

## STRIP FOOTINGS -

FOR SINGLES &amp; SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

## FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

## PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

## BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (140x90x6.0L) + 2-2"x8" SPR. No.2

WL2 = 4"x3-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2

WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2

WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2

WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2

WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2

WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2

WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2

WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

## LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)

WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)

WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)

WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)

WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)

WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)

WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)

WB8 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)

WB9 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

## LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)

LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)

LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)

LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)

LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)

LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)

LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)

LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)

LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)

LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)

LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)

LVL8 = 2-1 3/4" x 14" (2-45x356)

LVL9 = 3-1 3/4" x 14" (3-45x356)

LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (F<sub>b</sub>=2800psi MIN.) OR  
EQUIVALENT.

## LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (140x90x6.0L)

L2 = 4"x3-1/2"x5/16" (100x90x8.0L)

L3 = 5"x3-1/2"x5/16" (125x90x8.0L)

L4 = 6"x3-1/2"x3/8" (150x90x10.0L)

L5 = 6"x4"x3/8" (150x100x10.0L)

L6 = 7"x4"x3/8" (175x100x10.0L)

## DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
2	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
3	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
4	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

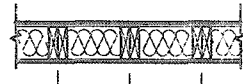
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT C/M SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

## TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) LSE  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/M  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



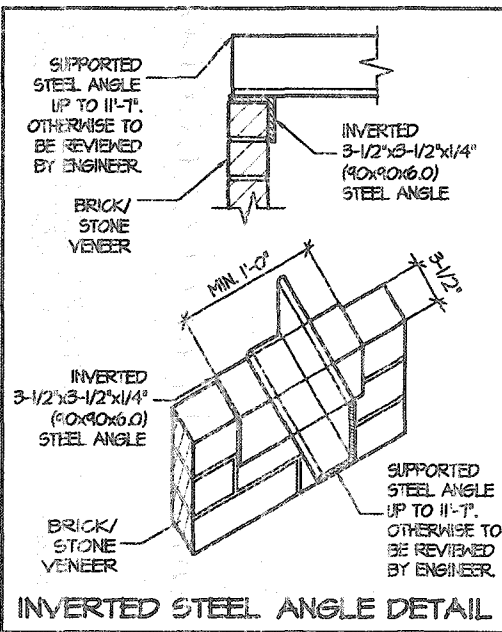
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

## TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING  
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE  
FOLLOWING

## COMPLIANCE PACKAGE "A1"

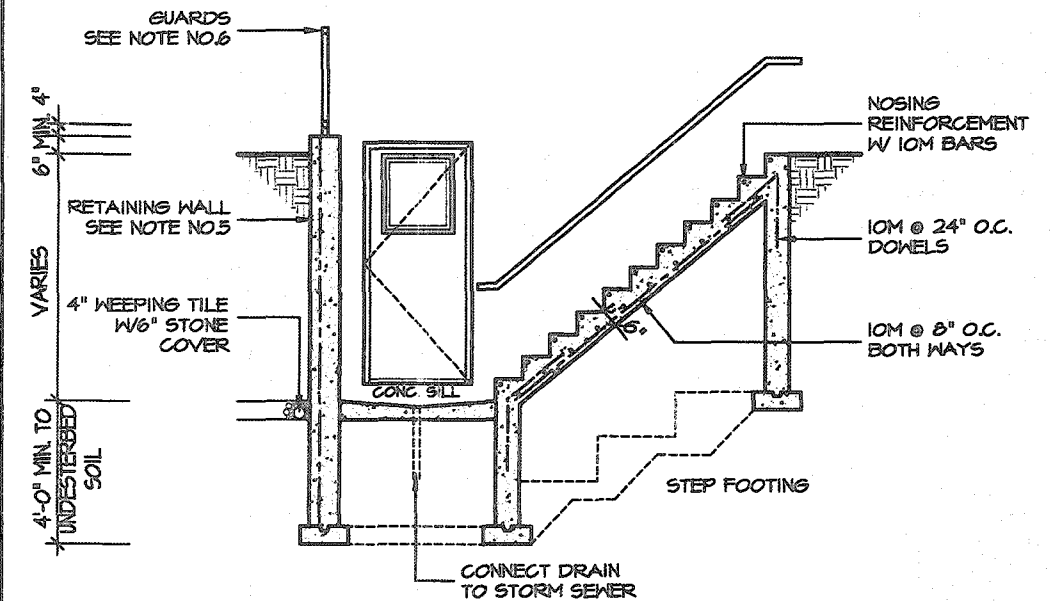
COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	1.07 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.16 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



## INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS		ELEV. 3	
GROUND FLOOR AREA	=	1226	Sq. Ft.
SECOND FLOOR AREA	=	1569	Sq. Ft.
TOTAL FLOOR AREA	=	2795	Sq. Ft.
	=	259.66	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2805	Sq. Ft.
	=	260.59	Sq. M.
GROUND FLOOR COVERAGE	=	1226	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	64	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1688	Sq. Ft.
	=	156.82	Sq. M.
TOTAL COVERAGE W/O PORCH	=	1624	Sq. Ft.
	=	150.87	Sq. M.

## EXTERIOR WALKUP STAIRS DETAILS



## SECTION

## GENERAL NOTES:

- FOOTING**  
24"x8" POURED CONC. FOOTINGS. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL.
- CONCRETE**  
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS**  
1 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
1 1/4" TREAD MINIMUM
- INSULATION**  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL**  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS**  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

CITY OF HAMILTON  
Building Division

Permit No. 10714

THESE STAMPED DRAWINGS SHALL BE A TRUE COPY OF THE ORIGINALS.  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and/or specifications have been reviewed by  
[Signature] DATE: APR 18/20

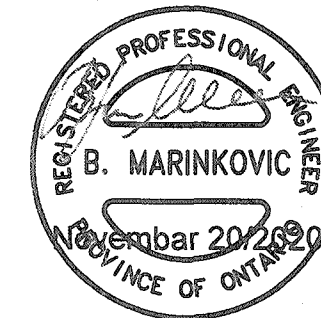
FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 4		ELEV.3		COMPLIANCE PACKAGE "A1"	
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	124.93	67.35	99.94	9.28	13.74 %
LEFT SIDE	1259.09	116.97	62.00	5.76	4.92 %
RIGHT SIDE	1238.08	115.02	55.33	5.14	4.47 %
REAR	679.56	63.13	166.61	15.48	24.52 %
TOTAL	3901.66	362.48	383.88	35.66	9.84 %

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

STRUDET INC.



