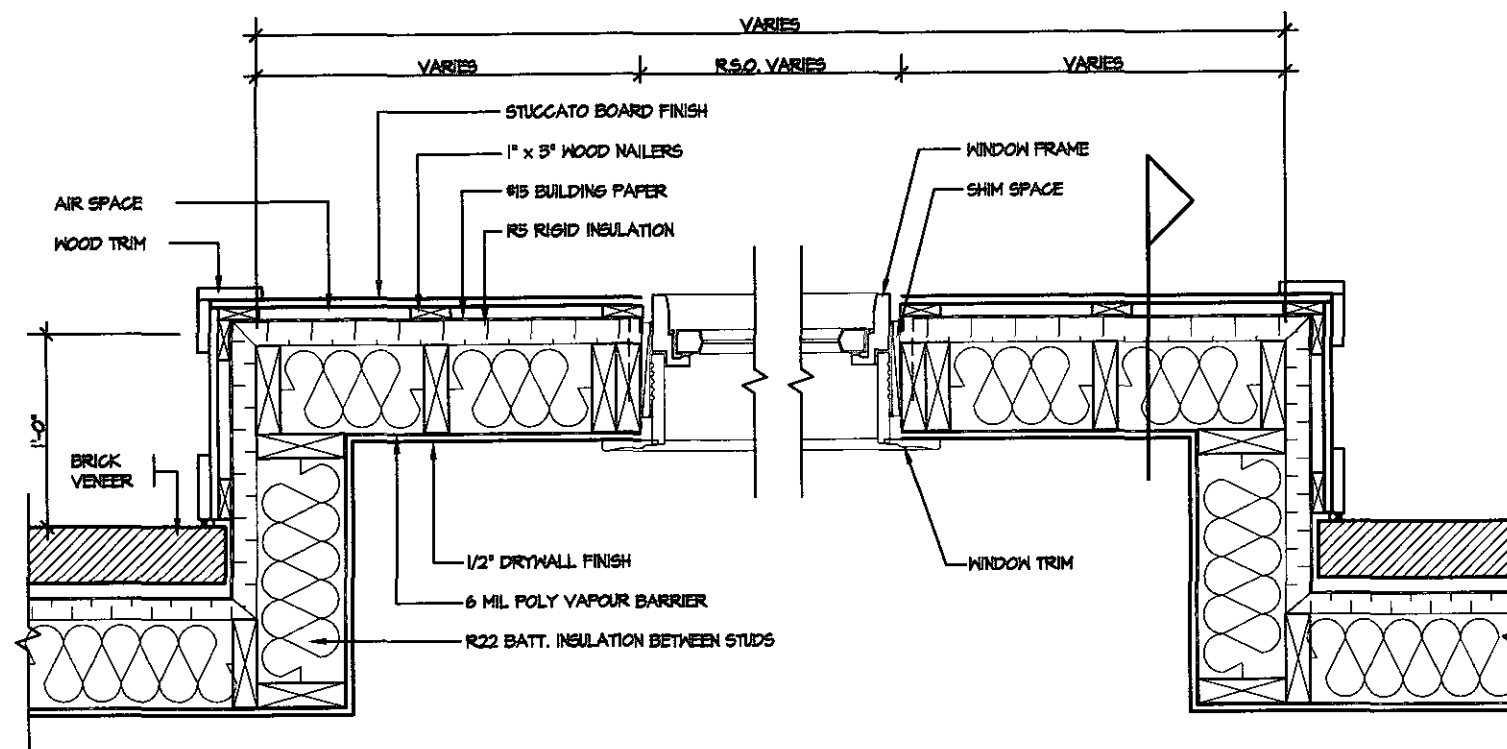
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No. 10
PROJECT 00-00-00	

