





WINDOWS -  
CANADA ZONE C

- (1) MINIMUM BEDROOM WINDOW (\*OBC 9.9.10.1.)  
AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS  
TO HAVE MIN. 0.35m<sup>2</sup> (3.8 SQ.FT.) UNOBSTRUCTED GLAZED  
OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3")  
GLASS AREA NOT MORE THAN 17% OF GROSS  
PERIPHERAL WALL AREA.  
MAXIMUM U-VALUE 1.67 & MIN ER-VALUE 29
- (2) WINDOW GUARDS (\*OBC 9.8.8.1(6))  
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW  
SILL IS LOCATED LESS THAN 480mm (1'-6") ABOVE FIN.  
FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE  
ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

GENERAL:

- (1) MECHANICAL VENTILATION  
MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3  
AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS.  
SEE MECHANICAL DRAWINGS.
- (2) REINFORCEMENT FOR GRAB BARS (\*OBC 9.5.2.3.)  
REINFORCEMENT OF STUD WALLS FOR FUTURE GRAB  
BARS SHALL BE INSTALLED ADJACENT TO WATER  
CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.  
SEE DETAIL.

LUMBER:

- 1) ALL LUMBER SHALL BE SPRUCE-PINE-FIR No.1&2 GRADE,  
UNLESS NOTED OTHERWISE.
- 2) LUMBER EXPOSED TO THE EXTERIOR TO BE  
SPRUCE-PINE-FIR No.1&2 GRADE PRESSURE TREATED OR  
CEDAR, UNLESS NOTED OTHERWISE.
- 3) ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER  
CONNECTIONS SUPPORTING ROOF FRAMING TO BE  
DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.
- 4) LVL BEAMS SHALL BE VERSA-LAM 2.0E (F<sub>b</sub>=2800psi  
MIN.) OR EQUIVALENT. NAIL EACH FLY OF LVL WITH 8dmm  
(3-1/2") LONG COMMON WIRE NAILS @300mm (12") o.c.  
STAGGERED IN 2 ROWS FOR 184, 240, & 300mm  
(7-1/4", 9-1/2", 11-1/8") DEPTHS AND STAGGERED IN 3 ROWS  
FOR GREATER DEPTHS AND FOR 4 FLY MEMBERS ADD  
1/2" (13mm) DIA. GALVANIZED BOLTS BOLTED AT  
MID-DEPTH OF BEAM @ 915mm (3'-0") o.c.
- 5) PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVL BEAM  
TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.
- 6) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND  
BUILT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP  
WOOD MEMBERS.
- 7) WOOD FRAMING NOT TREATED WITH A WOOD  
PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE  
SEPARATED FROM THE CONC. BY AT LEAST 2mil.  
POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR  
OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE  
WOOD MEMBER IS AT LEAST 150mm (6") ABOVE THE  
GROUND.

STEEL:

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS  
SHALL CONFORM TO CAN/CSA-G40-21 GRADE 350M.

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M  
GRADE 400R.

STABILITY OF NARROW (20'-25')  
& TALL (±30') HOUSES

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING  
TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION.  
FURTHER RECOMMENDATIONS:

- 1) REDUCE THE FOUNDATION WALL SILL PLATE ANCHOR  
BOLT SPACING FROM 2400mm o.c. (7'-10") TO 1220mm o.c.  
(4'-0") FOR STANDARD CONDITIONS.
- 2) USE 9.5mm (3/8") THICK PLYWOOD OR WAFTERBOARD FOR  
THE EXTERIOR WALL SHEATHING.
- 3) TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION  
USE 9.5mm (3/8") THICK PLYWOOD NAILED TO THE  
INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2  
INTERIOR PARTITION WALLS ON BOTH SIDES AND  
PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL) + 2-2"x8" SPR. No.2  
WL2 = 4"x3-1/2"x5/16" (100x90x8.OL) + 2-2"x8" SPR. No.2  
WL3 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x10" SPR. No.2  
WL4 = 6"x3-1/2"x5/16" (150x90x10.OL) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.OL) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16" (125x90x8.OL) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16" (125x90x8.OL) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.OL) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x238 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x238 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB8 = 4-2"x10" SPR. No.2 (4-38x238 SPR. No.2)  
WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (90x90x6.OL)  
L2 = 4"x3-1/2"x5/16" (100x90x8.OL)  
L3 = 5"x3-1/2"x5/16" (125x90x8.OL)  
L4 = 6"x3-1/2"x5/16" (150x90x10.OL)  
L5 = 6"x4"x3/8" (150x100x10.OL)  
L6 = 7"x4"x3/8" (175x100x10.OL)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 1/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 1/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 1/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 1/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

1 = 2'-0" x 6'-8" (665x2033) - INSULATED ENTRANCE DOOR  
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS  
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR  
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1-3/8" (160x2033x35) - INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

LEGEND

DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
GT	GIRDER TRUSS
PL	POINT LOAD
SWB	SOLID WOOD BEARING. SOLID BEARINGS TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.
LWB	LOAD-BEARING WALL
TSW	TWO-STORY WALL. SEE NOTE 39
FA	FLAT ARCH
F.D.	FLOOR DRAIN
SA	SMOKE ALARM. SEE NOTE 43
SA/CO	SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE 44



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corrections as noted. No other changes may be  
made without written approval of the Building  
Standards Branch. All work must comply with  
Zoning By-Law 2018-043, as amended, and the  
Ontario Building Code, as amended. These  
approved documents must be kept on site at all  
times. The building permit must be clearly  
posted on site at all times.

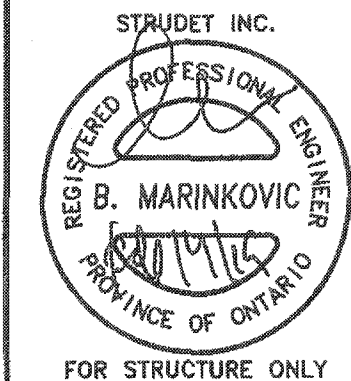
Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-03
Seismic System			
Zoning			

FEB 4 2019

ENERGY STAR V-17 ESCC MODEL



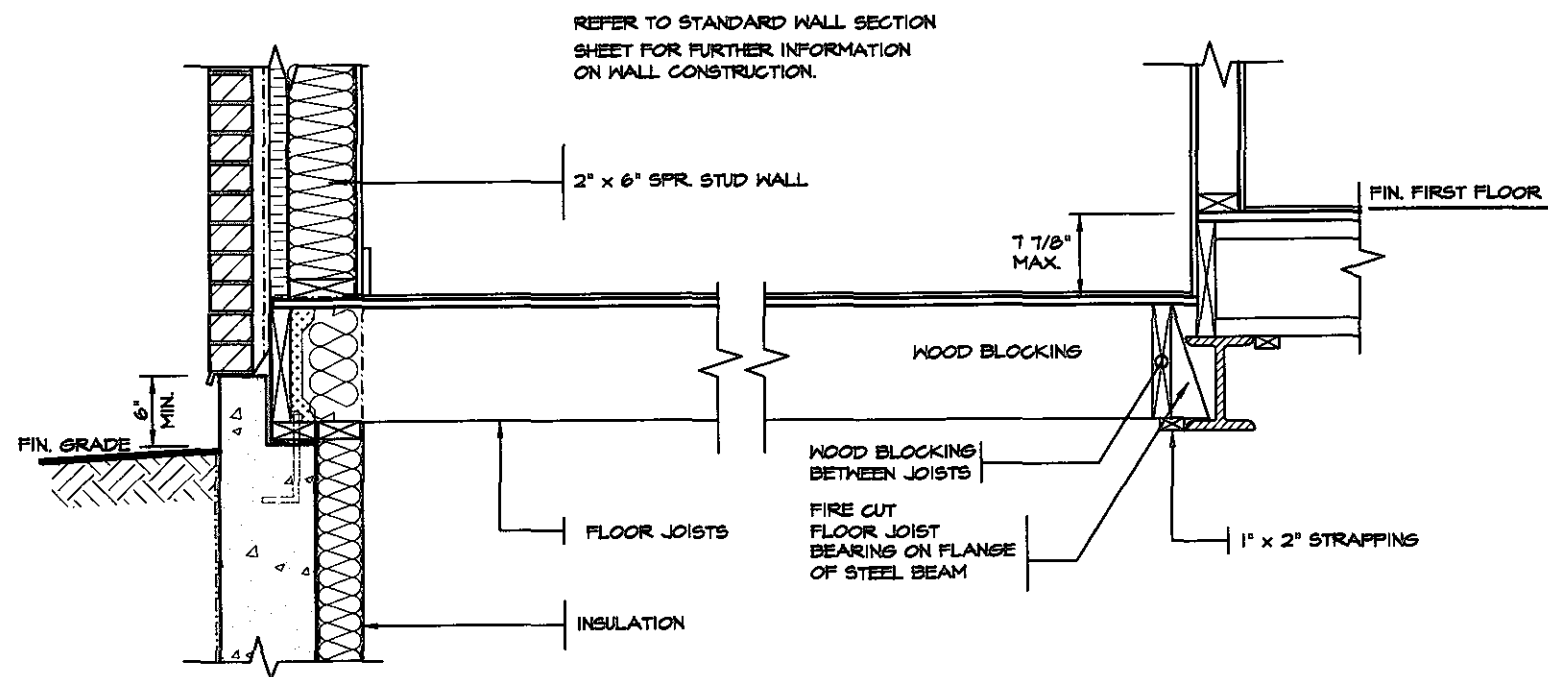
PROJECT NAME  
STANDARD NOTES - 2016  
TRINAR HALL HOMES INC.



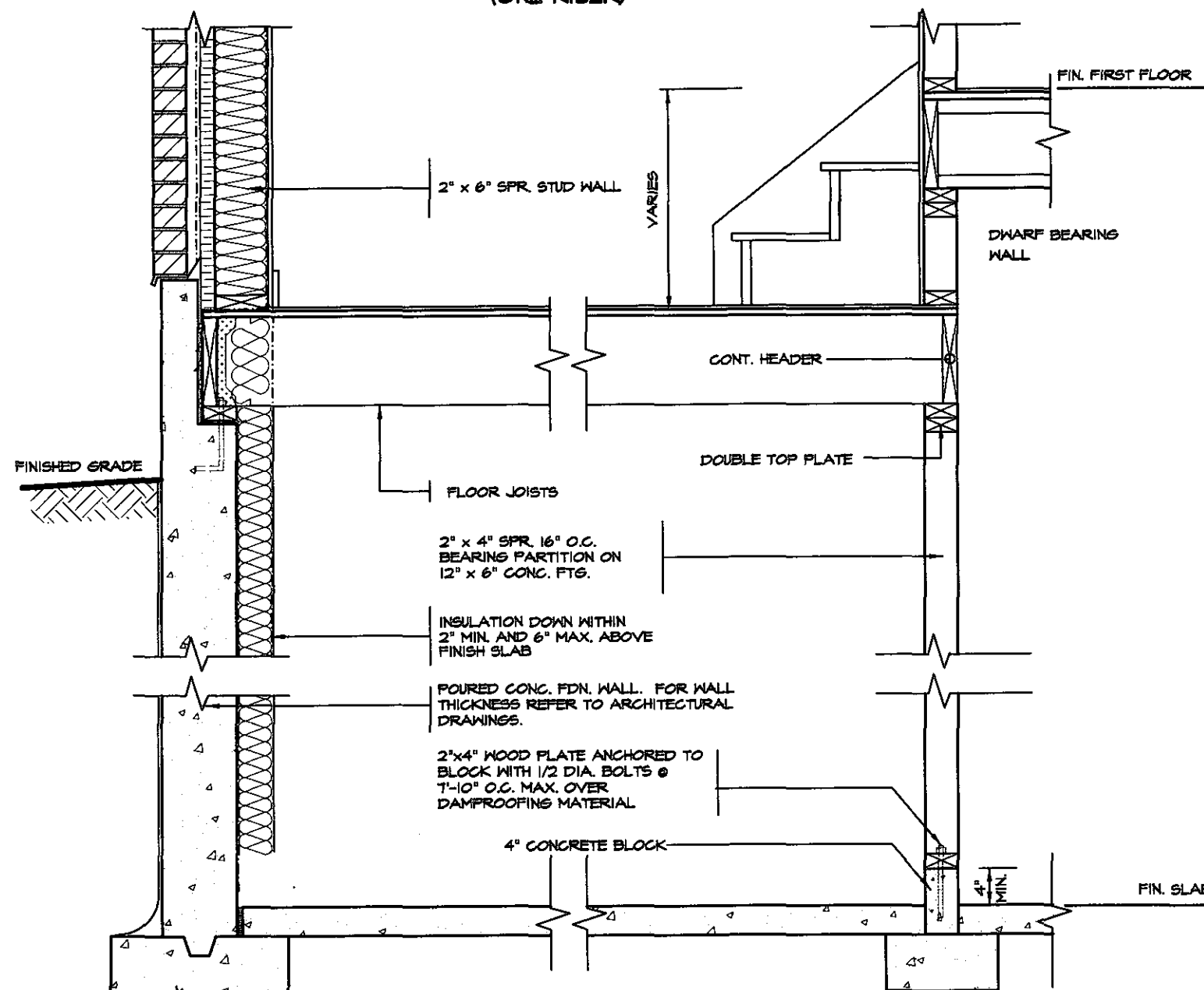
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME SIGNATURE BCIN 28770	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S5 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE GENERAL NOTES		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
4.					SCALE N.T.S.	BY	AREA	PAGE No.
3.					DATE NOV 2016	TYPE	PROJECT 00-00-00	2
2.								
1.	REVISED FOR SECONDO VALES ESTATE INC.				JAN 18			
REVISIONS								



