





WINDOWS -  
CANADA ZONE C

- (1) MINIMUM BEDROOM WINDOW (\*OBC 9.9.10.1.)  
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS  
TO HAVE MIN. 0.35m<sup>2</sup> (3.8 SQ.FT.) UNOBSTRUCTED GLAZED  
OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3")  
GLASS AREA NOT MORE THAN 17% OF GROSS  
PERIPHERAL WALL AREA.  
MAXIMUM U-VALUE 1.67 & MIN ER-VALUE 29
- (2) WINDOW GUARDS (\*OBC 9.8.8.1(6))  
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW  
SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN.  
FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE  
ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

GENERAL:

- (1) MECHANICAL VENTILATION  
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3  
AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS.  
SEE MECHANICAL DRAWINGS.
- (2) REINFORCEMENT FOR GRAB BARS (\*OBC 9.5.2.3.)  
REINFORCEMENT OF STUD WALLS FOR FUTURE GRAB  
BARS SHALL BE INSTALLED ADJACENT TO WATER  
CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.  
SEE DETAIL.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE-PINE-FIR No.1&2 GRADE,  
UNLESS NOTED OTHERWISE.
- 2) LUMBER EXPOSED TO THE EXTERIOR TO BE  
SPRUCE-PINE-FIR No.1&2 GRADE PRESSURE TREATED OR  
CEDAR, UNLESS NOTED OTHERWISE.
- 3) ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER  
CONNECTIONS SUPPORTING ROOF FRAMING TO BE  
DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 4) LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi  
MIN) OR EQUIVALENT. NAIL EACH PLY OF LVL WITH 8dmm  
(3-1/2") LONG COMMON WIRE NAILS @ 300mm (12") o.c.  
STAGGERED IN 2 ROWS FOR 184, 240, & 300mm  
(7-1/4", 9-1/2", 11-1/8") DEPTHS AND STAGGERED IN 3 ROWS  
FOR GREATER DEPTHS AND FOR 4 PLY MEMBERS ADD  
1/2" (13mm) DIA. GALVANIZED BOLTS BOLTED AT  
MID-DEPTH OF BEAM @ 915mm (3'-0") o.c.
- 5) PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVL BEAM  
TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 6) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND  
BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP  
WOOD MEMBERS.
- 7) WOOD FRAMING NOT TREATED WITH A WOOD  
PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE  
SEPARATED FROM THE CONC. BY AT LEAST 2mm.  
POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR  
OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE  
WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE  
GROUND.

STEEL:

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS  
SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350M.

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M  
GRADE 400R.

STABILITY OF NARROW (20'-25')  
& TALL (±30') HOUSES

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING  
TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.  
FURTHER RECOMMENDATIONS:

- 1) REDUCE THE FOUNDATION WALL SILL PLATE ANCHOR  
BOLT SPACING FROM 2400mm o.c. (7'-10") TO 1220mm o.c.  
(4'-0") FOR STANDARD CONDITIONS.
- 2) USE 9.5mm (3/8") THICK PLYWOOD OR WAFFERBOARD FOR  
THE EXTERIOR WALL SHEATHING.
- 3) TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION  
USE 9.5mm (3/8") THICK PLYWOOD NAILED TO THE  
INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2  
INTERIOR PARTITION WALLS ON BOTH SIDES AND  
PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16" (100x90x8.OL) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x5/16" (150x90x10.OL) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.OL) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.OL) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x238 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x238 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB8 = 4-2"x10" SPR. No.2 (4-38x238 SPR. No.2)  
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL)  
L2 = 4"x3-1/2"x5/16" (100x90x8.OL)  
L3 = 5"x3-1/2"x5/16" (125x90x8.OL)  
L4 = 6"x3-1/2"x5/16" (150x90x10.OL)  
L5 = 6"x4"x3/8" (150x100x10.OL)  
L6 = 7"x4"x3/8" (175x100x10.OL)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

1 = 2'-0" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR  
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS  
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR  
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

LEGEND

DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
GT	GIRDER TRUSS
PL	POINT LOAD
SWB	SOLID WOOD BEARING. SOLID BEARINGS TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.
LWB	LOAD-BEARING WALL
TSW	TWO-STORY WALL. SEE NOTE 39
FA	FLAT ARCH
F.D.	FLOOR DRAIN
SA	SMOKE ALARM. SEE NOTE 43
SA/CO	SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE 44



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posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

FEB 4 2019

ENERGY STAR V-17 ESCC MODEL



PROJECT NAME  
STANDARD NOTES - 2016  
TRINAR HALL HOMES INC.

5.	REVISIONS
4.	
3.	
2.	
1.	REVISED FOR SECONDO VALES ESTATE INC. JAN 18

The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S5  
P (416) 736-4096  
F (905) 660-0746

SHEET TITLE  
GENERAL NOTES

SCALE N.T.S. BY  
DATE NOV 2016 TYPE

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA PAGE No.  
PROJECT 00-00-00 2



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Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-03
Sewage System			
Zoning			

REVISIONS	DATE
D FORTINAR HALL HOMES INC.	JAN 18

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SHEET TITLE  
WOOD PARTY WALL

SCALE 3/4"=1'-0"

DATE NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA

PAGE No. 3

PROJECT NAME  
STANDARDS DETAILS - 2016  
TRINAR HALL HOMES INC.

TIGHTLY SEAL ANY GAPS WITH MINERAL WOOL OR NON-COMBUSTIBLE MATERIAL AS PER O.B.C. 9.10.11.2(3)

38x89 (2"x4") STUDS @ 400 O.C. WITH 15.9mm (5/8") TYPE 'X' GYPSUM BOARD ONE LAYER ON EACH SIDE. SUPPLEMENTARY STANDARDS S83, TABLE 1, MID WALL ASSEMBLY.

PROVIDE BEARING FOR GIRDER TRUSSES AS PER TRUSS DRAWING SPECIFICATION

PRE-ENGINEERED ROOF TRUSSES AS PER TRUSS MANUFACTURERS DRAWINGS

TOP OF PLATE

POLY WRAP AT PARTY WALL  
ACOUSTICAL SEALANT

2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS  
POLY WRAP AT PARTY WALL

3 ROWS (TOP, MIDDLE AND BOTTOM) OF 1"x4" STRAPPING TO RESTRAIN INSULATION FROM FALLING OUT.

POLY HEADER WRAP AT PARTY WALL  
5/8" TYPE 'X' GYPSUM WALL BOARD

FIN. SECOND FLOOR

ABSORPTIVE MATERIAL

ACOUSTICAL SEALANT  
2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS

3 ROWS (TOP, MIDDLE AND BOTTOM) OF 1"x4" STRAPPING TO RESTRAIN INSULATION FROM FALLING OUT.

ACOUSTICAL SEALANT

FIN. FIRST FLOOR

5/8" TYPE 'X' GYPSUM WALL BOARD  
JOISTS FRAMING INTO PARTY WALL

SOLID BLOCKING BETWEEN JOISTS  
CONTINUOUS RIM BOARD

ACOUSTICAL SEALANT

1/2" DIA. ANCHOR BOLTS EMBEDDED IN POURED CONC. WALL  
8" POURED CONC. WALL

CONTINUOUS BOND BREAKING MATERIAL

9" CONC. SLAB ON 5" COMPACTED GRAVEL  
FIN. BASEMENT SLAB

CONC. FTG. C/W 2"x4" KEYWAY ON NATURAL UNDISTURBED SOIL FOR SIZES SEE ARCHITECTURAL DRAWINGS

## WOOD FRAME PARTY WALL TRUSSES PERPENDICULAR TO PARTY WALL

SOUND ABSORPTIVE MATERIAL REQUIREMENTS  
SOUND ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE FIBRE. IT MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS FOR THE WALL TO PROVIDE THE LISTED STC VALUE.

SOUND TRANSMISSION RATING  
MINIMUM REQUIRED S.T.C. RATINGS OF 50 (O.B.C. DIV. B 9.11.2.1(1))

ACOUSTICAL SEALANT ASSEMBLIES WITH SOUND TRANSMISSION CLASS RATINGS OF 50 OR MORE REQUIRE ACOUSTICAL SEALANT APPLIED AROUND ELECTRICAL BOXES AND OTHER OPENINGS, AND AT THE JUNCTION OF INTERSECTING WALLS AND FLOORS, EXCEPT INTERSECTION OF WALLS CONSTRUCTED OF CONCRETE OR SOLID BRICK.

WALL TYPE  
SEE SUPPLEMENTARY STANDARDS S83 TABLE 1. WISA BEARING WALL WITH 2 ROWS OF 2X4 SPR @ 16" O.C. ON SEPARATE 2X4 PLATES SET 1" APART WITH 4" ABSORPTIVE MATERIAL AND 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD ON EACH SIDE (SEE NOTES 5 TO TABLE 1)

FIRE RESISTANCE RATING  
FIRE RESISTANCE RATING REQUIRED IS 1 HR. MIN. (AS PER SENTENCE DIV. B 9.10.11.2(1) O.B.C.)

2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS

1" AIR SPACE

3/4" SUBFLOOR

WOOD BLOCKING

FIN. FIRST FLOOR

SOUND ABSORPTIVE MATERIAL

ENGINEERED FLOOR JOISTS

W/HEADER

2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS

2"x4" SILL PLATE (MAX. 2 T2S P/F)

8" POURED CONC. FOUNDATION WALL

FIN. SLAB

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

5/8" TYPE 'X' GYPSUM WALL BOARD

CONT. ABSORPTIVE MATERIAL

1/2" CONTINUOUS GYPSUM BOARD

MIN. 1" SPACE BETWEEN MATERIALS

3 ROWS (TOP, MIDDLE AND BOTTOM) OF 1"x4" STRAPPING TO RESTRAIN INSULATION FROM FALLING OUT.

1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD

1/2" DRYWALL @ STUD CONCEALING STL. COL.

5/8" TYPE 'X' GYPSUM WALL BOARD

5/8" TYPE 'X' GYPSUM WALL BOARD

5/8" TYPE 'X' GYPSUM WALL BOARD

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5/8" TYPE 'X' GYPSUM WALL BOARD

5/8" TYPE 'X' GYPSUM WALL BOARD

ALL GYPSUM BOARD TO BE TIGHT FIR AGAINST ROOF SHEATHING AND ROOF TRUSSES. MIDDLE GYPSUM BOARD BETWEEN TWO TRUSSES TO BE TIGHTLY SCREWED TO BOTH TRUSSES.

PER-ENGINEERED ROOF TRUSSES BY TRUSS MFG. @ 24" O.C.

5/8" TYPE 'X' GYPSUM WALL BOARD

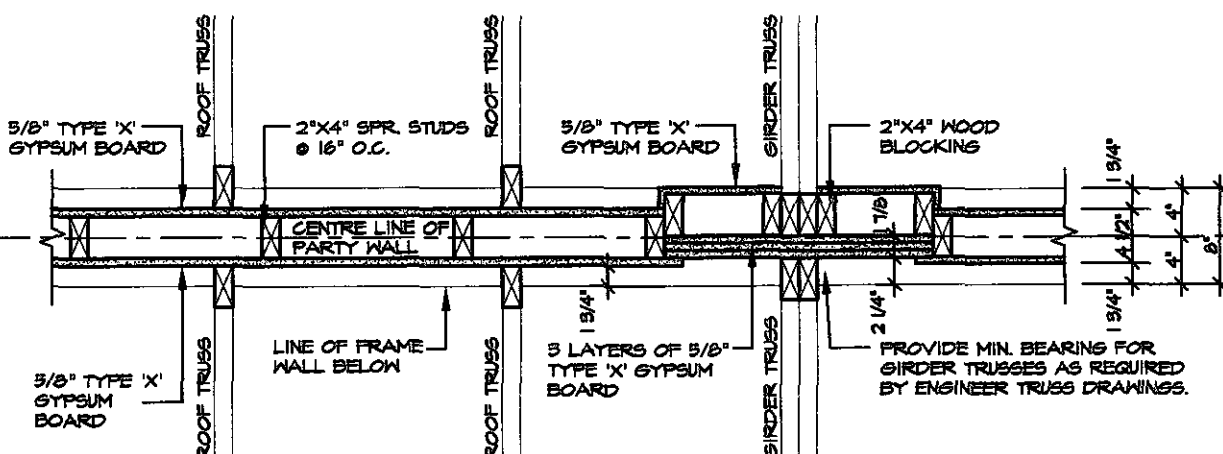
TOP OF PLATE

POLY WRAP AT PARTY WALL

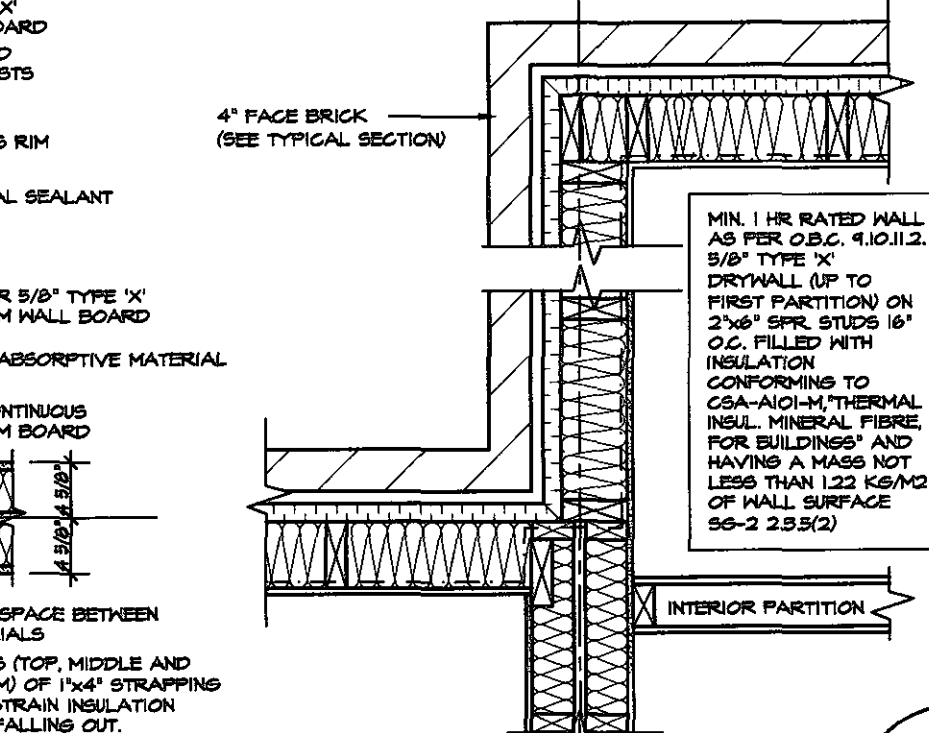
2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS

3 ROWS (TOP, MIDDLE AND BOTTOM) OF 1"x4" STRAPPING TO RESTRAIN INSULATION FROM FALLING OUT.

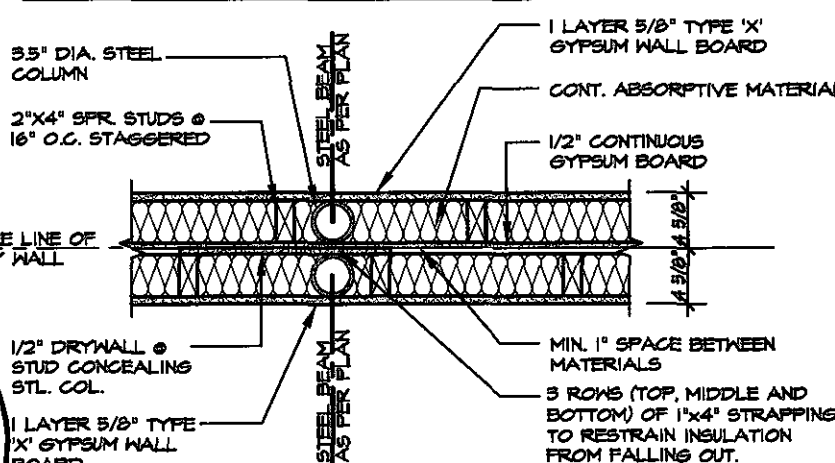
## SECTION @ FIRE SEPARATION IN ROOF SPACE TRUSSES PARALLEL TO PARTY WALL



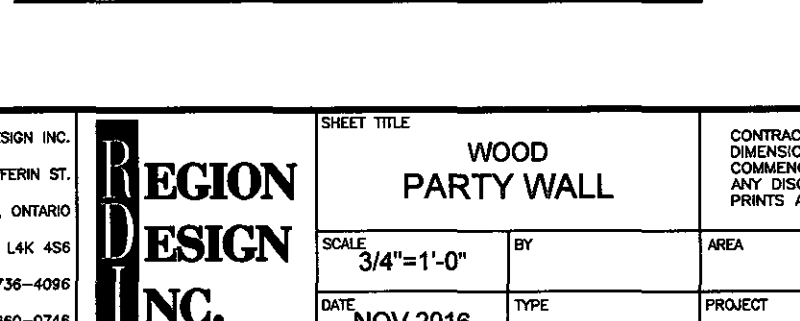
## PLAN OF FIRE SEPARATION IN ROOF SPACE TRUSSES PERPENDICULAR TO PARTY WALL



## FLOOR JOISTS PARALLEL



## PLAN OF PARTY WALL IN GARAGE

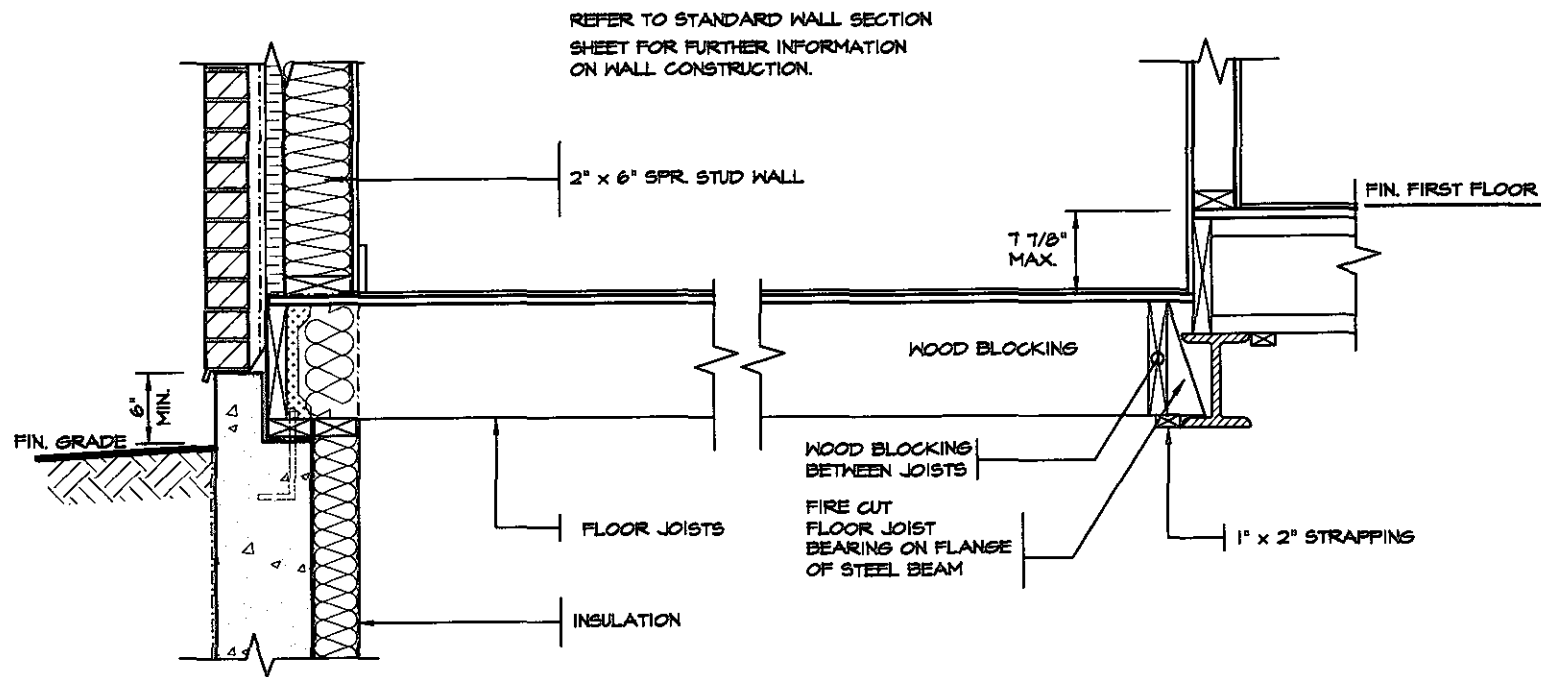


## PARTY WALL PLAN SECTION

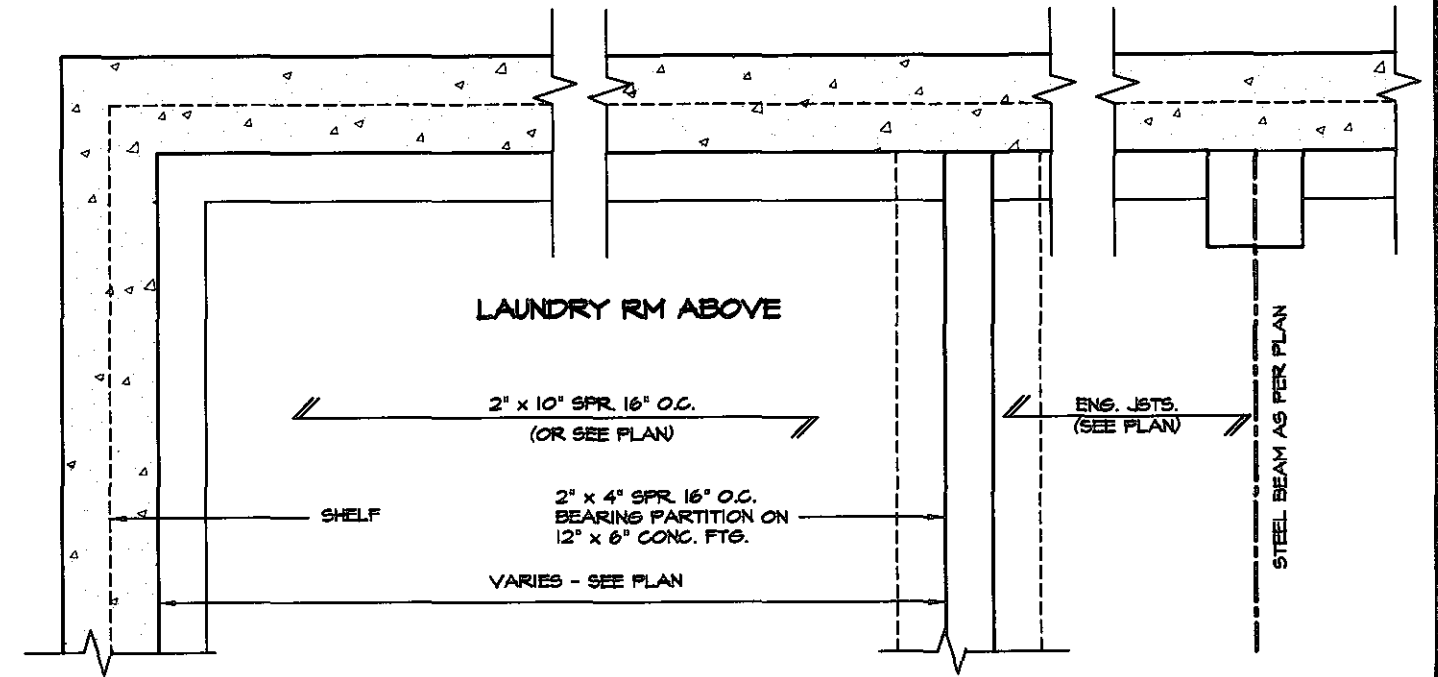


ESCC MODEL

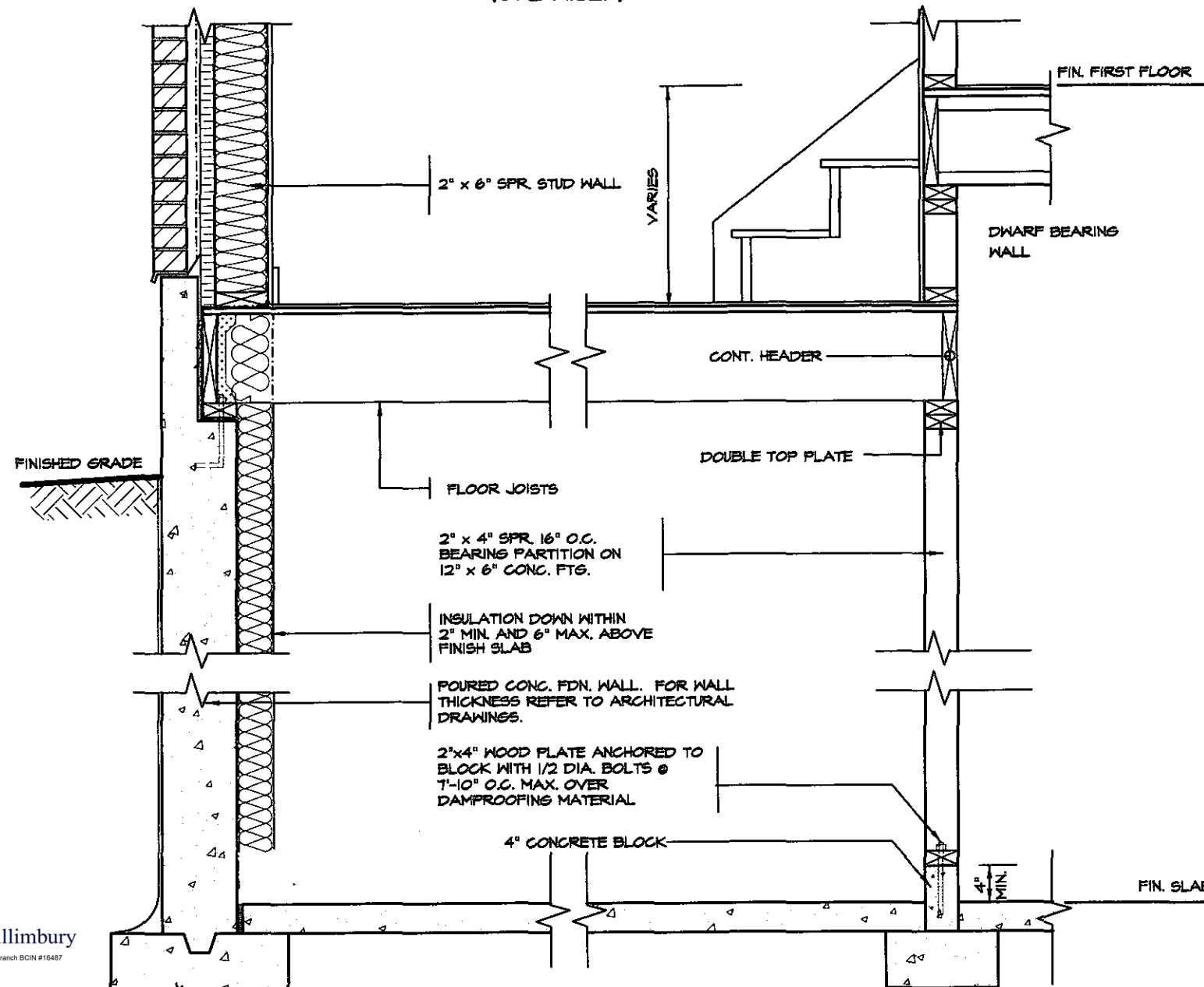
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DETAIL OF SUNKEN LAUNDRY  
(ONE RISER)



PARTIAL PLAN



DETAIL OF SUNKEN LAUNDRY  
(MORE THAN ONE RISER)



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Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-03
Sewage System			
Zoning			

2.	REVISIONS	JAN 18
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
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**REGION  
DESIGN  
INC.**

SHEET TITLE  
**SUNKEN  
LAUNDRY DETAILS**  
SCALE  
3/4"=1'-0"  
DATE  
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

BY  
AREA  
PAGE No.  
4

PROJECT NAME  
**STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.**

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

**ESCC MODEL**

FEB 14 2019



EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'H' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x5" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

CONVENTIONAL ROOF RAFTERS AND CEILING JOISTS OR ROOF TRUSSES @ 24" o.c. MAX.



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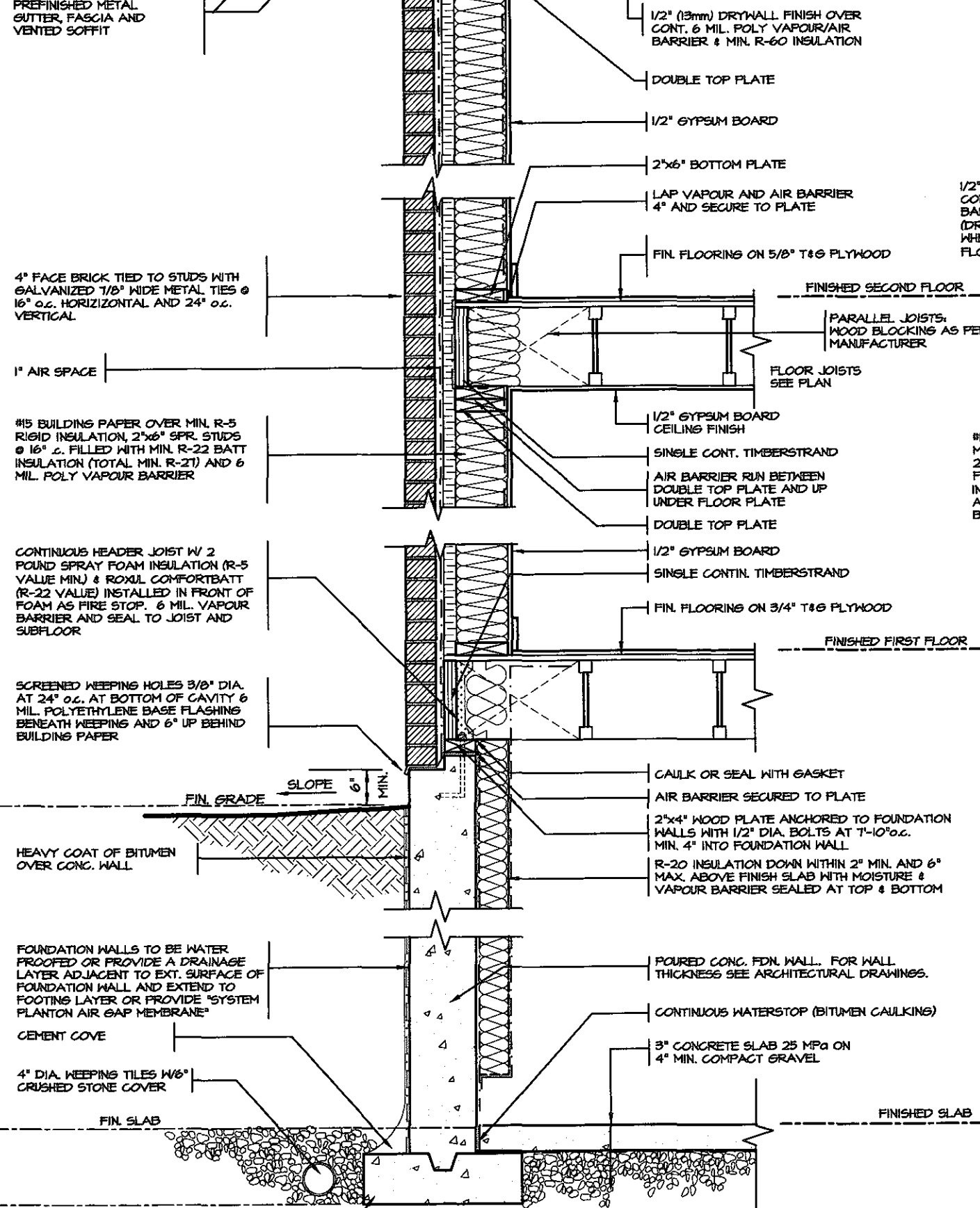
Discipline	Reviewer	BCIN	Date
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Sewage System			
Zoning			

STRUDET INC.



FOR STRUCTURE ONLY

### DETAIL FOR INTERIOR GARAGE WALLS & CEILINGS



1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-31 INSULATION. (DRYWALL ON THE CEILING ONLY WHEN THERE IS NO SECOND FLOOR ABOVE GARAGE)

FIN. FLOORING ON 5/8" T&G PLYWOOD

#15 BUILDING PAPER OVER MIN. R-5 RIGID INSULATION, 2"x6" SFR. STUDS @ 16" c. FILLED WITH MIN. R-22 BATT INSULATION (TOTAL MIN. R-27) AND 6 MIL. POLY VAPOUR BARRIER

1/2" GYPSUM BOARD CEILING FINISH  
AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE  
DOUBLE TOP PLATE

WALL FLASHING  
WEEP HOLES

PROTECTION REQ'D FOR FRAMING MEMBERS  
2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL  
DOVE TAIL TIES @ 8" o.c. VERT. & 36" o.c. HORIZ.  
SOLID MORTAR FILL

EVERY OTHER BRICK IS OMITTED TO TIE IN CONC SLAB MIN. 4" INTO FOUND. WALL

WALL FLASHING

WEEP HOLES

CAULKING

SLOPE

5" MIN. REINF. CONC. PORCH SLAB. SEE ARCHITECTURAL DRAWINGS.  
3" MIN. BEARING

R-20 INSULATION

FOUNDATION WALL

COLD CELLAR

PROTECTION REQ'D FOR FRAMING MEMBERS

8" FOUNDATION WALL WHEN VENEER CUT IS EQUAL OR LESS THAN 26".  
10" FOUNDATION WALL WHEN VENEER CUT IS MORE THAN 26".

### DETAIL FOR CONCRETE VENEER DROPPED GRADE

### DETAIL FOR COLD CELLAR PORCH SLAB

CONC. FOOTING CAN FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

NO.	REVISIONS	DATE
5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4098  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE 2 STOREY SECTION 2"x6" BRICK VENEER ENERGY STAR	
SCALE 3/4"=1'-0"	BY
DATE NOV 2016	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE NO. 5
PROJECT	

FEB 14 2019

Energy Star

**ESCC MODEL**

**Greenpark™**

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.



EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'M' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x6" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

1 1/2"x6" RAISED STUCCO FRIEZE BOARD (TYP.)

MESH BACKWRAPPED

- FIN. COAT OF EXTERIOR ACRYLIC STUCCO
- FIBER MESH EMBEDDED IN PREP COAT
- INSULATION BOARD (MIN. R5) W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"
- AIR/MOISTURE BARRIER
- 1/16" EXTERIOR GRADE OSB SHEATHING
- 2" x 6" STUDS
- MIN. R-22 BATT INSULATION
- CONT. VAPOUR / AIR BARRIER
- 1/2" DRYWALL

(EIFS APPROVED SYSTEM, ALL MATERIALS AND SYSTEMS SHALL CONFORM TO CANULC-5716.1)

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF TRUSSES @ 24" o.c. MAX. RAISED HEEL TO MATCH PLATE

TOP OF WOOD PLATE

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-60 INSULATION

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

2"x6" BOTTOM PLATE

LAP VAPOUR AND AIR BARRIER 4" AND SECURE TO PLATE

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

PARALLEL JOISTS: WOOD BLOCKING AS PER MANUFACTURER

FLOOR JOISTS SEE PLAN

1/2" GYPSUM BOARD CEILING FINISH

SINGLE CONT. TIMBERSTRAND

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

SINGLE CONTIN. TIMBERSTRAND

FIN. FLOORING ON 3/4" T&G PLYWOOD

FINISHED FIRST FLOOR

CONCRETE SILL

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 1/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

SCREENED KEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH KEEPING AND 6" UP BEHIND BUILDING PAPER

FIN. GRADE SLOPE 6" MIN.