FOR STRUCTURE ONLY

VALLEYCREEK 4-285  
COMPLIANCE PACKAGE "A1"PROJECT NAME  
RUSSELL GARDENS III

5		
4		
3		
2	UPDATED FOR LOT 285	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

## REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

SIGNATURE

28770

BCIN

REGION DESIGN INC.

8700 DUFFERIN ST.

CONCORD, ONTARIO

L4K 4S6

P (416) 736-4398

F (905) 660-0748



## SHEET TITLE

## AREA CHARTS

SCALE  
3/16"=1'-0"DATE  
JAN 2020BY  
V.G.

TYPE

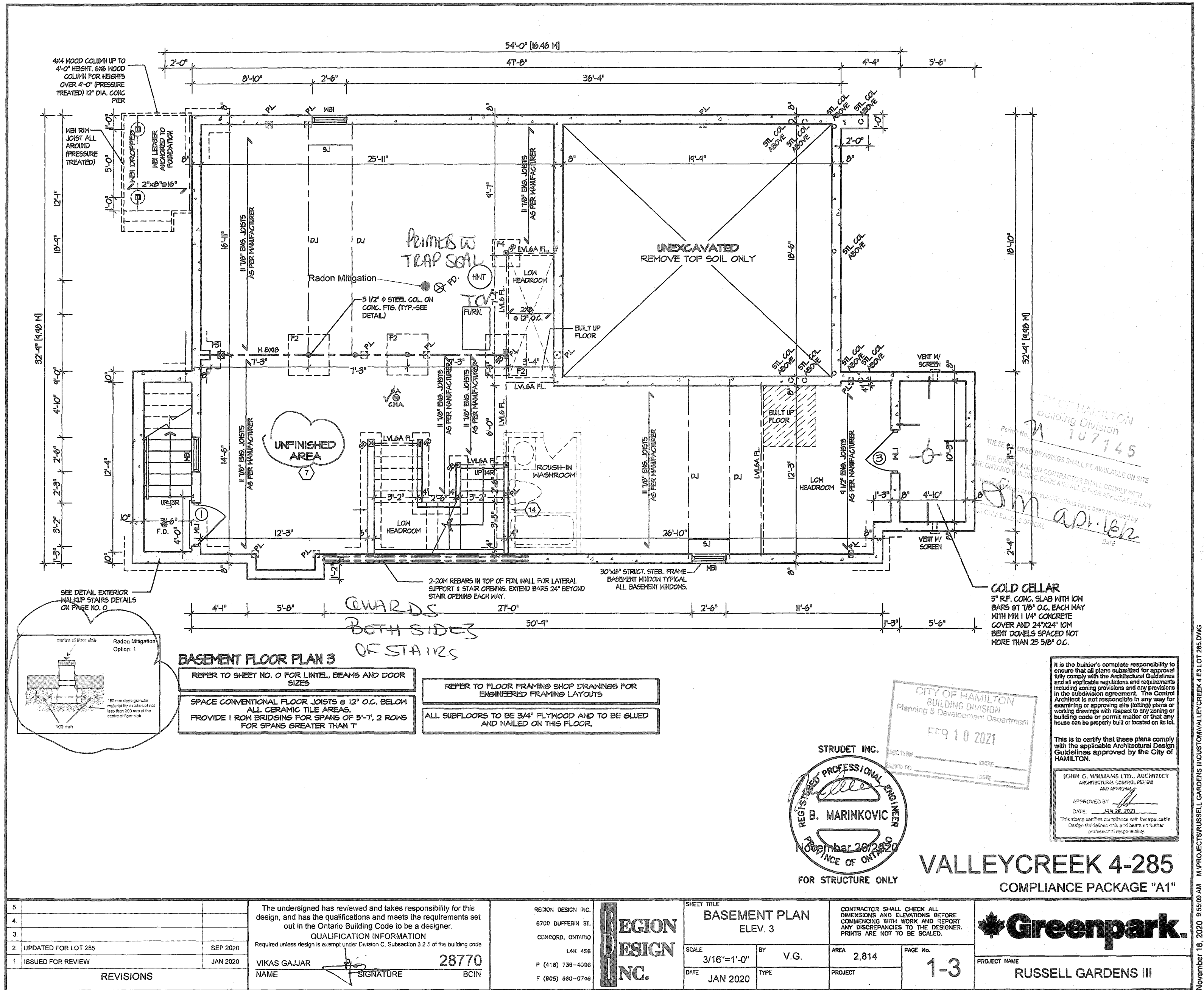
CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.

AREA  
2,814

PROJECT

PAGE No.

0



NO.	REVISIONS	DATE
5		
4		
3		
2	UPDATED FOR LOT 285	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of this building code

VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 735-4386  
F (905) 860-0746

REGION DESIGN INC.

SHEET TITLE  
BASEMENT PLAN  
ELEV. 3

SCALE  
3/16"=1'-0"

DATE  
JAN 2020

BY  
V.G.

