

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
<u>120 KPa NATIVE SOIL</u> 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	<u>90 KPa ENGINEERED FILL SOIL</u> 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
<u>100 KPa NATIVE SOIL</u> 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	<u>GENERAL NOTE:</u> ASSUMED 120/100 KPa native soil BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING		
<u>120 KPa NATIVE SOIL</u> F1 = 42"x42"x18" CONCRETE PAD F2 = 36"x36"x18" CONCRETE PAD F3 = 30"x30"x12" CONCRETE PAD F4 = 24"x24"x12" CONCRETE PAD F5 = 16"x16"x8" CONCRETE PAD (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)	<u>90 KPa ENGINEERED FILL SOIL</u> F1 = 48"x48"x20" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD	<u>100 KPa NATIVE SOIL</u> F1 = 42"x46"x20" CONCRETE PAD F2 = 38"x38"x16" CONCRETE PAD F3 = 32"x32"x14" CONCRETE PAD F4 = 26"x26"x12" CONCRETE PAD F5 = 17"x17"x8" CONCRETE PAD

NOTE: WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE: ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.
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BRICK VENEER LINTELS:	
WL1 = 3 1/2" x 3 1/2" x 11/4" (90x90x6) - 2- 2" x 8" SPR. WL2 = 4" x 3 1/2" x 5/16" (100x90x6) - 2- 2" x 8" SPR. WL3 = 5" x 3 1/2" x 5/16" (125x90x6) - 2- 2" x 10" SPR. WL4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2- 2" x 12" SPR. WL5 = 6" x 4" x 3/8" (150x100x10) - 2- 2" x 12" SPR.	WL6 = 5" x 3 1/2" x 5/16" (125x90x6) - 2- 2" x 12" SPR. WL7 = 5" x 3 1/2" x 5/16" (125x90x6) - 3- 2" x 10" SPR. WL8 = 5" x 3 1/2" x 5/16" (125x90x6) - 3- 2" x 12" SPR. WL9 = 6" x 4" x 3/8" (150x100x10) - 3- 2" x 12" SPR.

WOOD LINTELS:	
WB1 = 2- 2" x 8" SPRUCE BEAM WB2 = 3- 2" x 8" SPRUCE BEAM WB3 = 2- 2" x 10" SPRUCE BEAM WB4 = 3- 2" x 10" SPRUCE BEAM WB5 = 2- 2" x 12" SPRUCE BEAM	WB6 = 3- 2" x 12" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM

STEEL LINTELS:	
L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6) L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8) L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)	L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10) L5 = 6" x 4" x 3/8" (150 x 100 x 10) L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184) LVL1 = 2-1 3/4" x 7 1/4" (2-45x184) LVL2 = 3-1 3/4" x 7 1/4" (3-45x184) LVL3 = 4-1 3/4" x 7 1/4" (4-45x184) LVL4A = 1-1 3/4" x 9 1/2" (1-45x240) LVL4 = 2-1 3/4" x 9 1/2" (2-45x240) LVL5 = 3-1 3/4" x 9 1/2" (3-45x240) LVL5A = 4-1 3/4" x 9 1/2" (4-45x240) LVL6A = 1-1 3/4" x 11 7/8" (1-45x300) LVL6 = 2-1 3/4" x 11 7/8" (2-45x300) LVL7 = 3-1 3/4" x 11 7/8" (3-45x300) LVL7A = 4-1 3/4" x 11 7/8" (4-45x300) LVL8 = 2-1 3/4" x 14" (2-45x356) LVL9 = 3-1 3/4" x 14" (3-45x356)	

Door Schedule					
NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE	
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR	
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS	
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR	
3	2'-8"	6'-8 x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR	
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR	
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR	
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR	
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR	
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR	

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 1218 Sq. Ft.
SECOND FLOOR AREA	= 1571 Sq. Ft.
TOTAL FLOOR AREA	= 2789 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2789 Sq. Ft.
GROUND FLOOR COVERAGE	= 1218 Sq. Ft.
GARAGE COVERAGE / AREA	= 390 Sq. Ft.
PORCH COVERAGE / AREA	= 66 Sq. Ft.
COVERAGE W/ PORCH	= 1674 Sq. Ft.
	= 155.52Sq. m.
COVERAGE W/O PORCH	= 1608 Sq. Ft.
	= 149.39Sq. m.

AREA CALCULATIONS EL-2	
FIRST FLOOR AREA	= 1218 Sq. Ft.
SECOND FLOOR AREA	= 1583 Sq. Ft.
TOTAL FLOOR AREA	= 2801 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2801 Sq. Ft.
GROUND FLOOR COVERAGE	= 1218 Sq. Ft.
GARAGE COVERAGE / AREA	= 390 Sq. Ft.
PORCH COVERAGE / AREA	= 66 Sq. Ft.
COVERAGE W/ PORCH	= 1674 Sq. Ft.
	= 155.52Sq. m.
COVERAGE W/O PORCH	= 1608 Sq. Ft.
	= 149.39Sq. m.

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 1218 Sq. Ft.
SECOND FLOOR AREA	= 1579 Sq. Ft.
TOTAL FLOOR AREA	= 2797 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2797 Sq. Ft.
GROUND FLOOR COVERAGE	= 1218 Sq. Ft.
GARAGE COVERAGE / AREA	= 390 Sq. Ft.
PORCH COVERAGE / AREA	= 66 Sq. Ft.
COVERAGE W/ PORCH	= 1674 Sq. Ft.
	= 155.52Sq. m.
COVERAGE W/O PORCH	= 1608 Sq. Ft.
	= 149.39Sq. m.

KIMBERLY 1 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	858.00	130.00	15.15 %
LEFT SIDE	1014.00	65.00	6.41 %
RIGHT SIDE	1014.00	0.00	0.00 %
REAR	828.00	163.00	19.69 %
TOTAL	3714.00	358.00	9.64 %

KIMBERLY 1 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	878.00	127.00	14.46 %
LEFT SIDE	1020.00	65.00	6.37 %
RIGHT SIDE	1020.00	0.00	0.00 %
REAR	828.00	163.00	19.69 %
TOTAL	3746.00	355.00	9.48 %

KIMBERLY 1 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	866.00	143.00	16.51 %
LEFT SIDE	1018.00	65.00	6.39 %
RIGHT SIDE	1018.00	0.00	0.00 %
REAR	828.00	163.00	19.69 %
TOTAL	3730.00	371.00	9.95 %

NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 3'-7". 2 ROWS FOR SPANS GREATER THAN 7'


NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE: PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

