ROOF CONSTRUCTION (*SEE OBC 9.19.

NO. 210 (10.25kg/m2) ASHPHALT SHINGLES, 10mm (3/0")
PLYWOOD SHEATHING WITH "H" CLIPS, APPROVED WOOD
TRUSSES @600mm 24" o.c. MAX. APPROVED EAVE (*SEE OBC 9.19.) PROTECTION TO EXTEND 900mm (3'-0') FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, 30x09 (2"x4") TRUSS BRACING @ 1030mm (6'-0") O.C. AT BOTTOM CHORD. PREFIN. ALLM, EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF / WALL SURFACES SUSCEPTIBLE TO DAMMING, ROOF SHEATHING TO BE FASTENED 150 (6") C.C. ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSCES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1,300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

FRAME WALL CONSTRUCTION (2"X6") 2 SIDING, HARDIE BOARD, STUCCATO BOARD OR EQUAL AS PER ELEVATION, 19X64 (1"X3") VERTICAL WOOD FURRING, APPROVED SHEATHING PAPER, MIN. RSI 0.88 (R-5) RIGID INSULATION, 30X140 (2°X6") STUDS @ 400MM (16") O.C.
FILLED WITH MIN. RSI 3.07 (R-22) BATT INSULATION,
TOTAL MIN. RSI 4.75 (R-27). APPROVED DIAGONAL WALL
BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH

BRICK VENEER LUNDIR LUNDING.

GOMM (4") FACE BRICK 25mm (1") AIR SPACE,

22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @

400mm (16") o.c. HORIZONTAL 600mm (24") o.c. VERTICAL. Brick Veneer Construction (2"x6") APPROVED SHEATHING PAPER, MIN. RSI 0.66 (R-5) RIGID INSULATION. 30XI40 (2"X6") STUDS @ 400MM (16") O.C. FILLED WITH MIN. RSI 3.67 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-2T). APPROVED DIAGONAL WALL BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, ISMM (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND

STUCCO WALL CONSTRUCTION (2"X6")

STUCCO CLADDING SYSTEM CONFIRMING TO OBCA.27.1.1.(2)

4 9.20 THAT EMPLOY A MINIMUM 6mm (I/4") DRAINAGE
CAVITY BEHIND THE CLADDING WITH POSITIVE DRAINAGE
TO THE EXTERIOR AND APPLIED AS PER MANUFACTURERS SPECIFICATION ON 25mm (I") MINIMUM EXTRUDED OR EXPANDED RIGID INSULATION, APPROVED SHEATHING PAPER, MIN. RGI 0.80 (R-5) RIGID INSULATION. 38X140 (2"X6") STUDS @ 400MM (16") O.C. FILLED WITH MIN. RSI 3.67 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27). APPROVED DIAGONAL WALL BRACING, VAPOUR BARRIER AND CONT. AIR BARRIER, 19mm (1/2") INT. DRYWALL FINISH. STUCCO TO BE MIN.200mm (8") ABOVE FINISH GRADE.

4 INTERIOR STUD PARTITIONS
(*SEE DBC 9.23.10.&9.23.11.)

BEARING PARTITION 38X84 (2"X4") @ 400mm (16") o.c. FOR 2 STOREYS AND 300mm (12") o.c. FOR 3 STOREYS. NON-BEARING PARTITIONS 38X84 (2"X4") @ 600mm (24") O.C. PROVIDE 38x84 (2"x4") BOTTOM PLATE AND 2/38x84 (2-2"x4") TOP PLATE. I3mm (i/2") INTERIOR DRYWALL BOTH SIDES OF STUD, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

FOUNDATION WALL/FOOTINGS: (*SEE OBC 9.15.3 & 9.15.4.)

200mm (8") OR 255mm (10") POURED CONC. FDTN. WALL 15MPa (2200ps)) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. BRACE FOUNDATION WALL PRIOR TO BACKFILLING ON CONC. FOOTINGS C/W CONT. FORMED KEYWAY AND REST ON NATURAL UNDISTURBED SOIL, WITH MINIMUM BEARING CAPACITY OF 100KPG (145 ps)) OR GREATER. FOR FOOTING SIZES SEE ARCHITECTURAL

WEEPING TILE (* SEE DBC 9.14.3.)

6 OOMM (4") DIA WEEPING TILE ISOMM (6") CRUSHED STONE
OVER AND AROUND WEEPING TILES. (* SEE DBC 9.14.3.)

7 BASEMENT SLAB (*SEE OBC 9.16
7 BOMM (3") MIN. 25MPG (3600PS) CONC. SLAB ON 100mm (*SEE OBC 9.16.-) (4") COARSE GRANILAR FILL, OR ISMPA (2200psi) CONC. WITH DAMPROOFING BELOW SLAB.



8 WOOD SUBFLOORS (*SEE OBC 9.23.14. & 9.30.2.) 19mm (3/4") T&G SUBFLOOR UNDER GROUND FLOOR FINISH FLOOR. 16mm (5/8") T&G SUBFLOOR INDER SECOND FLOOR FINISH FLOOR. 16mm (5/8") PANEL-TYPE UNDERLAY FOR CERAMIC TILE APPLICATION. 6mm (1/4") PANEL-TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING

ROOF INSULATION 9 RSI 1056 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR

ALL STAIRS/EXTERIOR STAIRS

MAX. RISE = 200 (1) (*SEE OBC 9.8.-) =210 (8-1/4°) =235 (9-1/4°) =25 (1°) MIN. TREAD MAX NOSING MIN. HEADROOM =1950 (6 -5") MIN. STAIR WIDTH FOR CURVED STAIRS =900 (2'-II") =865 (2'-I0") =860 (2'-I0") TO 965 (31-2") = 200 (6") = 150 (6") MIN. AVG. RUN

RAILING (*SEE DBC 9.8.8.) FINISHED RAILING ON PICKETS SPACED MAXIMUM LOOMM (4") BETWEEN PICKETS.

INTERIOR GUARDS: EXTERIOR GUARDS: = 900mm (2'-11") MIN. = 1070mm (3'-6") MIN.

MIN. RUN

SILL PLATE (*SEE 080 9.23.6 & 9.23.7.) 38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR /SOME (2-x4-7 SILL PLATE WITH ISHIM (1/27) DIA, ANCHOR BOLTS 200mm (6") LONG, EMBEDDED MIN. IOOMM (4") INTO CONC. © 2400mm (1"-10") O.C. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FOTN, WALL. USE MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

BASEMENT INSULATION BASEMENT INSULATION

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 152mm (6") ABOVE THE FINISHED FLOOR OF THE BASEMENT AND NOT LESS THAN 50mm (2") TO THE (*SEE OBC 12.3.) FOUNDATION WALL INGULATION SHALL BE MINIMUM RSIS 52 (R2O) INSULATION BLANKET OR BATTS WITH 38X84 (2X4)
STUD WALL, APPROVED VAPOUR BARRIER, DAMPROOFING
WIBLDG. PAPER BETWEEN THE FOTN. AND INSUL.,

BASEMENT BEARING STUD PARTITION (2"x4")
(*SEE OBC 9.23.10.)

36x89 (2"x4") 5TUDS @400mm (16") O.C. 36x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (6") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7"-10") O.C. (4") HIGH CONC. CURB ON 305x155 (12"x6") CONC. FOOTING. ADD HORIZ, BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

14A BASEMENT BEARING STUD PARTITION (2"X6")] 38x140 (2°x6") STUDS @400mm (16") o.c. 38x140 (2°x6") SILL PLATE ON DAMPROOFING MATERIAL, ISMM (1/2") DIA.
ANCHOR BOLTS 200mm (6") LONG, EMBEDDED MIN. 100mm
(4") INTO CONC. @ 2400mm (7'-10") O.C. (4") HIGH CONC. CURB ON 400x155 (16"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15 STEEL BASEMENT COLUMN (* SEE OBC 9.17.3.)

90mm (3-1/2") DIA. × 4.78mm (188) STL. COL. WITH 150x150x4.5mm (6"x6"x3/8") STL. TOP & BOTTOM PLATE.

STEEL COLUMN

| SAME | STEEL COLUMN STEEL COLUMN (* SEE OBC 9.17.3.) (12") LONG x 50mm (2") HOOK ANCHORS.

NIB WALLS (* SEE OBC 9.23.8.

16 BEAM POCKET OR 200x200 (8°x8°) POURED CONCRETE (* SEE OBC 9.23.8.) NIB WALLS, MINIMUM BEARING 90mm (3-1/2")

STEEL BEAM STRAPPING (* SEE DBC 9.23.4.3.(3)(c)) 14x38 (1"x2") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

GARAGE SLAB (*SEE OBC 9.16.-) 18 GARAGE SLAB

JOOMM (4") 32MPa (4640pel) CONC. SLAB WITH 5-8% AIR
ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL.
WITH COMPACTED SUB-BASE OR COMPACTED NATIVE

INTERIOR GARAGE WALLS & CEILINGS (19) (*SEE OBC 9.10.9.16.)

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING DETMEEN HOUSE AND GARAGE. MIN. RSI 0.80 (R-5) RIGID INSULATION W MIN. RSI 3.87 (R-22) BATT INSULATION, TOTAL MIN. RSI 4.75 (R-27) IN WALLS. RSI 5.46 (R3I) IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT.

EXTERIOR GARAGE WALLS (UN-INSULATED)

EXTERIOR FINISH AS PER NOTES (2) (3) & (3) APPROVED SHEATHING PAPER 1/16" O.S.B. EXTERIOR SHEATHING 38X 89 (2"X4") STUDS @ 400MM (16") O.C. FOR MAX. 3.0M (9'-10") HEIGHT 38XI40 (2"X6") STUDS @ 400MM (I6") O.C. 13mm (1/2") INT. DRYWALL FINISH

GARAGE DOOR GASPROOFING

(*SEE OBC 9.10.13.15,) DOOR AND FRAME GASPROOFING, DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIF

EXTERIOR STEP

(*SEE OBC 9.8.9.2, 9.8.9.3 & 9.8.10.) PRECAST CONCRETE STEP OR U.D. STEP WHERE NOT EXPOSED TO WEATHER MAX. RISE 200mm (1-1/8"); MINIMUM TREAD 250mm (9-1/2")

DRYER VENT (*SEE 080 6.2.3.8.