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. KEEPING TIES W/ 6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING C/M FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

CAULK OR SEAL WITH GASKET

AIR BARRIER SECURED TO PLATE

2"x4" WOOD PLATE ANCHORED TO FOUNDATION WALLS WITH 1/2" DIA. BOLTS AT 7'-10" o.c. MIN. 4" INTO FOUNDATION WALL

R-20 INSULATION DOWN WITHIN 2" MIN. AND 6" MAX. ABOVE FINISH SLAB WITH MOISTURE & VAPOUR BARRIER SEALED AT TOP & BOTTOM

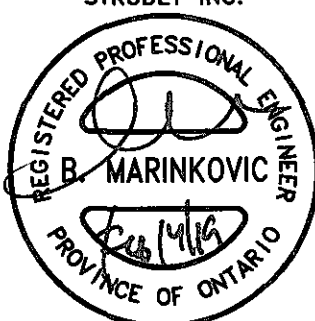
POURED CONC. FDN. WALL. FOR WALL THICKNESS SEE ARCHITECTURAL DRAWINGS.

CONTINUOUS WATERSTOP (BITUMEN CAULKING)

3" CONCRETE SLAB 25 MPa ON 4" MIN. COMPACT GRAVEL

FINISHED SLAB

STRUDET INC.



FOR STRUCTURE ONLY



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

WOOD SHEATHING

AIR/MOISTURE BARRIER

FIBRE MESH EMBEDDED IN PREP COAT

INSULATION BOARD (R-5) MIN W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"

STARTER MESH (BACKWRAPPED)

CAULK WITH BEAD VENT

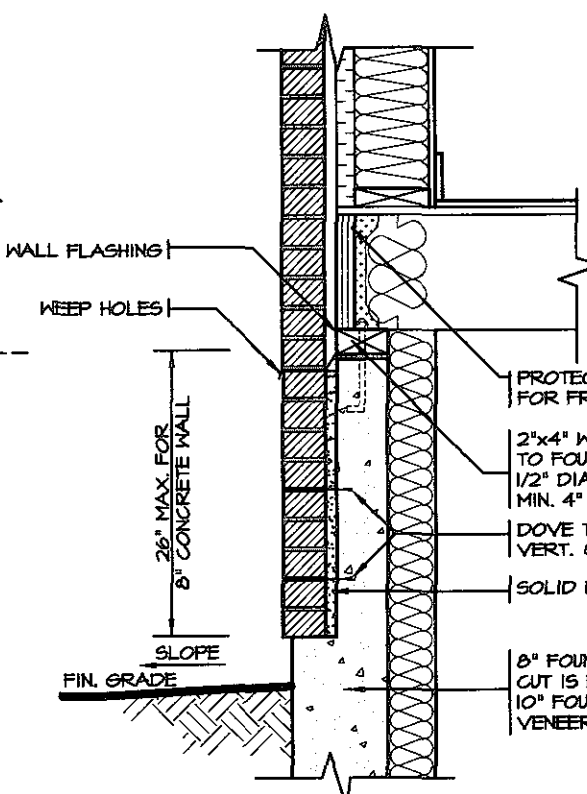
FLASHING

CONCRETE SILL

MASONRY CLADDING AS PER ELEVATION

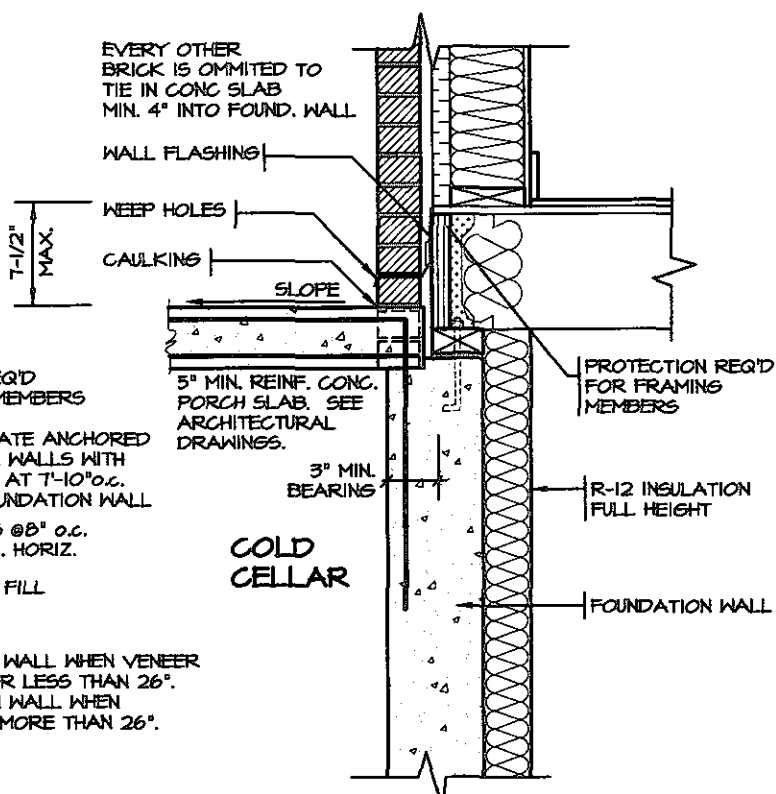
A. TERMINATION AT MASONRY CLADDING WITH SEALANT 1

1 1/2" = 1'0"



DETAIL FOR CONCRETE VENEER DROPPED GRADE

3/4" = 1'0"



DETAIL FOR COLD CELLAR PORCH SLAB

3/4" = 1'0"

MIN. 4'-0" FROST COVERAGE

NO.	REVISIONS	DATE
5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

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QUALIFICATION INFORMATION

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REGION DESIGN INC.

SHEET TITLE  
2"X6" STUCCO WALL  
2 STOREY SECTION

SCALE  
AS NOTED

DATE  
NOV 2016

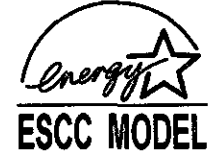
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AREA  
PAGE No.  
5-2

PROJECT  
00-00-00

Greenpark  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

FEB 14 2019



STANDARD DETAIL 11 1/2" x 6" 2 STOREY SECTION 2X6 ENERGY STAR DWG

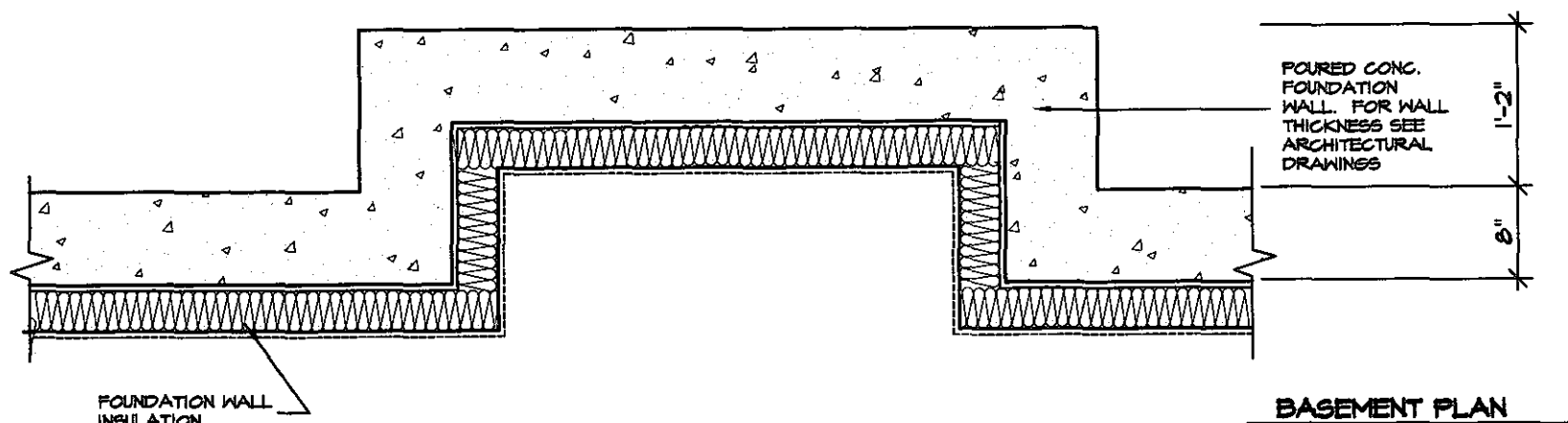




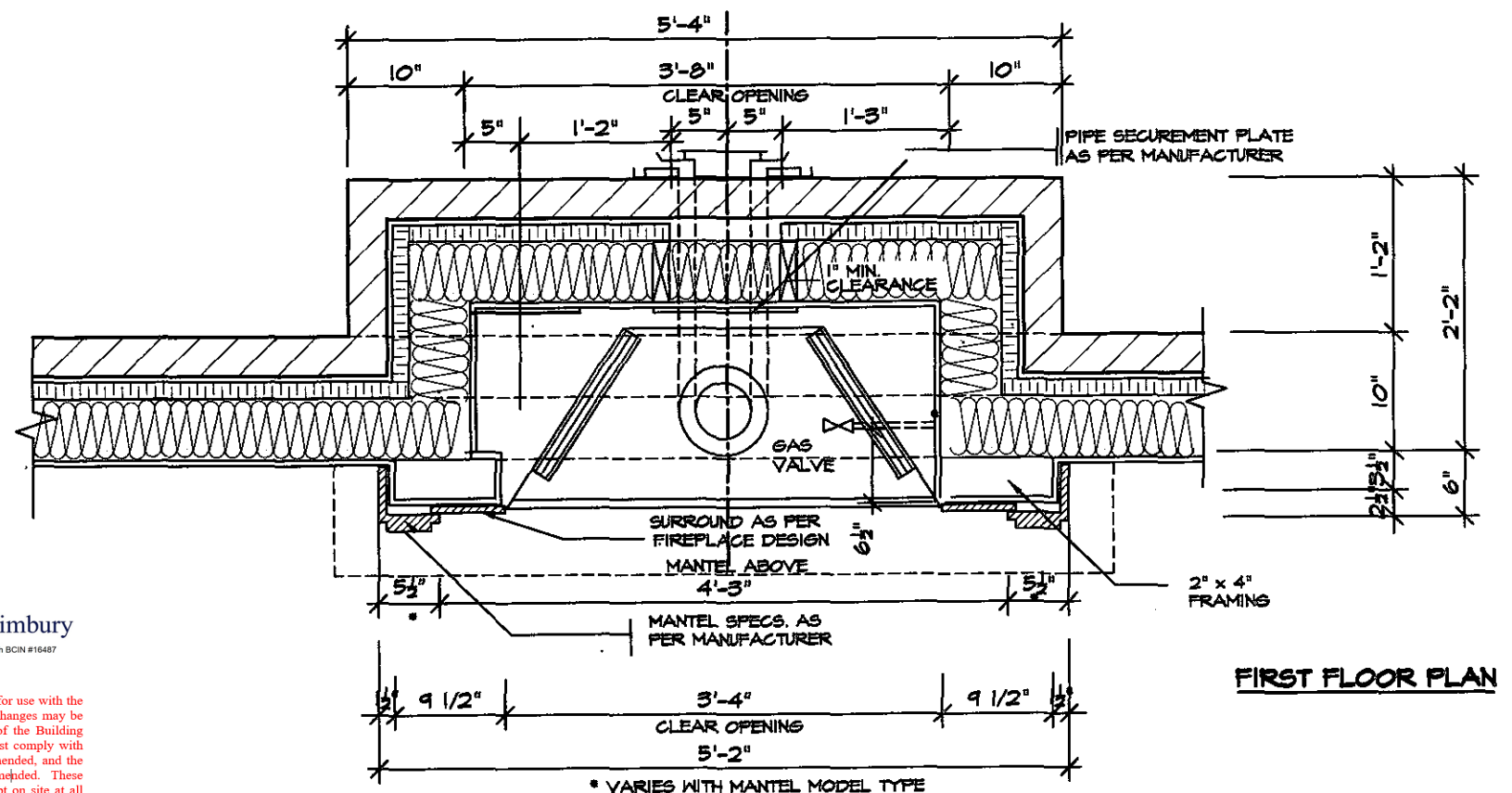


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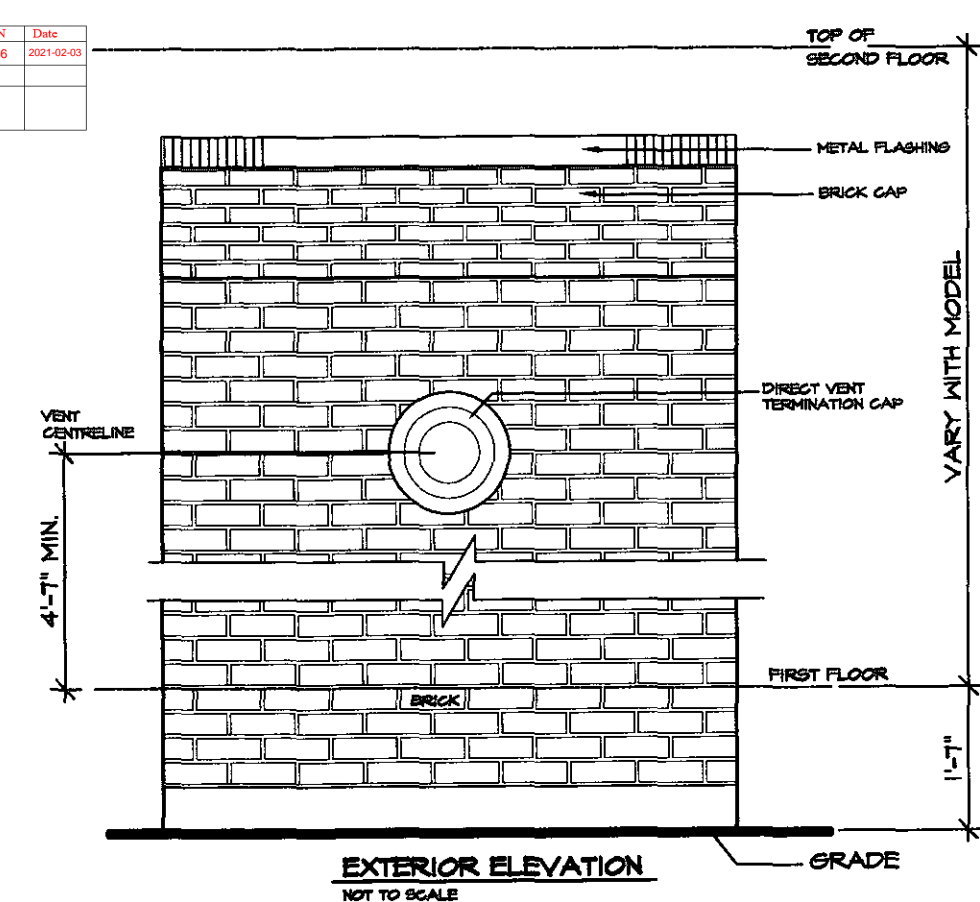
Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



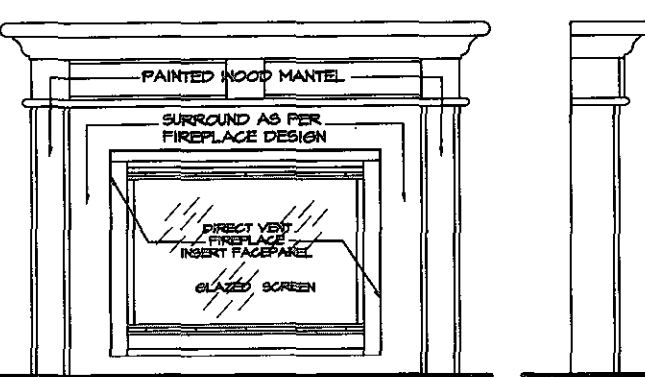
BASEMENT PLAN



FIRST FLOOR PLAN



EXTERIOR ELEVATION  
NOT TO SCALE

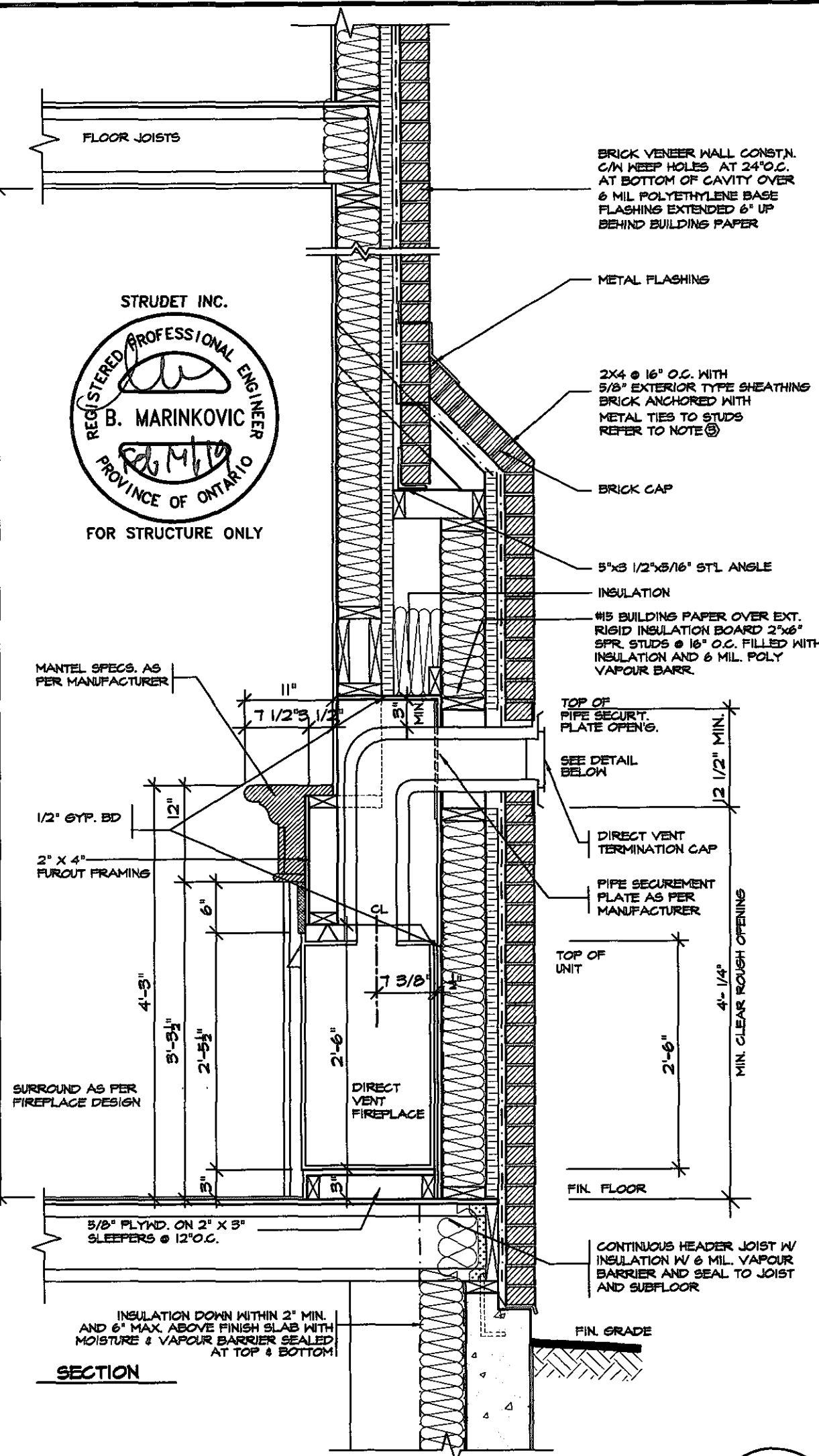


FRONT/SIDE ELEVATION  
NOT TO SCALE

GENERAL INSTALLATION NOTES

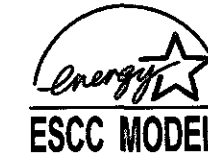
- 1.0 UNIT INSTALLATION TO STRICTLY CONFORM TO MANUFACTURERS INSTALLATION MANUAL AND ALL APPLICABLE CODES OF LOCAL AUTHORITIES HAVING JURISDICTION INCLUDING CAN/CSA-B144.1 & 2.
- 2.0 INSTALL WITH THE FOLLOWING MINIMUM CLEARANCES TO COMBUSTIBLES:
  - FROM TOP OF UNIT 0"
  - FROM BACK OF UNIT 1/2"
  - FROM SIDES OF UNIT 1/2"
  - FROM TOP OF HORIZ. VENT 3"
  - FROM SIDES TO VENT 1"
- 3.0 THE DIRECT VENT UNIT ILLUSTRATED IS THE SC150 MODEL AS MANUFACTURED BY HEATILATOR.
- 4.0 THE MANTEL ILLUSTRATED IS THE S-2 GB AS SUPPLIED BY GREATER TORONTO FIREPLACE.