PROJECT NAME STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.	
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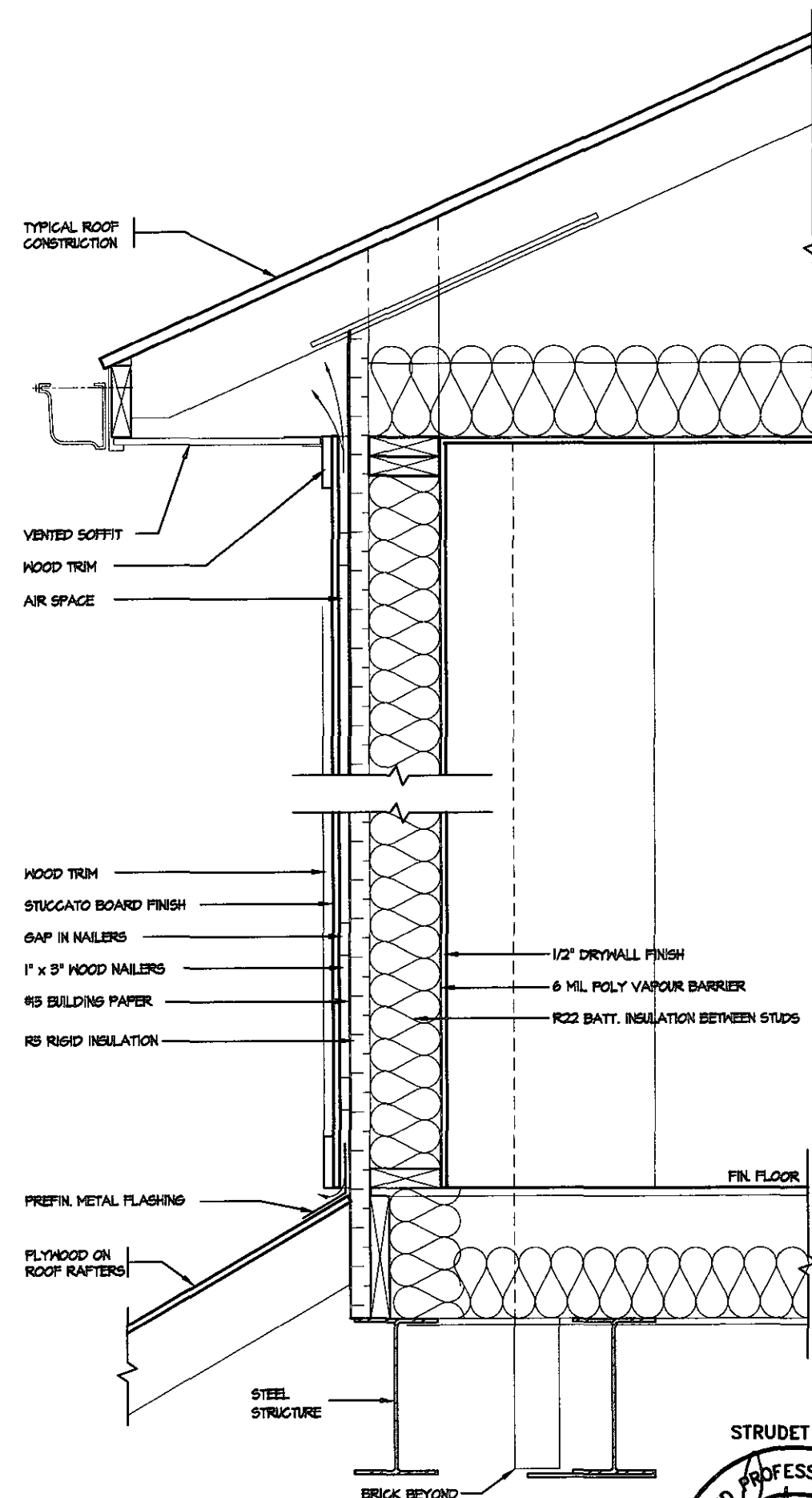
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

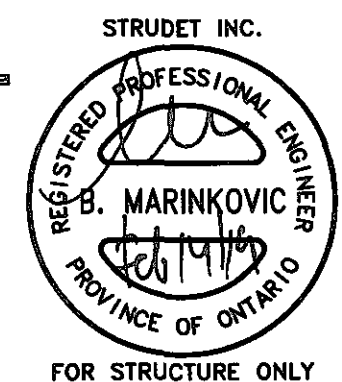


PLAN VIEW

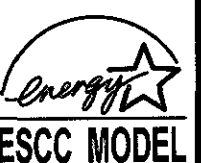
STUCCATO BOARD FINISH CLADDING OR EQUAL (OBC 9.27.)