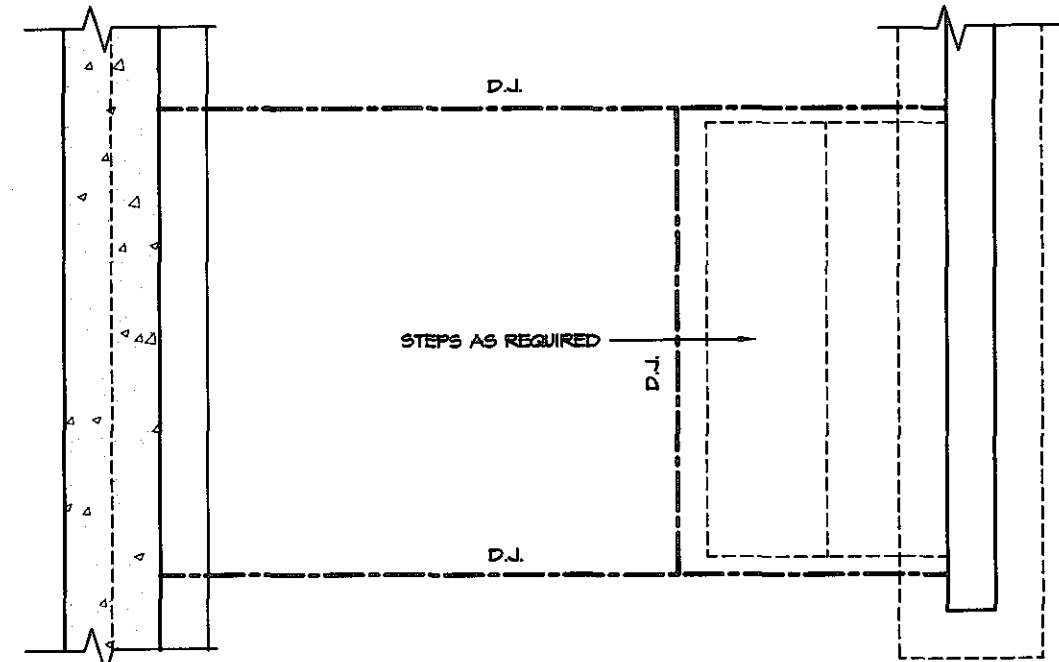
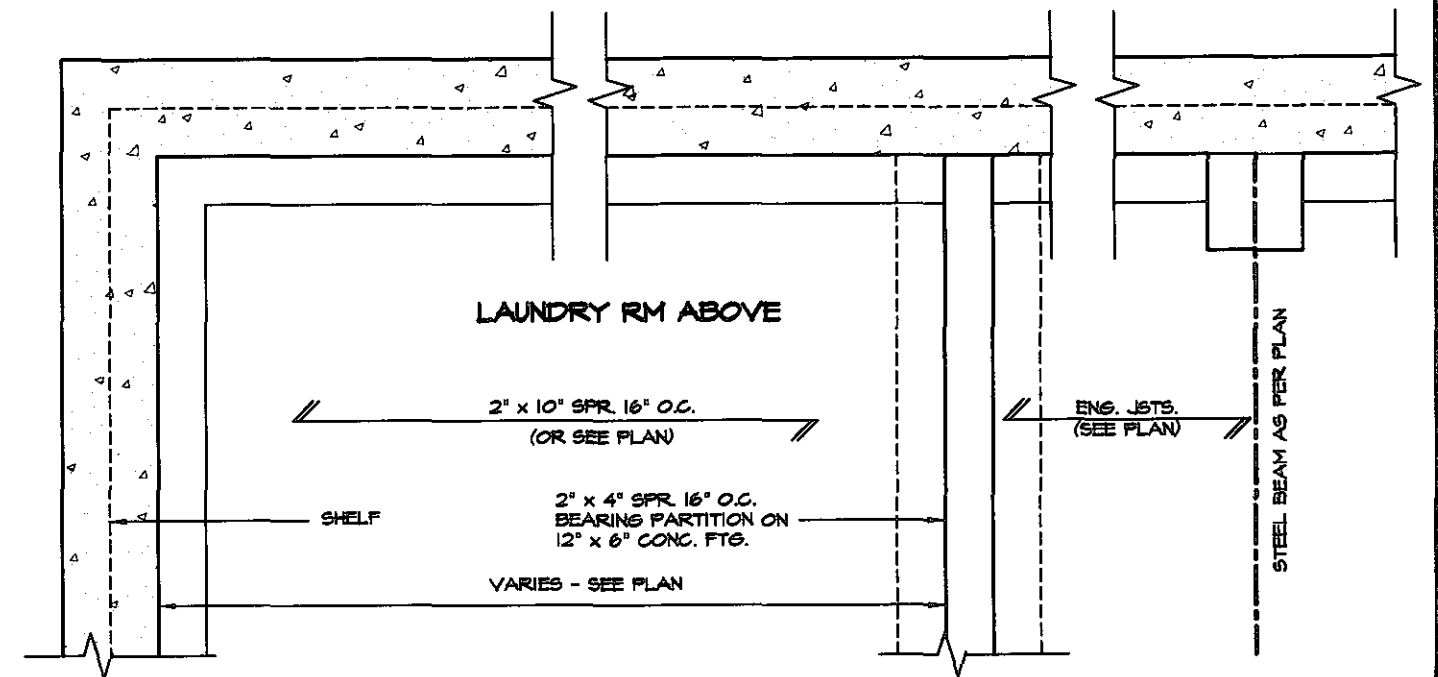
February 8 2019 10:41:53 AM M:\STANDARD DETAIL\ S I P E R M I T S E T I E N E R G Y S T A R 2 0 1 8 T R I N A R H A I \ V 1 2 P 3 - P A R T Y W A I L D E T A I L E N E R G Y S T A R D W G



DETAIL OF SUNKEN LAUNDRY (ONE RISER)



DETAIL OF SUNKEN LAUNDRY (MORE THAN ONE RISER)

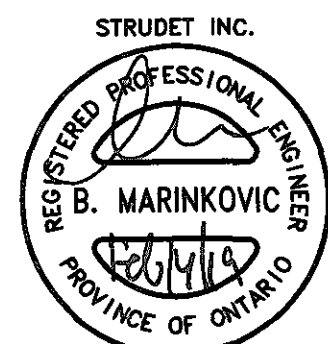


PARTIAL PLAN



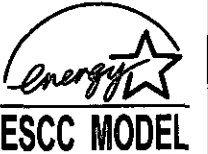
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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FOR STRUCTURE ONLY

FEB 14 2019



5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE

28770

BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
SUNKEN LAUNDRY DETAILS

SCALE  
3/4"=1'-0"

DATE  
NOV 2016

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
PAGE No.  
4



PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

NAR-HALL V12.7P 4 - SUNKEN LAUNDRY ROOM ENERGY STAR.DWG

10:46:48 AM M1STANDARD DETAIL



EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'H' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x5" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

CONVENTIONAL ROOF RAFTERS AND CEILING JOISTS OR ROOF TRUSSES @ 24" o.c. MAX.

TOP OF WOOD PLATE

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-60 INSULATION

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

2"x6" BOTTOM PLATE

LAP VAPOUR AND AIR BARRIER 4" AND SECURE TO PLATE

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

PARALLEL JOISTS, WOOD BLOCKING AS PER MANUFACTURER

FLOOR JOISTS SEE PLAN

1/2" GYPSUM BOARD CEILING FINISH

SINGLE CONT. TIMBERSTRAND

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

SINGLE CONTIN. TIMBERSTRAND

FIN. FLOORING ON 3/4" T&G PLYWOOD

FINISHED FIRST FLOOR

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN.) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

SCREENED WEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH WEEPING AND 6" UP BEHIND BUILDING PAPER

FIN. GRADE

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. WEEPING TILES W/6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING CAN FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

## DETAIL FOR INTERIOR GARAGE WALLS & CEILINGS

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-31 INSULATION (DRYWALL ON THE CEILING ONLY WHEN THERE IS NO SECOND FLOOR ABOVE GARAGE)

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

GARAGE

#15 BUILDING PAPER OVER MIN. R-5 RIGID INSULATION, 2"x6" SFR. STUDS @ 16" o.c. FILLED WITH MIN. R-22 BATT INSULATION (TOTAL MIN. R-27) AND 6 MIL. POLY VAPOUR BARRIER

1/2" GYPSUM BOARD CEILING FINISH

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

WALL FLASHING

WEEP HOLES

26" MAX FOR 8" CONCRETE WALL

SLOPE

FIN. GRADE

## DETAIL FOR CONCRETE VENEER DROPPED GRADE

EVERY OTHER BRICK IS OMITTED TO TIE IN CONC SLAB MIN. 4" INTO FOUND. WALL

WALL FLASHING

WEEP HOLES

CAULKING

SLOPE

5" MIN. REINF. CONC. PORCH SLAB. SEE ARCHITECTURAL DRAWINGS.

3" MIN. BEARING

R-20 INSULATION

FOUNDATION WALL

PROTECTION REQ'D FOR FRAMING MEMBERS

8" FOUNDATION WALL WHEN VENEER CUT IS EQUAL OR LESS THAN 26".

10" FOUNDATION WALL WHEN VENEER CUT IS MORE THAN 26".

## DETAIL FOR COLD CELLAR PORCH SLAB

FEB 14 2019

Energy Star  
ESCC MODEL

STRUDET INC.



FOR STRUCTURE ONLY



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Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-03
Seismic System			
Zoning			

5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
SIGNATURE

28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4098  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE 2 STOREY SECTION 2"x6" BRICK VENEER ENERGY STAR			
SCALE 3/4"=1'-0"	BY	AREA	PAGE No. 5
DATE NOV 2016	TYPE	PROJECT	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.



EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SHALL CONSIST OF TYPE 'M' OR TYPE 'S' ASPHALT COATED ROOFING SHEETS.

210 ASPHALT SHINGLES ON 3/8" PLYWOOD SHEATHING USE 'M' CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x6" FASCIA BOARD PREFINISHED METAL GUTTER, FASCIA AND VENTED SOFFIT

1 1/2"x6" RAISED STUCCO FRIEZE BOARD (TYP.)