VARY REFER TO MODEL



SECTION

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

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CONCORD, ONTARIO  
L4K 4S6  
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F (905) 660-0746



SHEET TITLE  
DIRECT  
VENT FIREPLACE  
WITH BRICK CAP

SCALE  
3/4"=1'-0"

DATE  
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

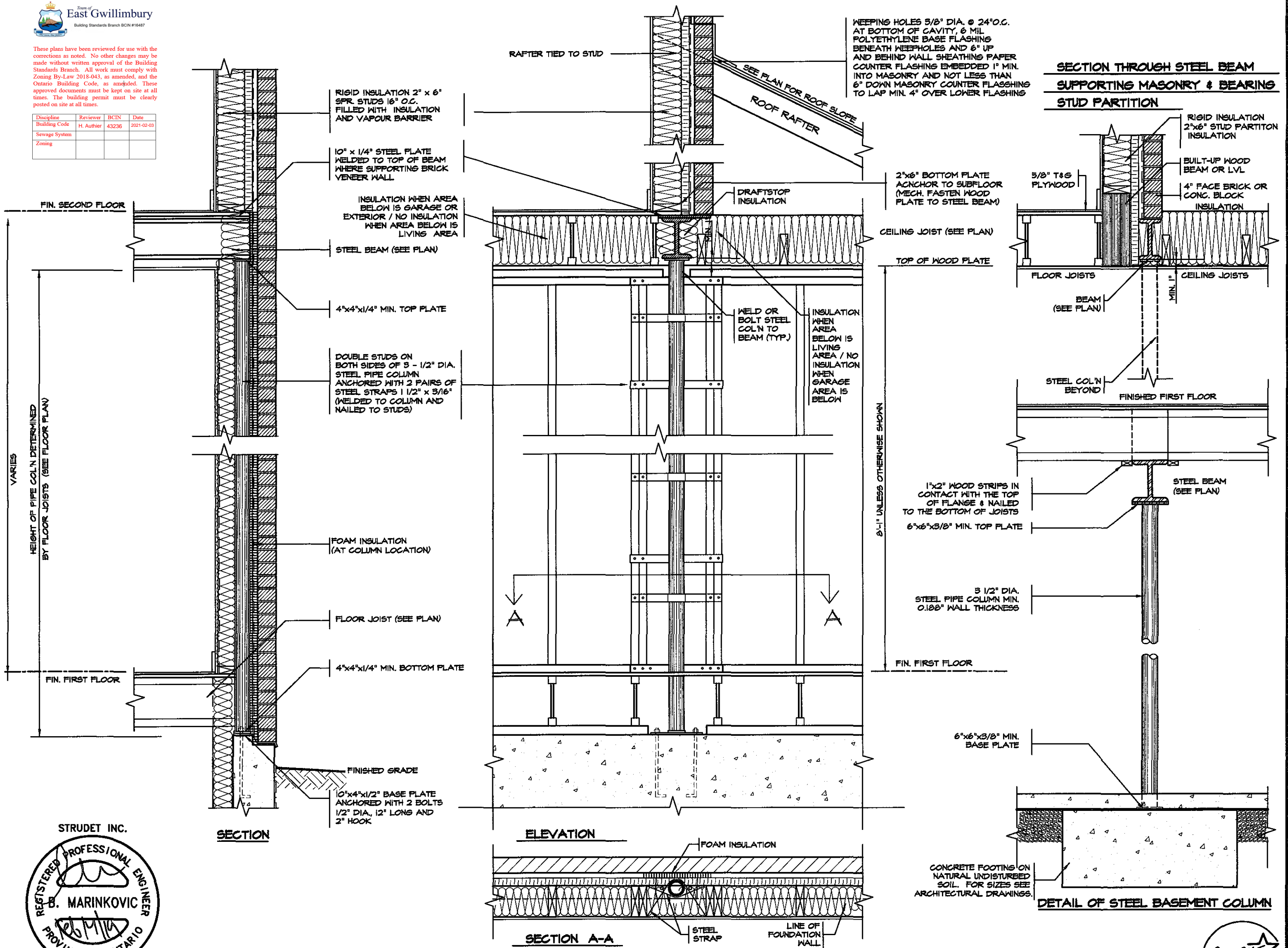
AREA  
PAGE No.  
6-2

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.



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Sewage System			
Zoning			



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CONCORD, ONTARIO

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**REGION DESIGN INC.**

SHEET TITLE

**STEEL COLUMN DETAILS**

SCALE

3/4" = 1'-0"

DATE

NOV 2016

BY

TYPE

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AREA

PAGE No.

7

PROJECT

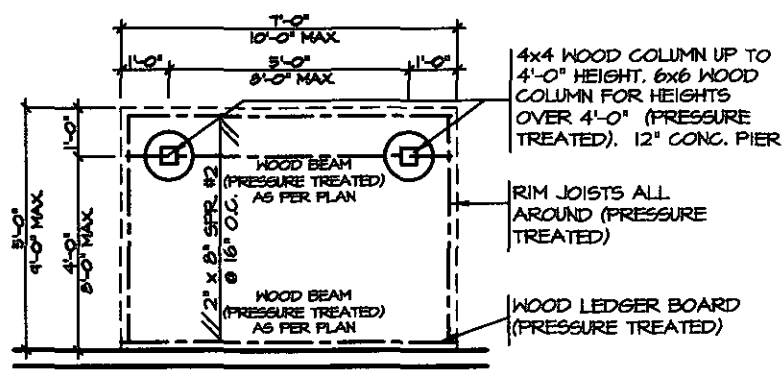
**Greenpark.**

PROJECT NAME

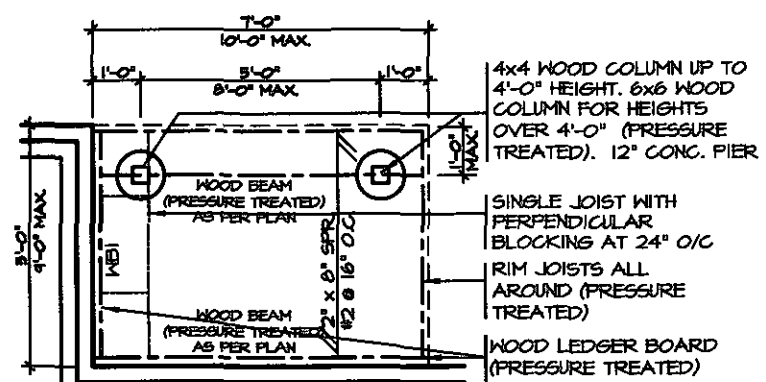
STANDARD DETAILS - 2016

TRINAR HALL HOMES INC.

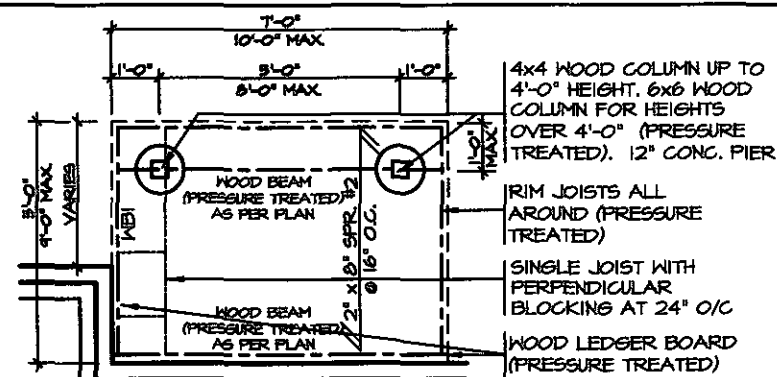




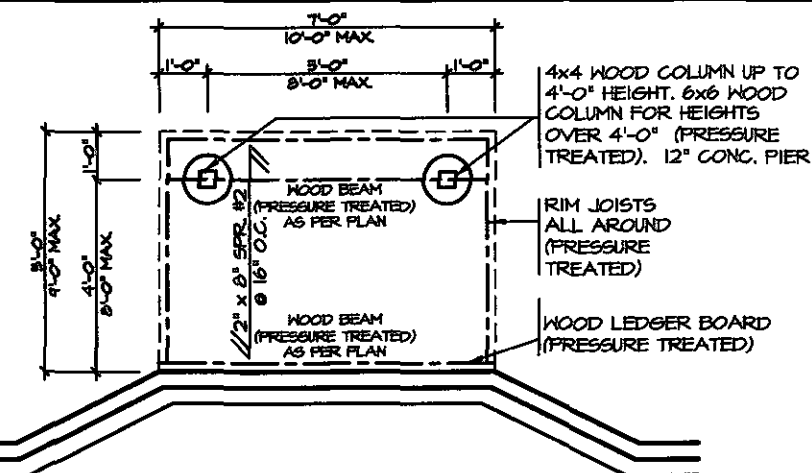
**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

2" x 2" PICKETS CHAMFERED AT BOTTOM WITH 2" x 6" TOP CAP AND 2" x 4" TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

RIM JOISTS (PRESSURE TREATED)

GUARDS FOR STAIRS SHALL NOT BE LESS THAN 2'-11" HIGH MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF THE STAIR NOSINGS

2x4 WOOD BLOCKING @ 4'-0" O.C. MIN. BETWEEN STRINGERS

2x12 STRINGER

PRECAST CONCRETE SLAB

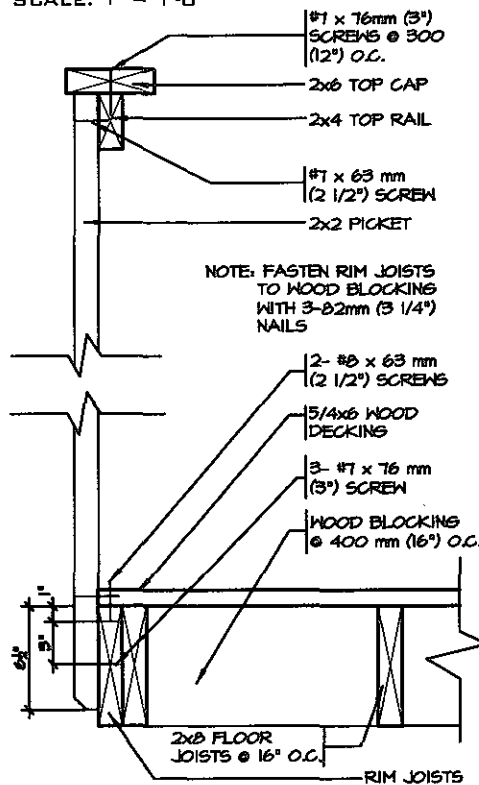
(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE. 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

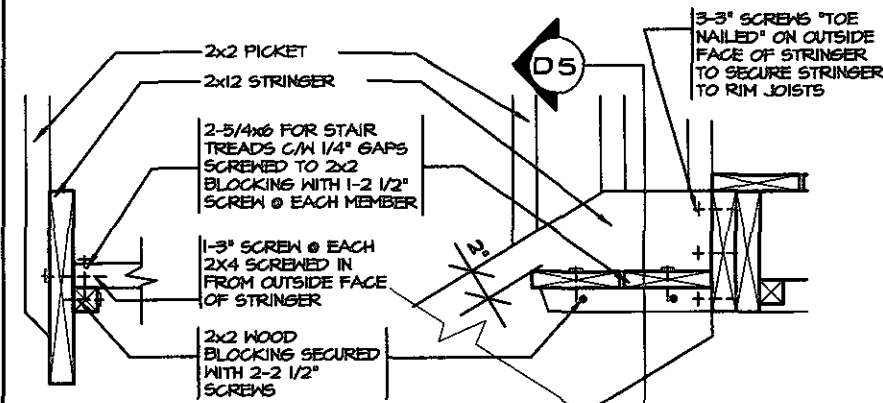
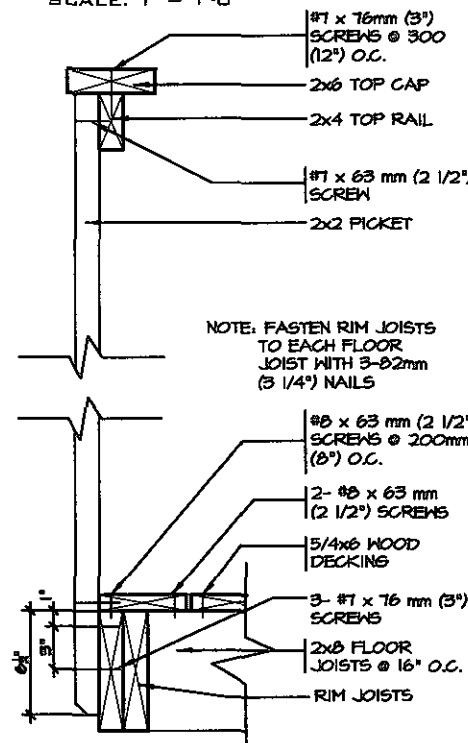
**DECK SECTION WITH BRICK VENEER**  
SCALE: 1/2" = 1'-0"

**DETAIL 1**  
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK

GUARD PARALLEL TO FLOOR JOISTS  
SCALE: 1" = 1'-0"



GUARD PERPENDICULAR TO FLOOR JOISTS  
SCALE: 1" = 1'-0"



**DETAIL 5**  
SECTION THROUGH STAIR STRINGER  
SCALE: 1" = 1'-0"

**DETAIL 4**  
SECTION @ TREAD AND STRINGER SECUREMENT  
SCALE: 1" = 1'-0"

**GENERAL NOTES**

1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
3. ALL NAILS AND SCREWS TO BE GALVANIZED.
4. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.