CROSS SECTION



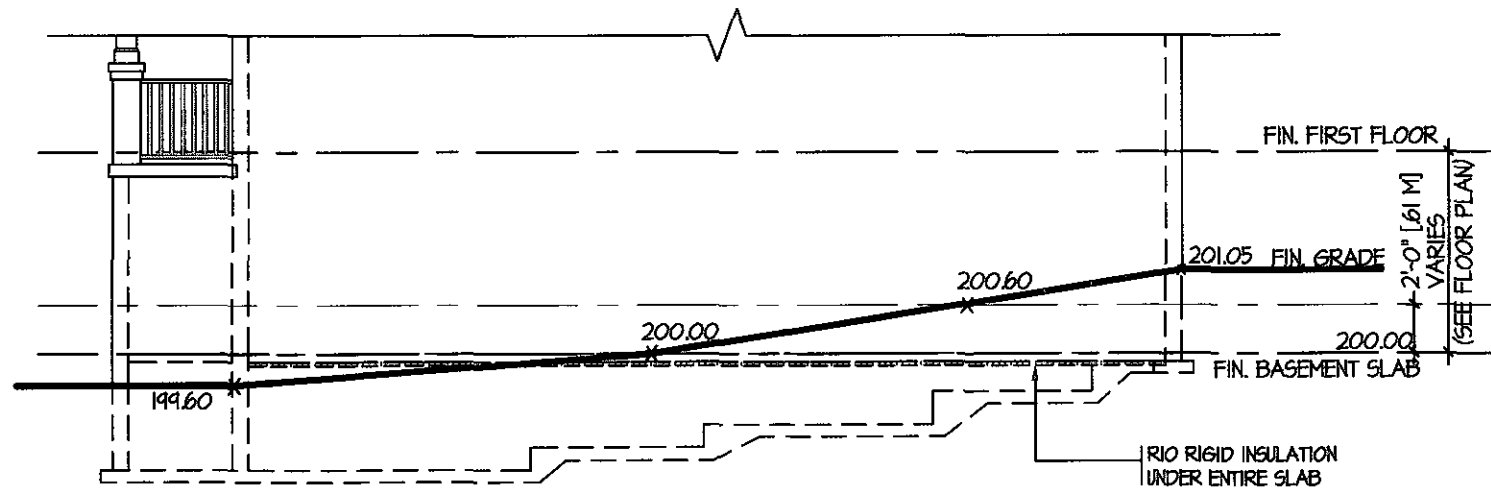
FEB 14 2019



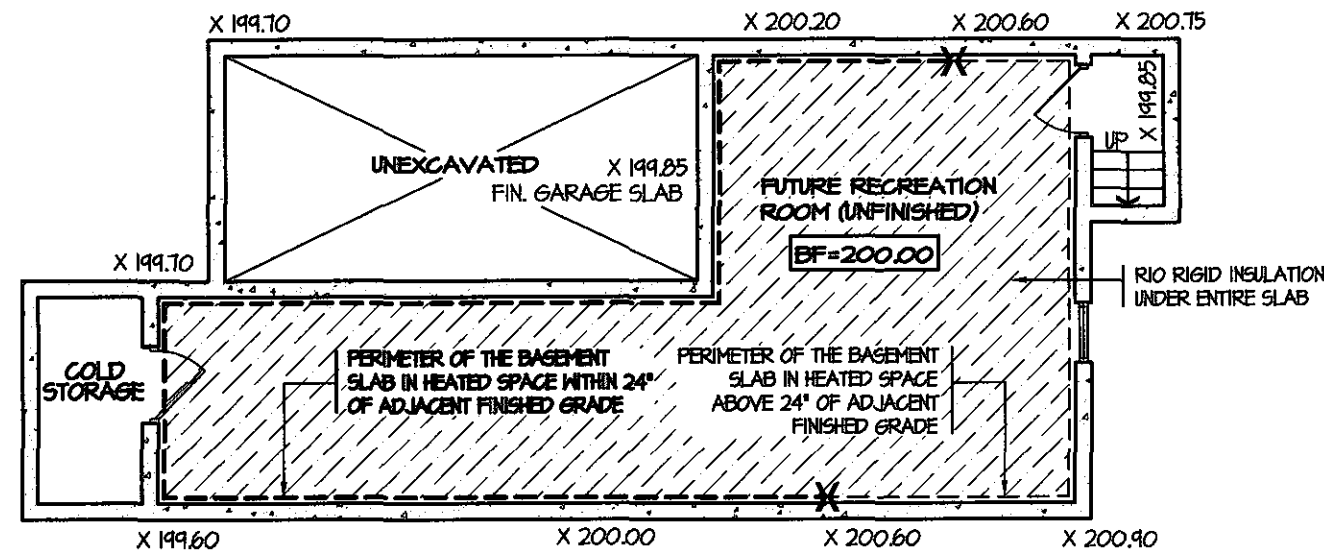
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4.							STUCCATO BOARD						
3.							FINISH CLADDING						
2.							SCALE	BY				AREA	PAGE No.
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18					1/2"=1'0"						11
REVISIONS						DATE	TYPE	PROJECT	PROJECT NAME				
						NOV 2016		00-00-00	STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.				