TYPE

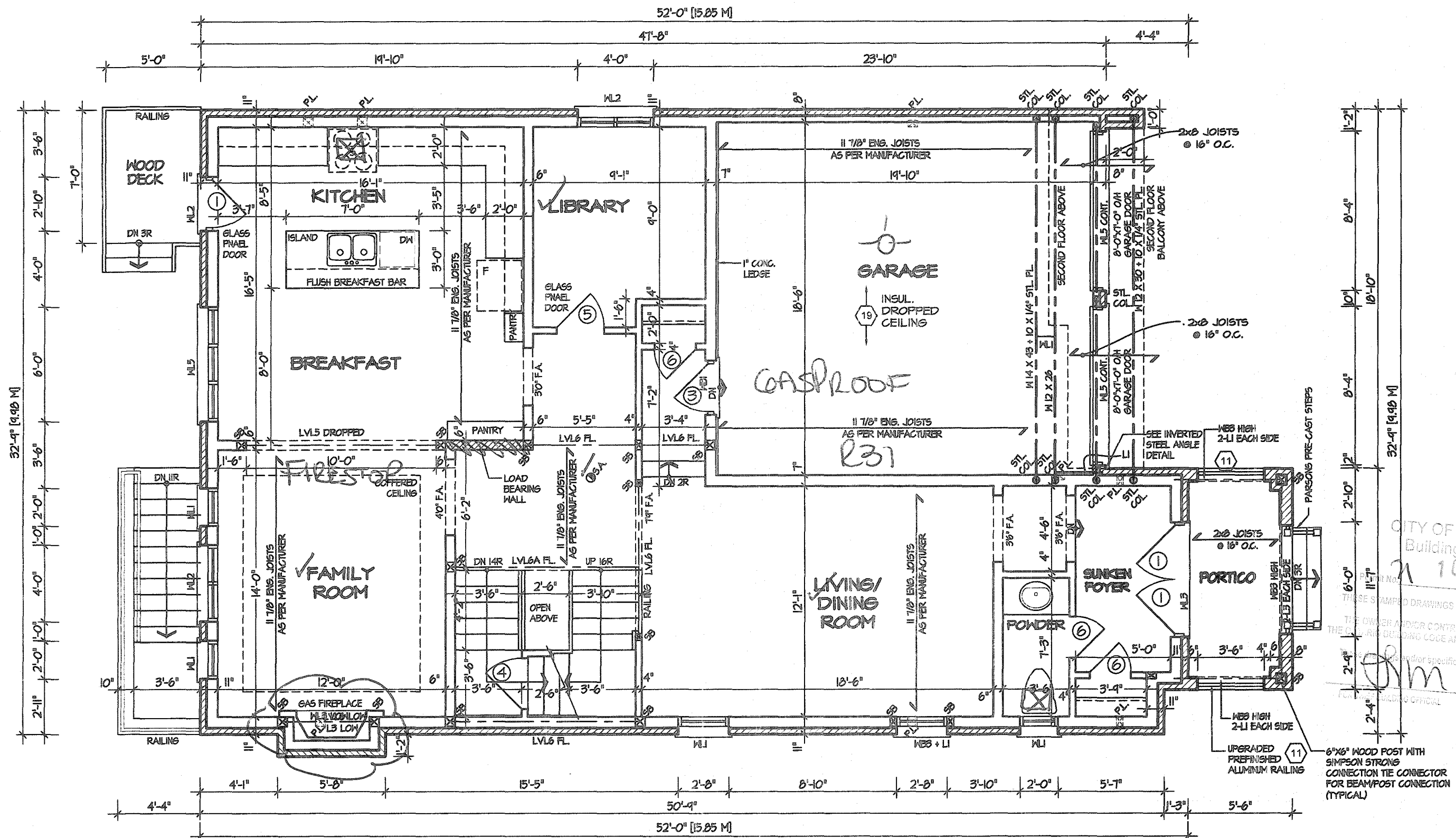
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
2,814

PAGE NO.  
1-3

PROJECT NAME  
RUSSELL GARDENS III

Greenpark.



FIRST FLOOR PLAN 3

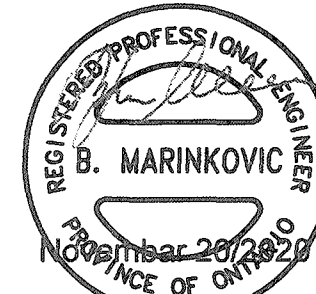
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

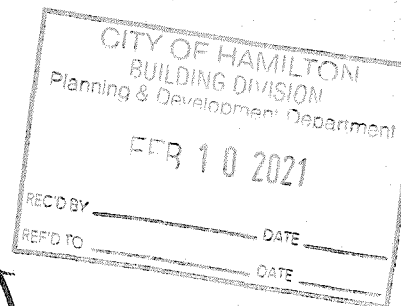
REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

STRUDET INC.



FOR STRUCTURE ONLY



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: JAN 28 2021  
This stamp certifies compliance with the applicable Design Guidelines, only and bears no further professional responsibility.

VALLEYCREEK 4-285  
COMPLIANCE PACKAGE "A1"

NO.	REVISIONS	DATE
5		
4		
3		
2	UPDATED FOR LOT 285	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION DESIGN INC.