MESH BACKWRAPPED

- FIN. COAT OF EXTERIOR ACRYLIC STUCCO
- FIBER MESH EMBEDDED IN PREP COAT
- INSULATION BOARD (MIN. R5) W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"
- AIR/MOISTURE BARRIER
- 1/16" EXTERIOR GRADE OSB SHEATHING
- 2" X 6" STUDS
- MIN. R-22 BATT INSULATION
- CONT. VAPOUR / AIR BARRIER
- 1/2" DRYWALL

(EIFS APPROVED SYSTEM, ALL MATERIALS AND SYSTEMS SHALL CONFORM TO CANULC-5716.1)

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

ROOF TRUSSES @ 24" o.c. MAX. RAISED HEEL TO MATCH PLATE

TOP OF WOOD PLATE

1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-60 INSULATION

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

2"x6" BOTTOM PLATE

LAP VAPOUR AND AIR BARRIER 4" AND SECURE TO PLATE

FIN. FLOORING ON 5/8" T&G PLYWOOD

FINISHED SECOND FLOOR

PARALLEL JOISTS: WOOD BLOCKING AS PER MANUFACTURER

FLOOR JOISTS SEE PLAN

1/2" GYPSUM BOARD CEILING FINISH

SINGLE CONT. TIMBERSTRAND

AIR BARRIER RUN BETWEEN DOUBLE TOP PLATE AND UP UNDER FLOOR PLATE

DOUBLE TOP PLATE

1/2" GYPSUM BOARD

SINGLE CONTIN. TIMBERSTRAND

FIN. FLOORING ON 3/4" T&G PLYWOOD

FINISHED FIRST FLOOR

CONCRETE SILL

CONTINUOUS HEADER JOIST W/ 2 POUND SPRAY FOAM INSULATION (R-5 VALUE MIN) & ROXUL COMFORTBATT (R-22 VALUE) INSTALLED IN FRONT OF FOAM AS FIRE STOP. 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 1/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

SCREENED KEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH KEEPING AND 6" UP BEHIND BUILDING PAPER

FIN. GRADE

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE "SYSTEM PLANTON AIR GAP MEMBRANE"

CEMENT COVE

4" DIA. KEEPING TILES W/6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING C/M FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

STRUDET INC.



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Seismic System			
Zoning			

WOOD SHEATHING

AIR/MOISTURE BARRIER

FIBRE MESH EMBEDDED IN PREP COAT

INSULATION BOARD (R-5) MIN W/ GEOMETRICALLY DEFINED DRAINAGE CAVITY HAVING A MIN. CAVITY DEPTH OF 1/4"

STARTER MESH (BACKWRAPPED)

CAULK WITH BEAD VENT

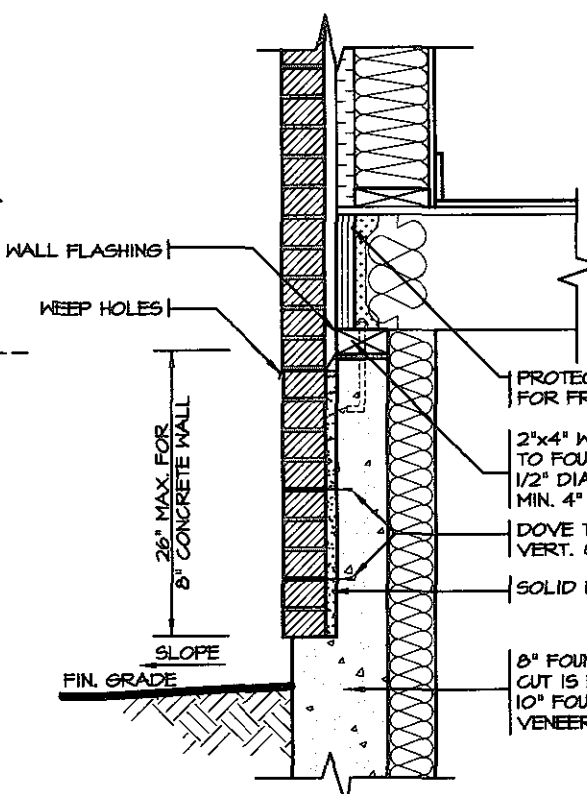
FLASHING

CONCRETE SILL

MASONRY CLADDING AS PER ELEVATION

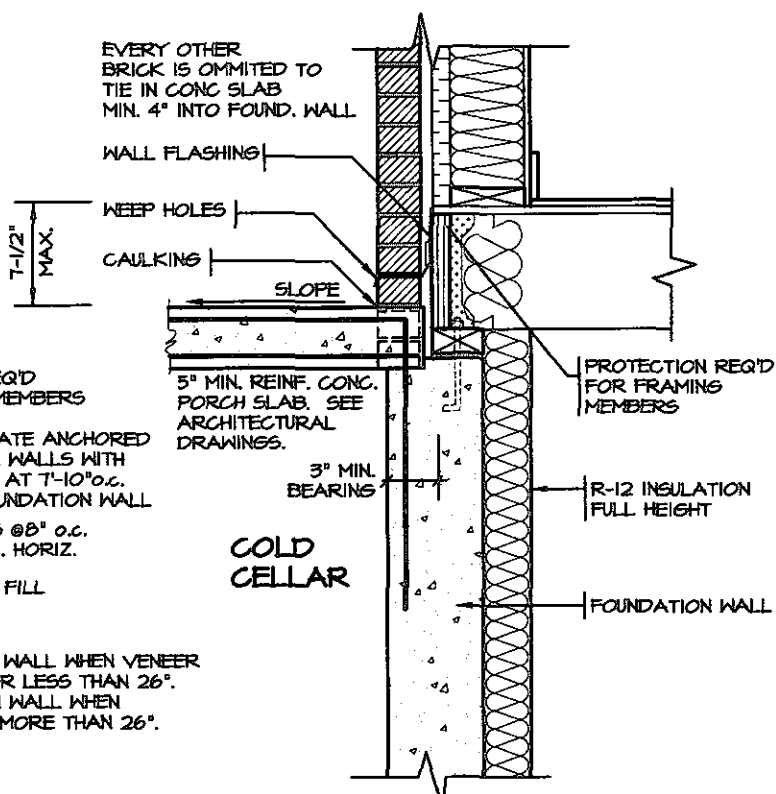
### A. TERMINATION AT MASONRY CLADDING WITH SEALANT 1

1 1/2" = 1'0"



### DETAIL FOR CONCRETE VENEER DROPPED GRADE

3/4" = 1'0"



### DETAIL FOR COLD CELLAR PORCH SLAB

3/4" = 1'0"

MIN. 4'-0" FROST COVERAGE

NO.	REVISIONS	DATE
5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE  
2"X6" STUCCO WALL  
2 STOREY SECTION

SCALE AS NOTED BY  
DATE NOV 2016 TYPE

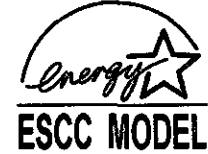
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA PAGE No.  
5-2

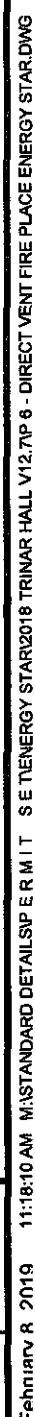
PROJECT 00-00-00

Greenpark  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

FEB 14 2019



9-21-2019 2:21:46 PM STANDARD DETAIL 2016 TRINAR HALL 1 V17P 5.2-2 STOREY SECTION 2X6 ENERGY STAR DWG



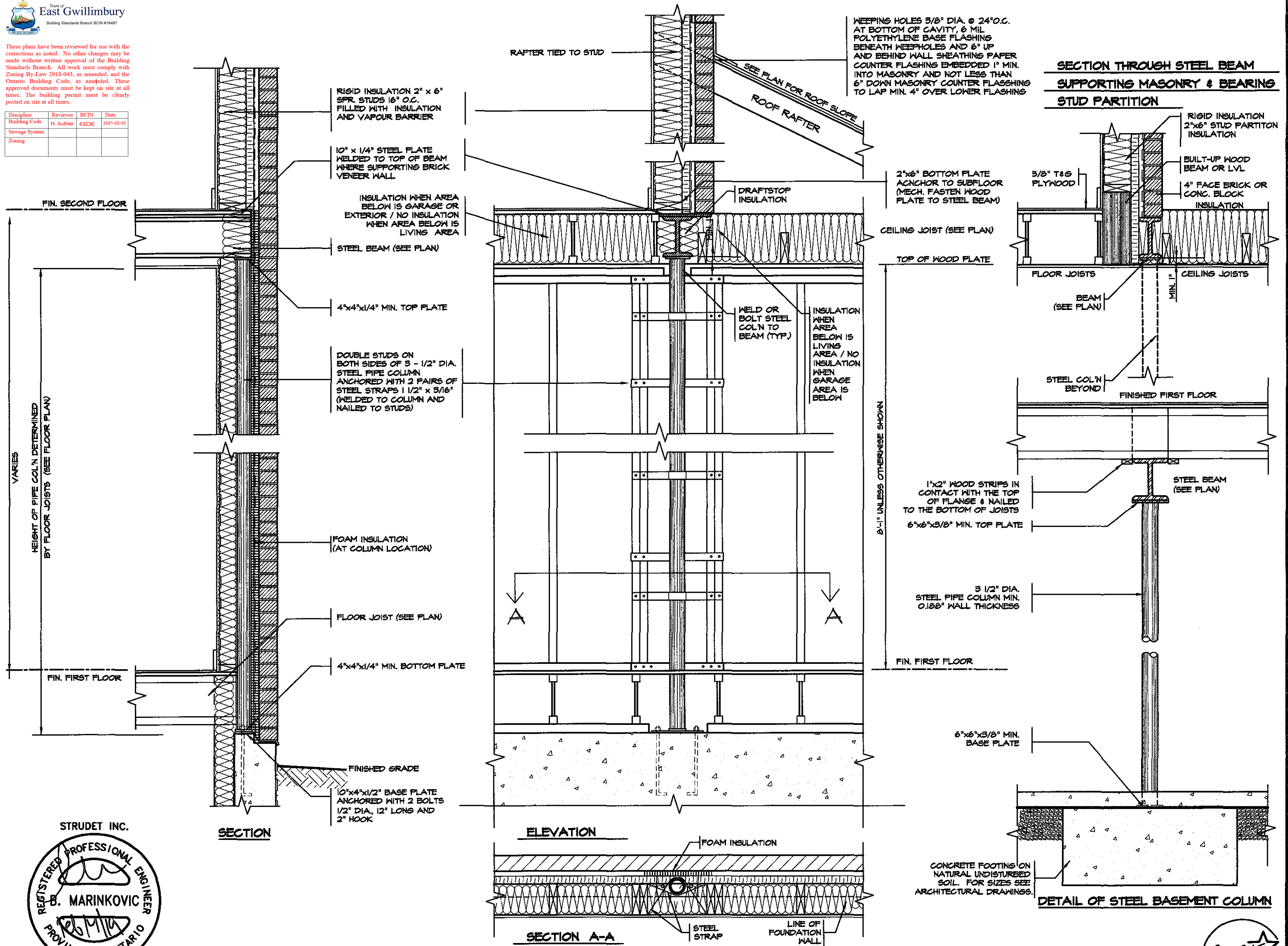






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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



NO.	REVISIONS	DATE
5.		
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

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CONCORD, ONTARIO  
L4K 4S8  
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F (905) 660-0746

**REGION DESIGN INC.**

**SHEET TITLE**  
STEEL COLUMN DETAILS

**SCALE**  
3/4"=1'-0"

**DATE**  
NOV 2016

**BY**

**TYPE**

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

**AREA**

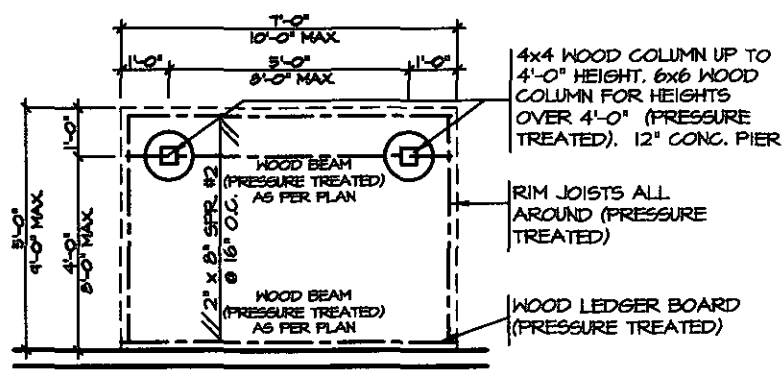
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**PROJECT**