2789 13.3m LOTS KIMBERLY 1 (GR) ELEVATION 1,2 & 3 A1 PACKAGE O.REG. 332/12

STRUDET INC.  FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS DOES NOT CONSTITUTE A CONTRACT. AS CONSTRUCTED INVENTS MUST BE REFLECTED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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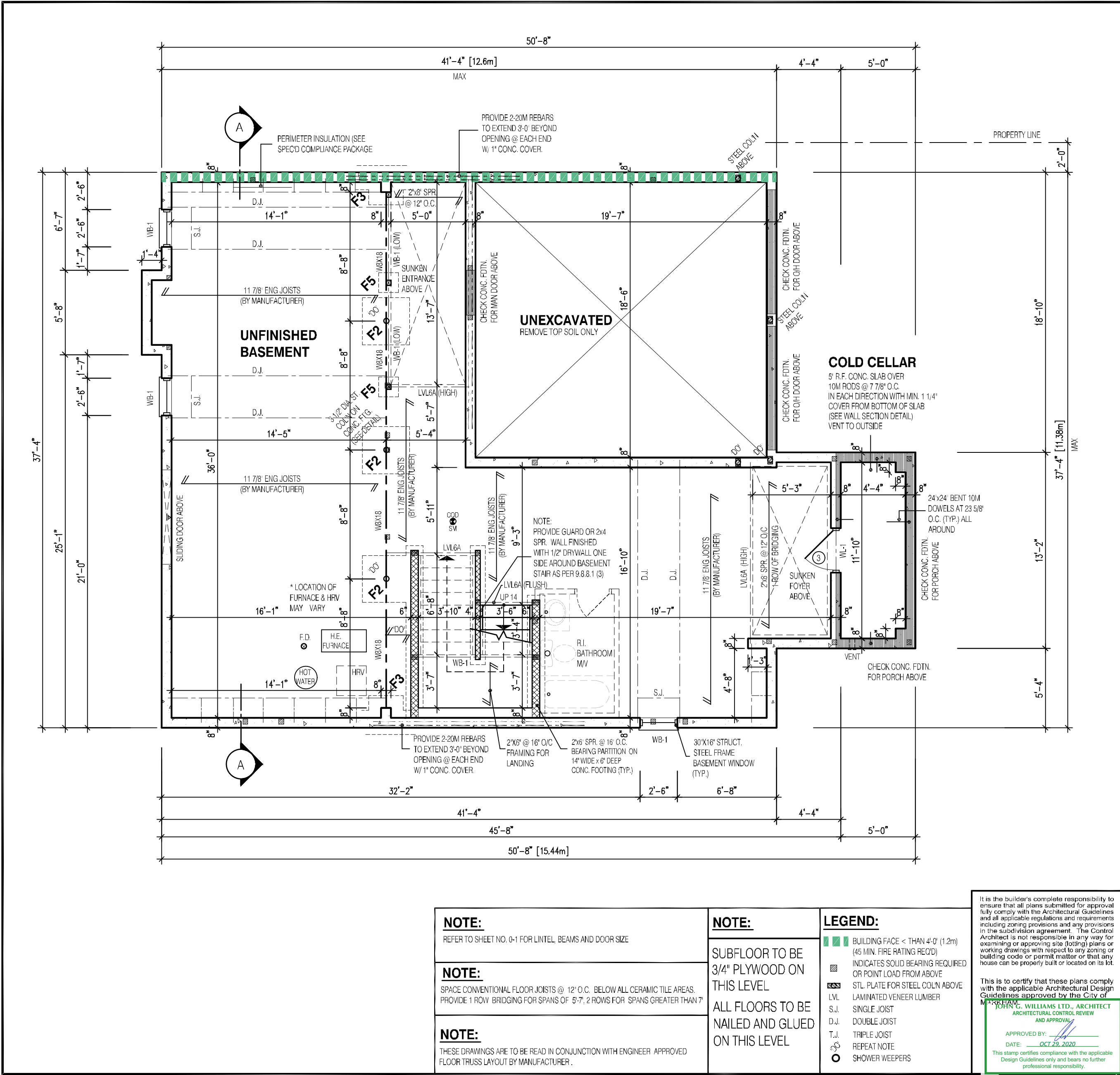
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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No:	DATE:	WORK DESCRIPTION:

jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.  Walter Botter 21031 NAME SIGNATURE BCIN	
jardin design group inc. 27763 FIRM NAME BCIN	
TITLE SHEET LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
	MODEL: T SCALE: 3/16"=1'-0" PROJ. No. 20-03 DWG. No. 0

CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.
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2789	
13.3m LOTS	
KIMBERLY 1 (GR)	
ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
STRUDET INC.	
REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC 14/7/2020 PROVINCE OF ONTARIO	
FOR STRUCTURE ONLY	
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Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
BASEMENT PLAN EL-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	
SCALE: 3/16"=1'-0"	
PROJ. No.	DWG. No.
20-03	1

CITY OF **MARKHAM**

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

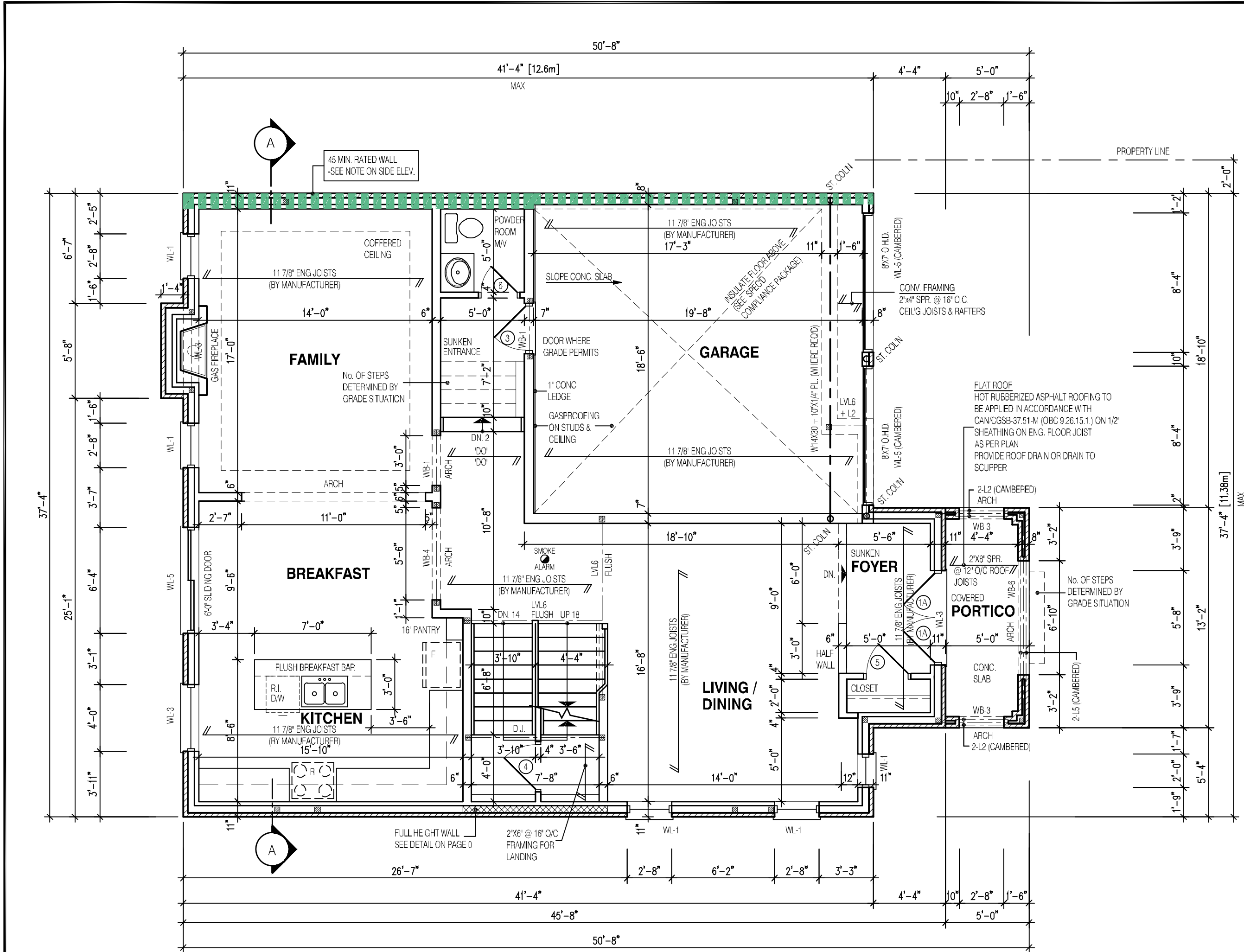
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Date: 02/05/21

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NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



NOTE:
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NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2789
13.3m LOTS
KIMBERLY 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

STRUDET INC.