FOR STRUCTURE ONLY

FEB 14 2019



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Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

1. REVISED FOR TRINAR HALL HOMES INC.	JAN 18
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**REGION DESIGN INC.**

**WOOD DECK DETAIL**

SCALE AS SHOWN BY  
DATE NOV 2016 TYPE

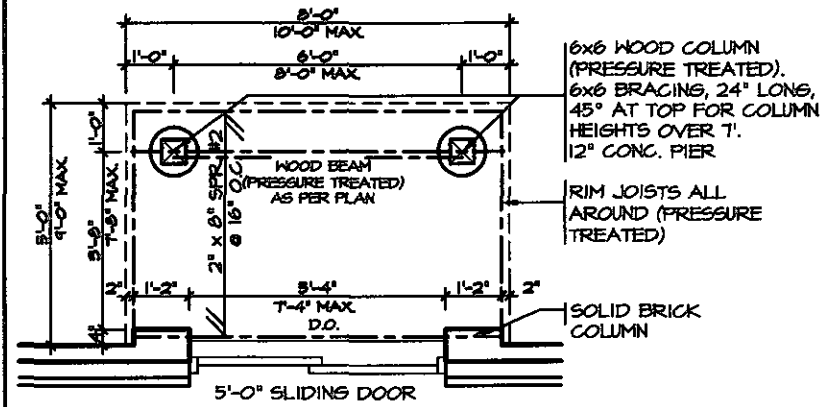
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AREA PAGE No. 8

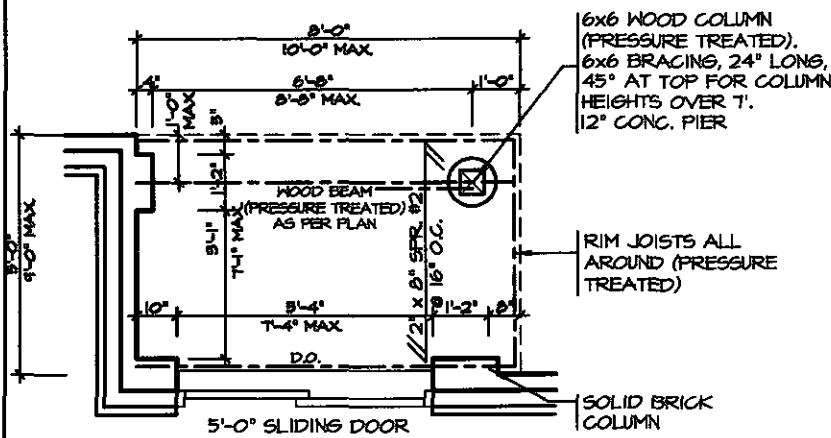
**Greenpark.**

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

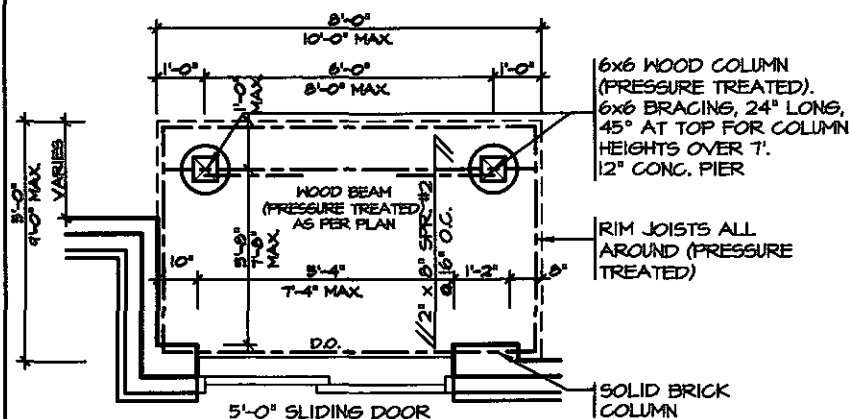




**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

2x2 PICKETS CHAMFERED AT BOTTOM WITH 2x6 TOP CAP AND 2x4 TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

WBI RIM JOISTS (PRESSURE TREATED)

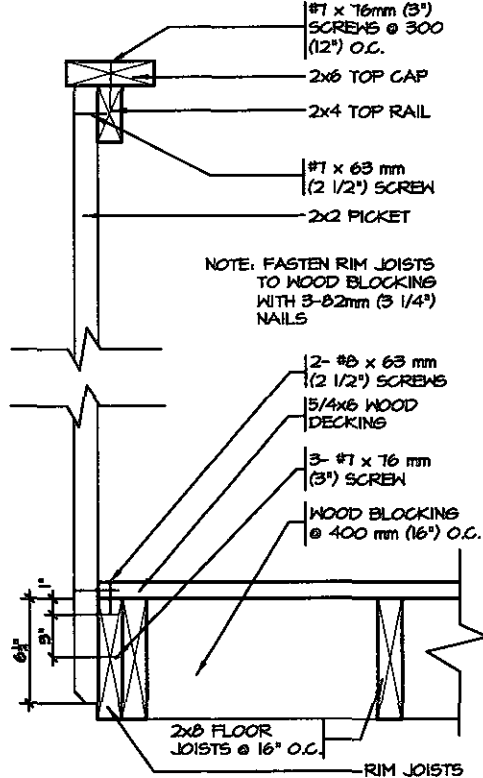
(CORROSION RESISTANT) SIMPSON STRONG-TIE POST CAP

(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE, 1/2" DIA. ANCHOR BOLT.

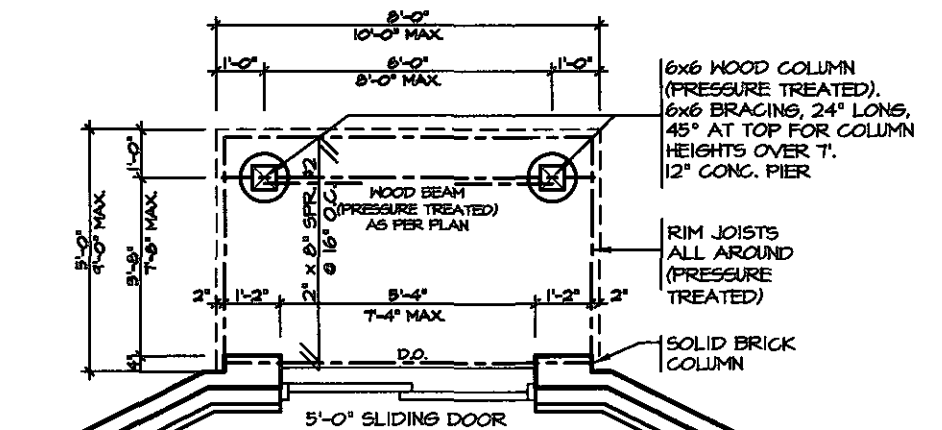
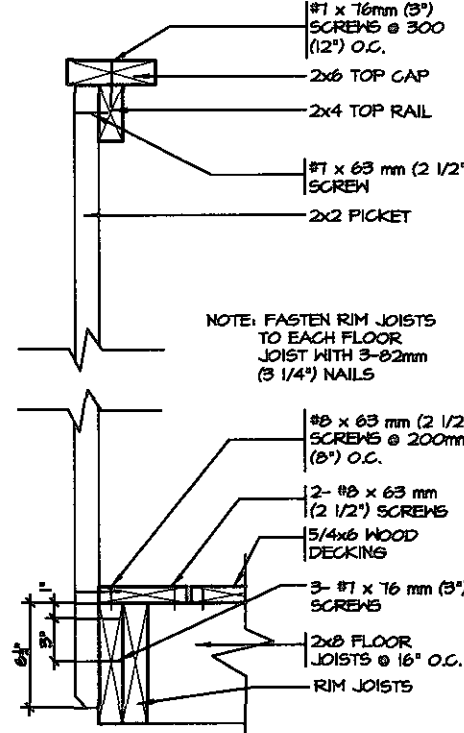
12" CONC. PIER

**DECK SECTION WITH BRICK VENEER**  
SCALE: 1/2" = 1'-0"

**DETAIL 1**  
**CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK**  
**GUARD PARALLEL TO FLOOR JOISTS**  
SCALE: 1" = 1'-0"



**GUARD PERPENDICULAR TO FLOOR JOISTS**  
SCALE: 1" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

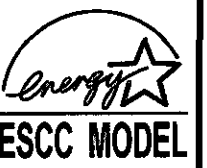
**GENERAL NOTES**

1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
3. ALL NAILS AND SCREWS TO BE GALVANIZED.
4. WBI = 2- 2 x 8 (PRESSURE TREATED) WBS = 2- 2 x 10 (PRESSURE TREATED)
5. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.

STRUDET INC.



FEB 16 2019



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Discipline	Reviewer	BCIN	Date
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Sewage System			
Zoning			

1. REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS	

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VIKAS GAJJAR 28770

NAME SIGNATURE BCIN

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F (905) 660-0746



SHEET TITLE  
**WALK-OUT DECK DETAILS**

SCALE AS SHOWN BY

DATE NOV 2016 TYPE

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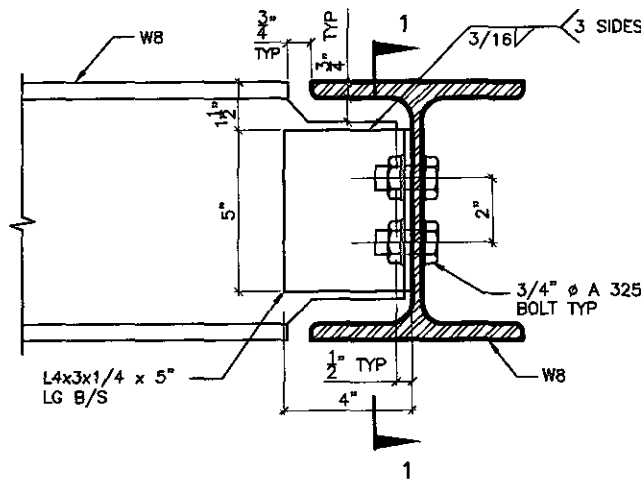
AREA PAGE No. 8-2

PROJECT 00-00-00

**Greenpark**

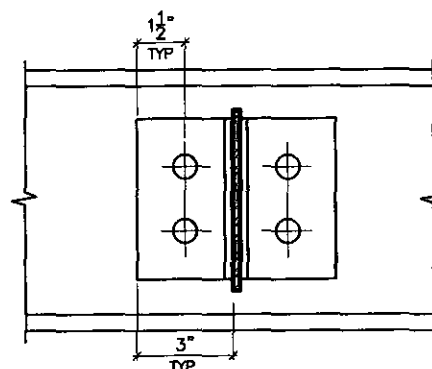
PROJECT NAME  
**STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.**



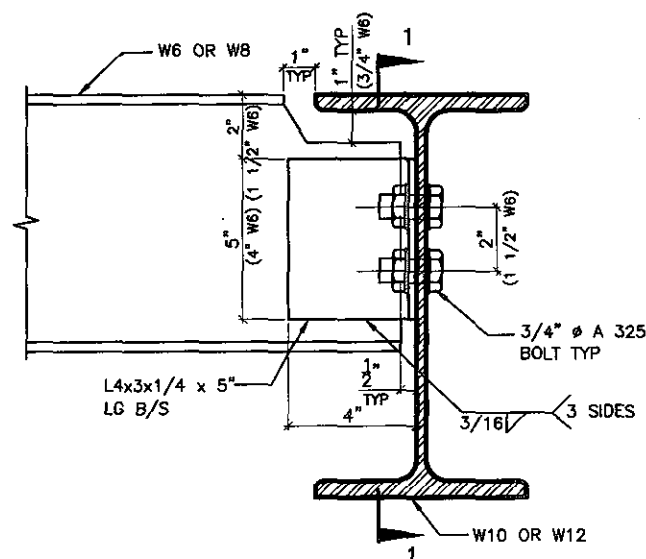


**DETAIL 1.**

**W8  
TO  
W8  
CONNECTION**

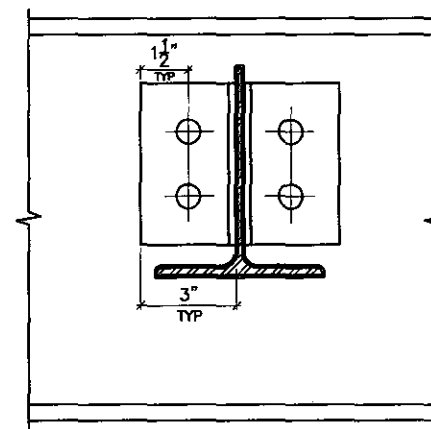


SECTION 1-1

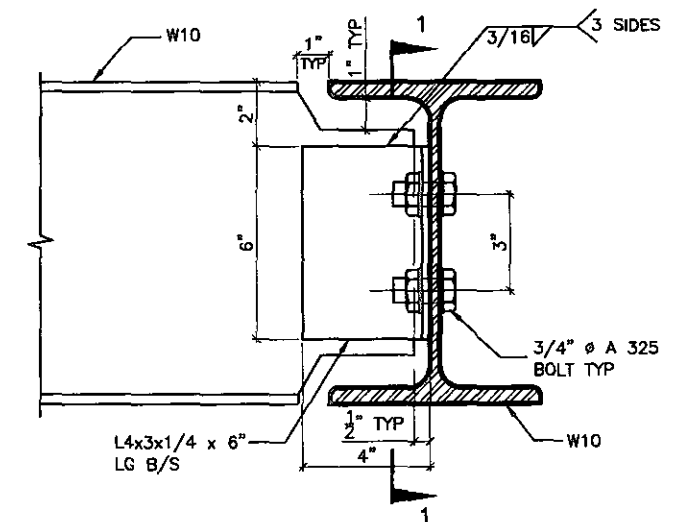


**DETAIL 2.**

**W6(W8)  
TO  
W10(W12)  
CONNECTION**

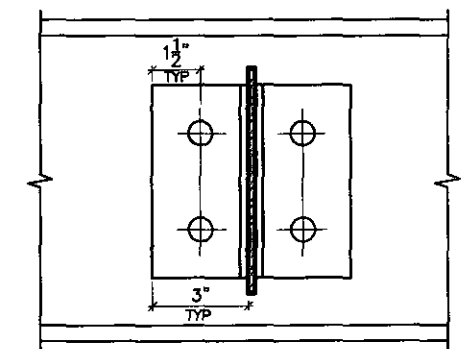


SECTION 1-1

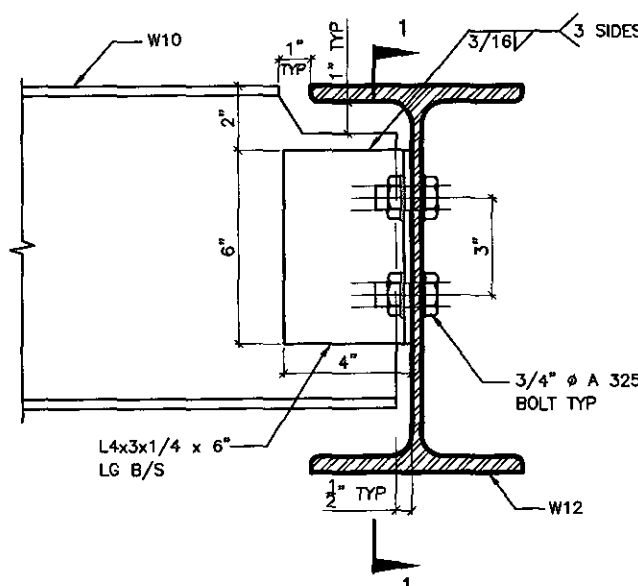


**DETAIL 3.**

**W10  
TO  
W10  
CONNECTION**

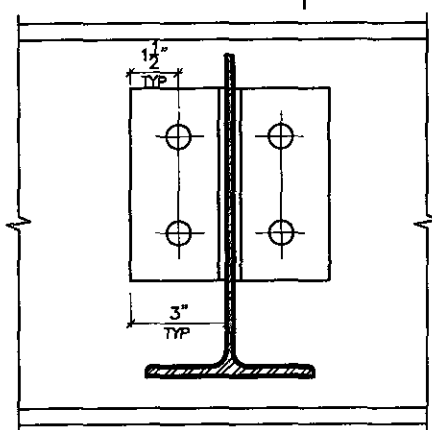


SECTION 1-1

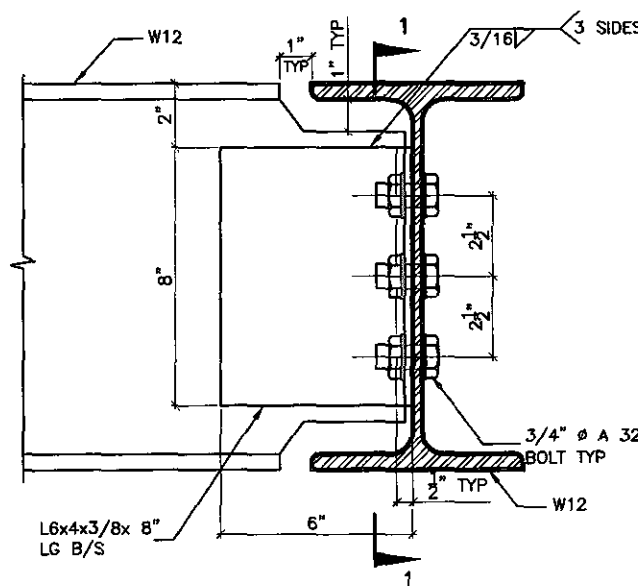


**DETAIL 4.**

**W10  
TO  
W12  
CONNECTION**

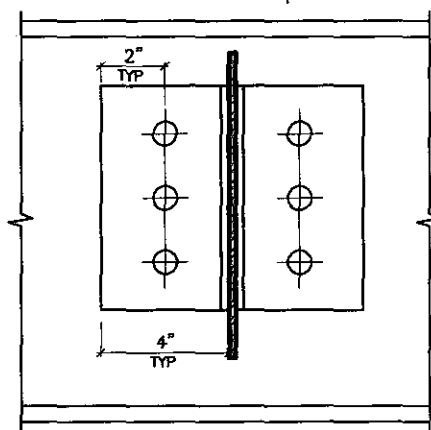


SECTION 1-1

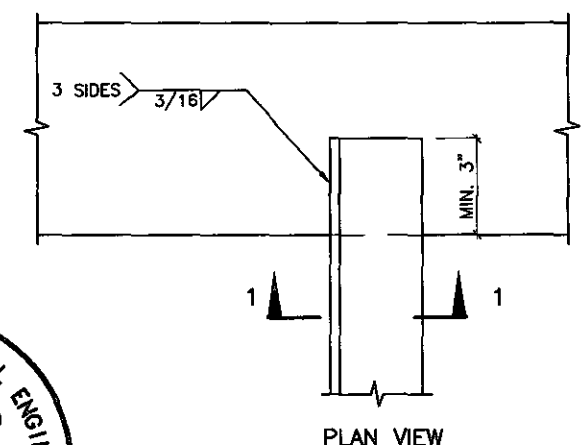


**DETAIL 5.**

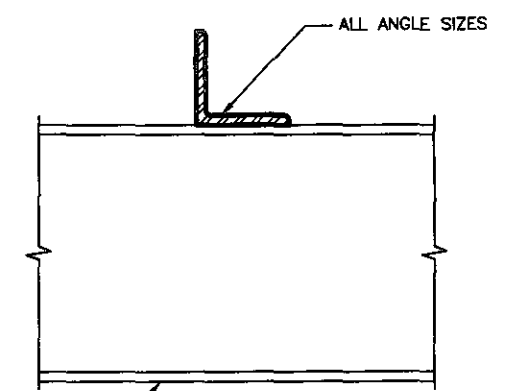
**W12  
TO  
W12  
CONNECTION**



SECTION 1-1



PLAN VIEW



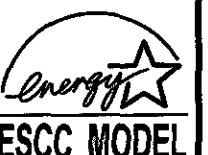
SECTION 1-1



**DETAIL 6.**

**ANGLE  
TO  
BEAM  
CONNECTION**

FEB 14 2018



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4095  
F (905) 660-0746



SHEET TITLE

STEEL  
BEAM DETAILS

SCALE

N.T.S.