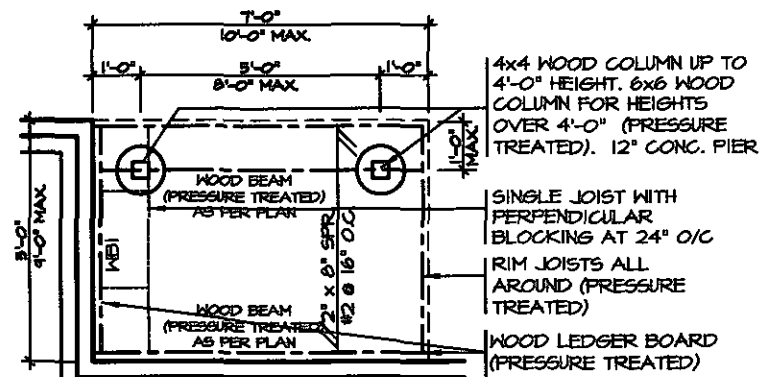
**Greenpark.**

**PROJECT NAME**  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

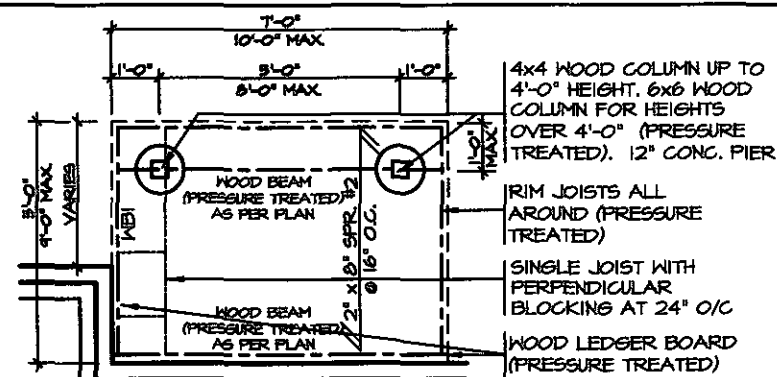




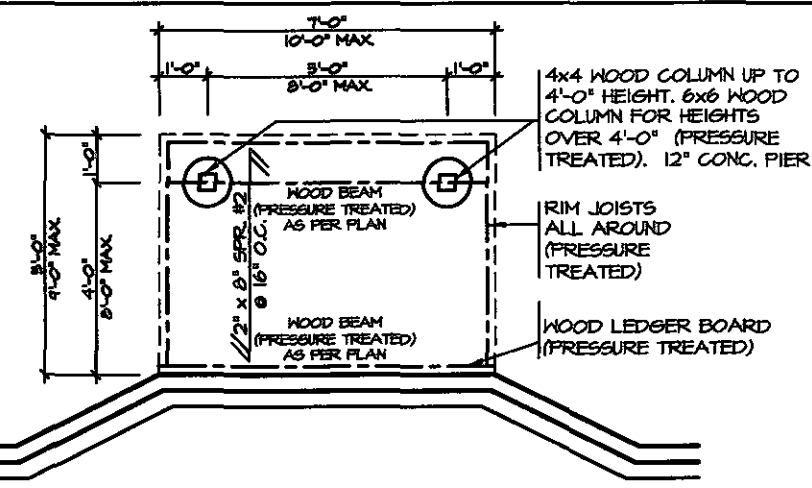
**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

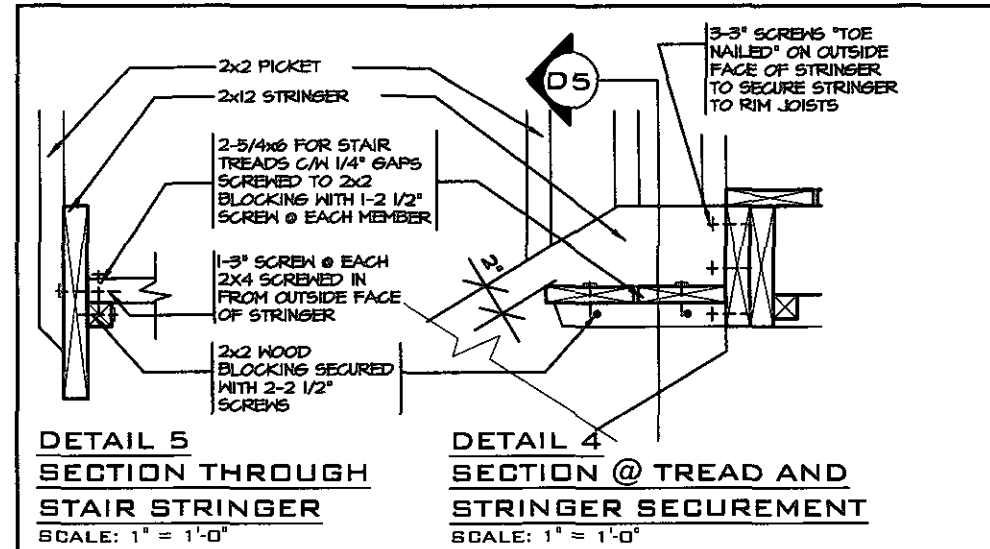
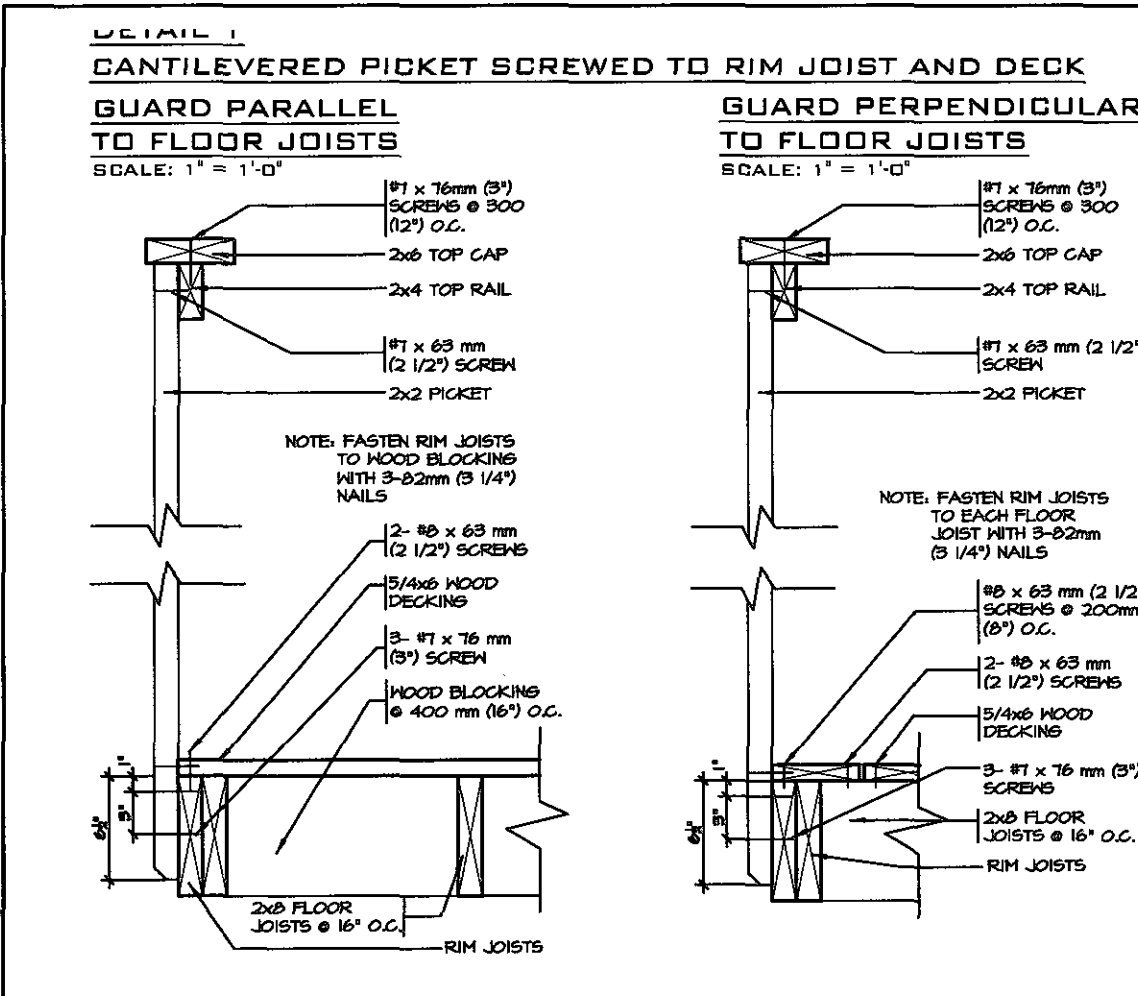


**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

**DECK SECTION WITH BRICK VENEER**  
SCALE: 1/2" = 1'-0"



- GENERAL NOTES**
1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 mpa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
  2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
  3. ALL NAILS AND SCREWS TO BE GALVANIZED.
  4. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.



FEB 14 2019



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Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

REVISIONS

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SIGNATURE

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8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

**WOOD DECK DETAIL**

SCALE AS SHOWN

DATE NOV 2016

TYPE

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AREA

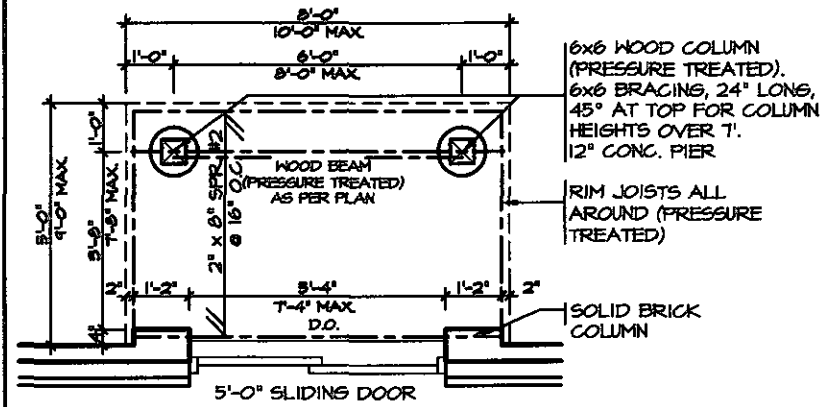
PAGE No. 8

PROJECT 00-00-00

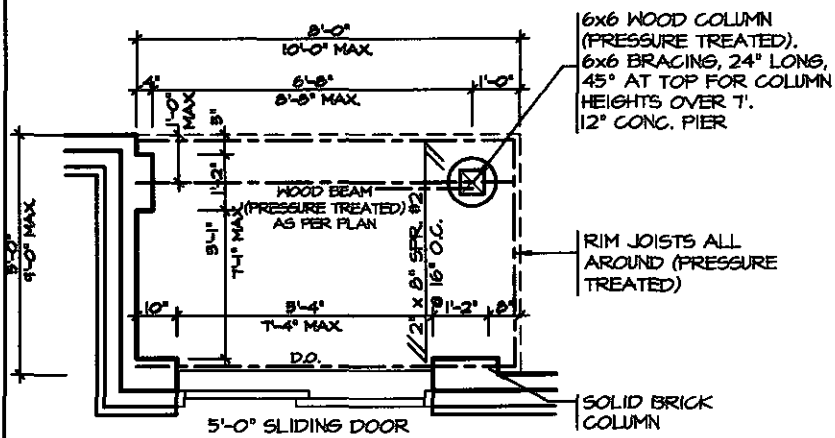
**Greenpark.**

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

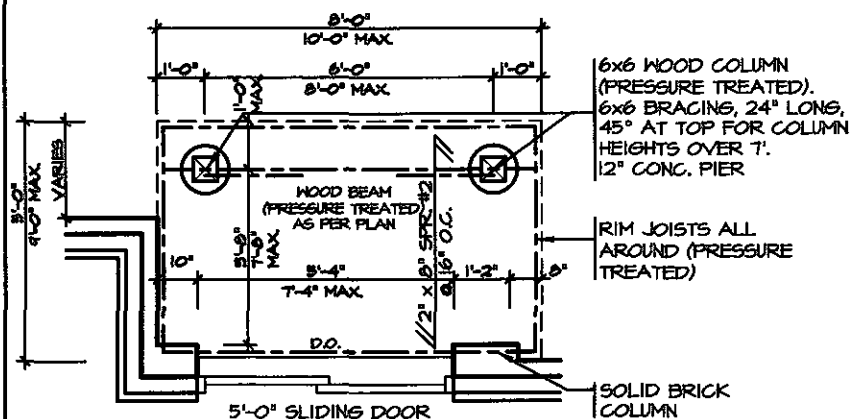




**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

2x2 PICKETS CHAMFERED AT BOTTOM WITH 2x6 TOP CAP AND 2x4 TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

WBI RIM JOISTS (PRESSURE TREATED)