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. USE
1000mm (4°) DIA, SMOOTH WALL VENT PIPE. (*SEE OBC 6.2.3.8.(7))

ATTIC ACCESS (*SEE DBC 9. 19
ATTIC ACCESS HATCH 545×100 (22"×26") WITH
MEATHERSTRIPPING, RSI 3.52 (R20) RIGID INSULATION

FIREPLACE CHIMNEYS

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3-0")
ABOVE THE HIGHEST POINT AT WHICH IT COMES IN
CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE
ROOF SURFACE WITHIN A HORIZ, DISTANCE OF 3050mm (*08C 9.<u>21.-)</u> FIREPLACE CHIMNEYS

LINEN CLOSET
4 SHELVES MIN. 350mm (14") DEEP.

26 MECHANICAL EXHAUST (*SEE OBC 9.32.3.5, 9.32.3.10.) MECHANICAL EXHAUST FAN VENTED TO EXTERIOR.

STEEL BEARING PLATE FOR MASONRY WALLS 280x280xi6 (II"xii"x5/8") STL. PLATE FOR STL BEAMS AND 280x280xi2 (II"xii"xi/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED W/ 2-19mm (3/4") x200mm (8") LONG GALV ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH

CLASS "B" VENT

ULC. RATED CLASS "B" VENT GIOMM (2'-0") ABOVE THE POINT IN CONTACT WITH THE ROOF FOR SLOPES UP TO 9/12, REFER TO THE ONTARIO GAS UTILIZATION CODE.

WOOD BASEMENT POST 3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 (1/2") DIA. BOLT ON 406x406x203 (16"x16"x6") CONC. FOOTING.

STEP FOOTINGS (*DBC 9.15 MIN, HORIZ, STEP = 610mm (24"), MAX, VERT, STEP =

SLAB ON GRADE (*SEE DBC 9.16.-) OOMM (4") 32MPQ (464Ops)) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. REINFORCED W 6x6-W2.9xW2.9 MESH PLACED NEAR

MID-DEPTH OF SLAB.

32 DIRECT VENT FURNACE TERMINAL MIN. 400mm (36°) FROM A GAS REGULATOR. MIN 300mm (12") ABOVE FIN. GRADE, FROM ALL. OPENINGS, EXHAUST & INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6"-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE

JOIST STRAPPING & BRIDGING (*SEE DBC 23.9.4.)
ALL FLOOR JOISTS TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @2100mm (6'-11 o.c. MAX. 19x64 (1"x3") @2100mm (6'-11") o.c. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

EXPOSED BUILDING FACE (* SEE OBC 9.10.15.) EXPOSED BUILDING FALE 1" DEE UBD 3.10.10

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45min, WHERE LIMITING DISTANCE IS LESS THAN 1.2M (3'-11") WHERE THE LIMITING DISTANCE IS THAN 1.2M (3'-11") WHERE THE LIMITING DISTANCE IS LESS THAN 600mm (I'-II') THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTABLE MATERIAL,

COLD CELLAR PORCH SLAB (* SEE DBC 9,40.) 36) FOR MAX 2500mm (8'-2") PORCH DEPTH, 125mm (5") 32Mpa (4640 psi) CONC. SLAB WITH 5-0% AIR ENTRAINMENT. REINF. WITH IOM BARS @200mm (8") O.C., EACH WAY IN BOTTOM THIRD OF SLAB, ANCHORED IN PERIMETER FOTN. WALLS NV 610x610 (24*x24*) IOM @600mm (24*) o.c. DOWELS. SLOPE SLAB MIN. 1.0% FROM DOOR. SLAB TO HAVE A MIN. 15mm (3*) BEARING ON FDTN. WALLS. PROVIDE (WLI) LINTELS OVER CELLAR DOOR.

37) FOTN. WALL REDUCTION IN THICKNESS

(*SEE OBC 9.15.4.7.) FOTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 660mm (26") FOR 8" FOTN. WALL. 10" FOTN. WALL WHEN REDUCTION IN THICNESS IS GREATER THAN 26". FOTH, WALL SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8")O.C. VERTICALLY AND 900mm (36")O.C. HORIZONTALLY, FILL SPACE BETWEEN WALL AND FACING

38)CONVENTIONAL ROOF FRAMING

(*SEE OBC 9.23.4.2.(1))

FOR MAX. 2240mm (1"-4") SPAN, 38x84 (2"x4") RAFTERS @400mm (16") o.c... FOR MAX. 3530mm (11"-1") SPAN, 38x140 (2"x6") RAFTERS @400mm (16") o.c... RIDGE BOARD TO BE 51mm (2") DEEPER. 38x34 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x84 (2"x4") @400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN \$ 36x140 (2°x6") @ 400 (16°) o.c. FOR MAX. 4450mm (14'-7') SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x84 (2°x4") @600mm (24") a.c. WITH A 38x89 (2"x4") CENTER POST TO THE TRUSS BELOW, LATERALLY BRACED @1800mm (6'-0")
O.C. VERTICALLY.

TWO STOREY VOLUME SPACES

FOR A MAXIMUM 5440mm (18'-0") HEIGHT, PROVIDE

2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c.

FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE

SOLID MOOD BLOCKING BETWEEN STUDS @1220mm (4'-0")

EXPOSED FLOOR TO EXTERIOR PROVIDE RSI 5.46 (RSI) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED

PARTYWALLS TYPICAL I HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

EXTERIOR WALLS FOR WALK-OUT CONDITION
THE EXTERIOR BASEMENT STUD WALL TO BE SEXHAUMM
(2"x6") STUDS @400mm (16") O.C. MATCH FLOOR JOIST
SPACING WHEN PARALEL WITH FLOOR JOISTS.

SMOKE ALARM (*OBC 9.10.19)
WITHIN DWELLING WITTS, SUFFICIENT SMOKE ALARMS SHALL
BE INSTALLED SO THAT, a. THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON

THERE IS AT LEAST ONE SMOKE ALARM INSTALLED ON EACH STOREY, INCLUDING BASEMENTS AND ON ANY STOREY OF A DWELLING UNIT CONTAINING SLEEPING ROOMS, A SMOKE ALARM IS INSTALLED, I. IN EACH SLEEPING ROOM, AND 2. IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.

A SMOKE ALARM SHALL HAVE A VISUAL SIGNALING COMPONENT CONFORMING TO THE REQUIREMENTS IN 18.5.3. (LIGHT, COLOR AND PULSE CHARACTERISTIC) OF NEPA 72, "NATIONAL FIRE ALARM AND SIGNALING CODE".

A SMOKE ALARM SHALL BE INSTALLED IN CONFORMANCE WITH CANVILC-5553, "INSTALLATION OF SMOKE ALARMS"

SMOKE ALARMS SHALL BE INSTALLED ON OR NEAR THE CEILING.

CARBON MONOXIDE ALARM MHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A SUITE OF RESIDENTIAL OCCUPANCY, A CARBON MONOXIDE ALARM SHALL BE INSTALLED TO EACH SLEEPING AREA IN THE SUITE.

THE CARBON MONOXIDE ALARM SHALL

a. BE PERMANENTLY CONNECTED TO AN ELECTRICAL
CIRCUIT AND SHALL HAVE NO DISCONNECT SMITCH
BETWEEN THE OVERCURRENT DEVICE AND THE

DETACENT HE OVERCARRENT DEVICE AND THE CARBON MONOXIDE ALARM,

b. BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED, WHERE LOCATED ADJACENT TO A SLEEPING AREA, AND

c. CONFORM TO

CANCEA-A IS DESIDENTIAL CARBON

CANCSA-6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES", OR UL2034, "SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS"

SDIL GAS CONTROL (*080 9.13.4.)
PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL
GAS INTO THE BUILDING AS REQUIRED. (*OBC 9.13.4.)

→ East Gwillimbury

FEB 1 4 2019



ENERGY STAR V-17

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

GENERAL NOTES N.T.S. ROJECT 00-00-00 NOV 2016

Greenpark.

STANDARD NOTES - 2016 TRINAR HALL HOMES INC.

V12 ND 182 - STANDARD NOTES ENERGY STAE

JAN 18 1. REVISED FOR TRINAR HALL HOMES INC. **REVISIONS**

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

VIKAS GAJJAR SIGNATURE

28770

P (416) 736-4096

L4K 4S6

REGION DESIGN INC

CONCORD, ONTARK

EGION

8700 DUFFERIN ST. **ESIGN**

(1) MINIMUM BEDROOM WINDOW (*086 9.9.10.1.) AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN O 95m2 (3.8 SQ.FT.) UNOPSTRUCTED GLAZED OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380mm (1'-3") GLASS AREA NOT MORE THAN ITS OF GROSS PERIPHERAL WALL AREA. MAXIMM U-VALUE 16T & MIN ER-VALUE 29

WINDOW GUARDS (*08C 9.8.8.1(6))
A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW (2) WINDOW GUARDS SILL IS LOCATED LESS THAN 400mm (I-6") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")

GENERAL:

(1) MECHANICAL VENTILATION MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3 AIR CHANGES PER HOUR AVERAGED OVER 24 HOURS. SEE MECHANICAL DRAWINGS.

(2) REINFORCEMENT FOR GRAB BARS (*OBC 9.5.2.3.) RAINFORCEMENT OF STUD WALLS FOR FUTURE GRAB BARS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM.

LUMBER:

IJALI LUMBER SHALL BE SPRIKE-PINE-FIR NO.142 GRADE, UNLESS NOTED OTHERWISE.

2)LIMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE-PINE-FIR No.142 GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

3, ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS MANUFACTURER.

4.) LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800ps) MIN.) OR EQUIVALENT. NAIL EACH PLY OF LYL WITH EMMIN (3-1/2") LONG COMMON WIRE NAILS @300mm (12") O.C. STAGGERED IN 2 ROWS FOR 184, 240, ¢ 300mm (1-1/4",9-1/2",11-1/b") DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4 FLY MEMBERS ADD 1/2" (ISMM) DIA. GALVANIZED BOLTS BOLTED AT MID-DEPTH OF BEAM @ 915mm (3'-0")04

5) PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVI. BEAM TO BEAM CONNECTIONS UNLESS NOTED OTHERWISE.

6.) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND BULIT-UP WOOD MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

1)WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY AT LEAST 2MIL. POLYETHYLENE FILM, No.50 (45bs) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER IS AT LEAST ISOMM (6") ABOVE THE

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO CANCSA-640-21 GRADE 350M

REINFORCING STEEL SHALL CONFORM TO CSA-630-18M GRADE 400R

STABILITY OF NARROW (20-25)

& TALL (±30') Houses

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND LOADING WHEN UNDER CONSTRUCTION. FURTHER RECOMMENDATIONS:

IJREDUCE THE FOUNDATION WALL SILL PLATE ANCHOR BOLT SPACING FROM 2400mm o.c. (1'-10") TO 1220mm o.c. (4'-0") FOR STANDARD CONDITIONS.