SHEET TITLE  
FIRST FLOOR PLAN  
ELEV. 3

SCALE  
3/16"=1'-0"  
DATE  
JAN 2020

BY  
V.G.  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

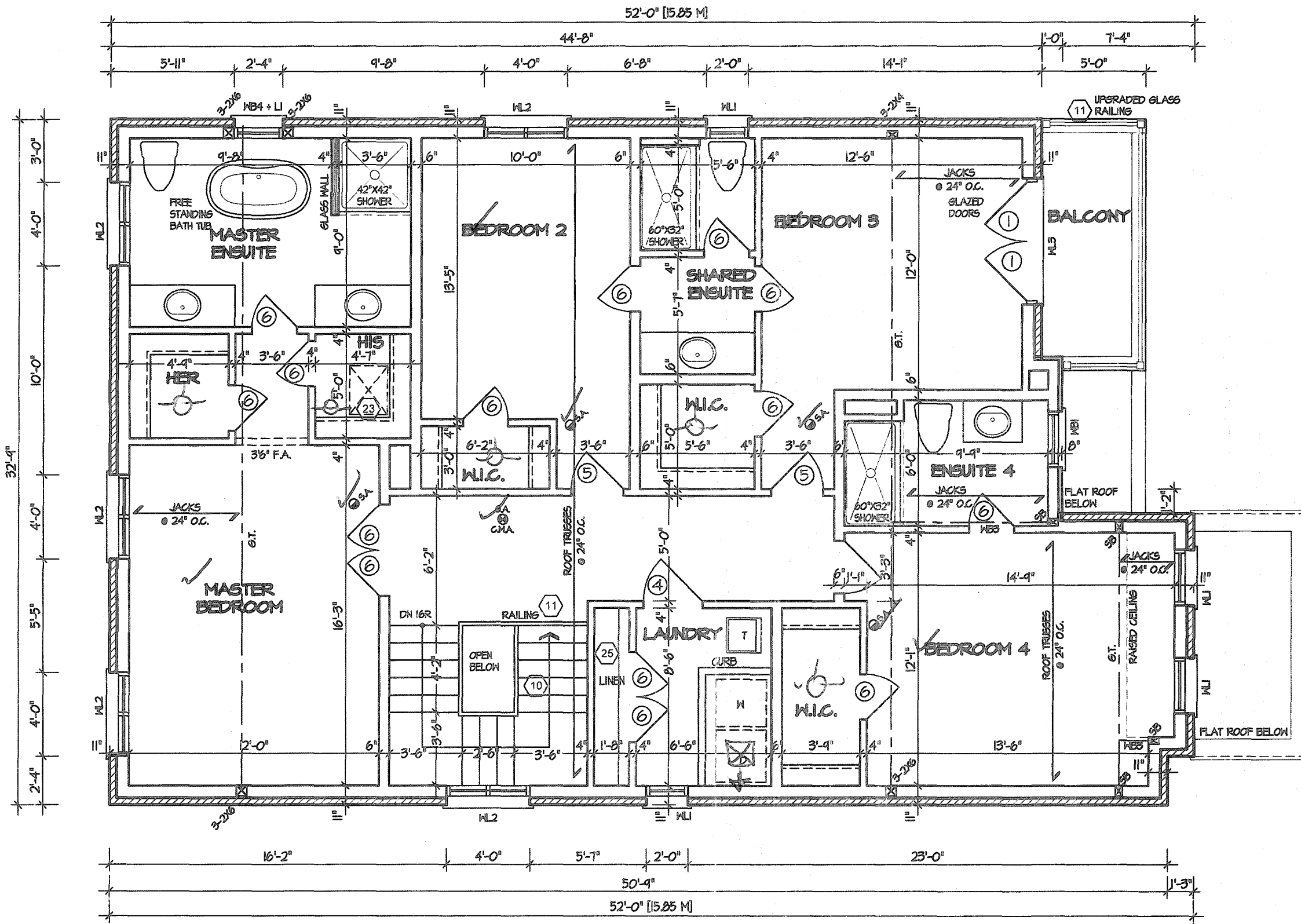
AREA  
2,814  
PROJECT

PAGE No.  
2-3

PROJECT NAME  
RUSSELL GARDENS III

Greenpark.





SECOND FLOOR PLAN '3'

52'-0" [15.85 M]  
32'-4" [9.90 M]

CITY OF HAMILTON  
Building Division  
107145  
DATE: 10/1/2021  
FOR CHIEF BUILDING OFFICIAL

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 10 2021

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
November 20, 2020  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: JAN 28, 2021  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 4-285  
COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 285	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C. Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 1S8  
P (416) 736-4086  
F (905) 660-0746

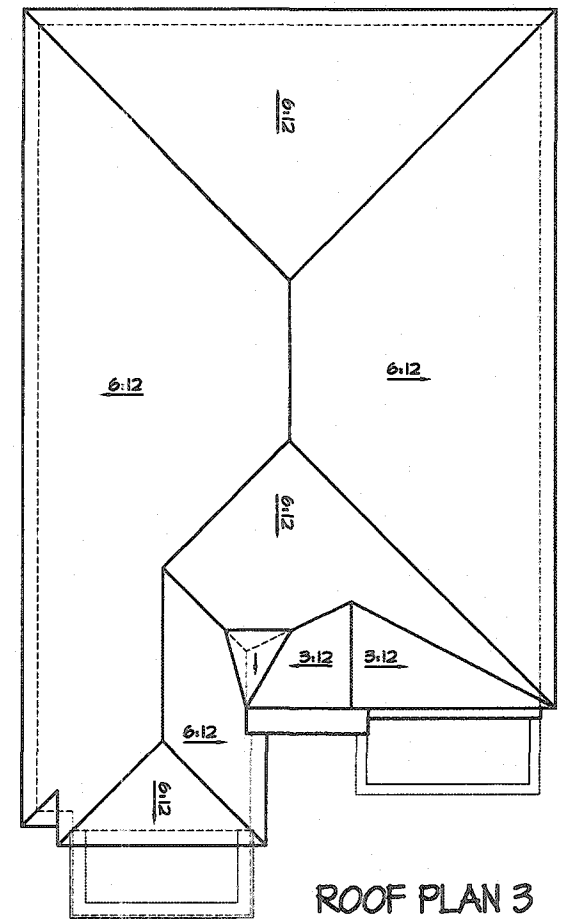
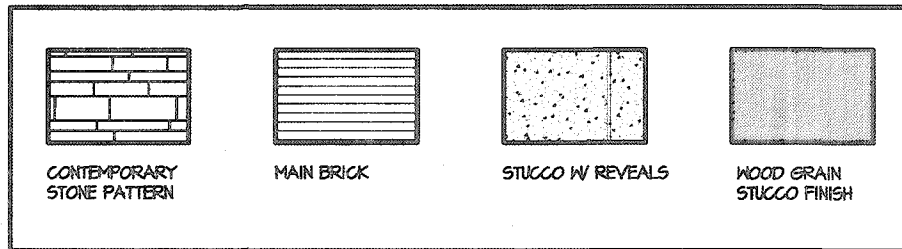
REGION  
DESIGN  
INC.

SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 3  
SCALE 3/16"=1'-0"  
DATE JAN 2020  
BY V.G.  
TYPE  
AREA 2,814  
PAGE No. 3-3

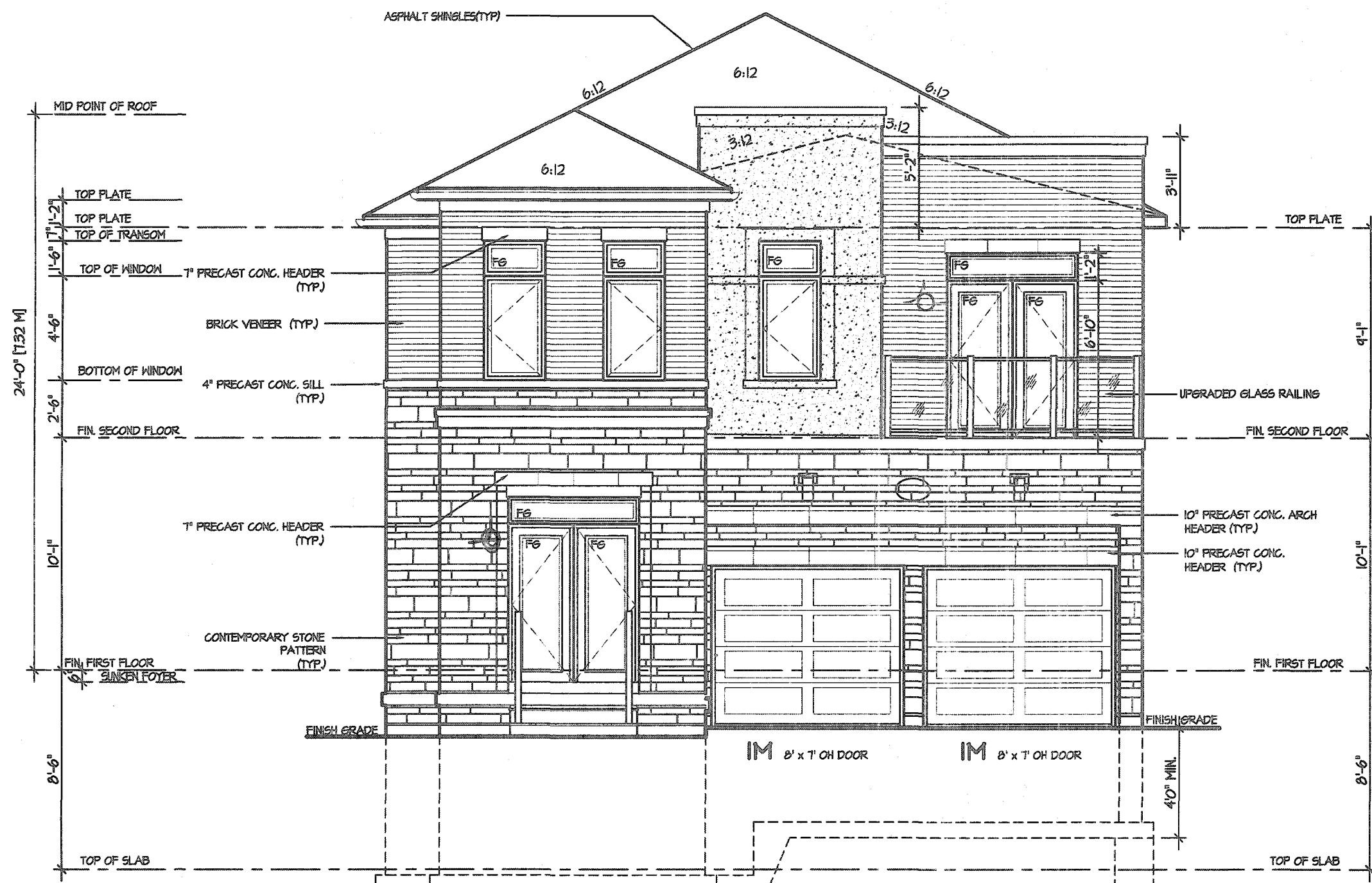
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

PROJECT NAME  
RUSSELL GARDENS III





ROOF PLAN 3  
Scale: N.T.S.



FRONT ELEVATION 3

CITY OF HAMILTON  
Building Division  
Permit No. **21 107145**  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS  
These drawings and/or specifications have been reviewed by  
*[Signature]* **april 16/21**  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
**FEB 10 2021**  
REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
REF'D TO: \_\_\_\_\_ DATE: \_\_\_\_\_