(CORROSION RESISTANT) SIMPSON STRONG-TIE POST CAP

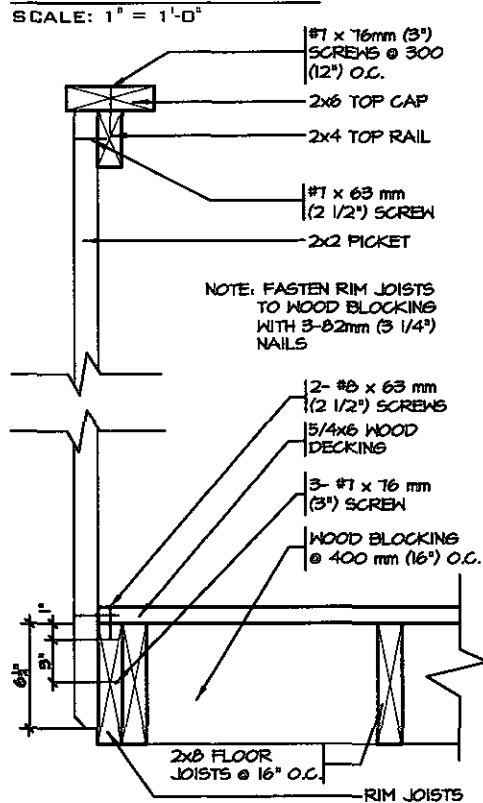
(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE, 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

**DECK SECTION WITH BRICK VENEER**  
SCALE: 1/2" = 1'-0"

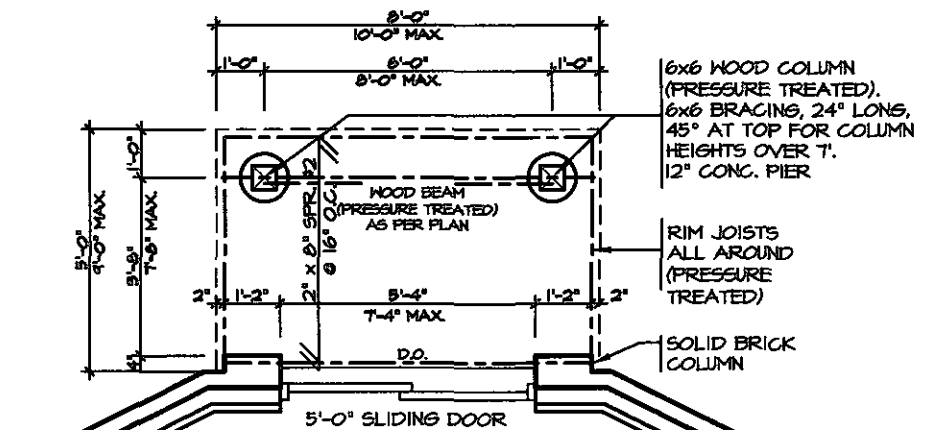
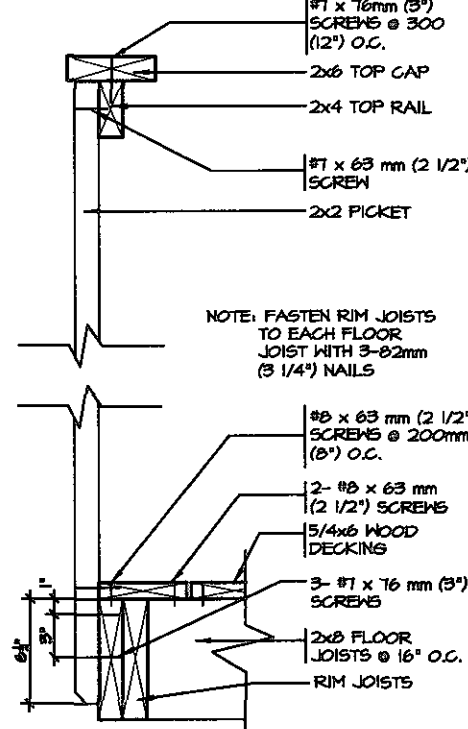
**DETAIL 1**  
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK GUARD PARALLEL TO FLOOR JOISTS

SCALE: 1" = 1'-0"



**DETAIL 2**  
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK GUARD PERPENDICULAR TO FLOOR JOISTS

SCALE: 1" = 1'-0"



**TYPICAL DECK LAYOUT**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES**

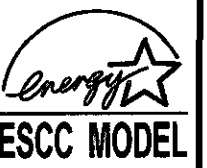
1. BRICK TO BE COMPRESSIVE STRENGTH OF 15 MPa (2200 p.s.i.) MIN. UNITS TO BE LAID WITH FULL HEAD AND BED JOINTS.
2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF 10mm (3/8") MIN. AND 20mm (3/4") MAX.
3. ALL NAILS AND SCREWS TO BE GALVANIZED.
4. WBI = 2- 2 x 8 (PRESSURE TREATED) WBI = 2- 2 x 10 (PRESSURE TREATED)
5. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.

STRUDET INC.



FOR STRUCTURE ONLY

FEB 14 2019



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

DESIGNER: AIES INC. JAN 18

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VIKAS GAJJAR  
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746



SHEET TITLE  
**WALK-OUT DECK DETAILS**

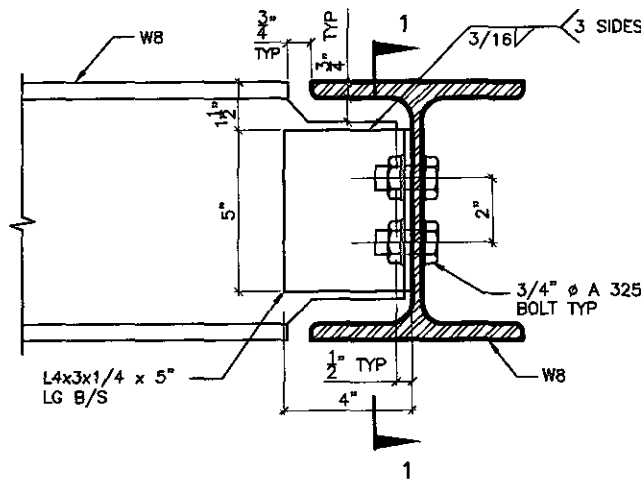
SCALE AS SHOWN BY AREA  
DATE NOV 2016 TYPE PROJECT 00-00-00

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PAGE No. 8-2

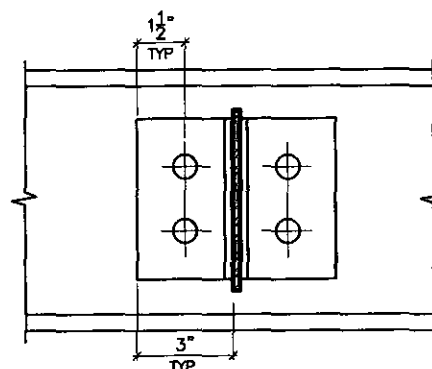
**Greenpark**  
PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.



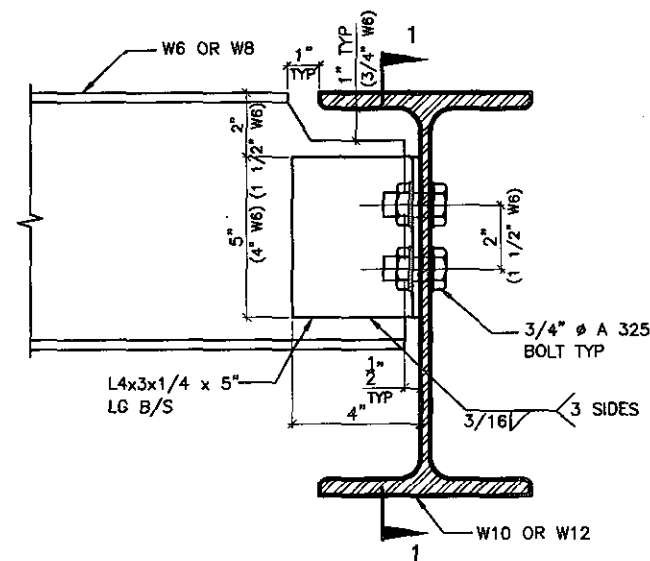


**DETAIL 1.**

**W8  
TO  
W8  
CONNECTION**

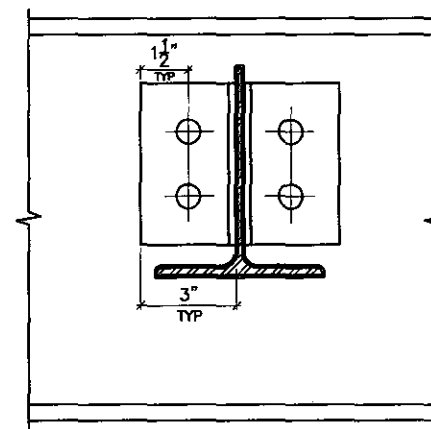


SECTION 1-1

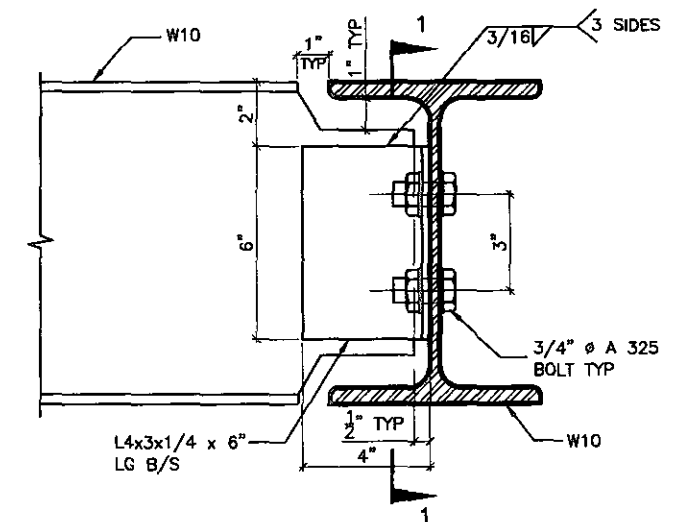


**DETAIL 2.**

**W6(W8)  
TO  
W10(W12)  
CONNECTION**

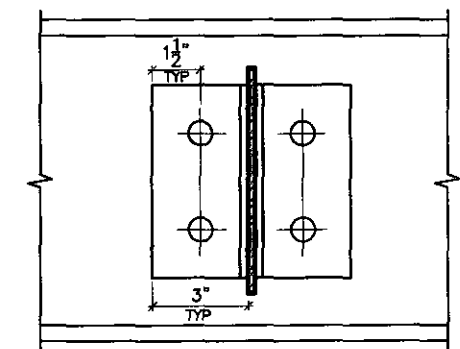


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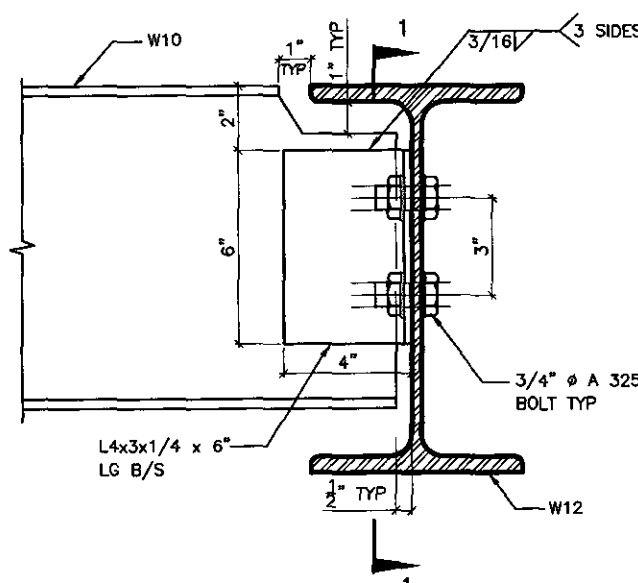