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Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



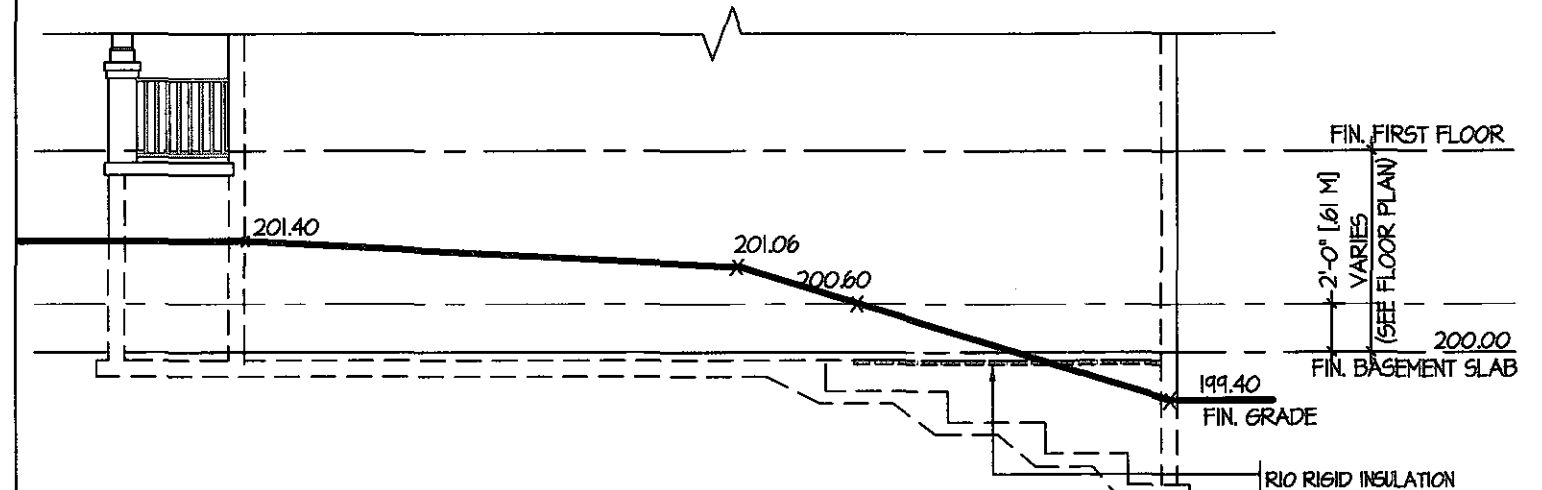
TYPICAL RIGHT SIDE ELEVATION



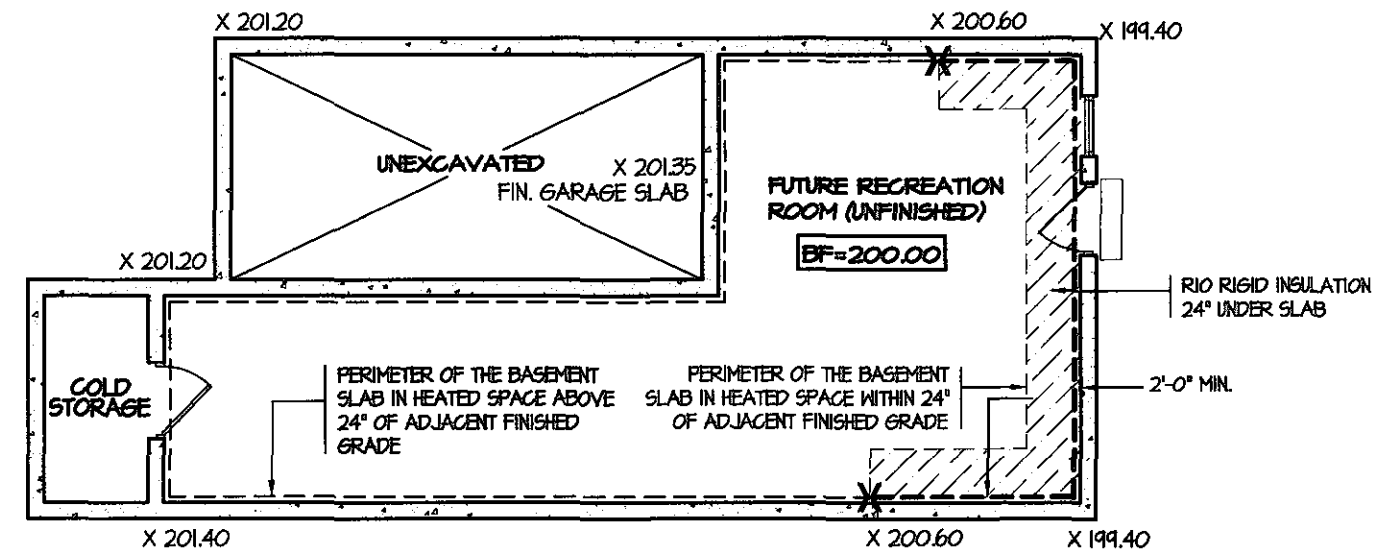
TYPICAL BASEMENT PLAN

SLAB ON GRADE CONDITION

NOTES:
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS
2. ALL LEVELS ARE SHOWN IN METRIC