DATE

NOV 2016

BY

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA

PROJECT

00-00-00

PAGE No.

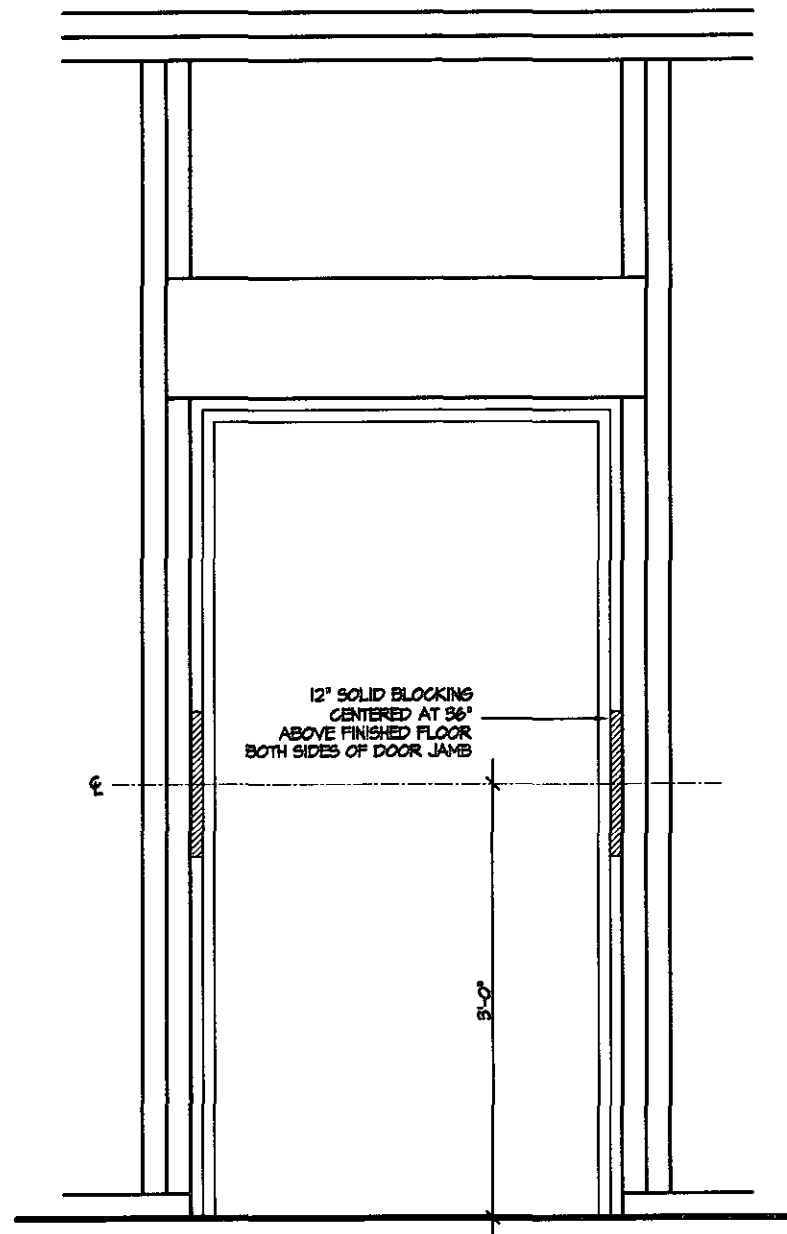
9



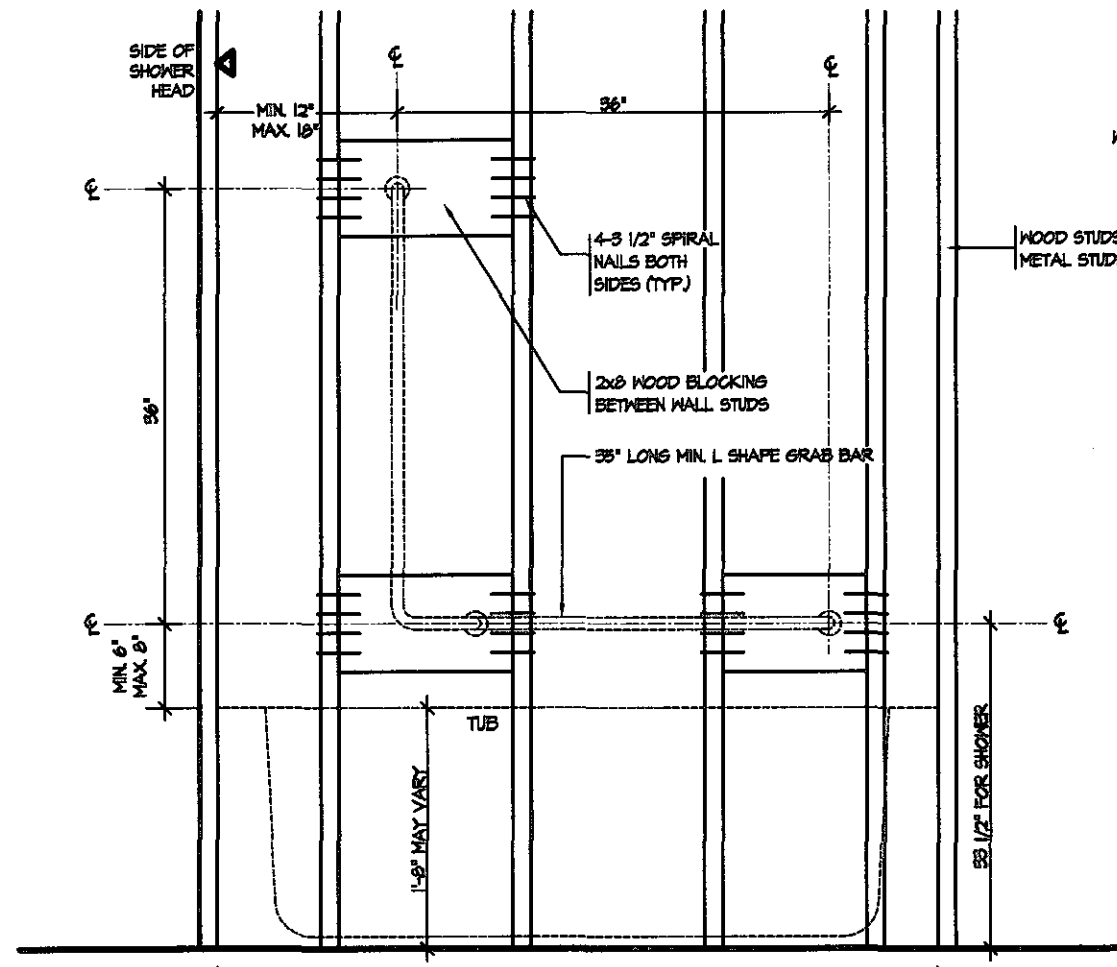
PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

11-25-16 AM MASTANDARD DETAIL SIP R M I T S F TENERGY STAR2018 TRINAR HALL V1770 P 9 - BEAM CONNECTIONS ENERGY STAR DWG

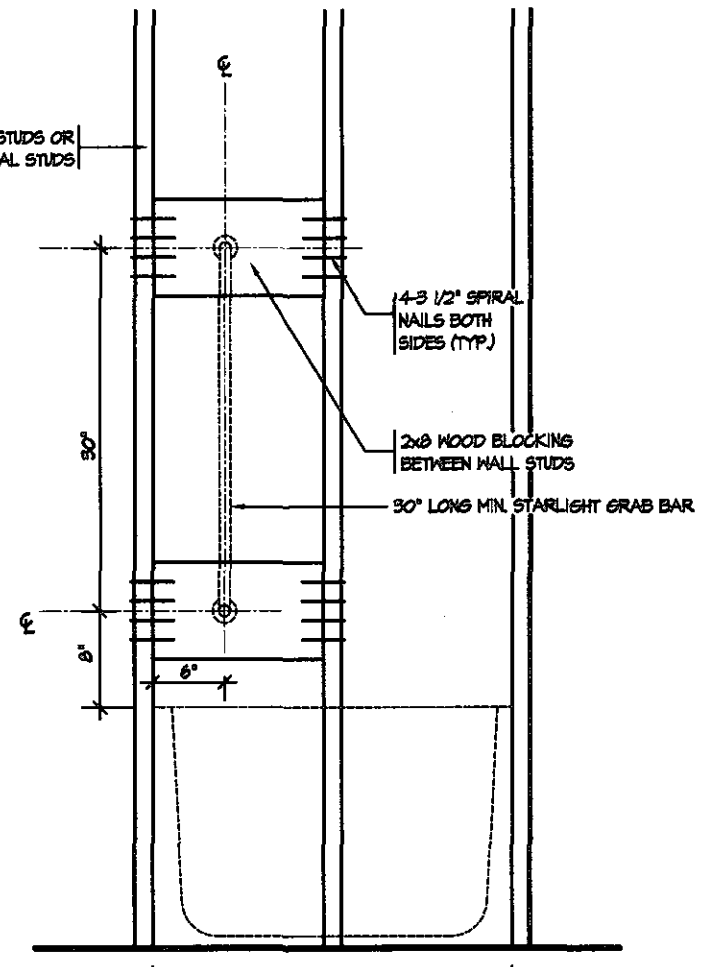




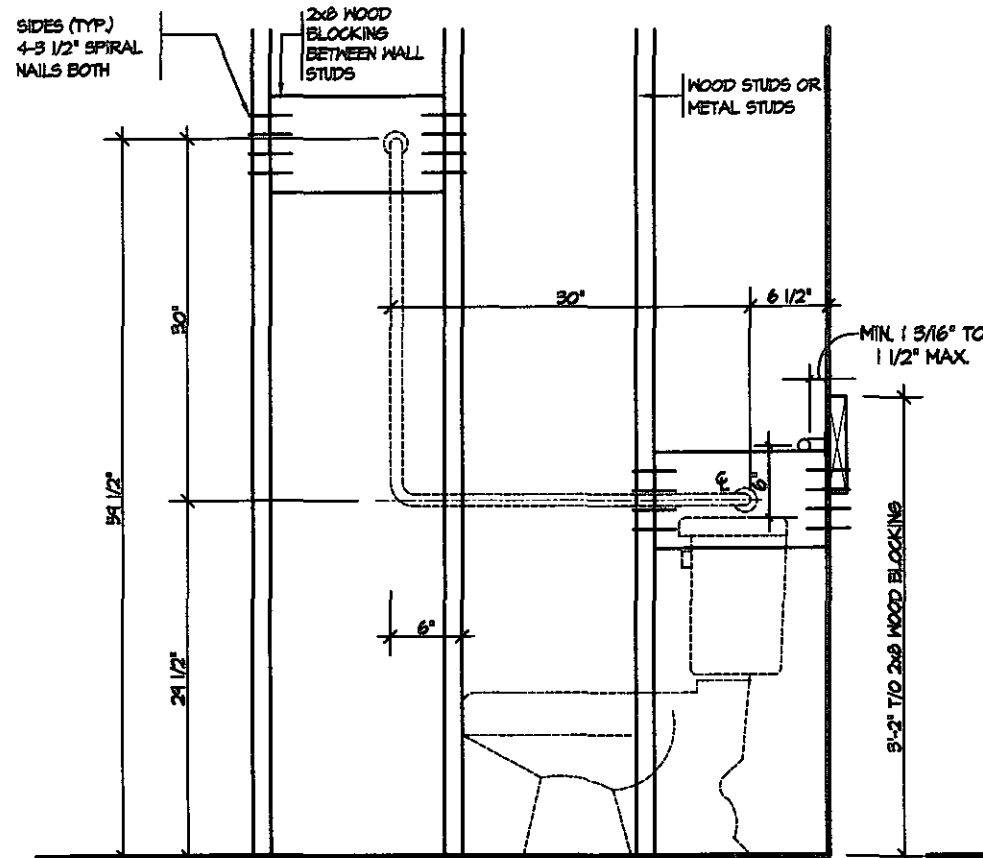
RESISTANCE TO FORCED ENTRY (OBC 9.6.2)



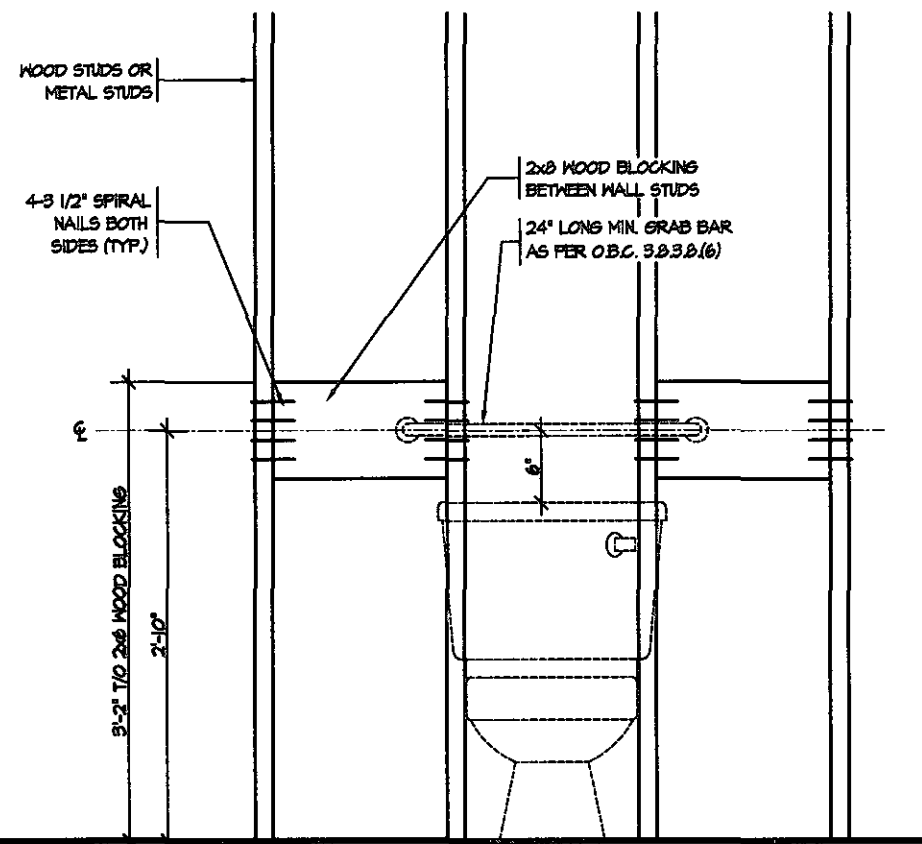
BATH TUB OR SHOWER FRONT ELEVATION



BATH TUB SHOWER HEAD SIDE ELEVATION



TOILET SIDE ELEVATION



STRUCTURAL REINFORCEMENT FOR GRAB BAR (OBC 9.5.2.3)  
FOR MAIN BATH ONLY



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 680-0746



SHEET TITLE  
**BLOCKING  
FORCED ENTRY & GRAB BAR**

SCALE  
3/4"=1'0"

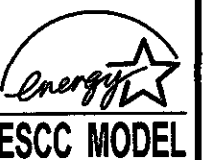
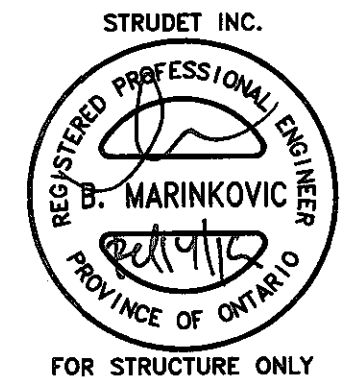
DATE  
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
PROJECT  
00-00-00

PAGE No.  
**10**

PROJECT NAME  
**STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.**



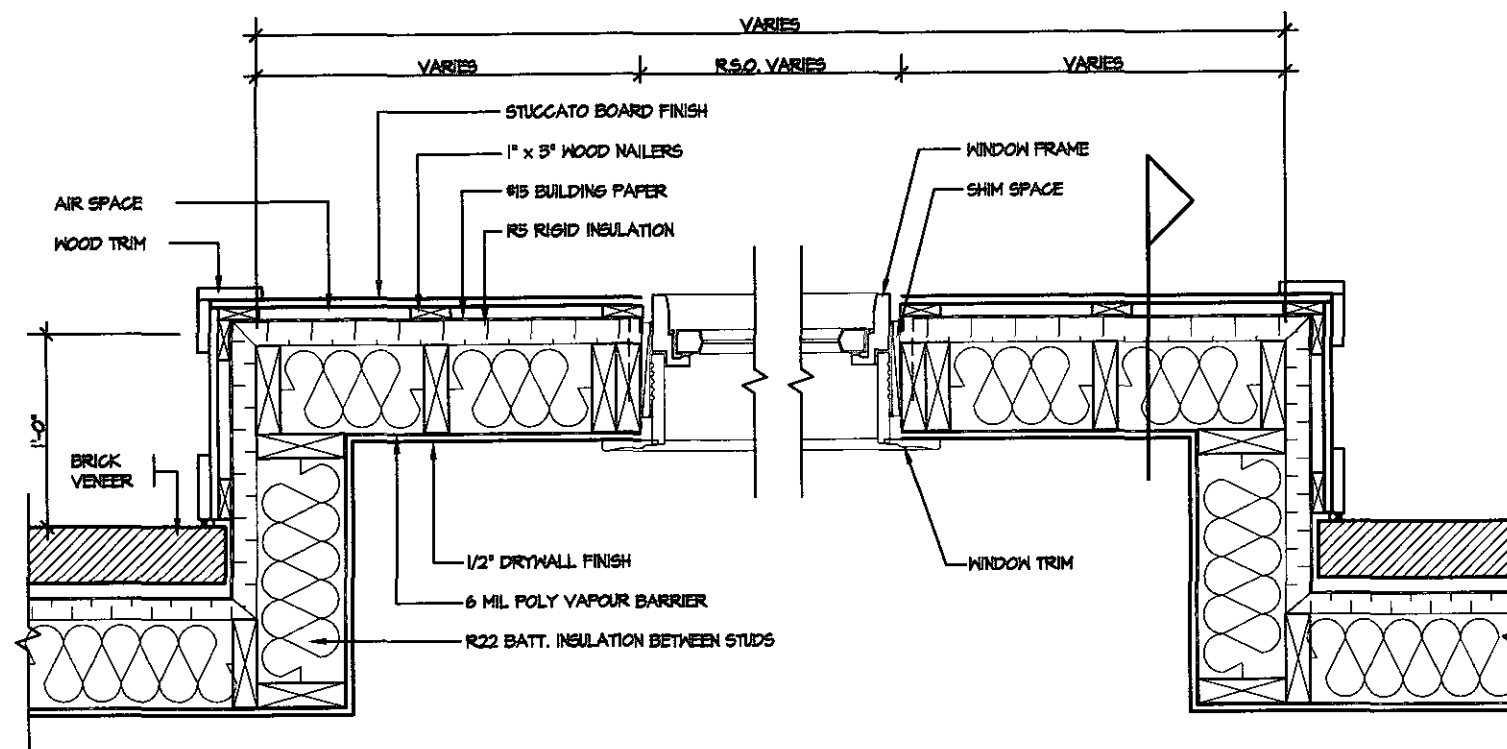
1-15-28 PM MASTANDART DETAIL SUP FR M.I.T. S.F. TENERGY STAR2018 TRINAR HALL V17.70.10 - RI CKING ENERGY STAR DWG