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AS CONSTRUCTED, THE INVENTOR MUST BE ADVISED PRIOR TO HOLDING TITLES.

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN, ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1
LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

BILD

MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-03
DWG. No. 2

CITY OF MARKHAM
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

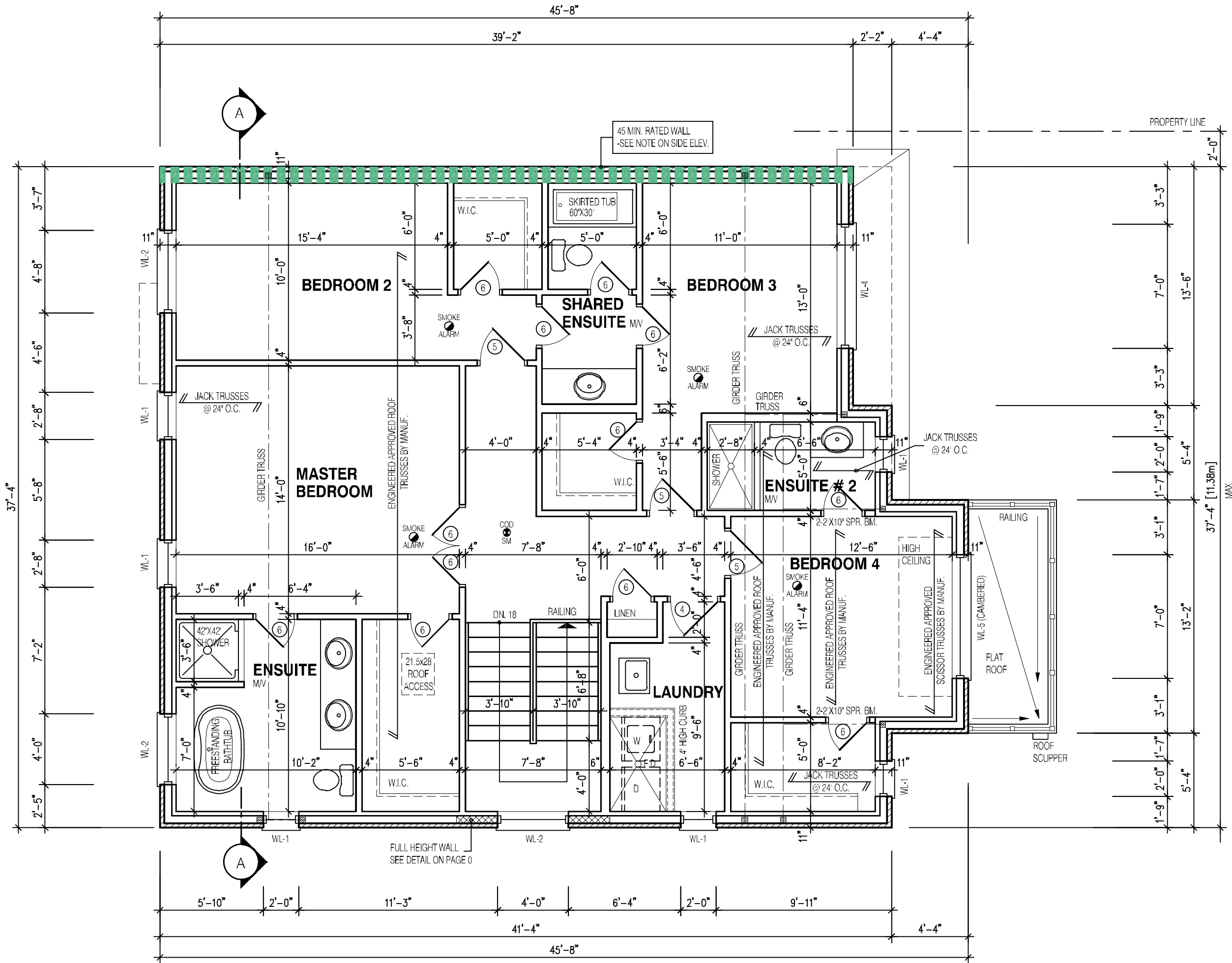
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LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
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- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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2789

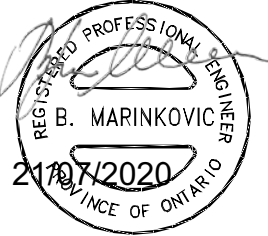
13.3m LOTS

KIMBERLY 1 (GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



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No: DATE: WORK DESCRIPTION:

jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-1

LAMPONE INVESTMENTS INC.
CITY OF MARKHAM



MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No: 20-03
DWG. No: 3

CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

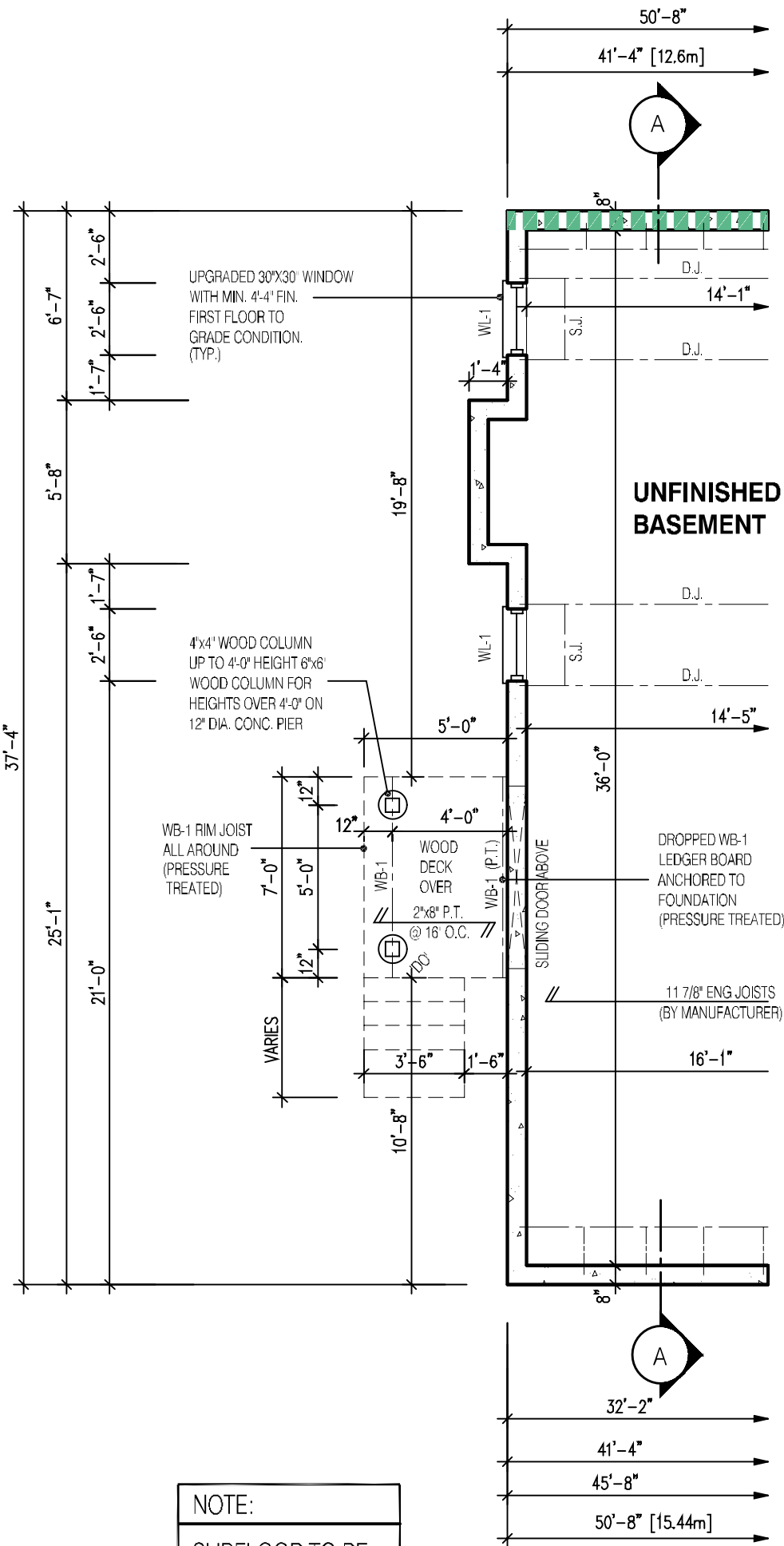


Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE

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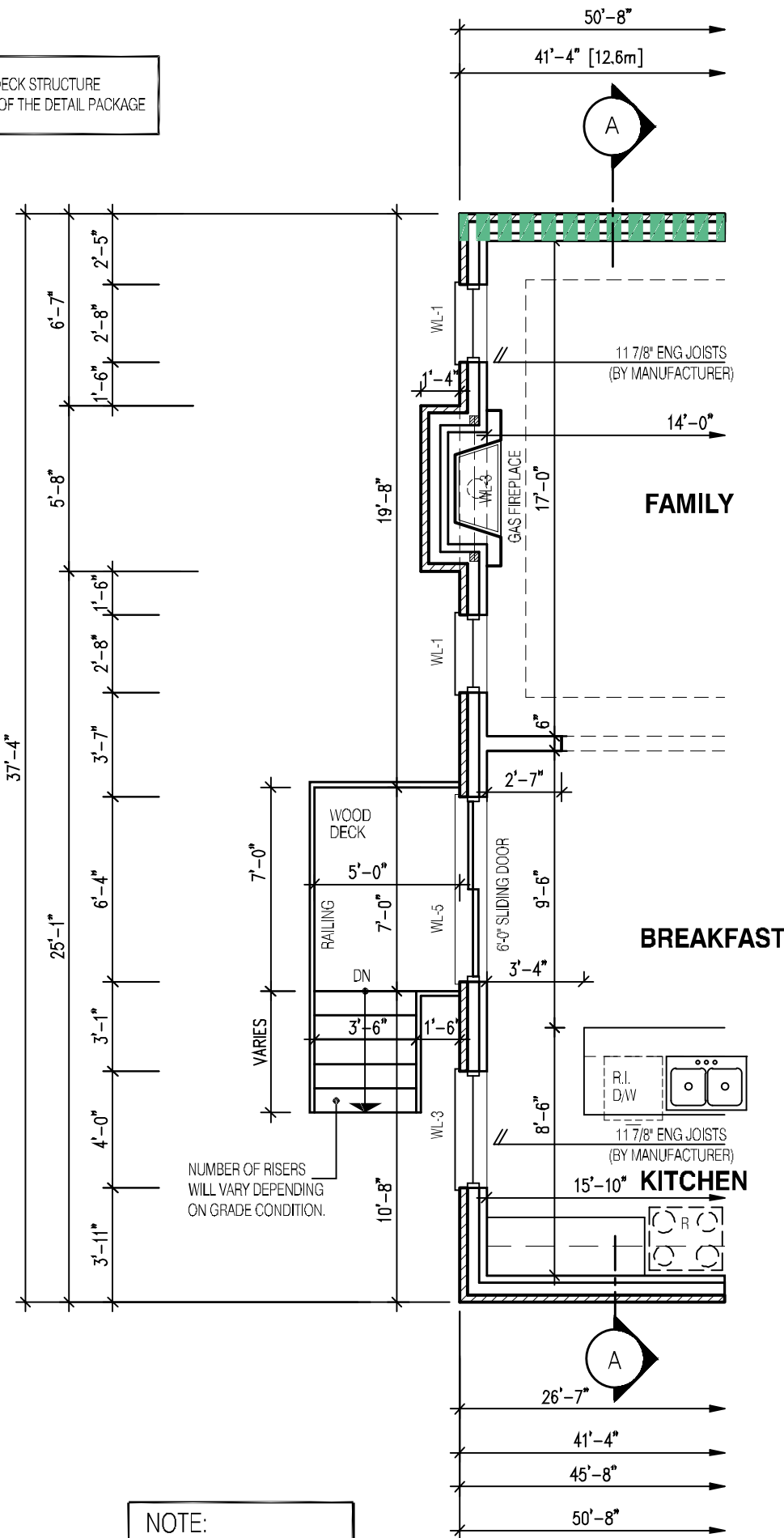
NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



NOTE:
SUBFLOOR TO BE 3/4\"/>

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1



NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2789	
13.3m LOTS	
KIMBERLY 1 (GR)	
ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURE ONLY	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUING OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS IS FOR INFORMATION ONLY.</p> <p>AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO HOLDING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</p>	
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No:	DATE: WORK DESCRIPTION:
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
Jardin design group inc.	27763
FIRM NAME	BCIN
DECK CONDITION EL-1	
LAMPONE INVESTMENTS INC.	
CITY OF MARKHAM	
MODEL:	T
SCALE:	3/16"=1'-0"
PROJ. No:	20-03
DWG. No:	3-1



Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH
THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE
BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY
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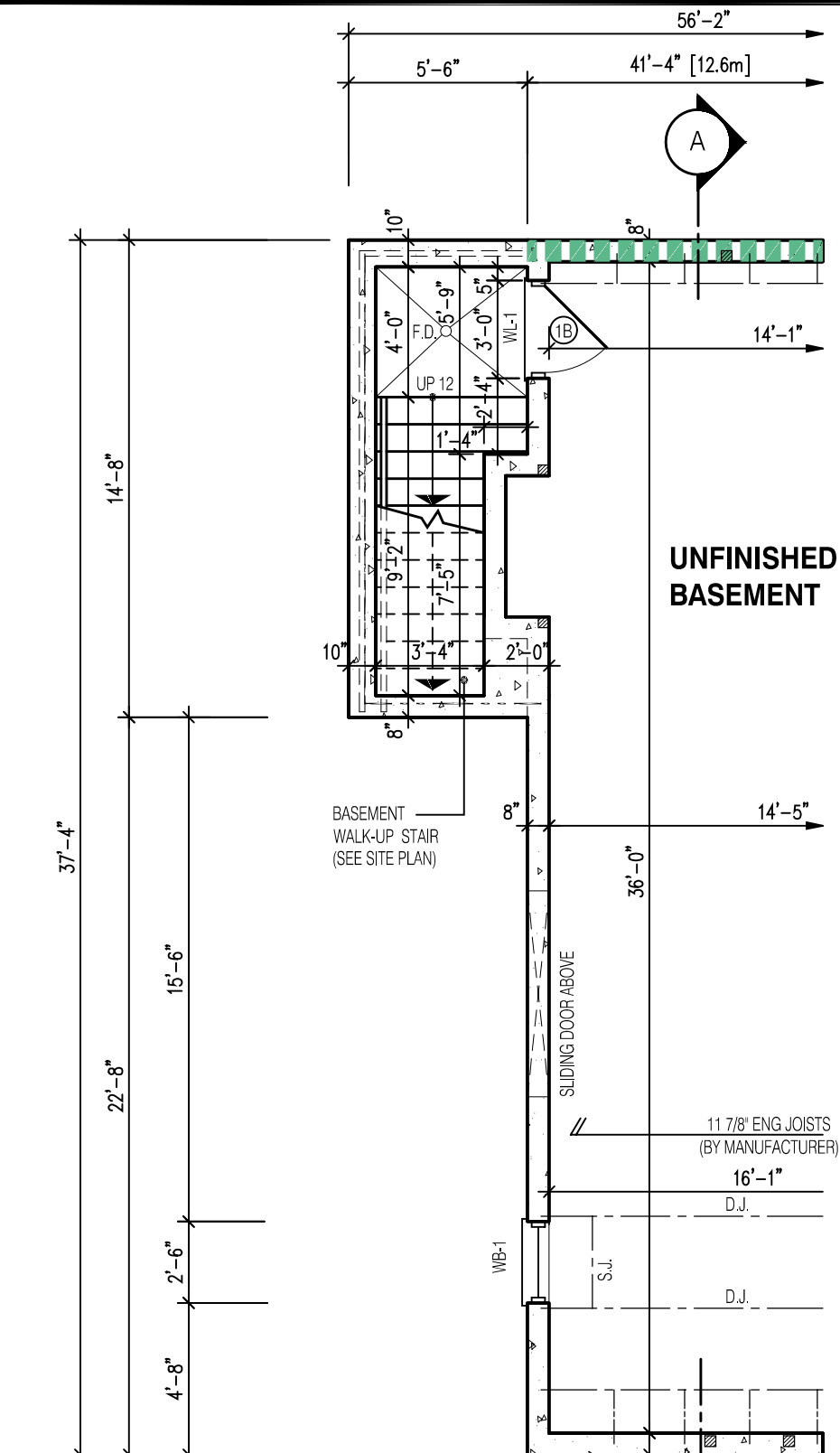
NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS DRAWINGS BY MANUFACTURER.

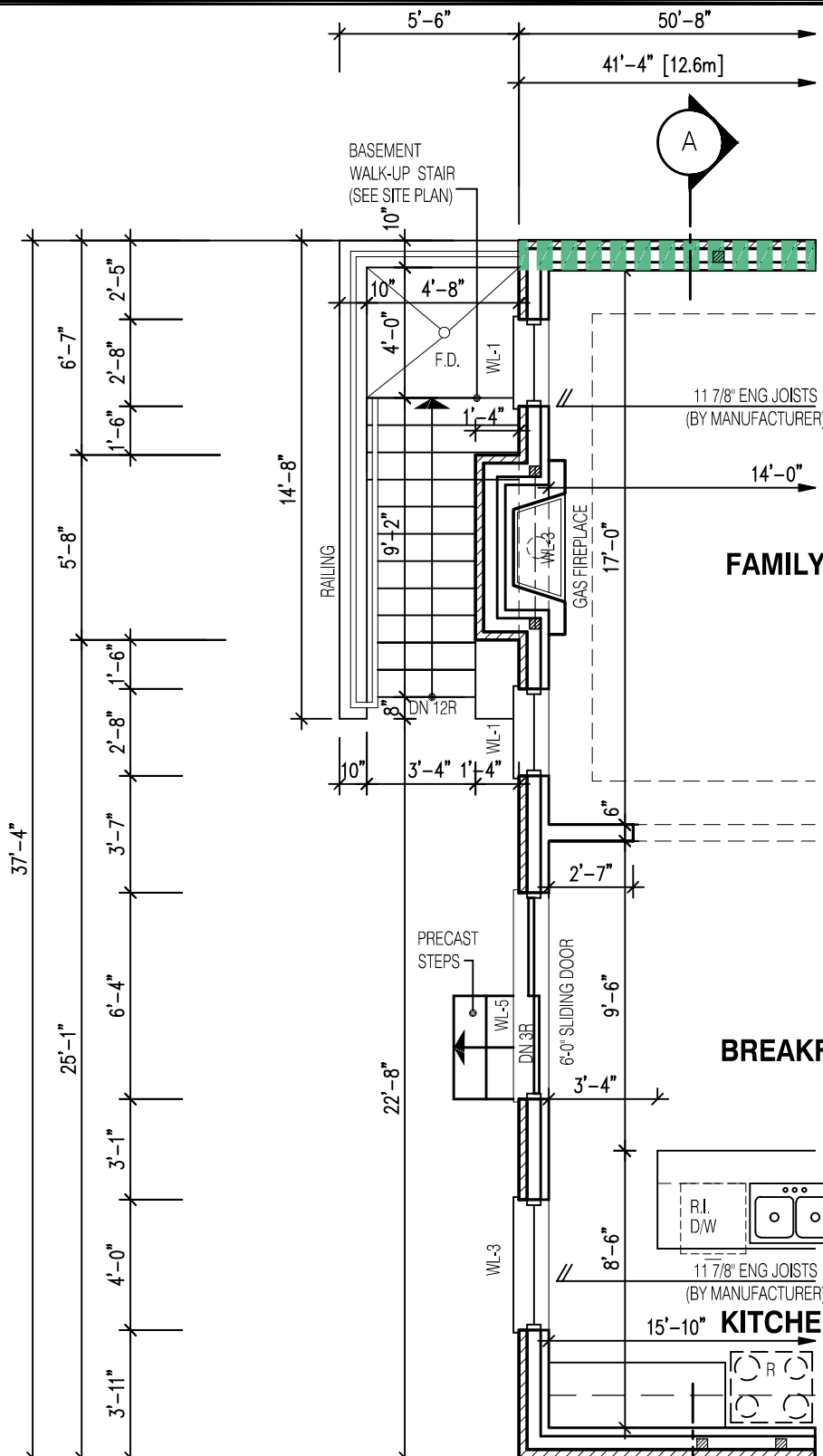
NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.