**DETAIL 3.**

**W10  
TO  
W10  
CONNECTION**

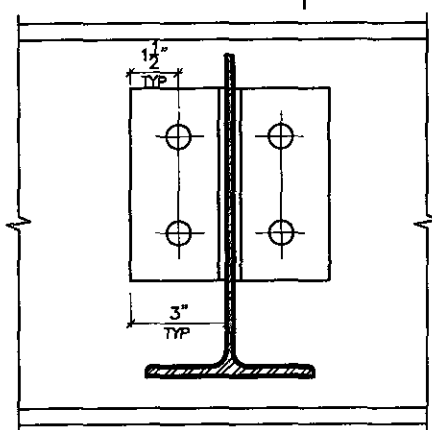


SECTION 1-1

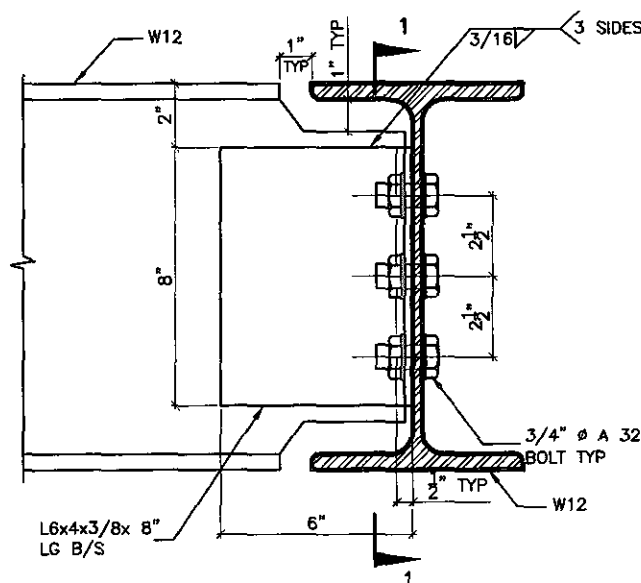


**DETAIL 4.**

**W10  
TO  
W12  
CONNECTION**

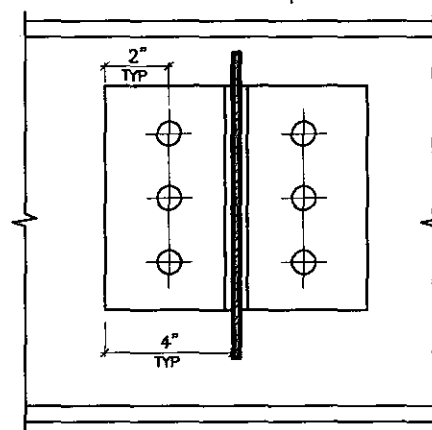


SECTION 1-1

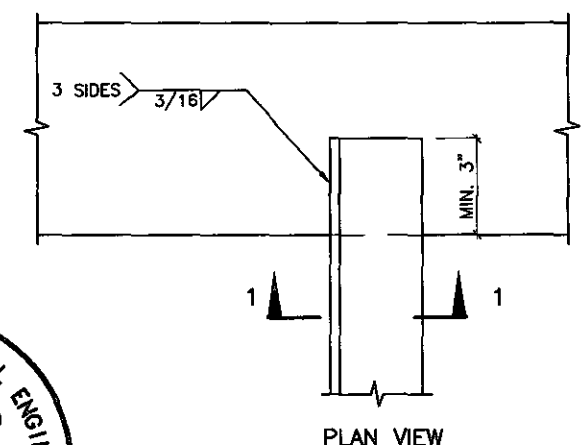


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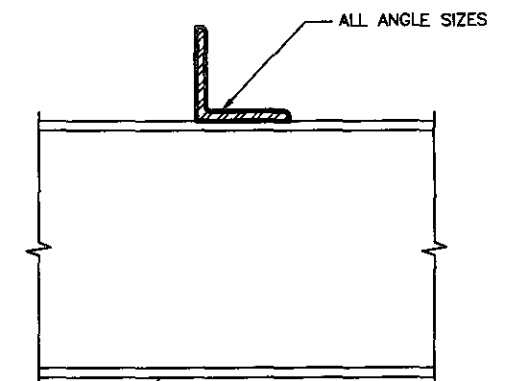
**W12  
TO  
W12  
CONNECTION**



SECTION 1-1



PLAN VIEW



SECTION 1-1



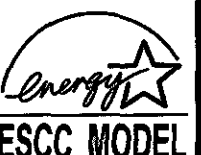
**DETAIL 6.**

**ANGLE  
TO  
BEAM  
CONNECTION**

ALL BEAM SIZES

SECTION 1-1

FEB 14 2018



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

5.	REVISIONS	
4.		
3.		
2.		
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18

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**VIKAS GAJJAR**  
NAME

**28770**  
BCIN

**SIGNATURE**

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CONCORD, ONTARIO  
L4K 4S6  
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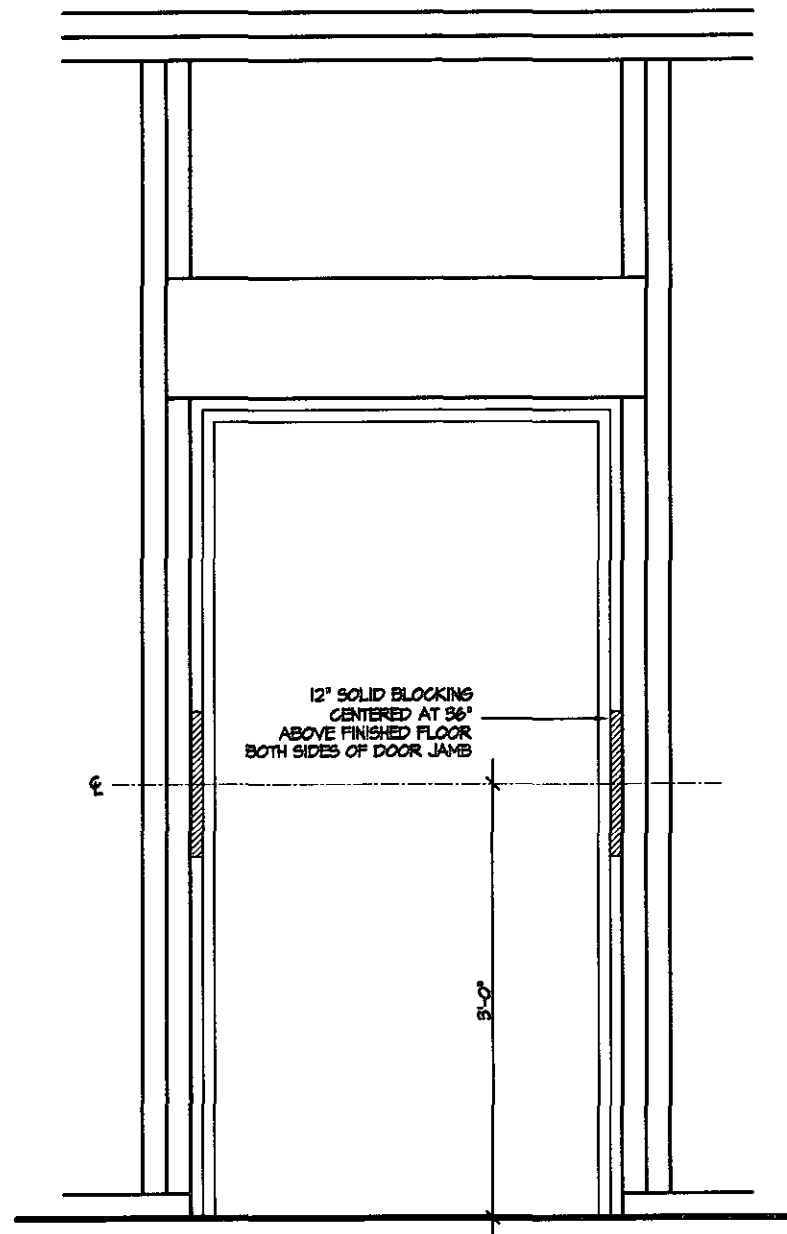
SHEET TITLE	
STEEL BEAM DETAILS	
SCALE	BY
N.T.S.	
DATE	TYPE
NOV 2016	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	PAGE No.
PROJECT	9
00-00-00	