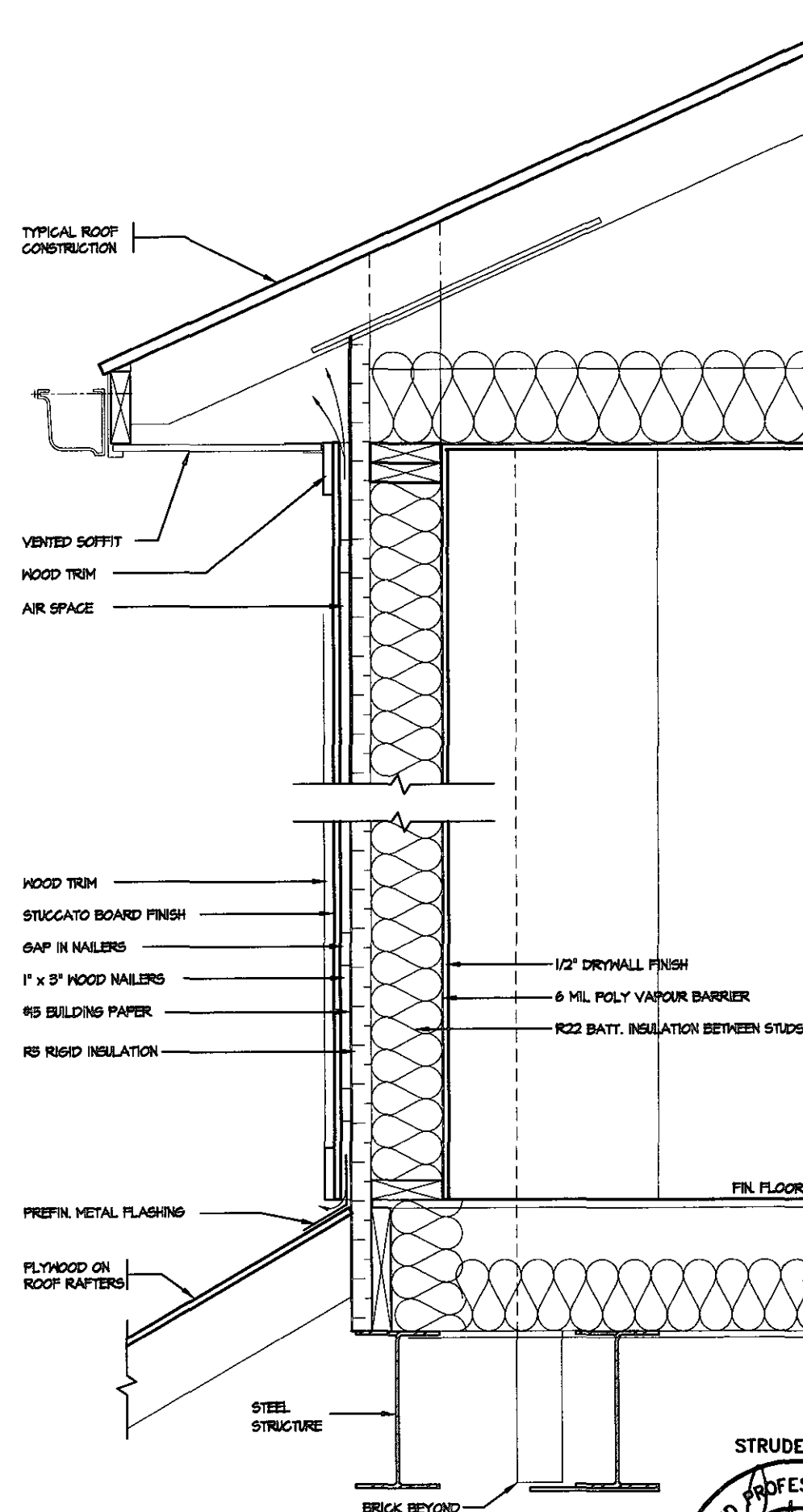
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

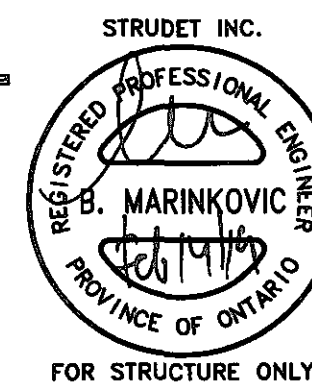


PLAN VIEW

STUCCATO BOARD FINISH CLADDING OR EQUAL (OBC 9.27.)



CROSS SECTION



FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 880-0746



SHEET TITLE			
STUCCATO BOARD FINISH CLADDING			
SCALE	BY	AREA	PAGE No.
1/2"=1'0"			11
DATE	TYPE	PROJECT	
NOV 2016		00-00-00	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.



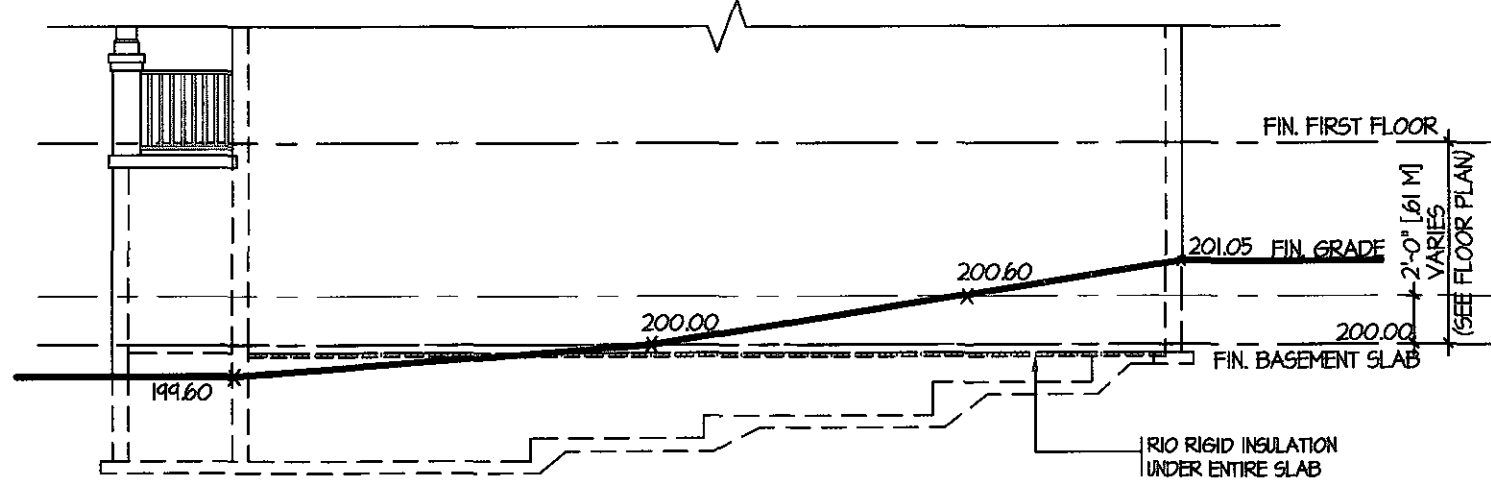




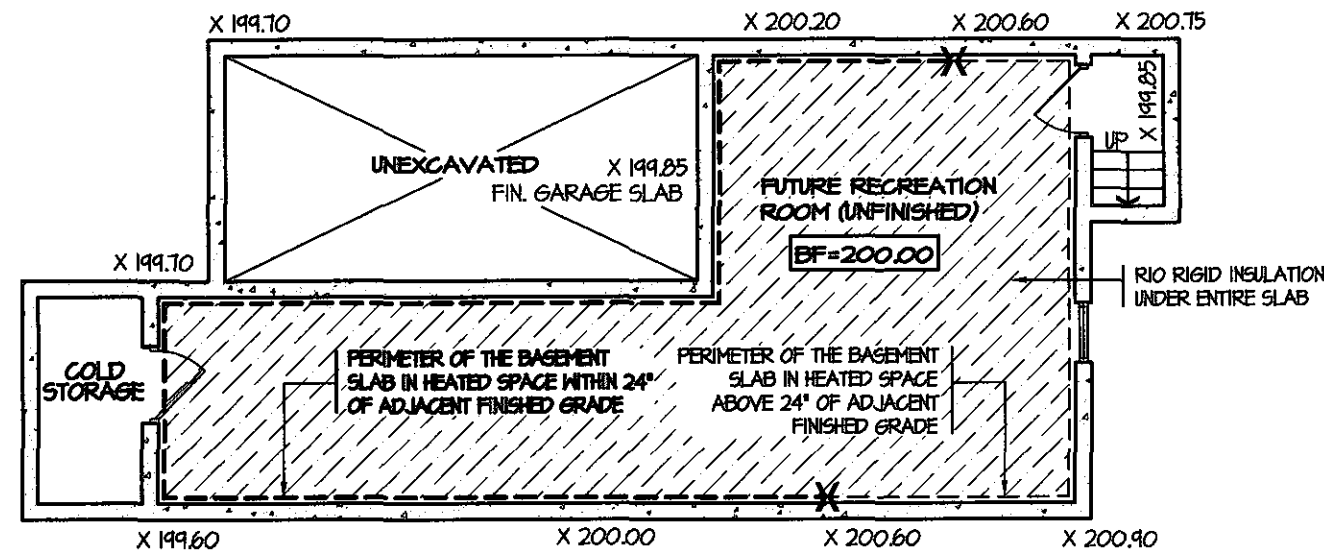
Town of  
East Gwillimbury  
Building Standards Branch BCIN #16487

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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



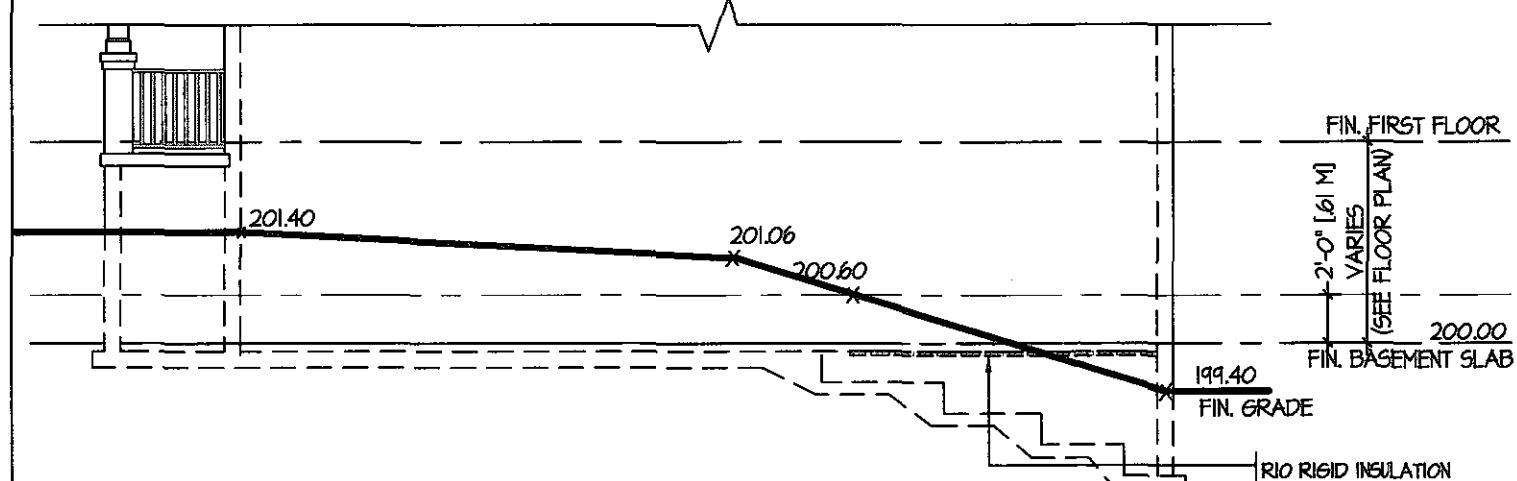
TYPICAL RIGHT SIDE ELEVATION



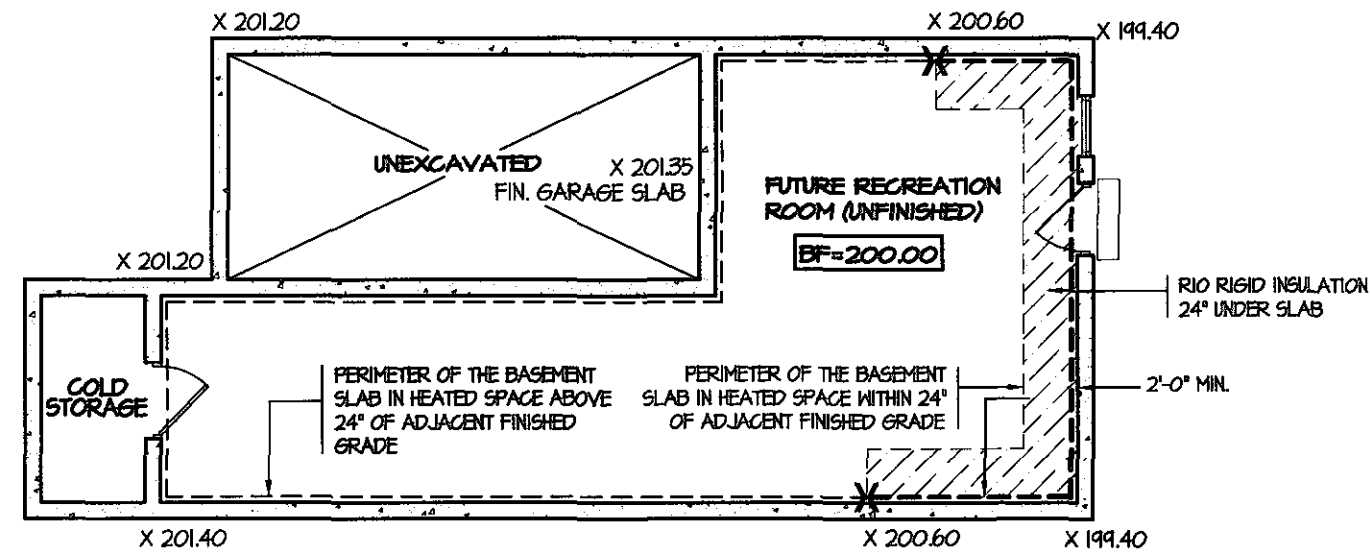
TYPICAL BASEMENT PLAN

## SLAB ON GRADE CONDITION

NOTES:  
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS  
2. ALL LEVELS ARE SHOWN IN METRIC