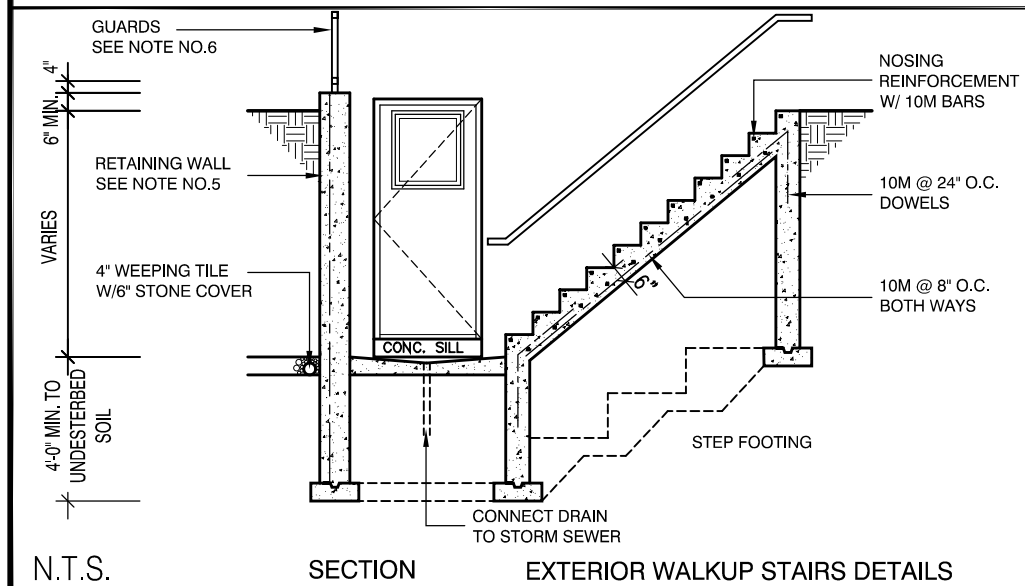
NOTE:
SUBFLOOR TO BE
3/4\"/>

PARTIAL BASEMENT LAYOUT
FOR WALK-UP CONDITION EL-1 (REVERSE)



NOTE:
SUBFLOOR TO BE
5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR WALK-UP CONDITION EL-1 (REVERSE)



- GENERAL NOTES:**
- FOOTING**
24\"/>
 - CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
 - EXTERIOR STAIRS**
7 7/8\"/>
 - INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
 - RETAINING WALL**
10\"/>
 - GUARDS**
3-6\"/>

NOTE:
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
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NOTE:
WHEN VENEER CUT IS GREATER THAN 26\"/>

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2789
13.3m LOTS

KIMBERLY 1-11(GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC.

FOR STRUCTURE ONLY

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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1	OCT. 8, 2020

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

PARTIAL WALK-UP EL-1

LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-03 DWG. No. 3-2



Date: 02/05/21

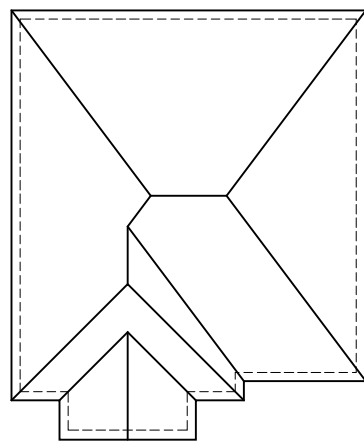
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KIMBERLY 1
FRONT ELEV. 1



ROOF PLAN
N.T.S.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: OCT 29, 2020

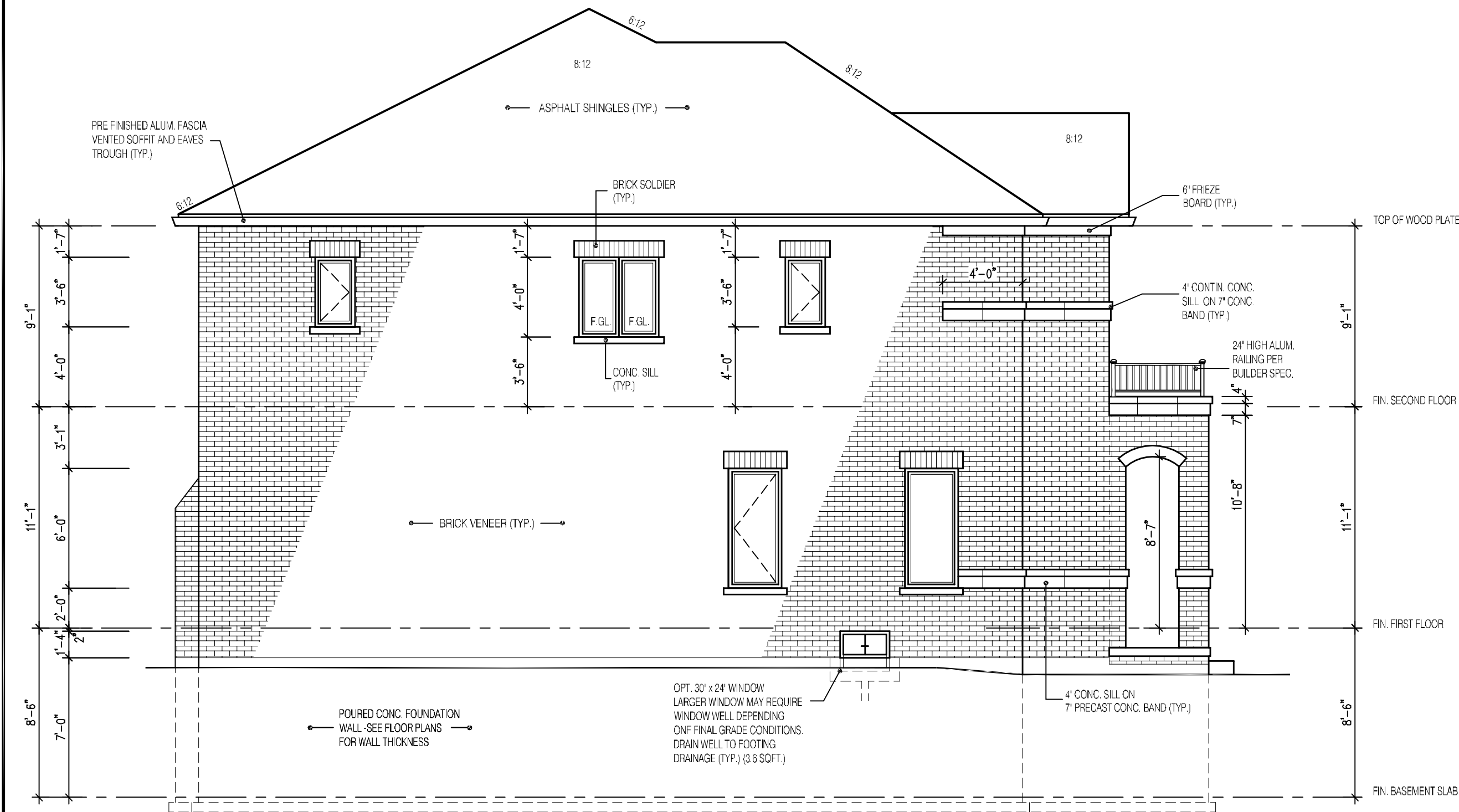
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2789	
13.3m LOTS	
KIMBERLY 1 (GR) ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
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7	
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No:	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.	
jardin design group inc.	27763
FIRM NAME	BCIN
FRONT ELEVATION-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	
SCALE: 3/16"=1'-0"	
PROJ. No:	DWG. No:
20-03	4