2,)USE 9.5mm (8/8") THICK PLYWOOD OR WAFERBOARD FOR THE EXTERIOR WALL SHEATHING.

3)TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION
USE 45mm (3/8") THICK PLYWOOD NAILED TO THE
INTERIOR PARTITIONS ON EACH FLOOR FOR A MINIMUM 2
INTERIOR PARTITION WALLS ON BOTH SIDES AND PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WLI = 3-1/2"x3-1/2"x1/4"L (90x90x6,0L) + 2-2"x8" SPR, No.2 WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2 WL3 = 5"x3-1/2"x5/6"L (125x90x8.0L) + 2-2"x10" 5PR. No.2 WL4 = 6"x3-1/2"x5/6"L (150x90x10.0L) + 2-2"x12" 5PR. No.2 WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR, No.2 ML5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2 ML6 = 5"x3-1/2"x5/16"L (125x40x8.0L) + 2-2"x12" SPR. No.2 ML7 = 5"x3-1/2"x5/16"L (125x40x8.0L) + 3-2"x10" SPR. No.2 WLB = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2 WL9 = 6"x4"x3/6"L (150x100x10,0L)

WOOD LINTELS AND BEAMS

WBI = 2-2"x0" SPR. No.2 (2-30x104 SPR. No.2) WB2 = 3-2"x0" SPR. No.2 (3-30x104 SPR. No.2) WB3 = 2-2"x10" SPR. No.2 (2-30x235 SPR. No.2) WB4 = 3-2"x10" SPR. No.2 (3-30x235 SPR. No.2) WB5 = 2-2"x12" SPR. No.2 (2-36x266 SPR. No.2) WB6 = 3-2"x12" SPR. No.2 (3-36x266 SPR. No.2) HBT = 5-2"x12" SPR No.2 (5-38x206 SPR. No.2) HBH = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2) HB12= 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L(= 3-1/2*\3-1/2*\1/4*L (*Ox90x6.0L) L2 = 4*\x3-1/2*\x5/16*L (100x90x6.0L) L3 = 5*\x3-1/2*\x5/16*L (125x90x6.0L) L4 = 6"x3-1/2"x3/8"L (150x90x10.0L) 15 = 6"x4"x3/8" (50x100x10.0) L6 . 7"x4"x3/8"L (175x100x10.0L

LAMINATED VENEER LUMBER (LVL) BEAMS

LAMINATED VENEER LUMBER (LVI
LVLIA = I-I 3/4" x 7 I/4" (I-45xIB4)
LVLI = 2-I 3/4" x 7 I/4" (2-45xIB4)
LVL2 = 3-I 3/4" x 7 I/4" (3-45xIB4)
LVL3 = 4-I 3/4" x 7 I/4" (4-45xIB4)
LVL4A = I-I 3/4" x 9 I/2" (I-45x240)
LVL4 = 2-I 3/4" x 9 I/2" (3-45x240)
LVL5 = 3-I 3/4" x 9 I/2" (3-45x240)
LVL5A = 4-I 3/4" x II 7/8" (1-45x300)
LVL6A = I-I 3/4" x II 7/8" (2-45x300)
LVL7 = 3-I 3/4" x II 7/8" (3-45x300)
LVL7A = 4-I 3/4" x II 7/8" (4-45x300)
LVL7A = 4-I 3/4" x II 7/8" (4-45x300)
LVLA = 2-I 3/4" x II 7/8" (4-45x300)
LVLA = 2-I 3/4" x II 7/8" (4-45x300) LVL9 = 2-1 3/4" x 14" (2-45x356) LVL9 = 3-1 3/4" x 14" (3-45x356) LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

| = 2'-10" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR |a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS |2 = 2'-8" x 6'-8" (815x2033) - HOOD & GLASS DOOR 2 = 2'-6" x 6'-6" (bi5x2033) - MOOD & SLASS DOOR 3 = 2'-6" x 6'-8 x 1-3/4" (bi5x2033x45) - EXTERIOR SLAB DOOR 4 = 2'-6" x 6'-6" x 1-3/6" (bi5x2033x35) - INTERIOR SLAB DOOR 5 = 2'-6" x 6'-6" x 1-3/6" (bi6x2033x35) - INTERIOR SLAB DOOR 6 = 2'-2" x 6'-6" x 1-3/6" (bi6x2033x35) - INTERIOR SLAB DOOR 7 = 1'-6" x 6'-6" x 1-3/6" (460x2033x35) - INTERIOR SLAB DOOR

F (905) 660-0746

LEGEND

DJ

DOUBLE JOIST TJ TRIPLE JOIST **ST** GIRDER TRUSS POINT LOAD

SOLID WOOD BEARING, SOLID BEARING TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.

ZZZZZ LOAD-BEARING WALL

TWO-STOREY WALL, SEE NOTE (39)

FLAT ARCH

FLOOR DRAIN

SA SMOKE ALARM, SEE NOTE

SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE

(43) (44)

East Gwillimbury

Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			

FEB 4 4 2010

ENERGY STAR V-17

JAN 18 REVISED FOR SECONDO VALES ESTATE INC REVISIONS

STAUDET INC.

ROFERS/ON

VOE OF ONE

FOR STRUCTURE ONLY

គ្នី B. MARINKOVIC

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

VIKAS GAJJAR 5 SIGNATURE NAME

28770 BCIN

REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO ESIGN L4K 4S6 P (416) 736-4096

BEON

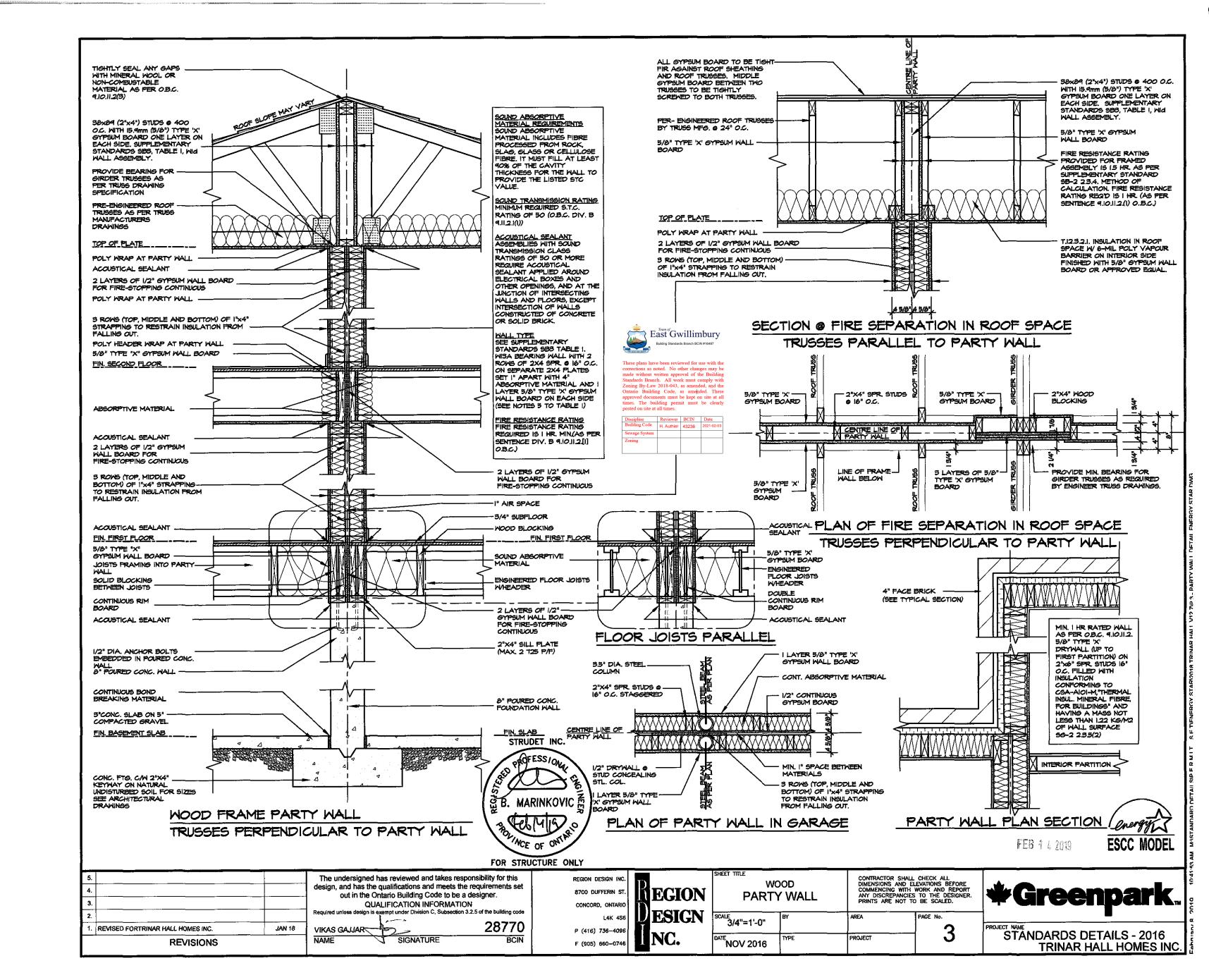
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. **GENERAL NOTES** N.T.S.