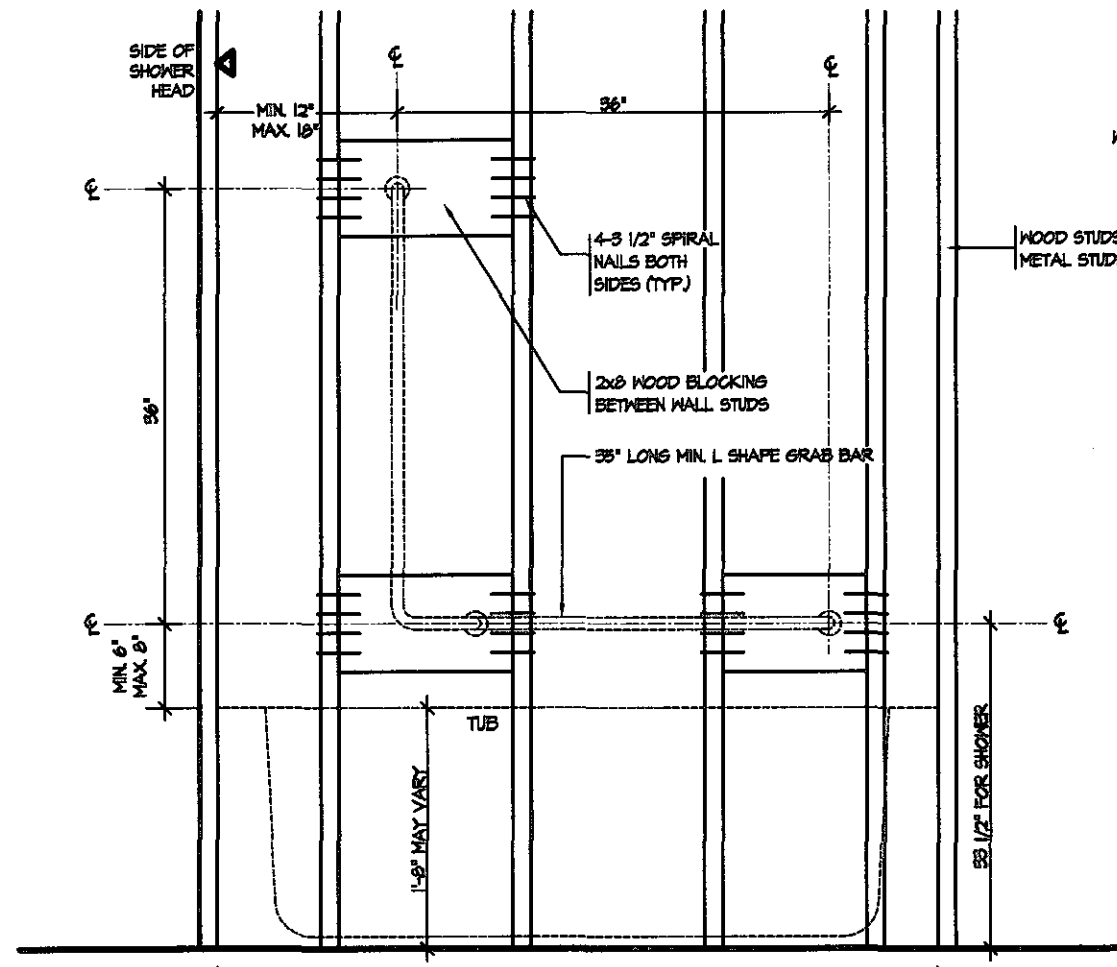
**Greenpark**

PROJECT NAME  
**STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.**

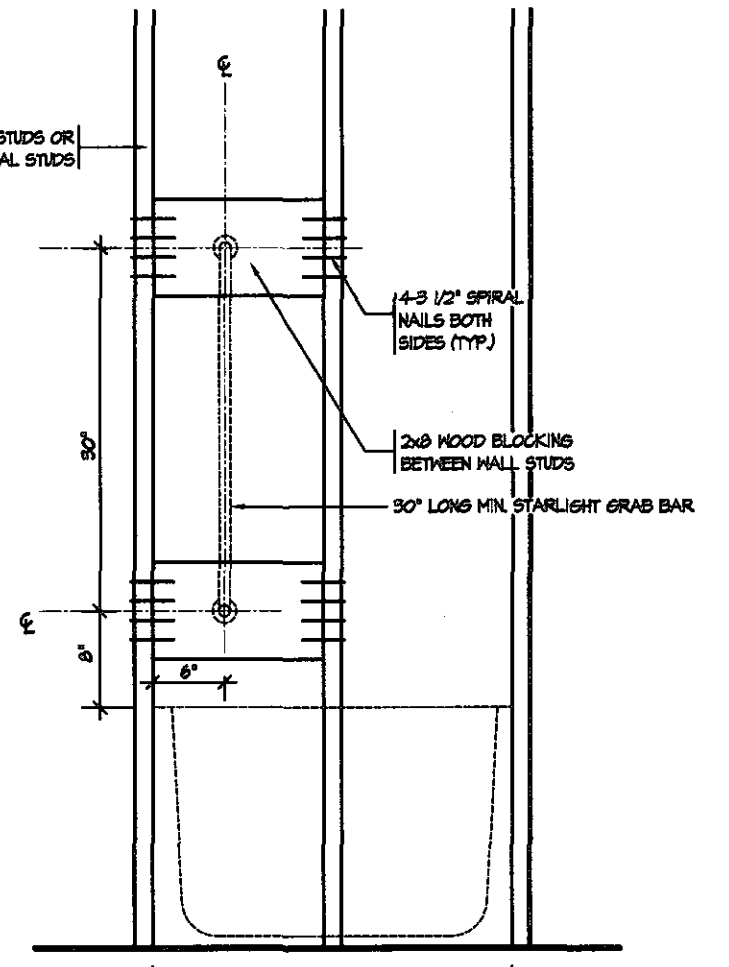




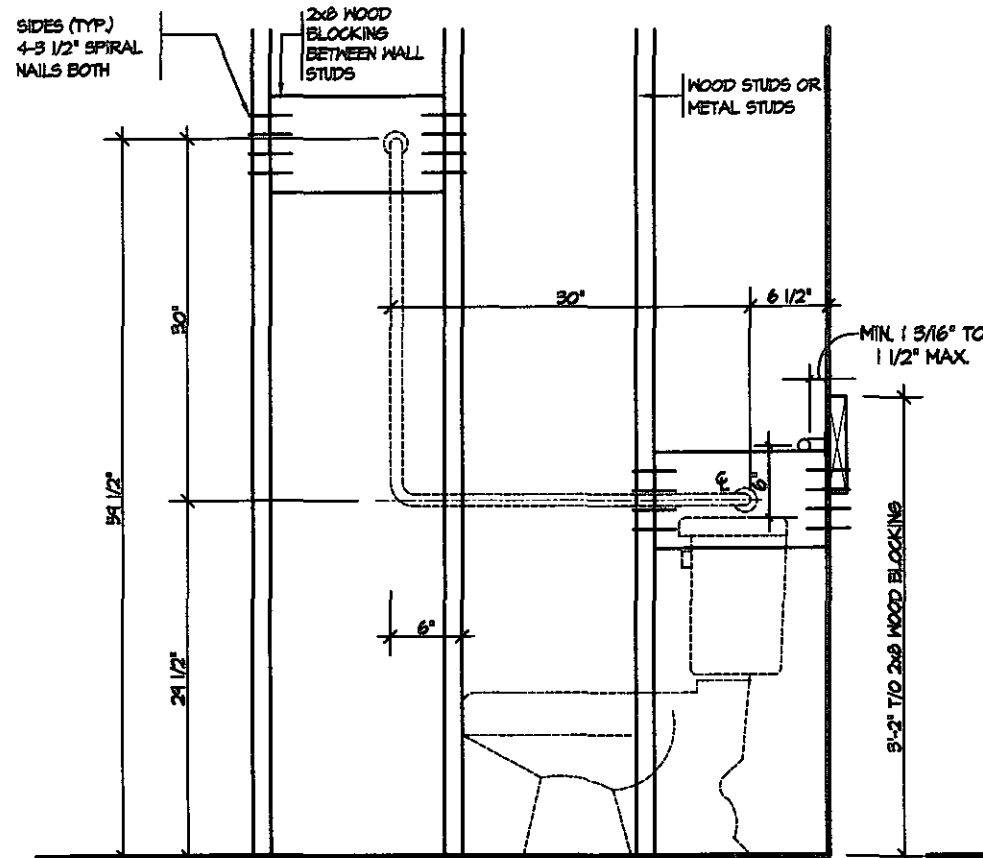
RESISTANCE TO FORCED ENTRY (OBC 9.6.8.)



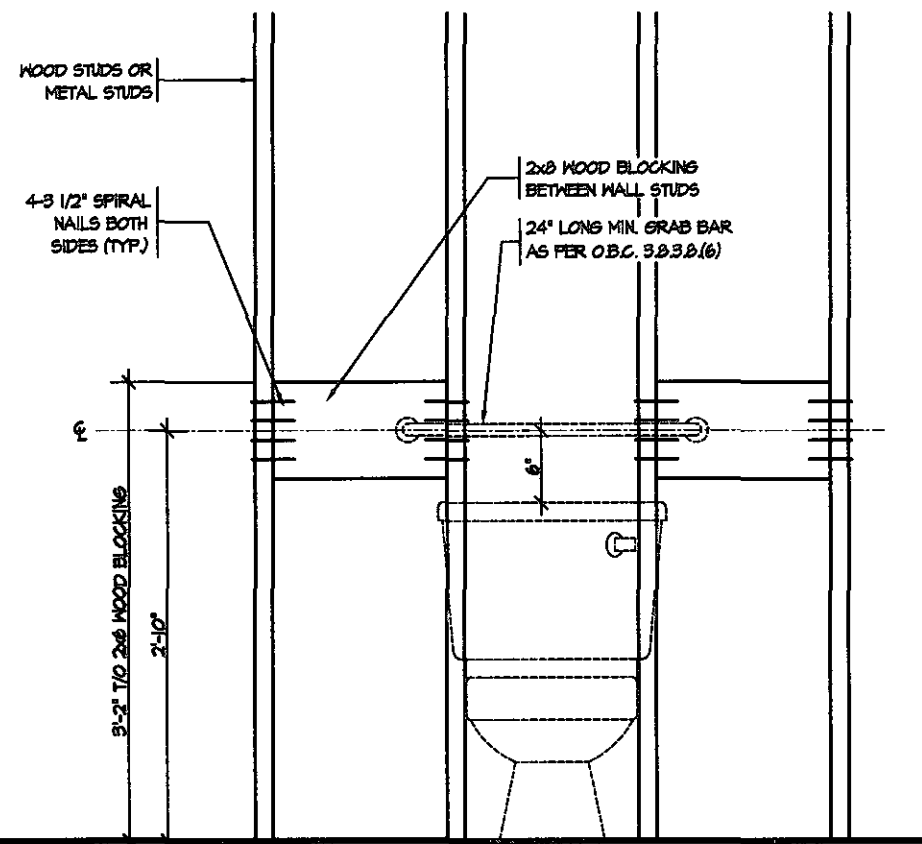
BATH TUB OR SHOWER FRONT ELEVATION



BATH TUB SHOWER HEAD SIDE ELEVATION



TOILET SIDE ELEVATION



STRUCTURAL REINFORCEMENT FOR GRAB BAR (OBC 9.5.2.3.)  
FOR MAIN BATH ONLY



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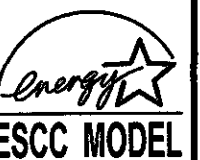
Discipline	Reviewer	BCIN	Date
Building Code	H. Author	43236	2021-02-03
Seismic System			
Zoning			

STRUDET INC.



FOR STRUCTURE ONLY

FEB 14 2019



5.		
4.		
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REVISIONS		

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**REGION  
DESIGN  
INC.**

SHEET TITLE <b>BLOCKING FORCED ENTRY &amp; GRAB BAR</b>	
SCALE 3/4"=1'0"	BY
DATE NOV 2016	TYPE

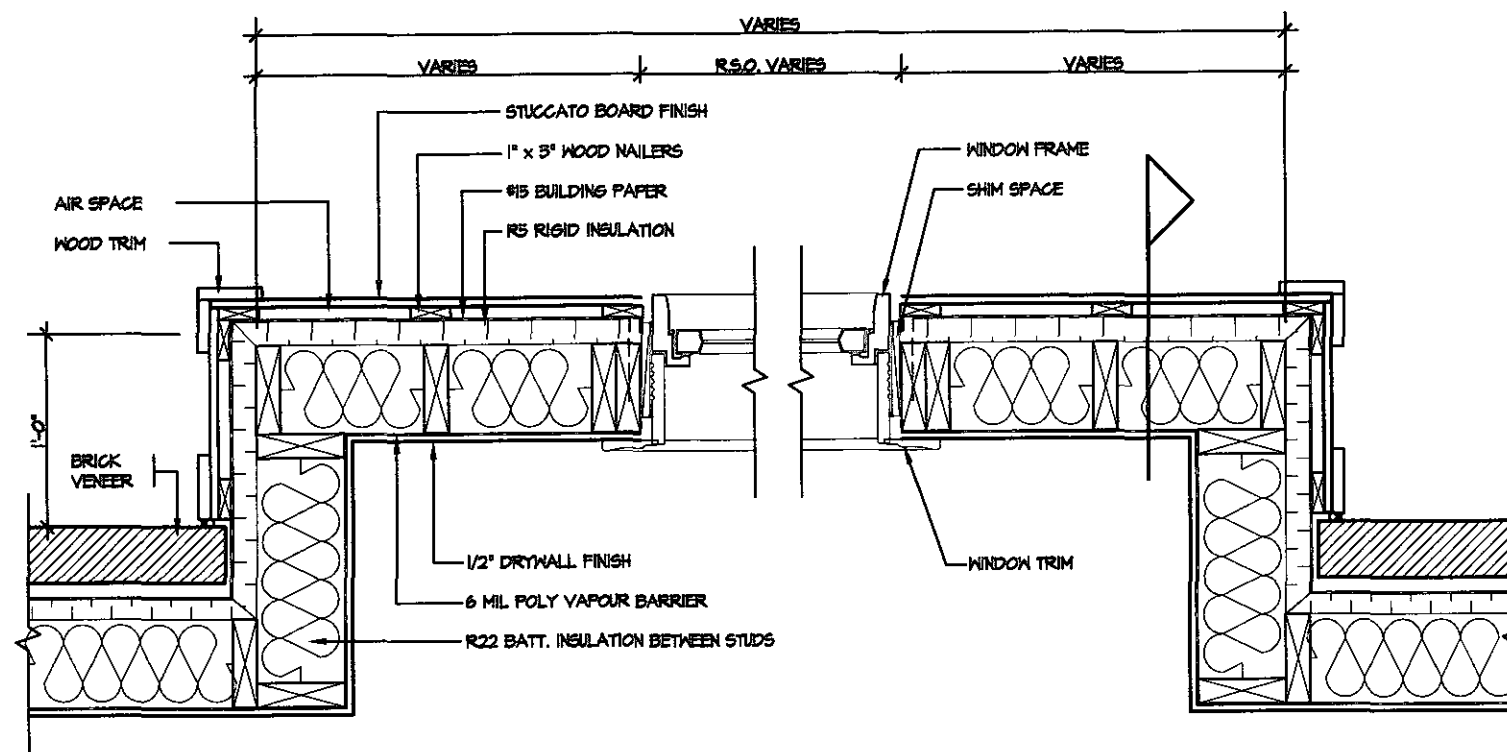
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AREA  
PROJECT  
00-00-00