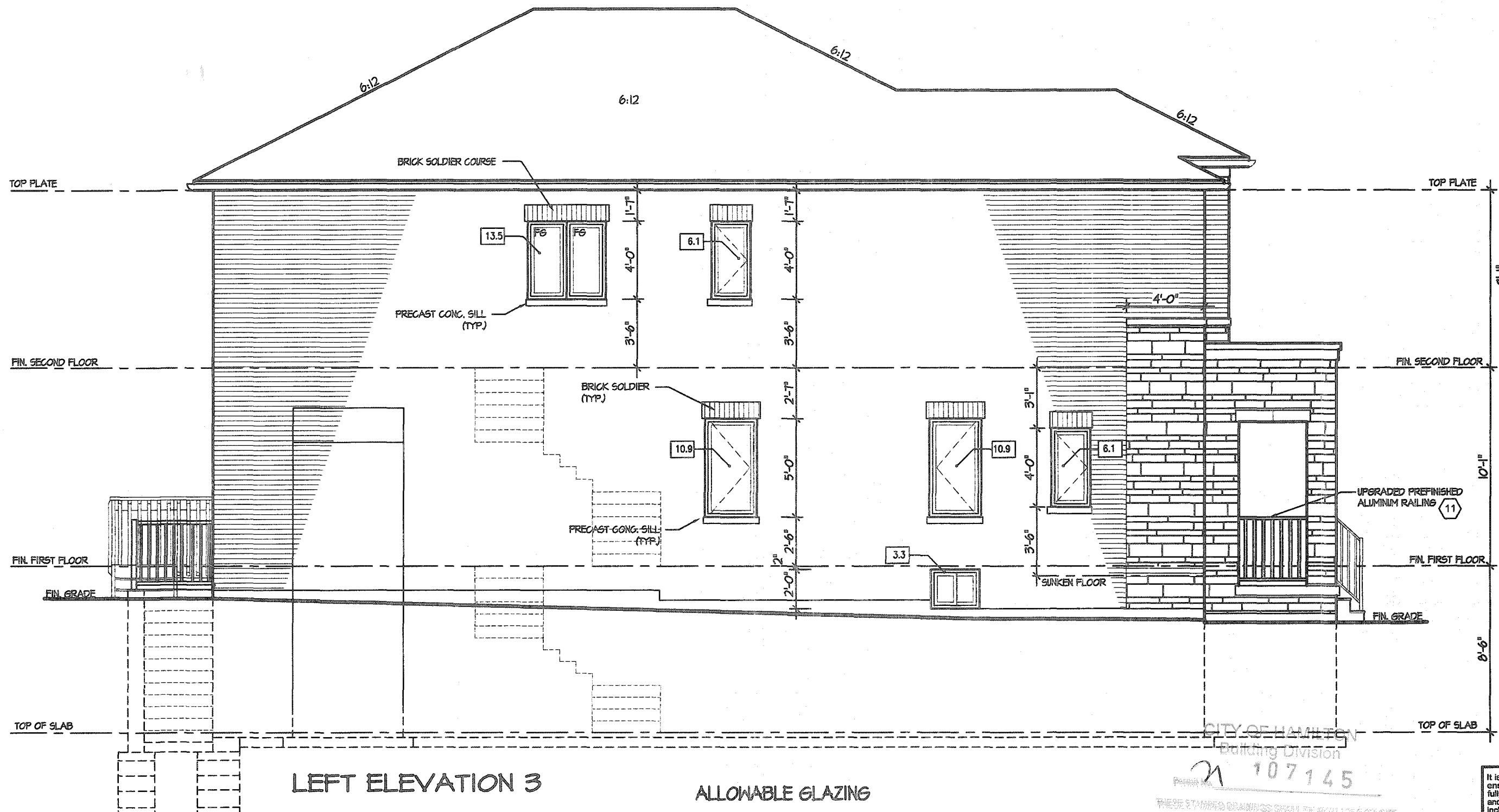
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **JAN 28, 2021**  
This stamp certifies compliance with the applicable Design Guidelines only and does not transfer professional responsibility.

**VALLEYCREEK 4-285**  
COMPLIANCE PACKAGE "A1"

5			<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR</div> <div><div><div><div></div><div>28770</div></div><div>NAME</div><div>SIGNATURE</div><div>BCIN</div></div></div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4088</div> <div>F (905) 660-0748</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		FRONT ELEVATION		ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>RUSSELL GARDENS III</div>	
4						SCALE	3/16"=1'-0"	BY	V.G.	AREA	2,814	PAGE No.	4-3		
3						DATE	JAN 2020	TYPE		PROJECT					
2	UPDATED FOR LOT 285	SEP 2020													
1	ISSUED FOR REVIEW	JAN 2020													
REVISIONS															



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		1115.90
ALLOWABLE WINDOW AREA @	1.00 % (1.2 M SIDEYARD)	70.11
ACTUAL WINDOW AREA		50.80

107145  
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
 THE OWNER ACCEPTS THE RESPONSIBILITY OF THE DESIGN  
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
 THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN REVIEWED BY  
 FOR CHIEF BUILDING OFFICIAL  
 DATE: APR 18/21  
 10K