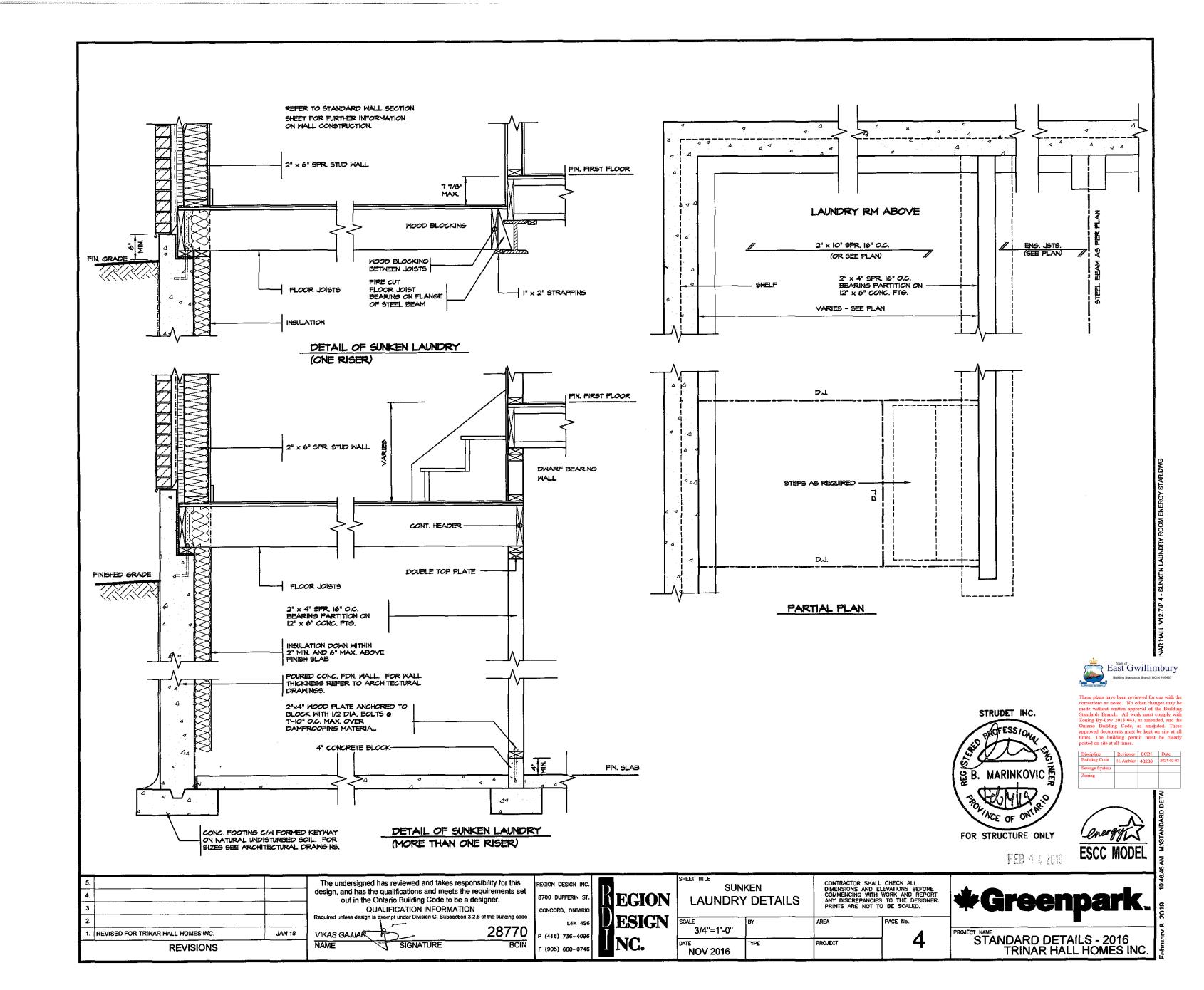
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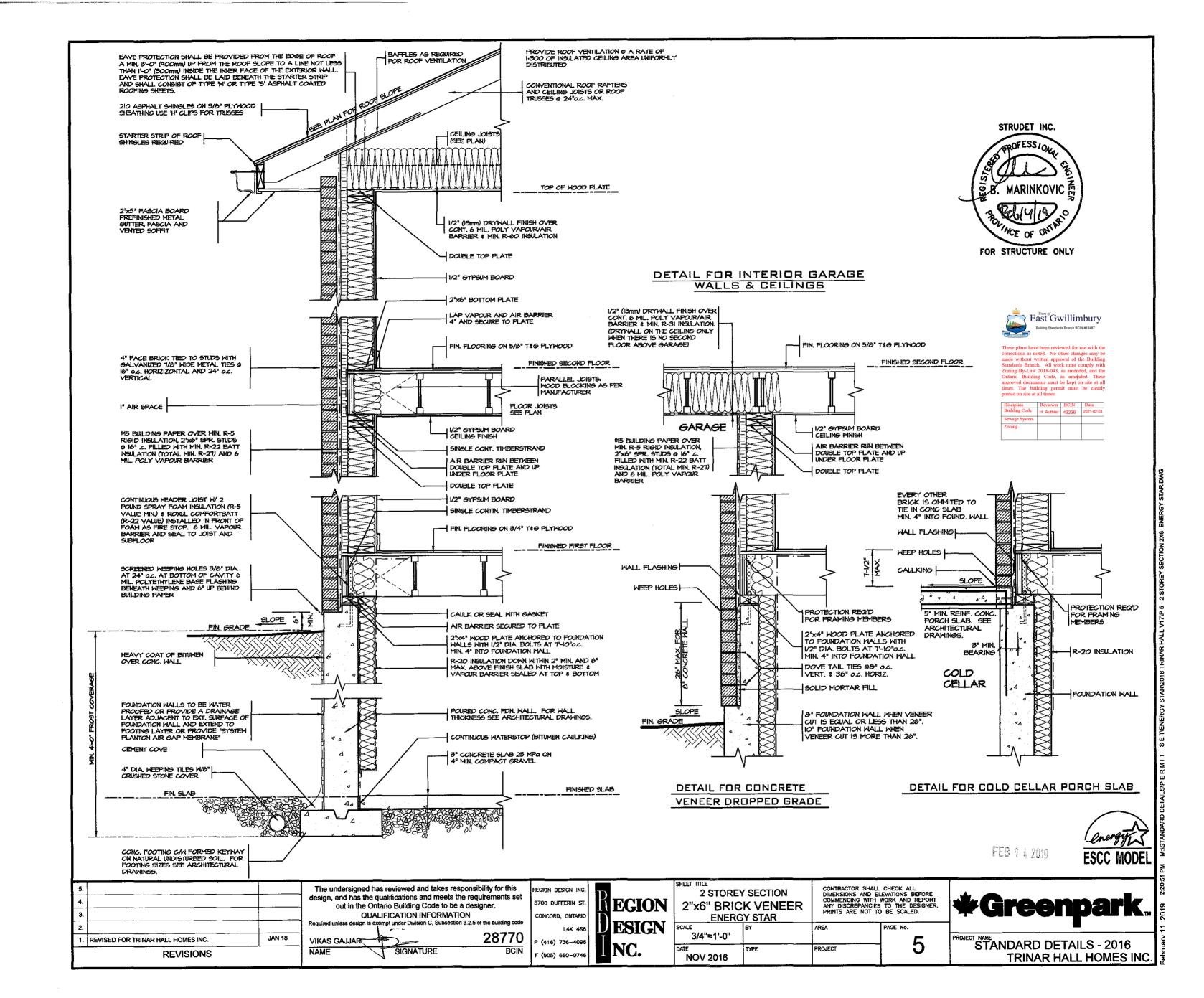
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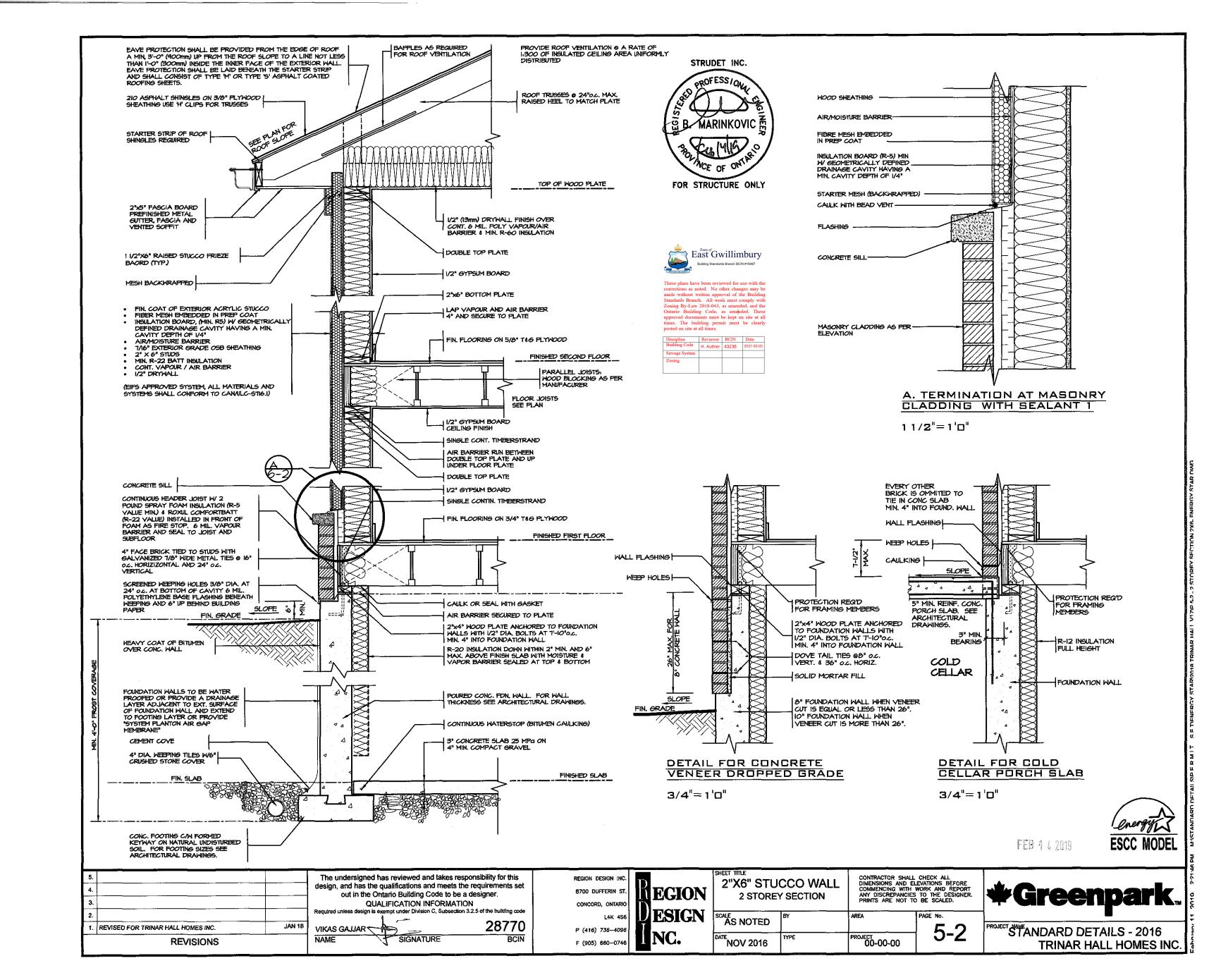
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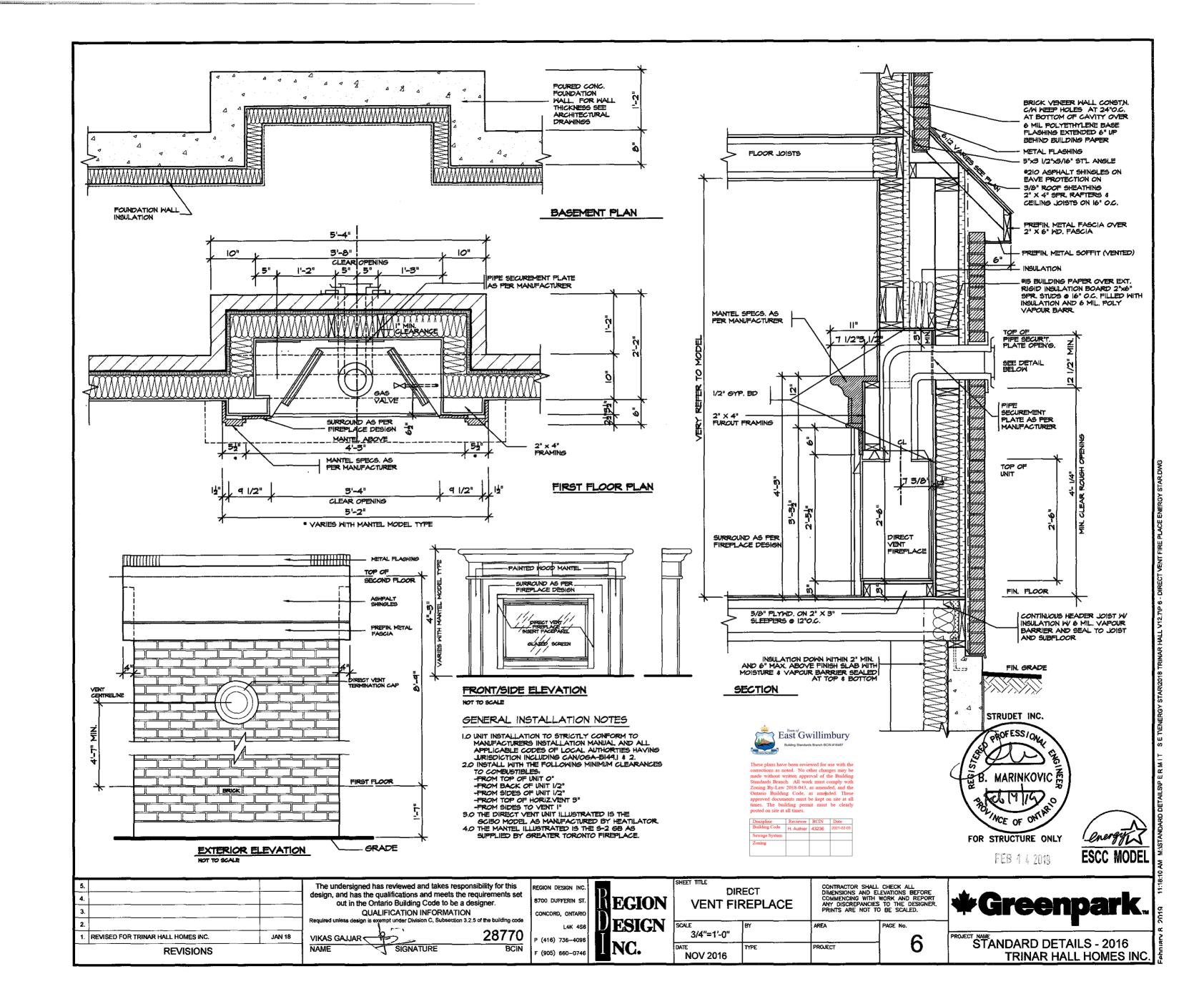
STANDARD NOTES - 2016 TRINAR HALL HOMES INC.