PAGE No.  
**10**

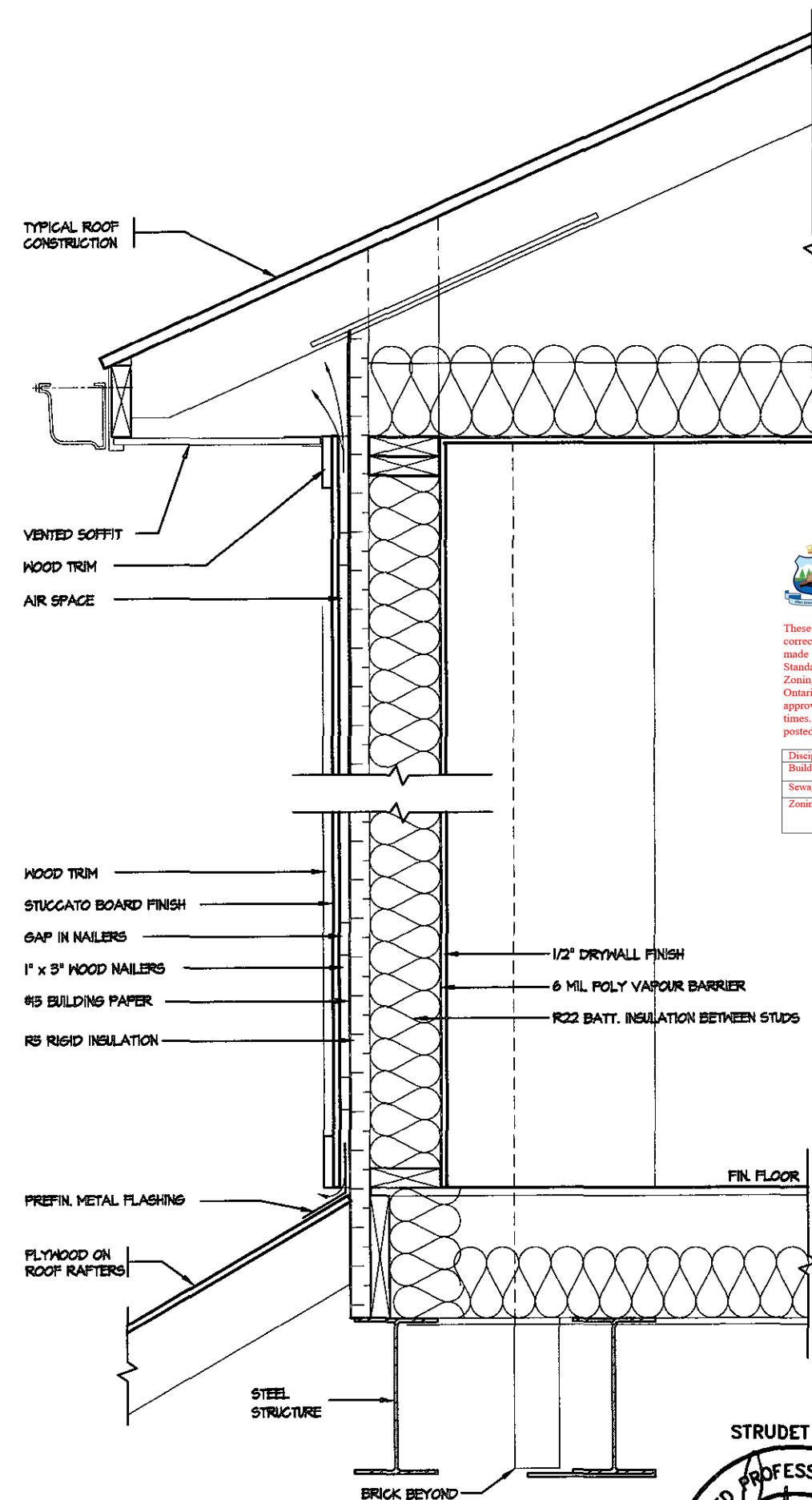
**Greenpark™**  
PROJECT NAME  
**STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.**





PLAN VIEW

STUCCATO BOARD FINISH CLADDING OR EQUAL (OBC 9.27.)

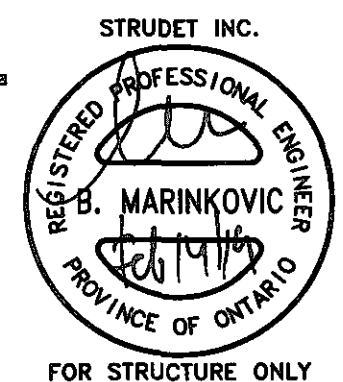


CROSS SECTION

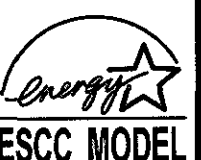


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Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FEB 14 2019



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REVISIONS		

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CONCORD, ONTARIO  
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F (905) 880-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**STUCCATO BOARD  
FINISH CLADDING**

SCALE 1/2"=1'0"  
DATE NOV 2016

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AREA  
PROJECT 00-00-00

PAGE No.  
**11**

**Greenpark™**

PROJECT NAME  
**STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.**



TYPICAL RIGHT SIDE ELEVATION

### TYPICAL BASEMENT PLAN

## SLAB ON GRADE CONDITION

NOTES:

1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS
2. ALL LEVELS ARE SHOWN IN METRIC

TYPICAL RIGHT SIDE ELEVATION

TYPICAL BASEMENT PLAN

## WALK OUT BASEMENT CONDITION

NOTES:  
1. LEVELS SHOWN ON THE PLANS ARE FOR ILLUSTRATION PURPOSE ONLY, SEE FINAL GRADING PLAN FOR ACTUAL LEVELS  
2. ALL LEVELS ARE SHOWN IN METRIC

## SLAB ON GRADE

\* SLAB ON GRADE DEFINITION:  
IF 50% OR GREATER OF THE  
BASEMENT SLAB PERIMETER IN A  
HEATED SPACE, IS WITHIN 24"  
OF ADJACENT FINISHED GRADE

## WALK OUT BASEMENT

\* SLAB ON GRADE DEFINITION:

INSULATE PERIMETER OF SLAB TO  
EXTENT THAT ADJACENT FINISHED  
GRADE IS WITHIN 24" OF SLAB



These plans have been reviewed for use with the corrections as noted. No other changes may be made without written approval of the Building Standards Branch. All work must comply with Zoning By-Law 2018-043, as amended, and the Ontario Building Code, as amended. These approved documents must be kept on site at all times. The building permit must be clearly posted on site at all times.

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-0
Sewage System			
Zoning			

2NG. FOOTING C/W FORMED KEYWAY  
IN NATURAL UNDISTURBED SOIL. FOR  
NOTING SIZES SEE ARCHITECTURAL  
DRAWINGS.

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

# REGION DESIGN INC.

SHEET	TITLE
	<b>SLAB ON GRADE</b> <b>WALKOUT BASEMENT</b>

SCALE	N.T.S.
DATE	NOV 2016

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.


AREA	
PROJECT	00-00-00

PAGE No. 12

 **Greenpark™**

PROJECT NAME  
STANDARD DETAILS - 2016  
TRINAR HALL HOMES INC.

Feb 20 2009



ENERGY STAR  
EPA MODEL

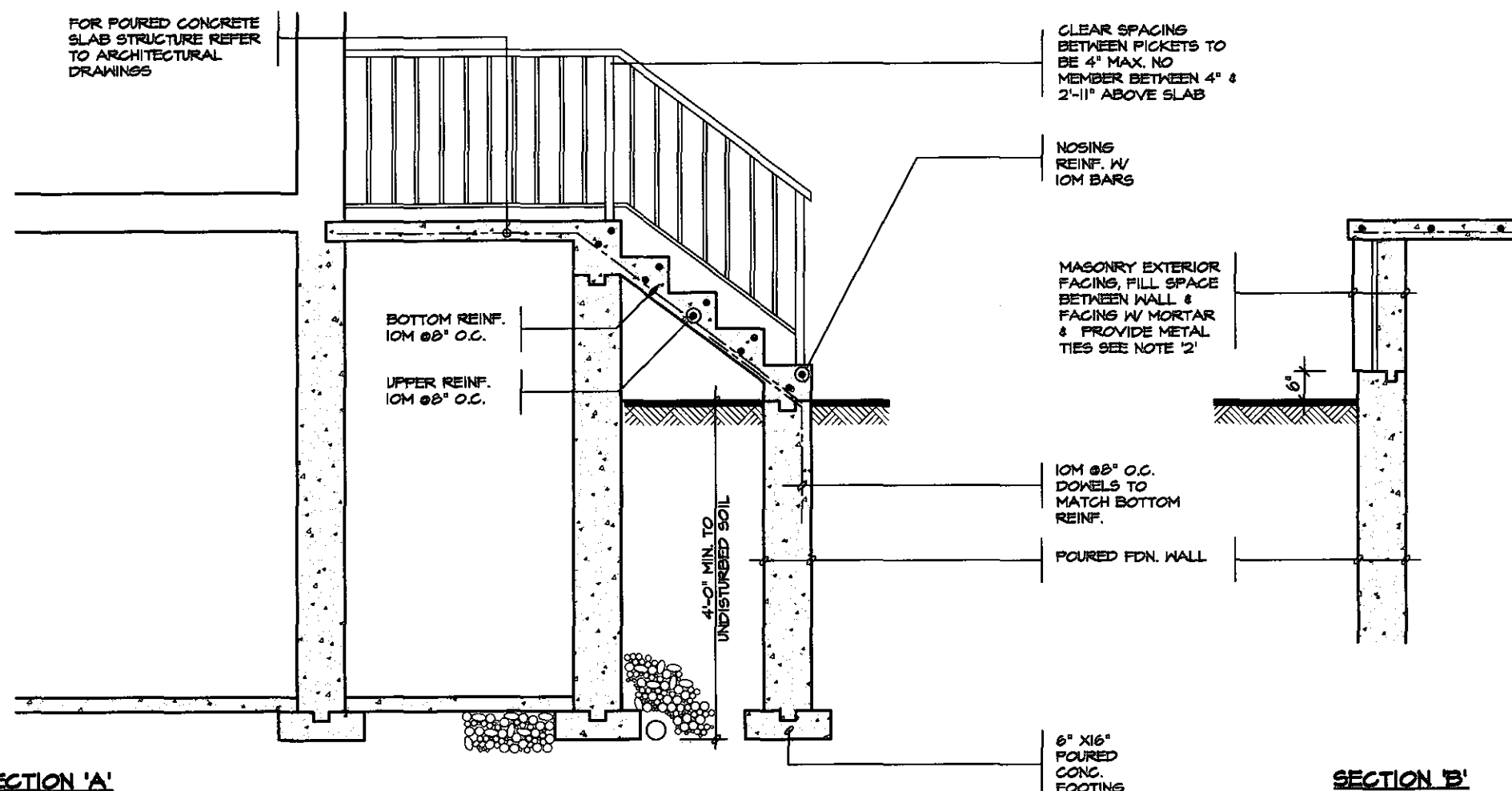
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## FOUNDATION PLAN

FOR POURED CONCRETE  
SLAB STRUCTURE REFER  
TO ARCHITECTURAL  
DRAWINGS

### GROUND FLOOR PLAN



**NOTE: FOR MORE THAN 8 RISERS**

### GENERAL NOTES

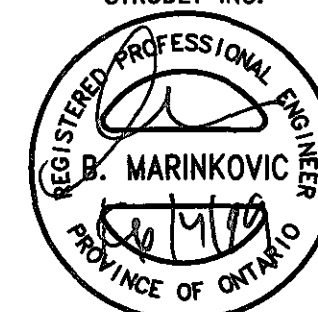
1. EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
2. MASONRY TIES  
WHEN BRICK FACING IS USED ABOVE  
GROUND LEVEL, PROVIDE 3/16" DIA.  
CORROSION RESISTANT METAL TIES @ 36"  
HORIZONTAL & 2" VERTICAL
3. GUARDS  
ARE REQUIRED ABOVE CONCRETE SLAB  
IF MORE THAN 2'-0" ABOVE GRADE & ON  
BOTH SIDES OF STAIRS CONTAINING MORE  
THAN 6 RISERS. MINIMUM 31" HIGH FOR  
STAIRS MINIMUM 35" HIGH FOR PORCHES  
UP TO 5'-4 1/2" ABOVE GRADE. MINIMUM 42"  
HIGH FOR GREATER HTS.
4. HANDRAIL  
ARE REQUIRED WHERE STEPS HAVE MORE  
THAN 3 RISERS. HANDRAIL HEIGHT 31" -  
35".
5. FOUNDATION WALLS  
THICKNESS OF FOUNDATION WALLS IS  
DEPENDANT UPON VENEER CUT 8" FOR UP  
TO 26" VENEER CUT HEIGHT 10" FOR  
VENEER CUT OVER 26" HIGH
6. CONCRETE  
MINIMUM CONCRETE STRENGTH SHALL BE  
4650 PSI [32MPa] W/ 5%-% AIR  
ENTRAINMENT MINIMUM CONCRETE SLAB  
THICKNESS 5"
7. CONCRETE COVER  
PROVIDE MINIMUM 3/4" CLEAR CONCRETE  
COVER TO REINFORCING BARS



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Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-0
Sewage System			
Zoning			

STRUDET INC.



FOR STRUCTURE ONLY

[illegible]

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 <p>PROJECT NAME</p> <p>STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.</p>
4.					POURED CONCRETE STAIRS				
3.					SCALE	BY	AREA	PAGE No.	
2.					3/8"=1'-0"			13	
1.	REVISED FOR TRINAR HALL HOMES INC. JAN 18				DATE	TYPE	PROJECT		
REVISIONS			NOV 2016		00-00-00				