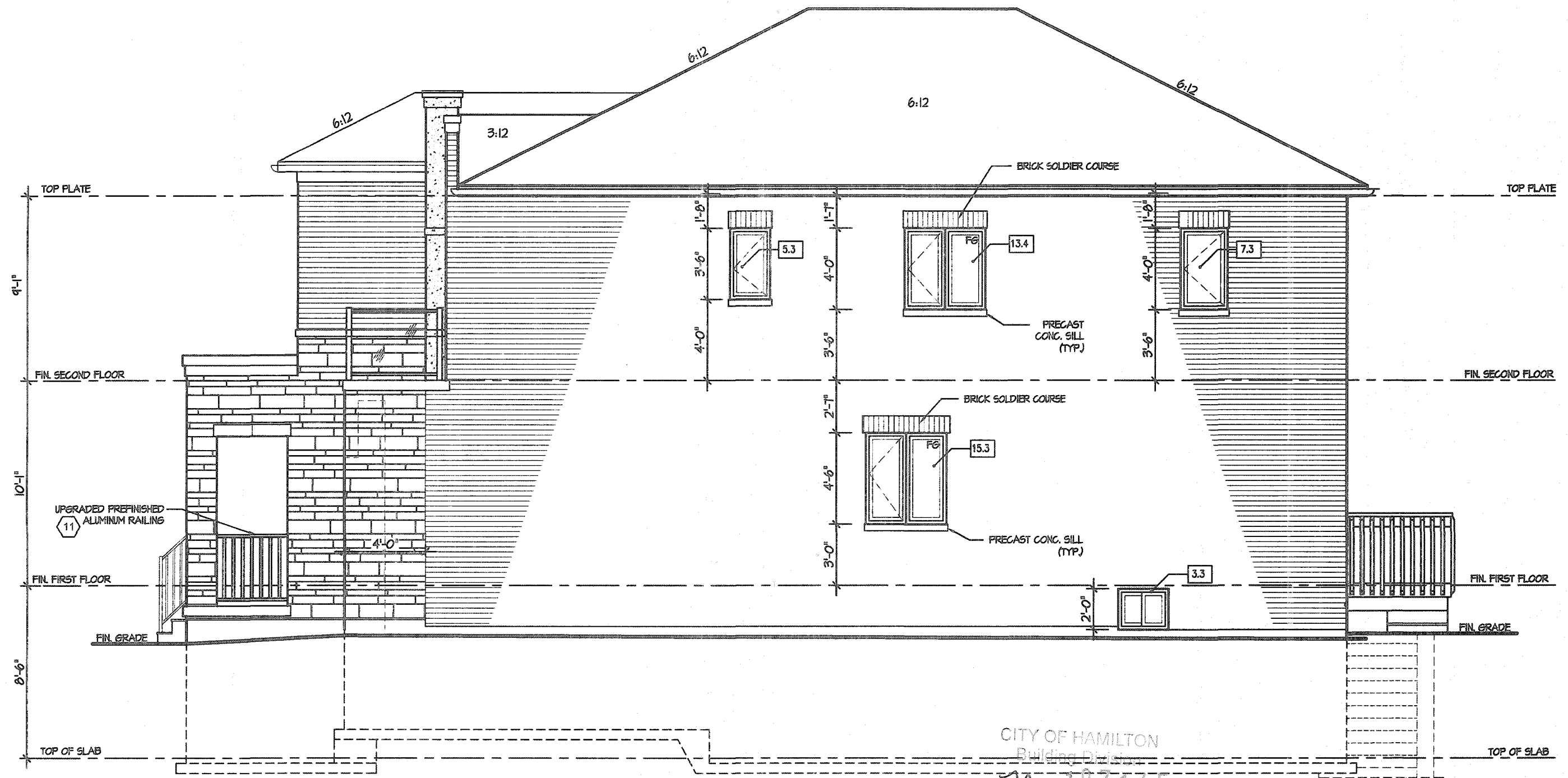
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
 ARCHITECTURAL CONTROL REVIEW  
 AND APPROVAL  
 APPROVED BY: [Signature]  
 DATE: JAN 28, 2021  
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 4-285  
 COMPLIANCE PACKAGE "A1"

5			<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR</div> <div><div>NAME</div><div><div><div><div></div><div>28770</div></div><div>SIGNATURE</div><div>BCIN</div></div></div></div>	<div>REGION DESIGN INC.</div> <div>9700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4098</div> <div>F (905) 860-0746</div>	<div>REGION DESIGN INC.</div>	SHEET TITLE		LEFT SIDE ELEVATION		ELEV. 3		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>RUSSELL GARDENS III</div>	
4						SCALE	3/16"=1'-0"	BY	V.G.	AREA	2,814	PAGE No.	5-3		
3						DATE	JAN 2020	TYPE		PROJECT					
2	UPDATED FOR LOT 285	SEP 2020													
1	ISSUED FOR REVIEW	JAN 2020													
REVISIONS															



### RIGHT ELEVATION 3 ALLOWABLE GLAZING

WALL AREA		1003.16
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)		70.22
ACTUAL WINDOW AREA		42.70

CITY OF HAMILTON  
Building Division  
Permit No. **107145**  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
The drawings and/or specifications have been reviewed by  
*Jim Apr. 16/21*  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 10 2021  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: **JAN 28 2021**  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

## VALLEYCREEK 4-285

### COMPLIANCE PACKAGE "A1"

REVISIONS	
5	
4	
3	
2	UPDATED FOR LOT 285 SEP 2020
1	ISSUED FOR REVIEW JAN 2020

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR **28770**  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION DESIGN INC.**