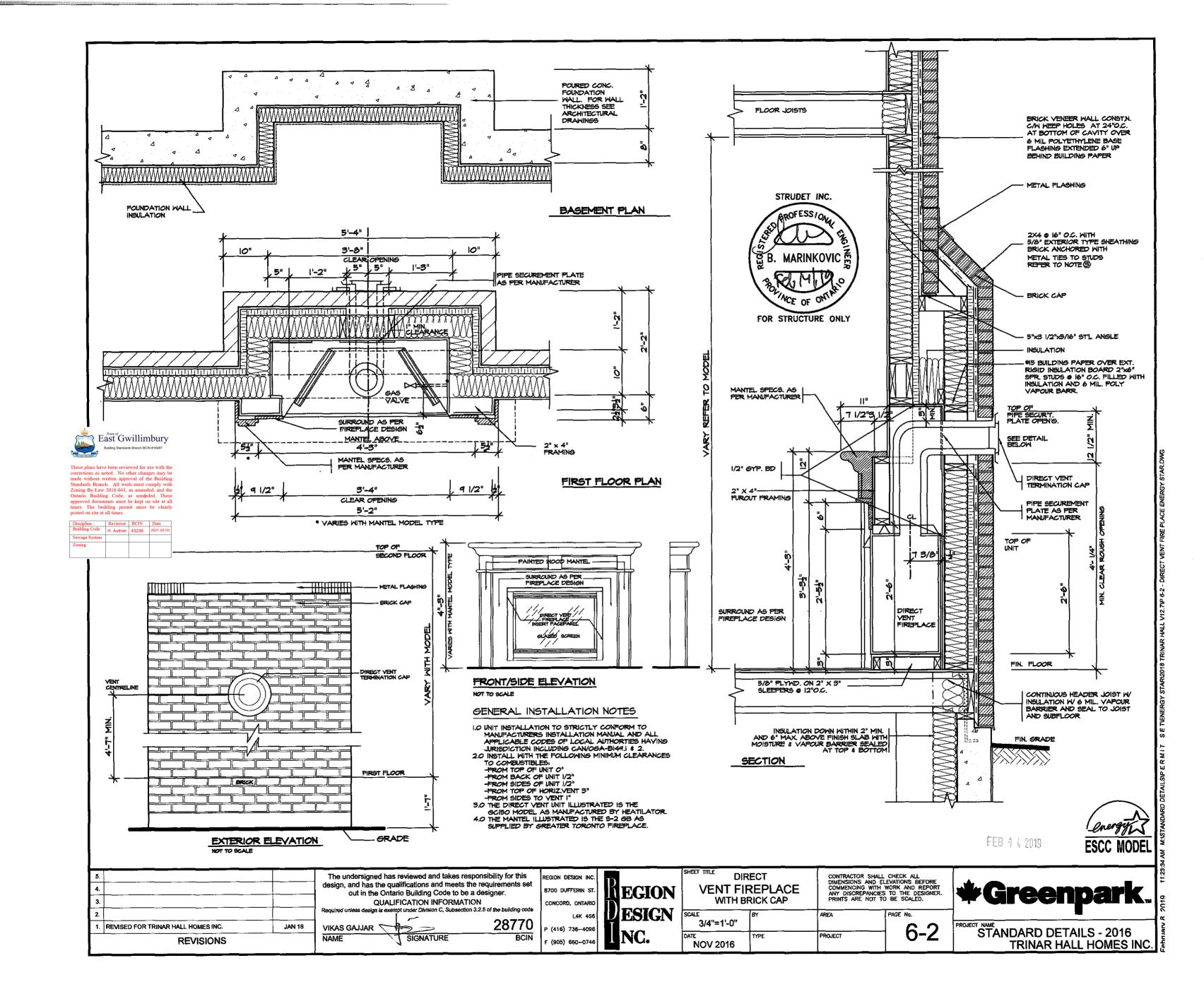


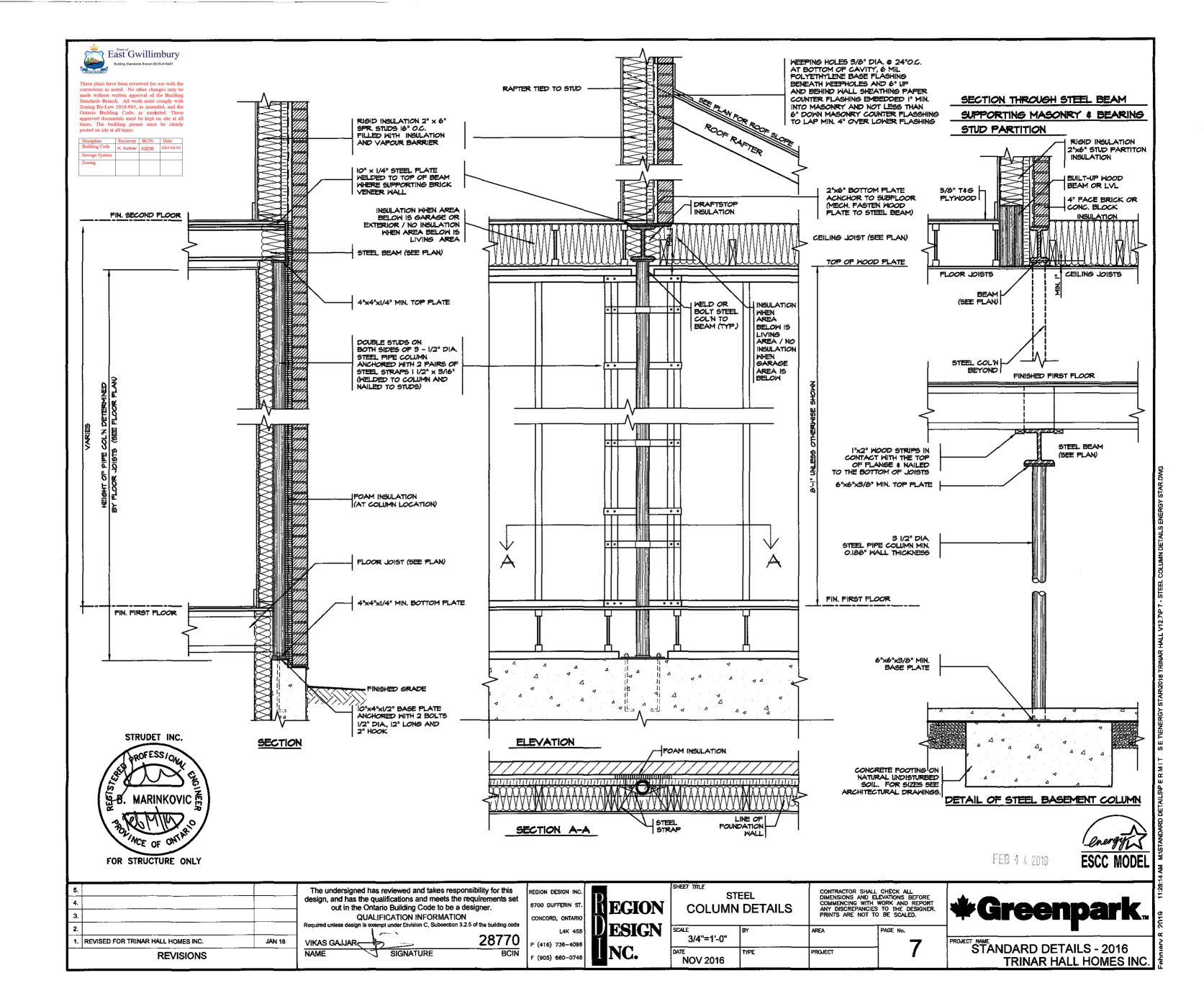


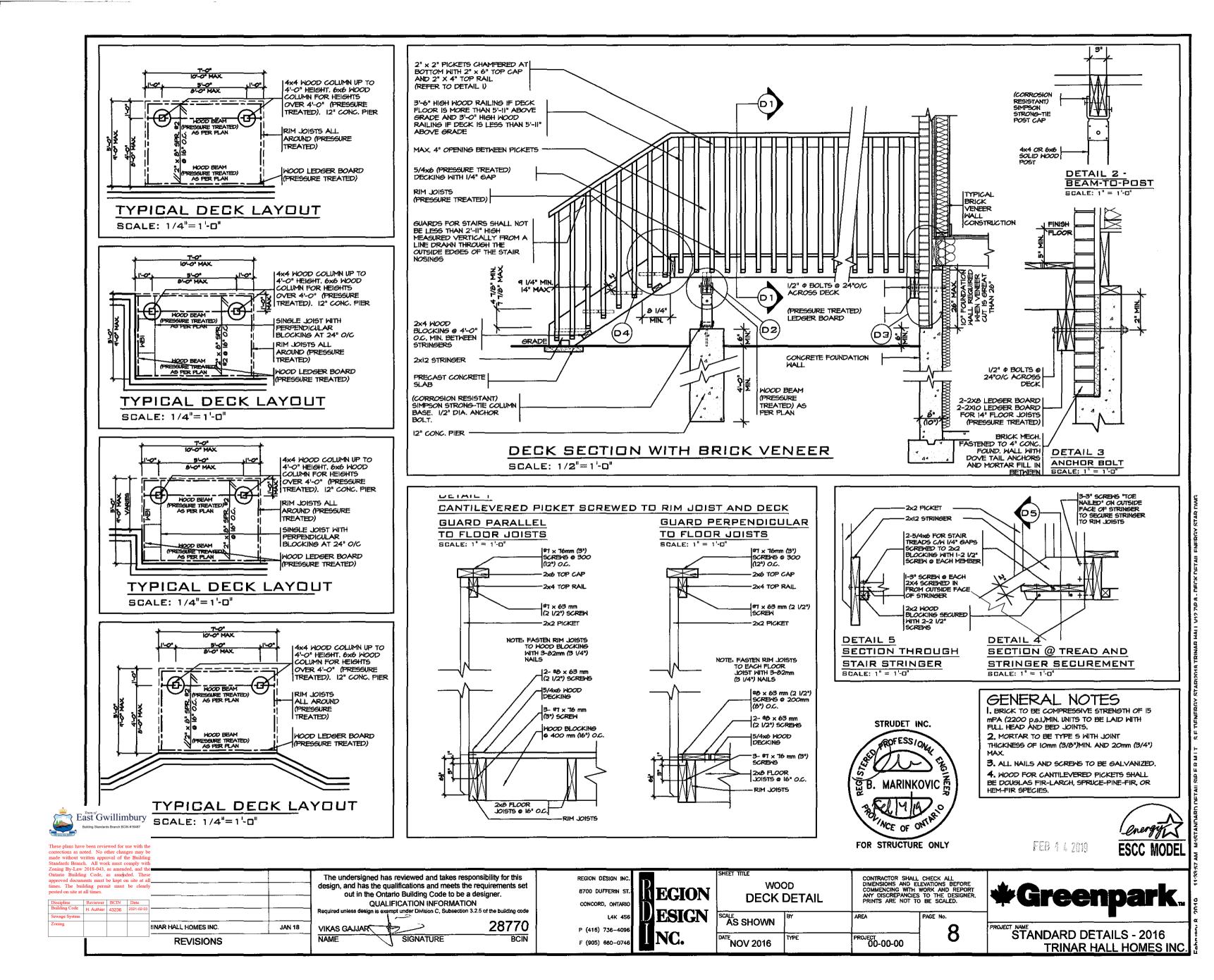


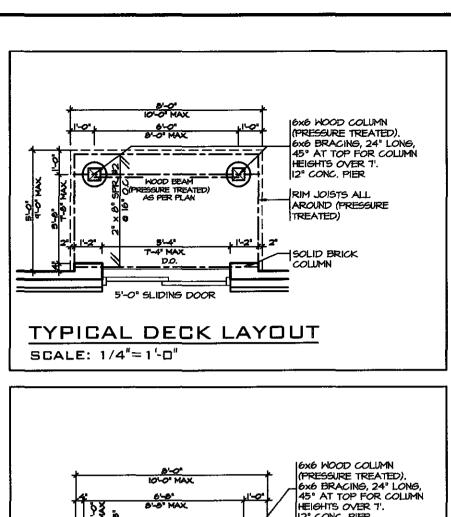


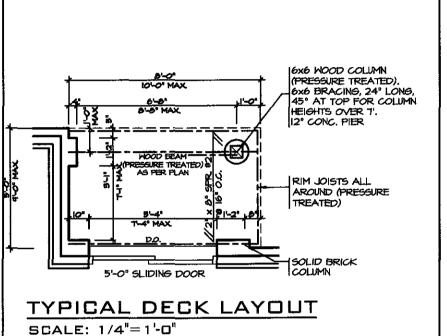


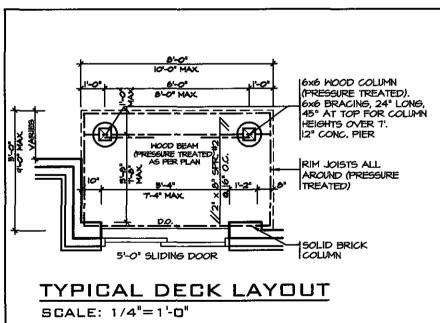












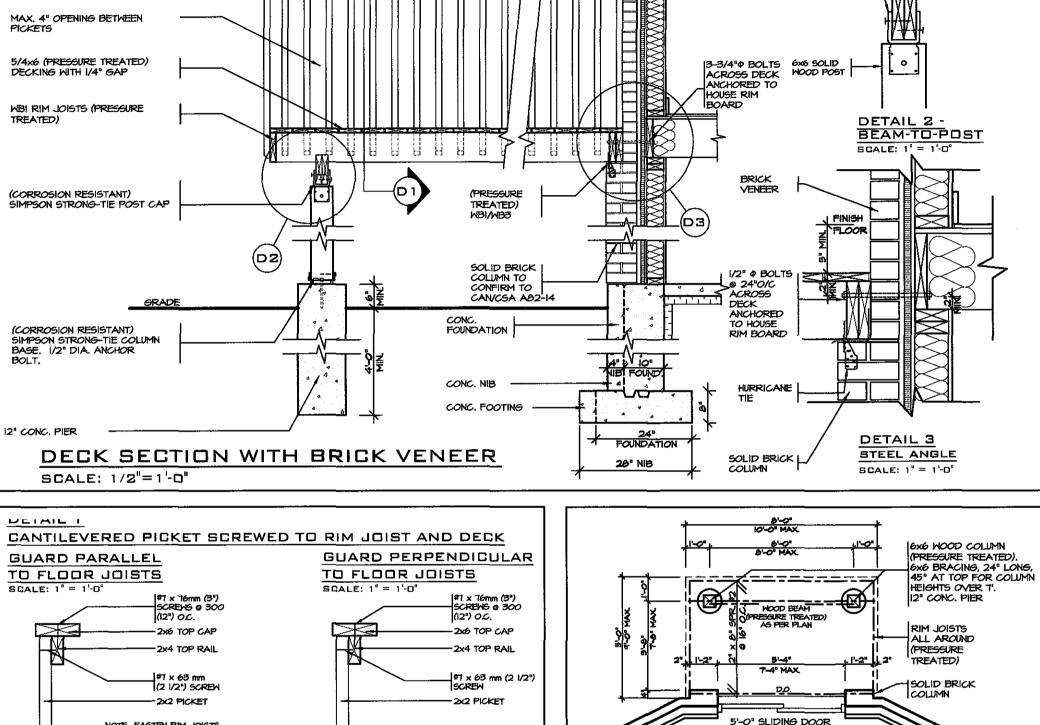
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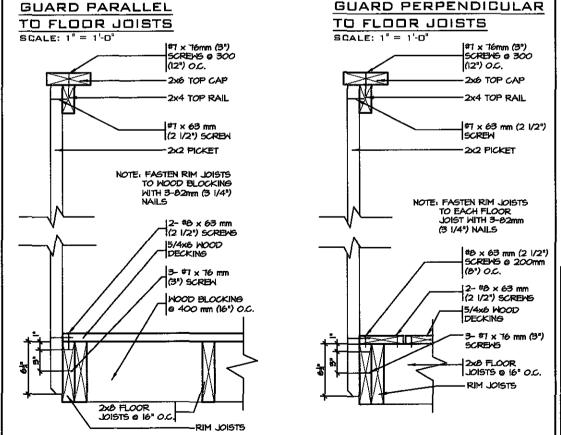
NAME



AES INC

SIONS







SCALE: 1/4"=1'-0"

8-2

2. MORTAR TO BE TYPE S WITH JOINT THICKNESS OF IOMM (3/8")MIN. AND 20mm (3/4°) MAX

3. ALL NAILS AND SCREAS TO BE GALVANIZED. 4. $BI = 2 - 2 \times 8$ (PRESSURE TREATED)

WB3 = 2-2 x io (PRESSURE TREATED) 5. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES.