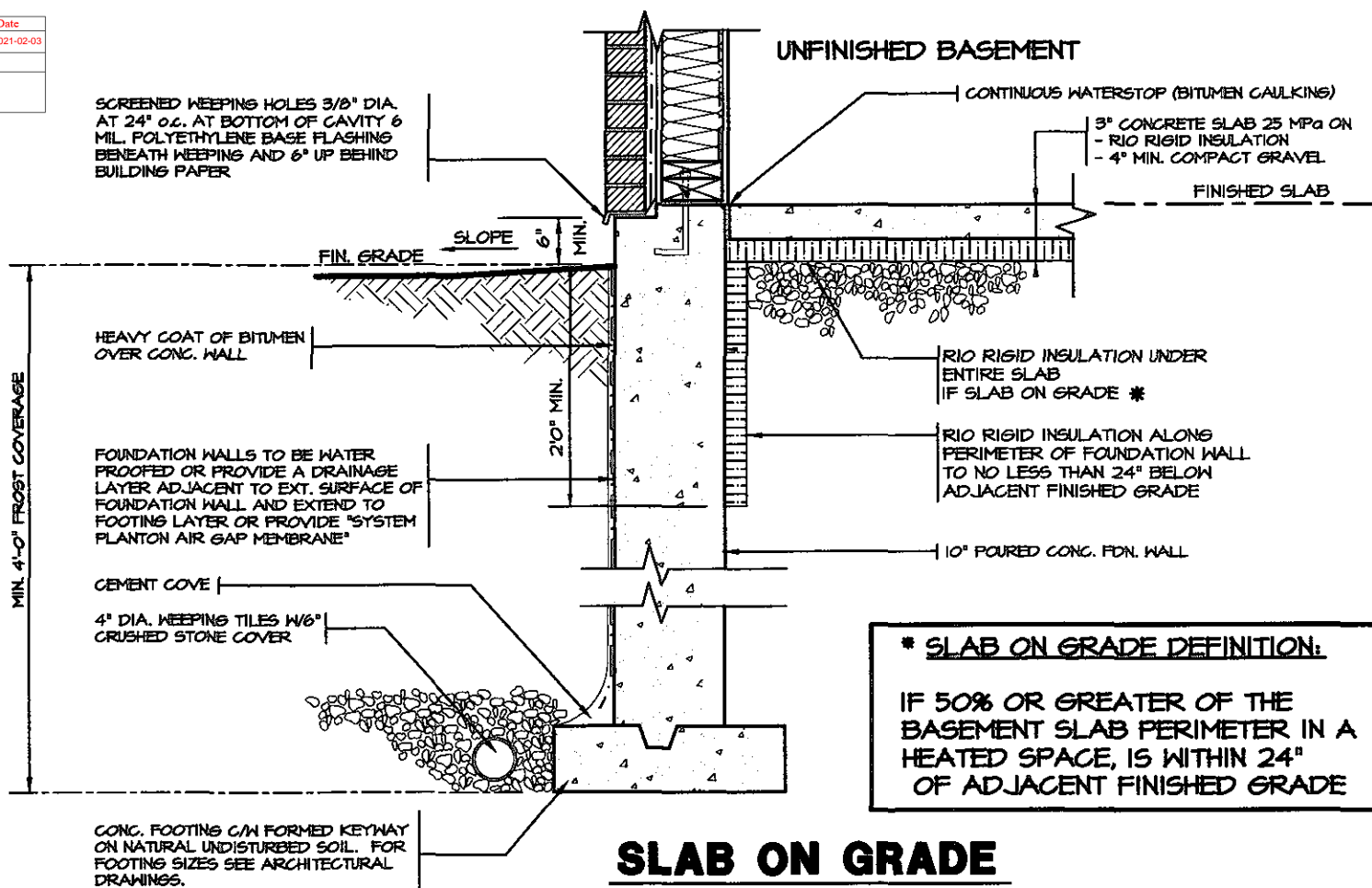
TYPICAL RIGHT SIDE ELEVATION



TYPICAL BASEMENT PLAN

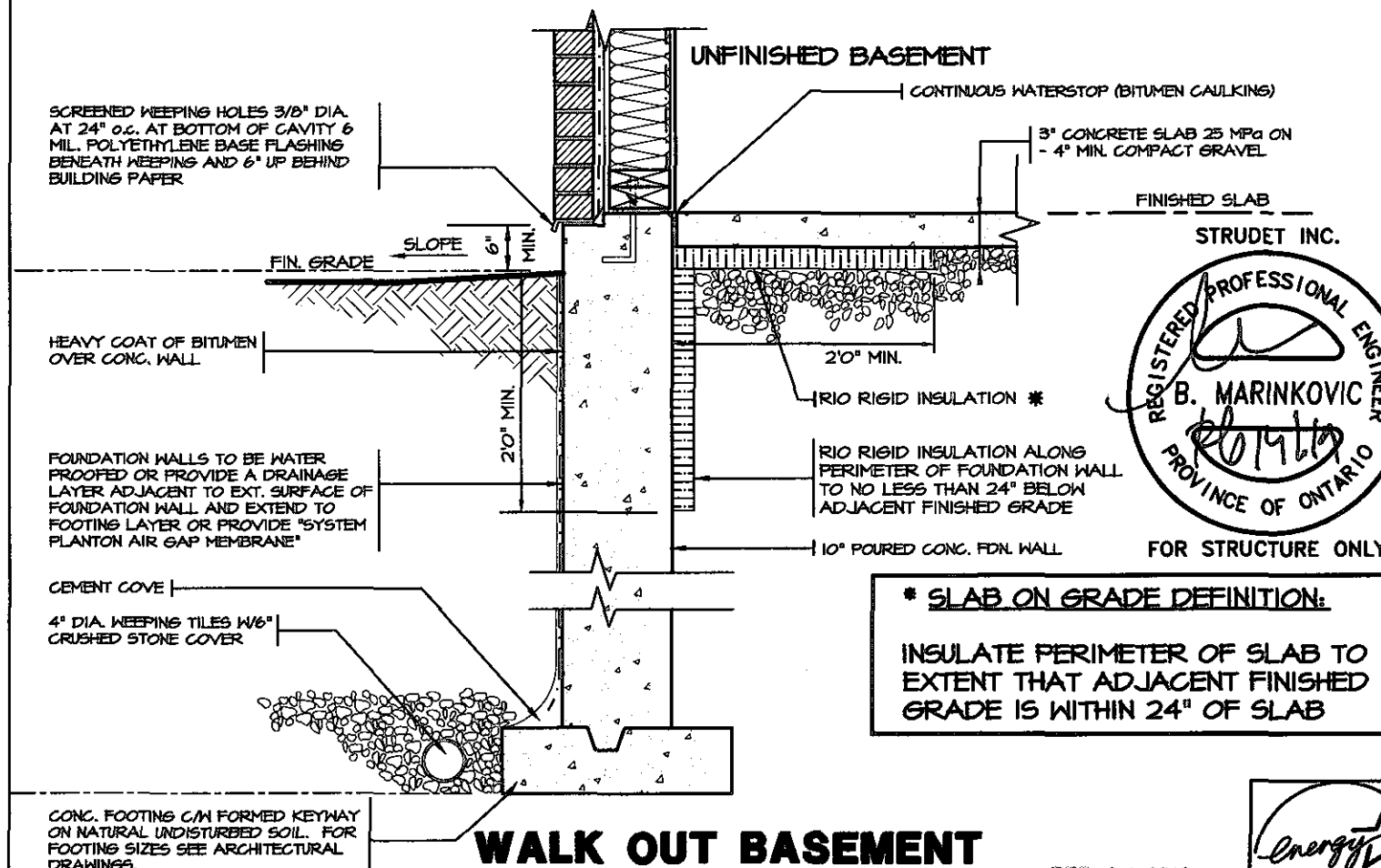
## WALK OUT BASEMENT CONDITION

NOTES:  
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS  
2. ALL LEVELS ARE SHOWN IN METRIC



## SLAB ON GRADE

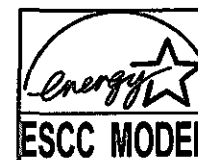
\* **SLAB ON GRADE DEFINITION:**  
IF 50% OR GREATER OF THE BASEMENT SLAB PERIMETER IN A HEATED SPACE, IS WITHIN 24" OF ADJACENT FINISHED GRADE



## WALK OUT BASEMENT

\* **SLAB ON GRADE DEFINITION:**  
INSULATE PERIMETER OF SLAB TO EXTENT THAT ADJACENT FINISHED GRADE IS WITHIN 24" OF SLAB

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

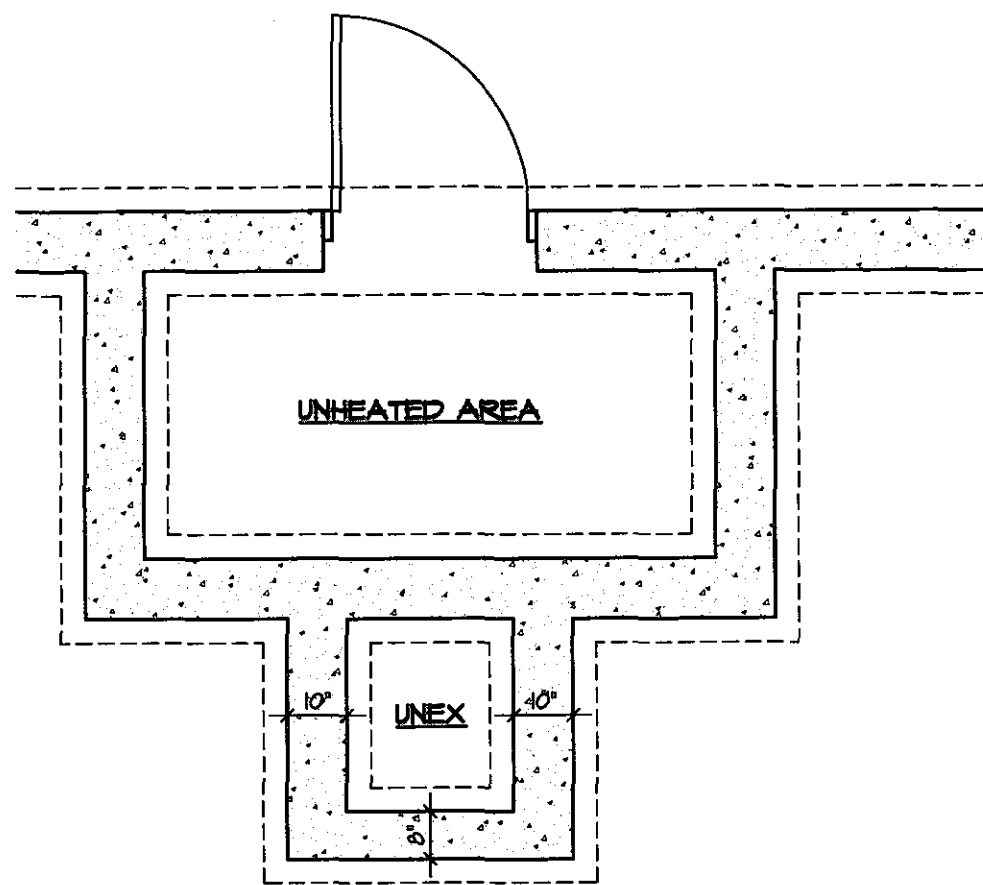
**REGION DESIGN INC.**

SHEET TITLE  
**SLAB ON GRADE WALKOUT BASEMENT**  
SCALE N.T.S.  
DATE NOV 2016  
BY  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
PAGE No. 12  
PROJECT 00-00-00

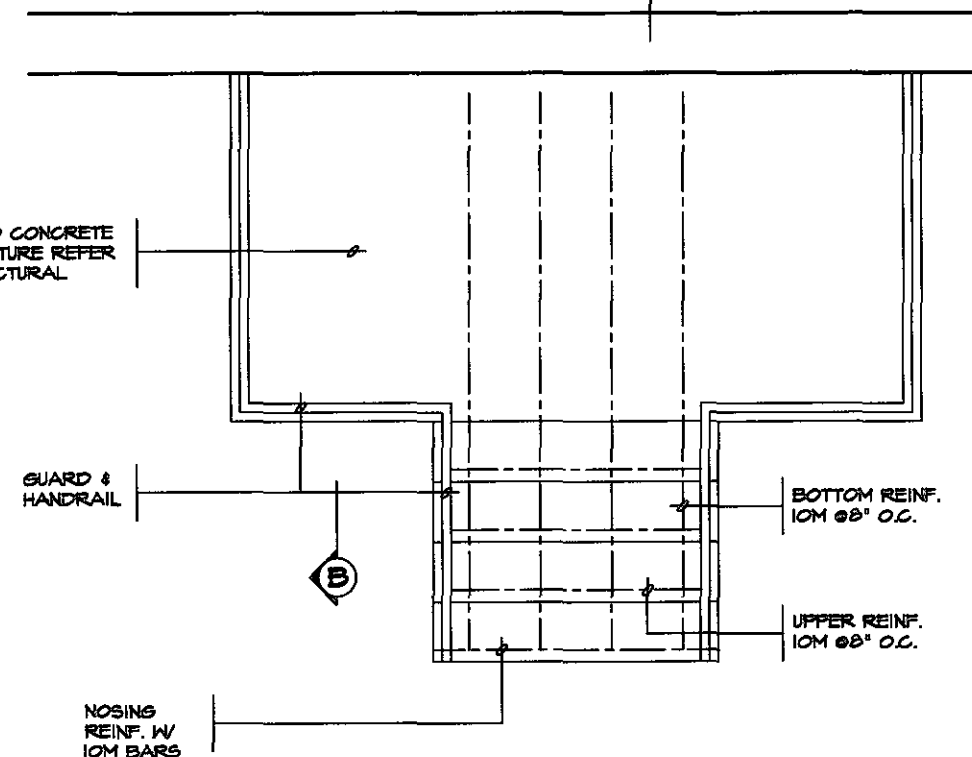
**Greenpark.**  
PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.





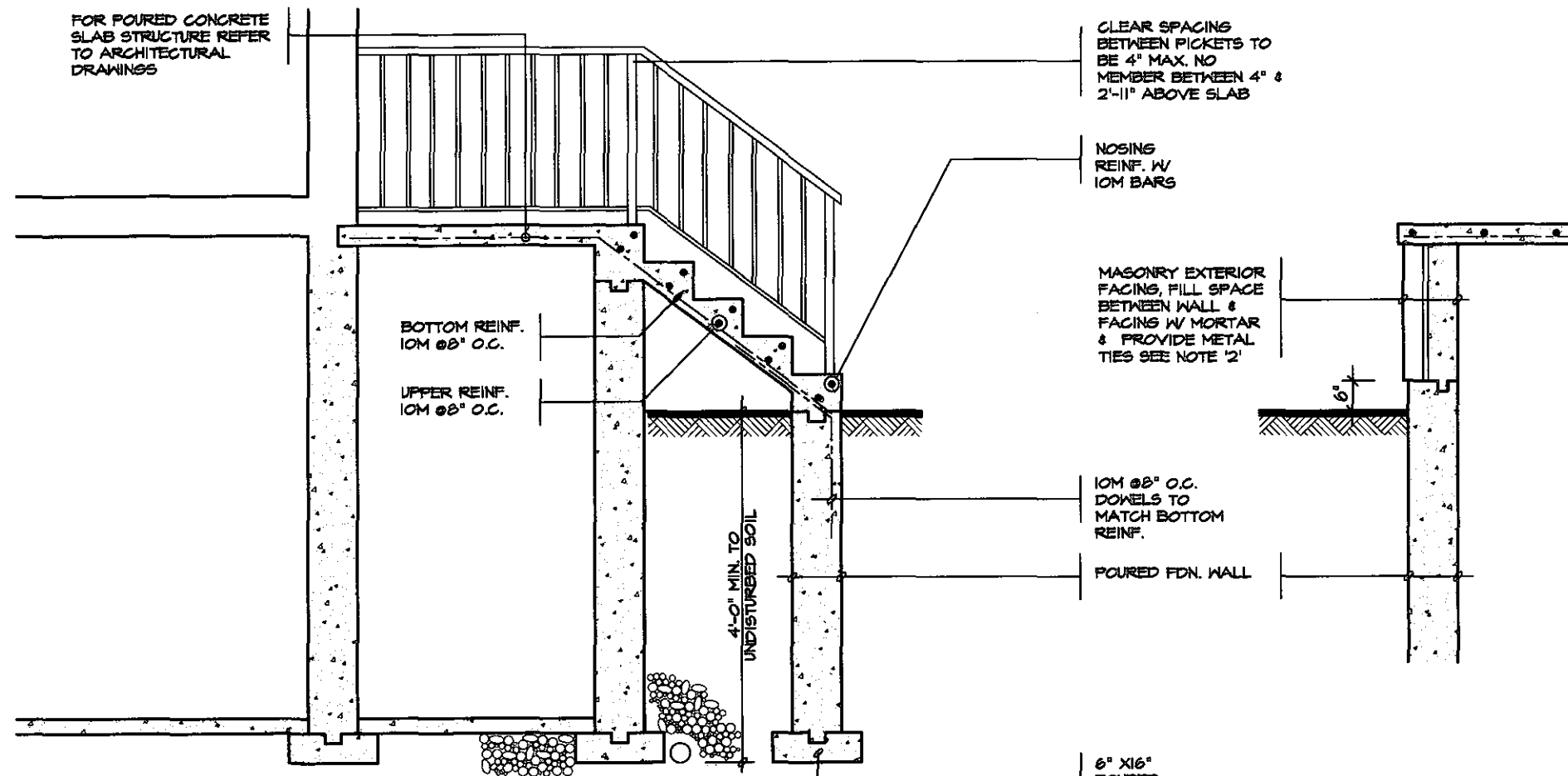
FOUNDATION PLAN

FOR POURED CONCRETE  
SLAB STRUCTURE REFER  
TO ARCHITECTURAL  
DRAWINGS



GROUND FLOOR PLAN

FOR POURED CONCRETE  
SLAB STRUCTURE REFER  
TO ARCHITECTURAL  
DRAWINGS



SECTION 'A'

CLEAR SPACING  
BETWEEN PICKETS TO  
BE 4\"/>

NOSING  
REINF. W/  
10M BARS

MASONRY EXTERIOR  
FACING, FILL SPACE  
BETWEEN WALL &  
FACING W/ MORTAR  
& PROVIDE METAL  
TIES SEE NOTE '2'

10M @ 8\"/>

POURED FDN. WALL

6\"/>

SECTION 'B'

NOTE: FOR MORE THAN 3 RISERS

# GENERAL NOTES

- EXTERIOR STAIRS**  
1 7/8\"/>
- MASONRY TIES**  
WHEN BRICK FACING IS USED ABOVE  
GROUND LEVEL, PROVIDE 5/16\"/>
- GUARDS**  
ARE REQUIRED AROUND CONCRETE SLAB  
IF MORE THAN 2'-0\"/>
- HANDRAIL**  
ARE REQUIRED WHERE STEPS HAVE MORE  
THAN 3 RISERS. HANDRAIL HEIGHT 31\"/>
- FOUNDATION WALLS**  
THICKNESS OF FOUNDATION WALLS IS  
DEPENDANT UPON VENEER CUT 2\"/>
- CONCRETE**  
MINIMUM CONCRETE STRENGTH SHALL BE  
4650 PSI [32MPa] W/ 5%-8% AIR  
ENTRAINMENT MINIMUM CONCRETE SLAB  
THICKNESS 5"
- CONCRETE COVER**  
PROVIDE MINIMUM 3/4\"/>



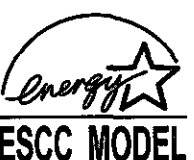
These plans have been reviewed for use with the  
corrections as noted. No other changes may be  
made without written approval of the Building  
Standards Branch. All work must comply with  
Zoning By-Law 2018-043, as amended, and the  
Ontario Building Code, as amended. These  
approved documents must be kept on site at all  
times. The building permit must be clearly  
posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO	REGION DESIGN INC.	SHEET TITLE POURED CONCRETE STAIRS	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	PROJECT NAME STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.
4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	P (416) 736-4096 F (905) 660-0746		SCALE 3/8"=1'-0"	AREA	PROJECT 00-00-00
3.			VIKAS GAJJAR NAME SIGNATURE	28770 BCIN		DATE NOV 2016	PAGE No. 13	
2.								
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18						
REVISIONS								

1:40-15 PM M:\STANDARD DETAILS\TRINAR HALL V17 70113 - POURED CONCRETE STAIRS.DWG