SHEET TITLE  
**RIGHT SIDE ELEVATION ELEV. 3**  
SCALE 3/16"=1'-0"  
DATE JAN 2020  
BY V.G.  
TYPE PROJECT

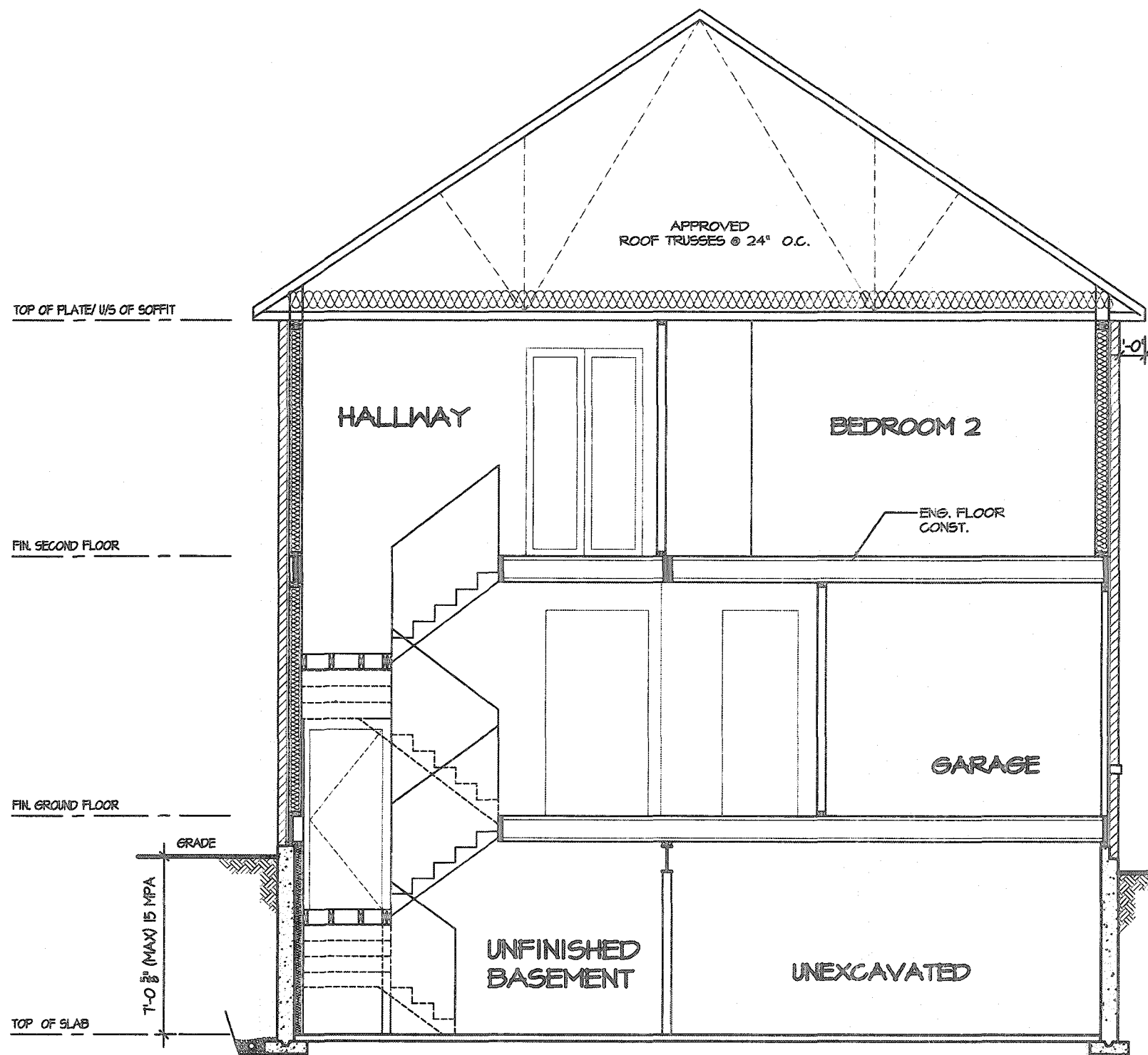
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 2,814  
PAGE No. **6-3**

**Greenpark.**  
PROJECT NAME  
**RUSSELL GARDENS III**

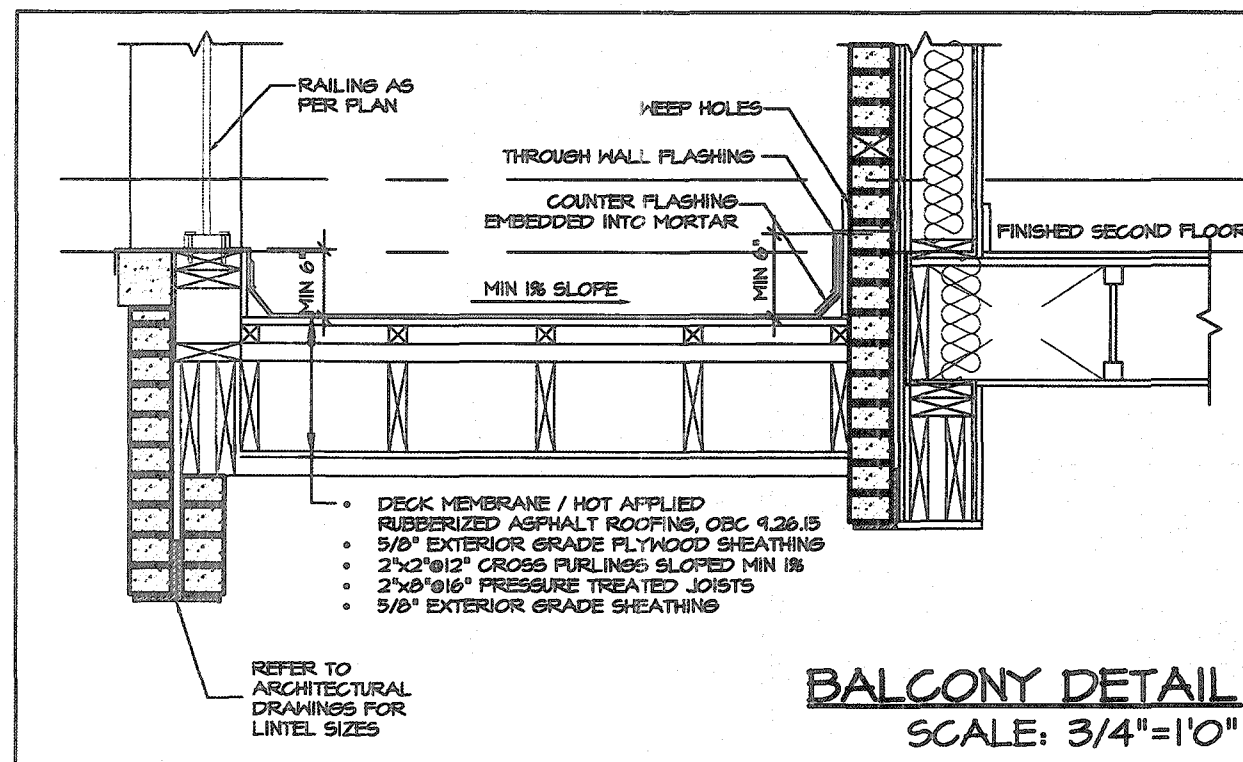








CROSS SECTION



CITY OF HAMILTON  
Building Division  
Permit 107145  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS  
These drawings and/or specifications have been reviewed by  
FOR BUILDING OFFICIAL DATE

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
November 20/2020  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
FEB 10 2021  
REC'D BY: DATE  
REF'D TO: DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

VALLEYCREEK 4-285  
COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 285	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S8  
P (416) 736-4036  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
CROSS SECTION  
SCALE 3/16"=1'-0"  
DATE JAN 2020  
BY V.G.  
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,814  
PAGE No. 8  
PROJECT

PROJECT NAME  
RUSSELL GARDENS III

Greenpark.