OD-00-00



TYPICAL DECK LAYOUT

SIMPSON STRONG-T POST CAP

| 3º

TYPICAL BRICK VENEER WALL CONSTRUCTION

FED 4 & 2019

energy ESCC MODE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION

2x2 PICKETS CHAMFERED AT BOTTOM WITH 2x6 TOP CAP AND

3'-6" HIGH WOOD RAILING IF

DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

2X4 TOP RAIL (REFER TO DETAIL I)

28770 VIKAS GAJJAR

SIGNATURE

P (416) 736-409 F (905) 660-074

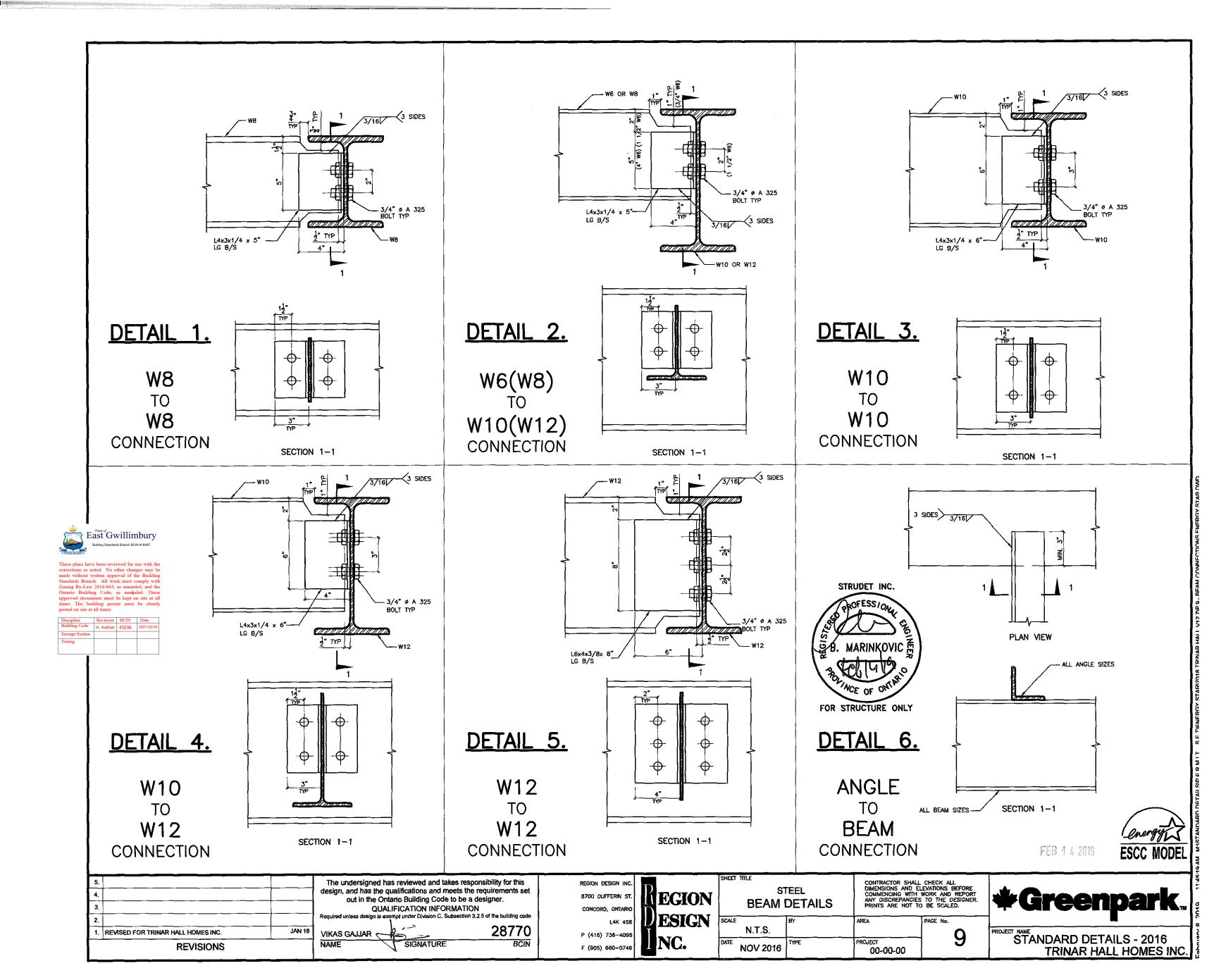


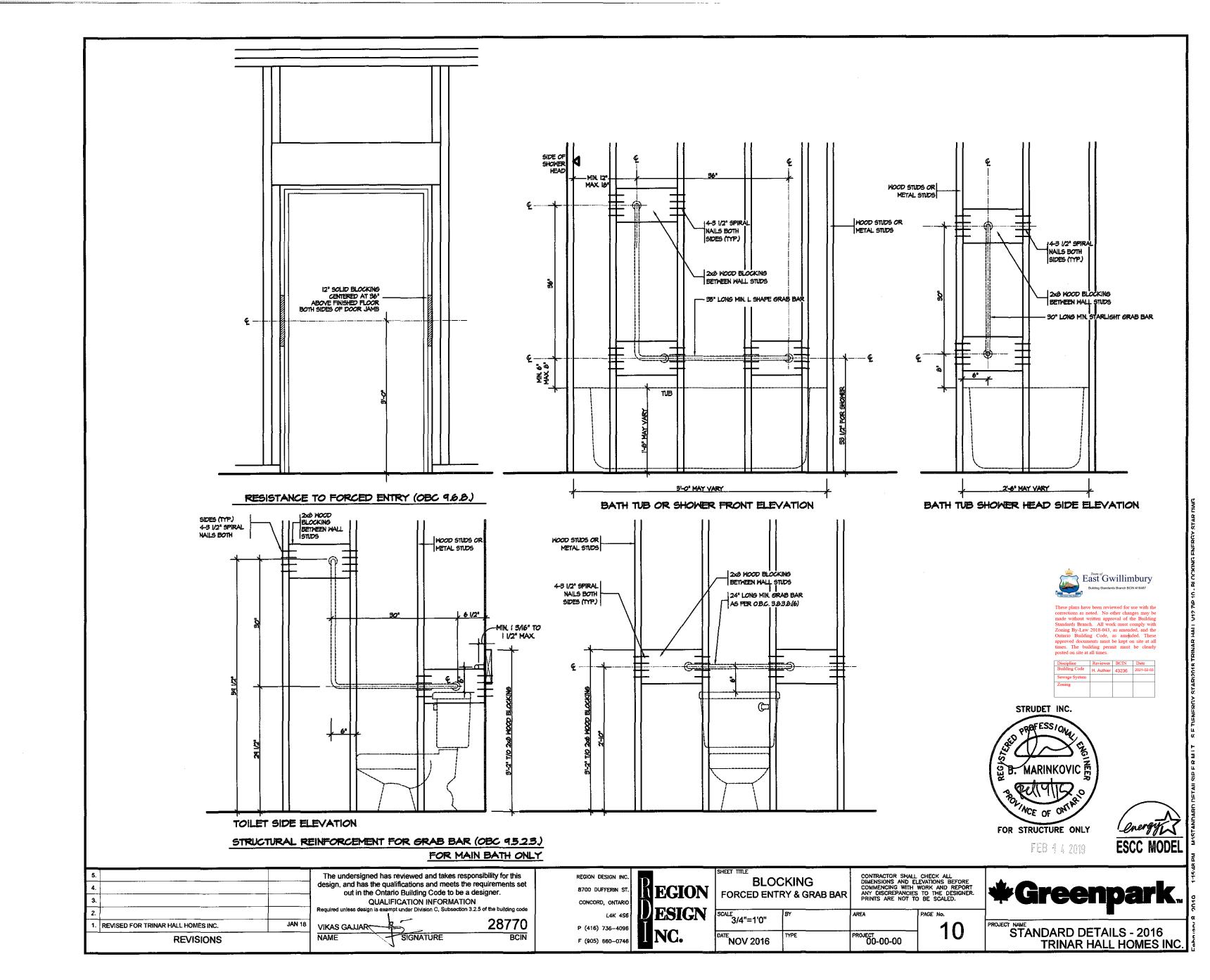
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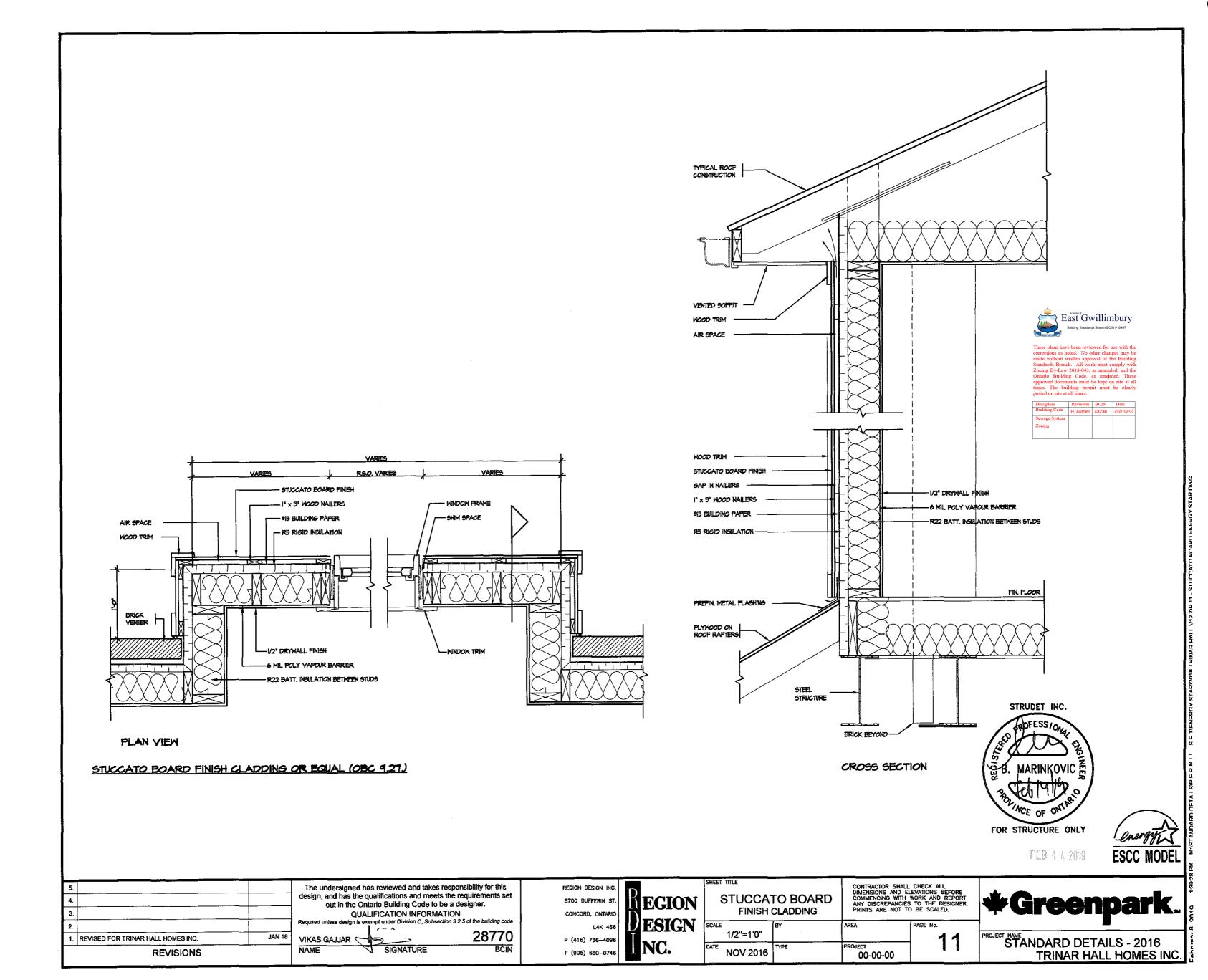
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED. WALK-OUT **DECK DETAILS** AS SHOWN