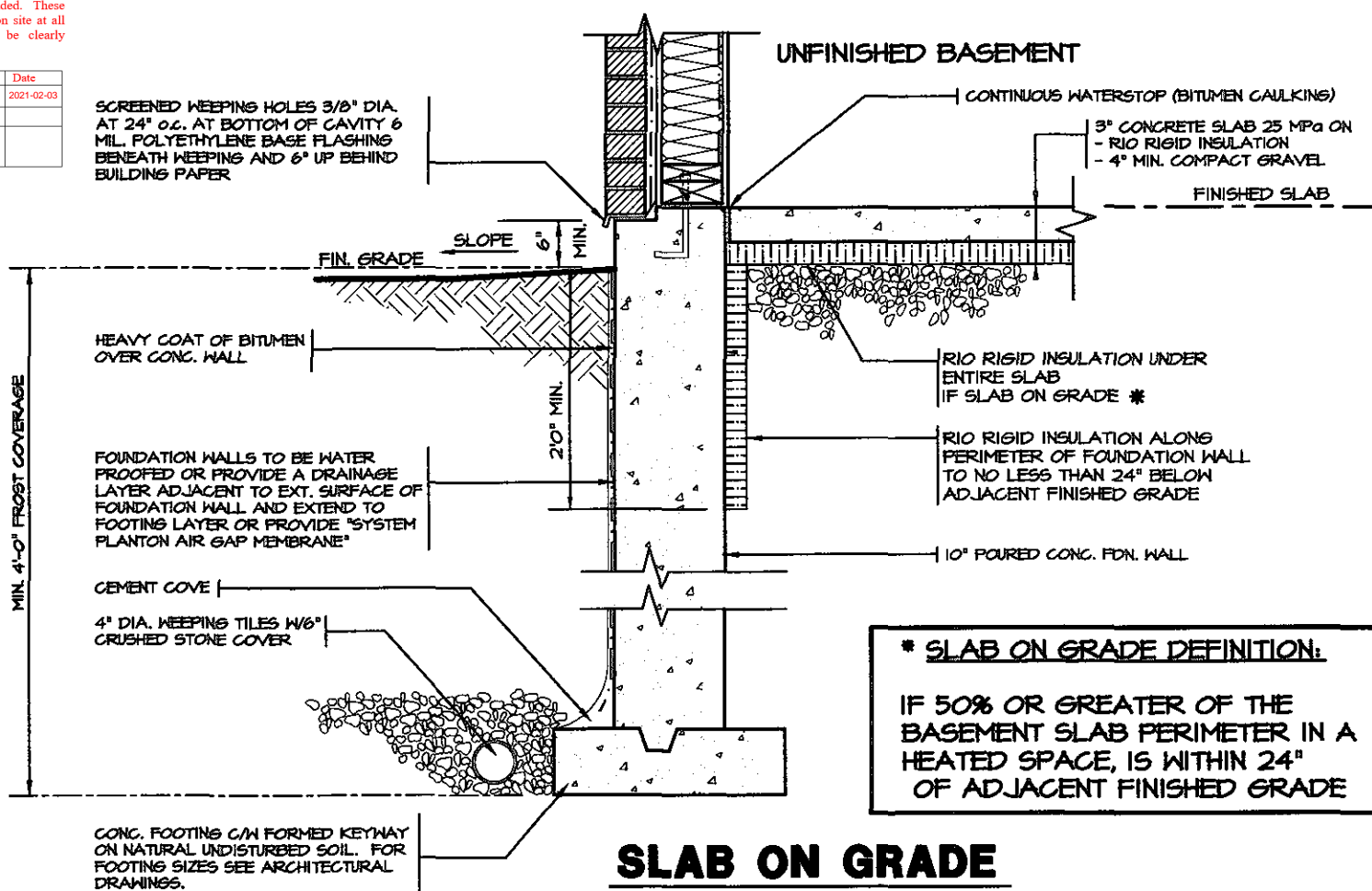
TYPICAL RIGHT SIDE ELEVATION



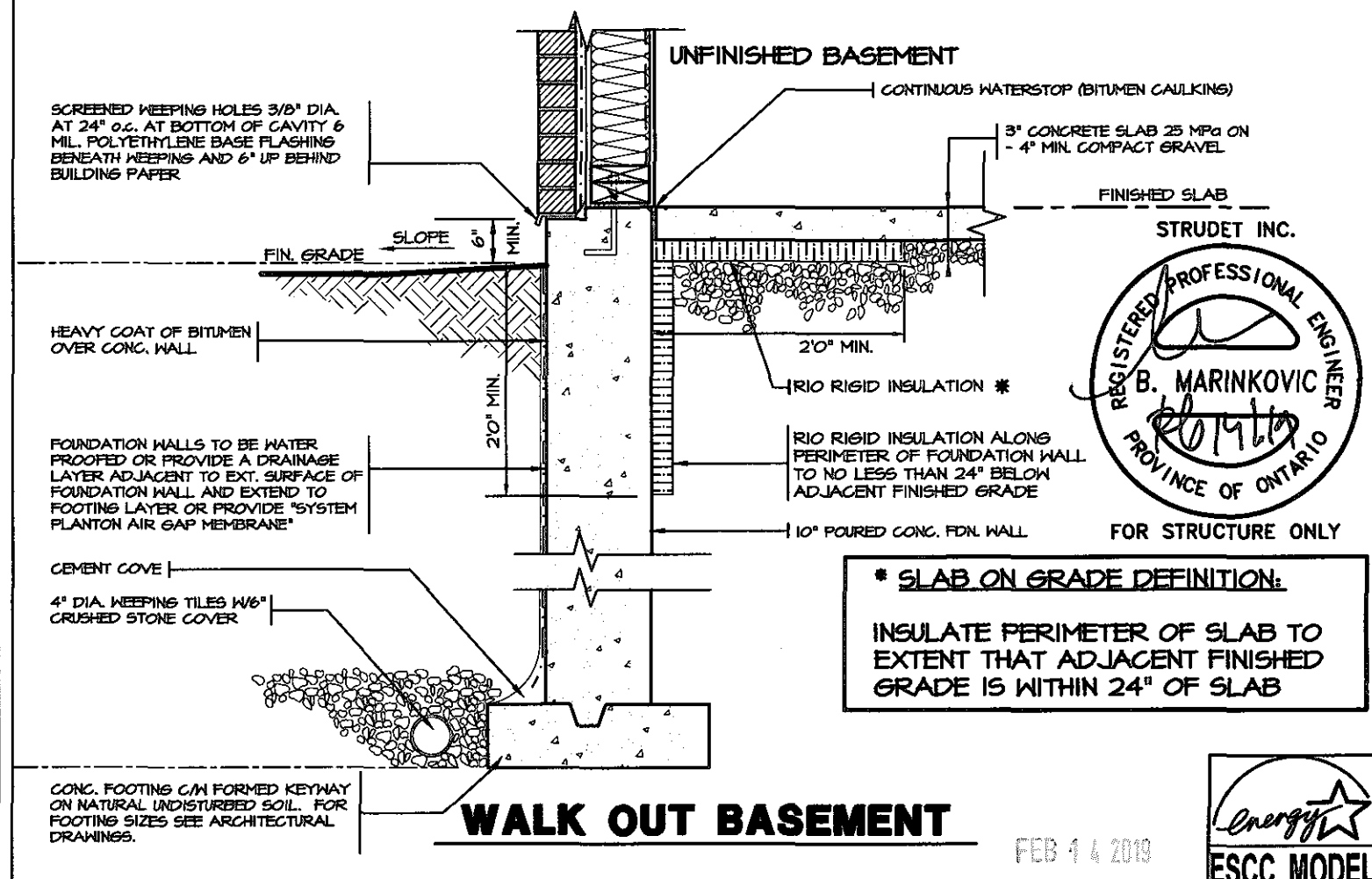
TYPICAL BASEMENT PLAN

WALK OUT BASEMENT CONDITION

NOTES:
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS
2. ALL LEVELS ARE SHOWN IN METRIC

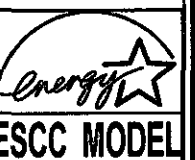


SLAB ON GRADE



WALK OUT BASEMENT

FEB 14 2019



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SIGNATURE
28770
BCIN

REGION DESIGN INC.
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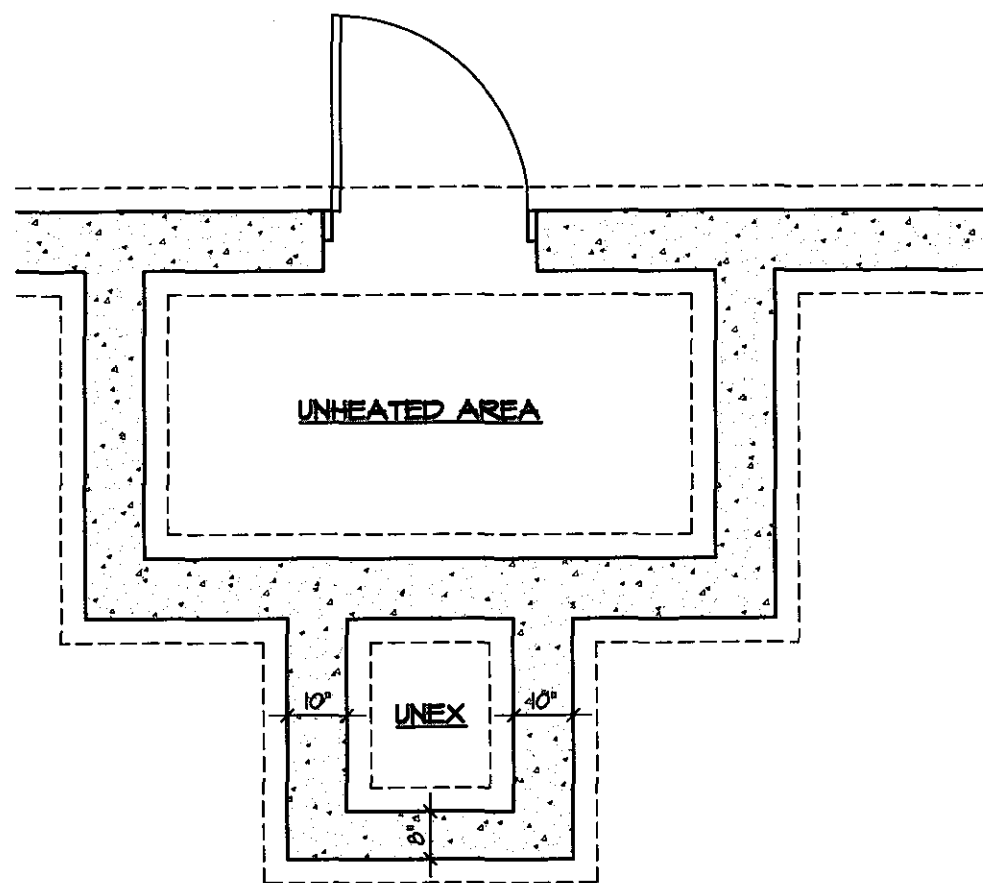
REGION DESIGN INC.