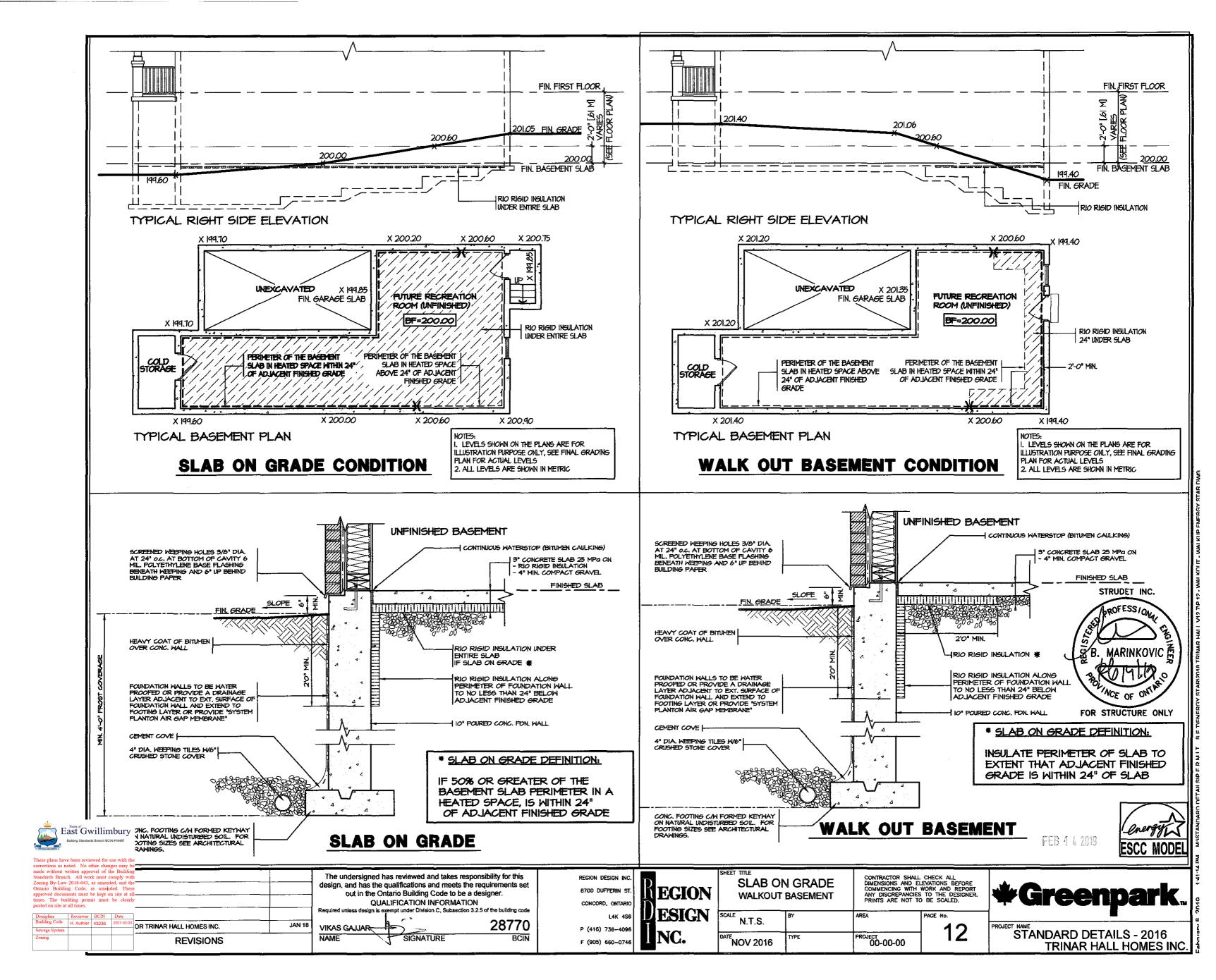


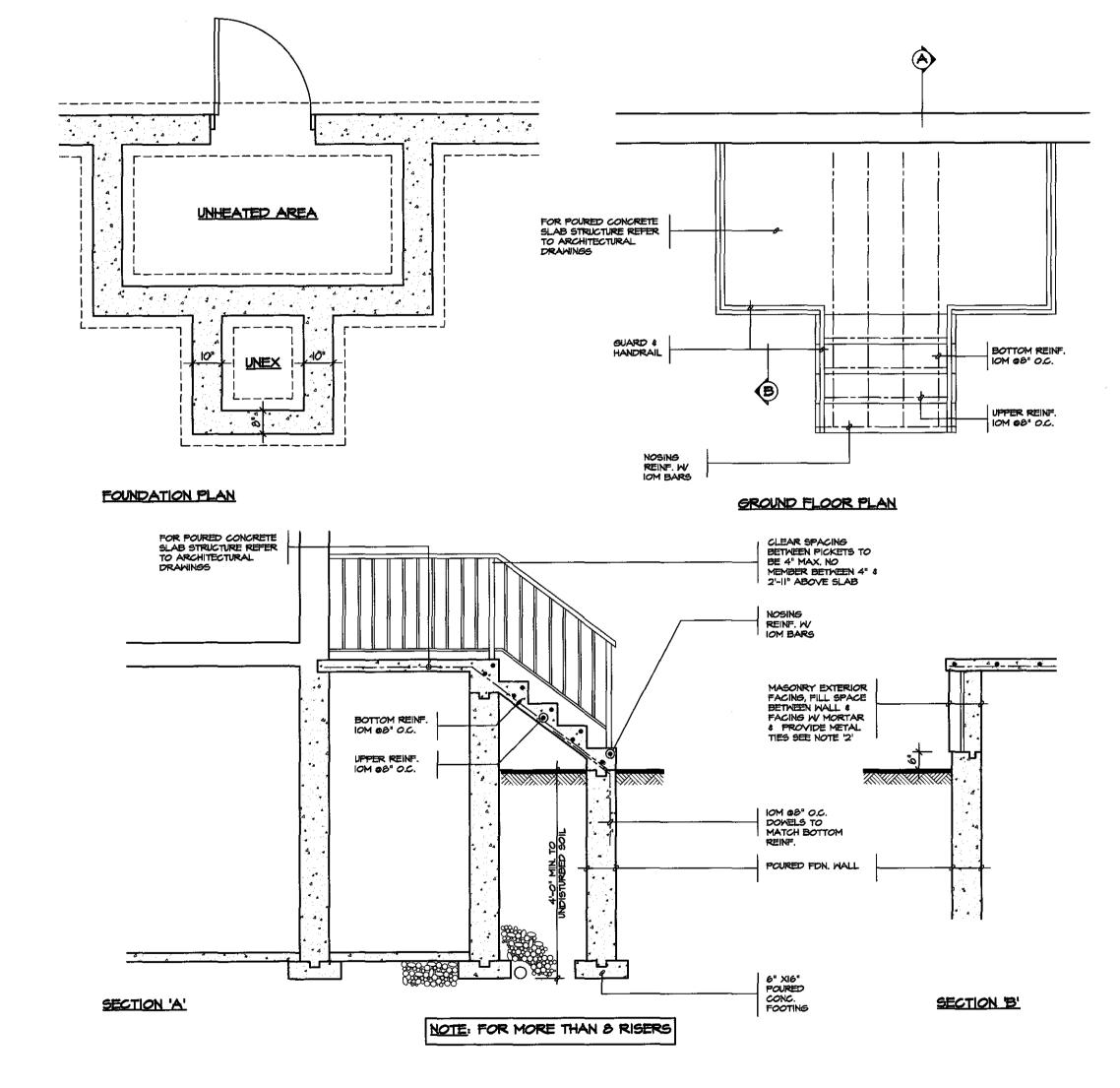
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GENERAL NOTES

I. EXTERIOR STAIRS

7 7/8" RISE MAXIMUM 8 1/4" RUN MINIMUM 9 1/4" TREAD MINIMUM

2. MASONRY TIES

WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 3/16" DIA. CORROSION RESISTANT METAL TIES @ 36" HORIZONTAL & 8" VERTICAL

5. GUARDS

ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0" ABOVE GRADE & ON BOTH SIDES OF STAIRS CONTAINING MORE THAN 6 RISERS, MINIMUM 31" HIGH FOR STAIRS MINIMUM 35" HIGH FOR PORCHES UP TO 5'-11" ABOVE GRADE, MINIMUM 42" HIGH FOR GREATER HTS.

4. HANDRAIL

ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS . HANDRAIL HEIGHT 31" -50".

5. FOUNDATION WALLS

THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON VENEER CUT 8" FOR UP TO 26" VENEER CUT HEIGHT IO" FOR VENEER CUT OVER 26" HIGH

6. CONCRETE

MINIMUM CONCRETE STRENGTH SHALL BE 4650 PSI [32MPQ] W 5%-0% AIR ENTRAINMENT MINIMUM CONCRETE SLAB THICKNESS 5"

T. CONCRETE COVER

PROVIDE MINIMUM 5/4" CLEAR CONCRETE COVER TO REINFORCING BARS



Discipline	Reviewer	BCIN	Date
Building Code	H. Authier	43236	2021-02-03
Sewage System			
Zoning			



FOR STRUCTURE ONLY

5.			The undersigned
4.			design, and has the out in the (
3.			QL
2.			Required unless design is
1.	REVISED FOR TRINAR HALL HOMES INC.	JAN 18	VIKAS GAJJAR

REVISIONS

ed has reviewed and takes responsibility for this the qualifications and meets the requirements set Ontario Building Code to be a designer. UALIFICATION INFORMATION is exempt under Division C, Subsection 3.2.5

28770 VIKAS GAJJAR SIGNATURE BCIÑ NAME

P (416) 736-4096

F (905) 660-0746

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NOV 2016

N	POURED CONCRETE STAIRS		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPOR ANY DISCREPANCIES TO THE DESIGNE PRINTS ARE NOT TO BE SCALED.		
N	SCALE 3/8"=1'-0"	BY	AREA	PAGE No.	
	DATE	TYPE	PROJECT	\dashv 13	

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FEB 142019

STANDARD DETAILS - 2016 TRINAR HALL HOMES INC.