SHEET TITLE
SLAB ON GRADE
WALKOUT BASEMENT
SCALE N.T.S.
DATE NOV 2016
BY
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
AREA
PAGE No. 12
PROJECT 00-00-00

Greenpark.

PROJECT NAME
STANDARD DETAILS - 2016
TRINAR HALL HOMES INC.



FOUNDATION PLAN

FOR POURED CONCRETE
SLAB STRUCTURE REFER
TO ARCHITECTURAL
DRAWINGS

GUARD &
HANDRAIL

NOSING
REINF. W/
10M BARS

GROUND FLOOR PLAN

FOR POURED CONCRETE
SLAB STRUCTURE REFER
TO ARCHITECTURAL
DRAWINGS

BOTTOM REINF.
10M @ 8" O.C.
UPPER REINF.
10M @ 8" O.C.

4'-0" MIN. TO
UNDISTURBED SOIL

CLEAR SPACING
BETWEEN PICKETS TO
BE 4" MAX. NO
MEMBER BETWEEN 4" &
2'-11" ABOVE SLAB

NOSING
REINF. W/
10M BARS

MASONRY EXTERIOR
FACING, FILL SPACE
BETWEEN WALL &
FACING W/ MORTAR
& PROVIDE METAL
TIES SEE NOTE '2'

10M @ 8" O.C.
DOWELS TO
MATCH BOTTOM
REINF.

POURED FDN. WALL

6" X16"
POURED
CONC.
FOOTING

SECTION 'A'

NOTE: FOR MORE THAN 3 RISERS

SECTION 'B'

GENERAL NOTES

- EXTERIOR STAIRS
7 1/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- MASONRY TIES
WHEN BRICK FACING IS USED ABOVE
GROUND LEVEL, PROVIDE 5/16" DIA.
CORROSION RESISTANT METAL TIES @ 36"
HORIZONTAL & 8" VERTICAL
- GUARDS
ARE REQUIRED AROUND CONCRETE SLAB
IF MORE THAN 2'-0" ABOVE GRADE & ON
BOTH SIDES OF STAIRS CONTAINING MORE
THAN 6 RISERS, MINIMUM 31" HIGH FOR
STAIRS MINIMUM 55" HIGH FOR PORCHES
UP TO 5'-11" ABOVE GRADE, MINIMUM 42"
HIGH FOR GREATER HTS.
- HANDRAIL
ARE REQUIRED WHERE STEPS HAVE MORE
THAN 3 RISERS. HANDRAIL HEIGHT 31" -
38".
- FOUNDATION WALLS
THICKNESS OF FOUNDATION WALLS IS
DEPENDANT UPON VENEER CUT @ FOR UP
TO 26" VENEER CUT HEIGHT 10" FOR
VENEER CUT OVER 26" HIGH
- CONCRETE
MINIMUM CONCRETE STRENGTH SHALL BE
4650 PSI [32MPa] W/ 5%-8% AIR
ENTRAINMENT MINIMUM CONCRETE SLAB
THICKNESS 5"
- CONCRETE COVER
PROVIDE MINIMUM 3/4" CLEAR CONCRETE
COVER TO REINFORCING BARS



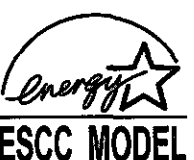
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



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4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	P (416) 736-4096 F (905) 660-0746		SCALE 3/8"=1'-0"	AREA	PROJECT 00-00-00
3.			VIKAS GAJJAR NAME SIGNATURE	28770 BCIN		DATE NOV 2016	PAGE No. 13	
2.								
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18						
REVISIONS								

1:20-15 PM M:STANDARD DETAIL SIP PERMIT SFTENERGY STAR2016 TRINAR HALL V12 7013 - POURED CONCRETE STAIRS DWG