CITY OF MARKHAM
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21
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SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY
NOT BE REGISTERED ON TITLE



SIDE ELEVATION 1

UNPROTECTED OPENINGS

WALL AREA	917	⌘
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)	64.19	⌘
ACTUAL GLAZED AREA	51.39	⌘

2789
13.3m LOTS
KIMBERLY 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1 JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No:	DATE:	WORK DESCRIPTION:
-----	-------	-------------------

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.3 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-1
LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

	MODEL:	T
	SCALE:	3/16"=1'-0"
	PROJ. No.	20-03
	DWG. No.	5

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: OCT 29, 2020

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CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

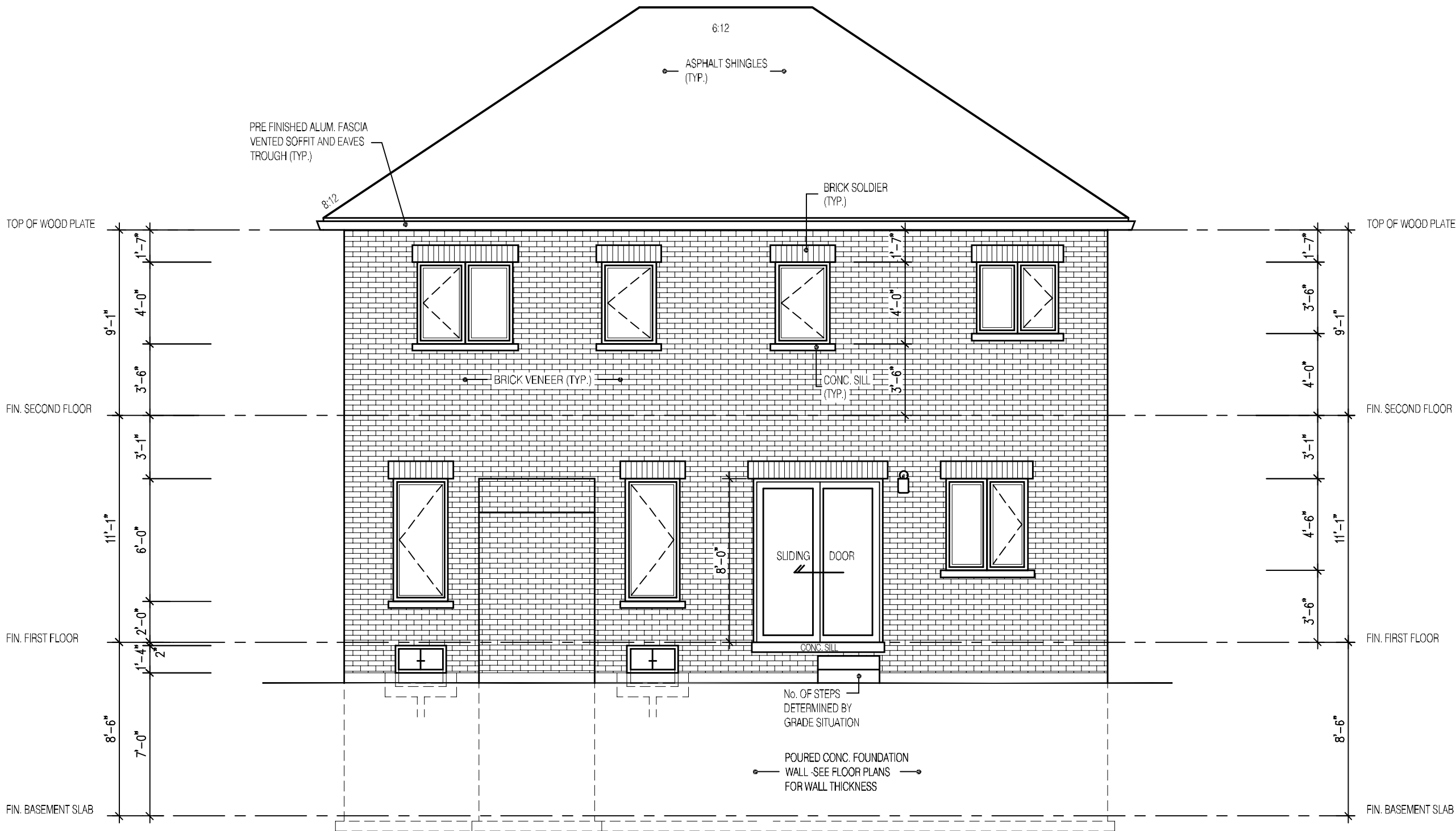


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REAR ELEVATION 1

2789
13.3m LOTS
KIMBERLY 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-1
LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

 MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No: 20-03 DWG. No: 6

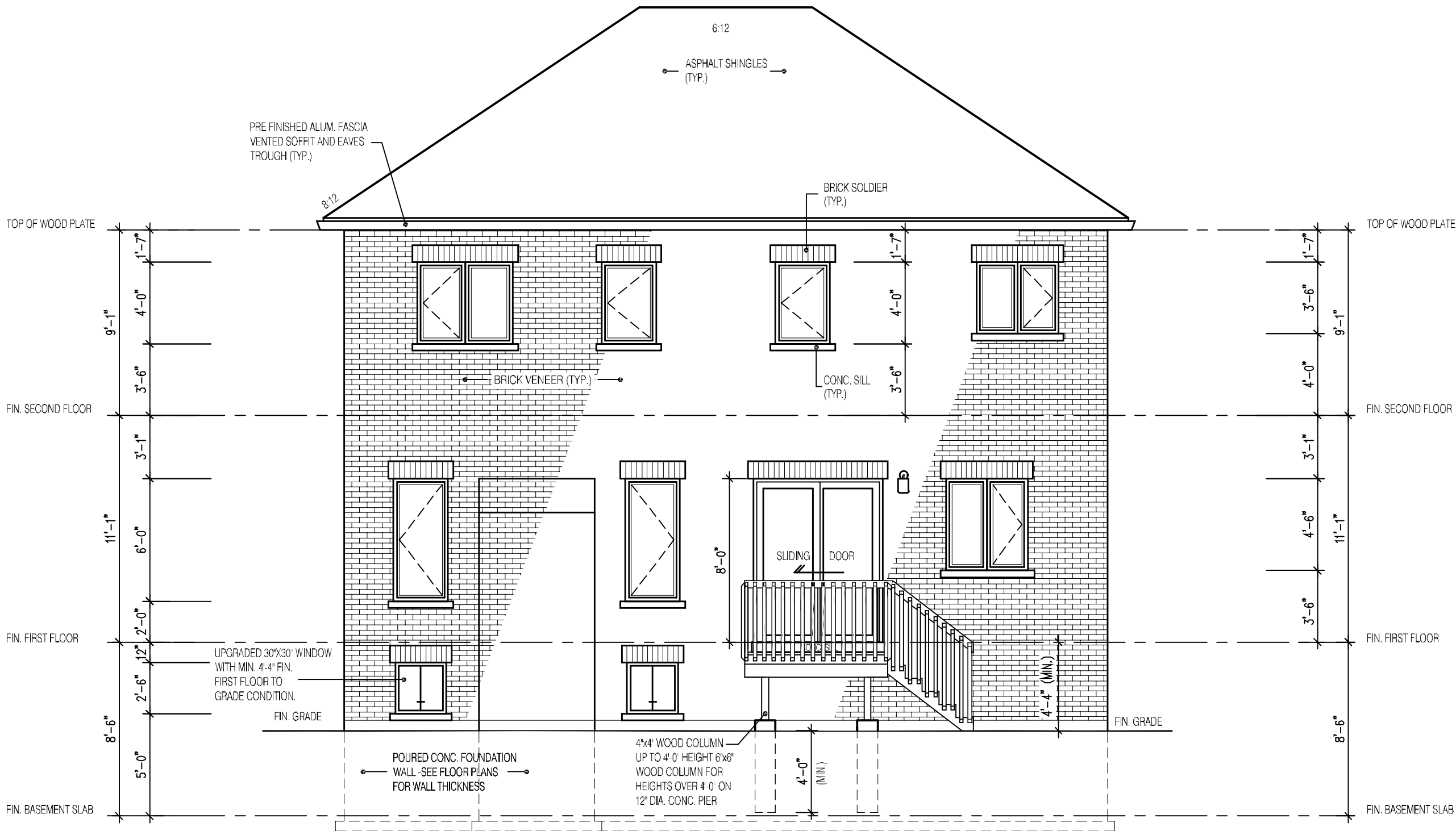
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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
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CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21
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REAR ELEVATION 1
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
**WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)**

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ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: OCT 29, 2020
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2789
13.3m LOTS
KIMBERLY 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

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Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

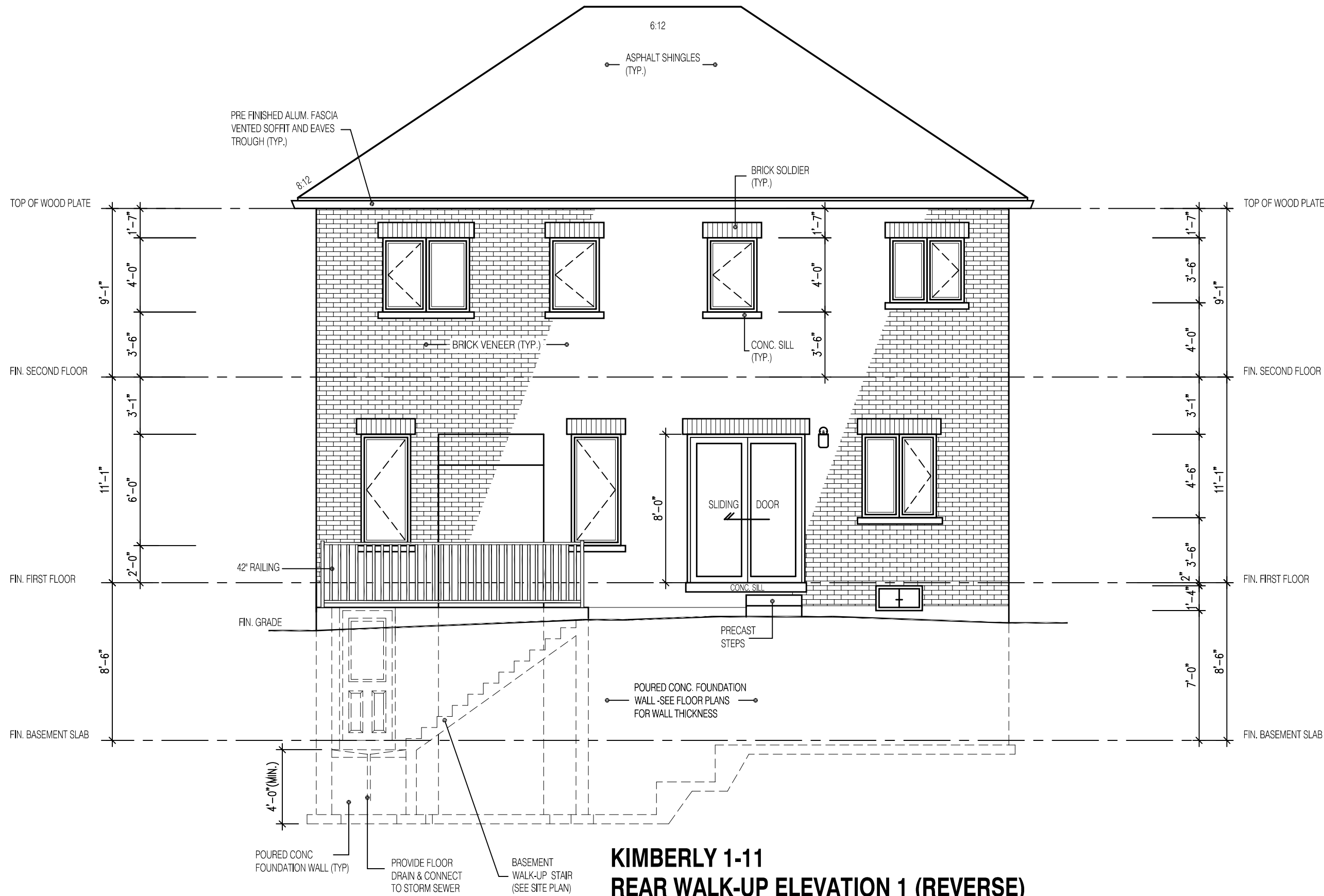
DECK CONDITION EL-1
LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

BILD
MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No: 20-03
DWG. No: 6-1

CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21
**ALL CONSTRUCTION SHALL COMPLY WITH
THE ONTARIO BUILDING CODE**
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.
NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



**KIMBERLY 1-11
REAR WALK-UP ELEVATION 1 (REVERSE)**

KIMBERLY 1-11 ELEV.-1		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	858.00	130.00	15.15 %
LEFT SIDE	1014.00	65.00	6.41 %
RIGHT SIDE	1014.00	0.00	0.00 %
REAR	891.00	180.00	20.20 %
TOTAL	3777.00	375.00	9.93 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2789

13.3m LOTS

KIMBERLY 1-11(GR)

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

7

6

5

4

3

2

1

OCT. 8, 2020

ADDED DRAWING TO SET
ISSUED FOR BUILDING PERMIT

No:

DATE:

WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21037

NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763

FIRM NAME BCIN

REAR WALK-UP EL-1

LAMPONE INVESTMENTS INC.

CITY OF MARKHAM

MODEL:
T

SCALE:
3/16"=1'-0"

PROJ. No.
20-03

DWG. No.
6-2

CITY OF MARKHAM

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

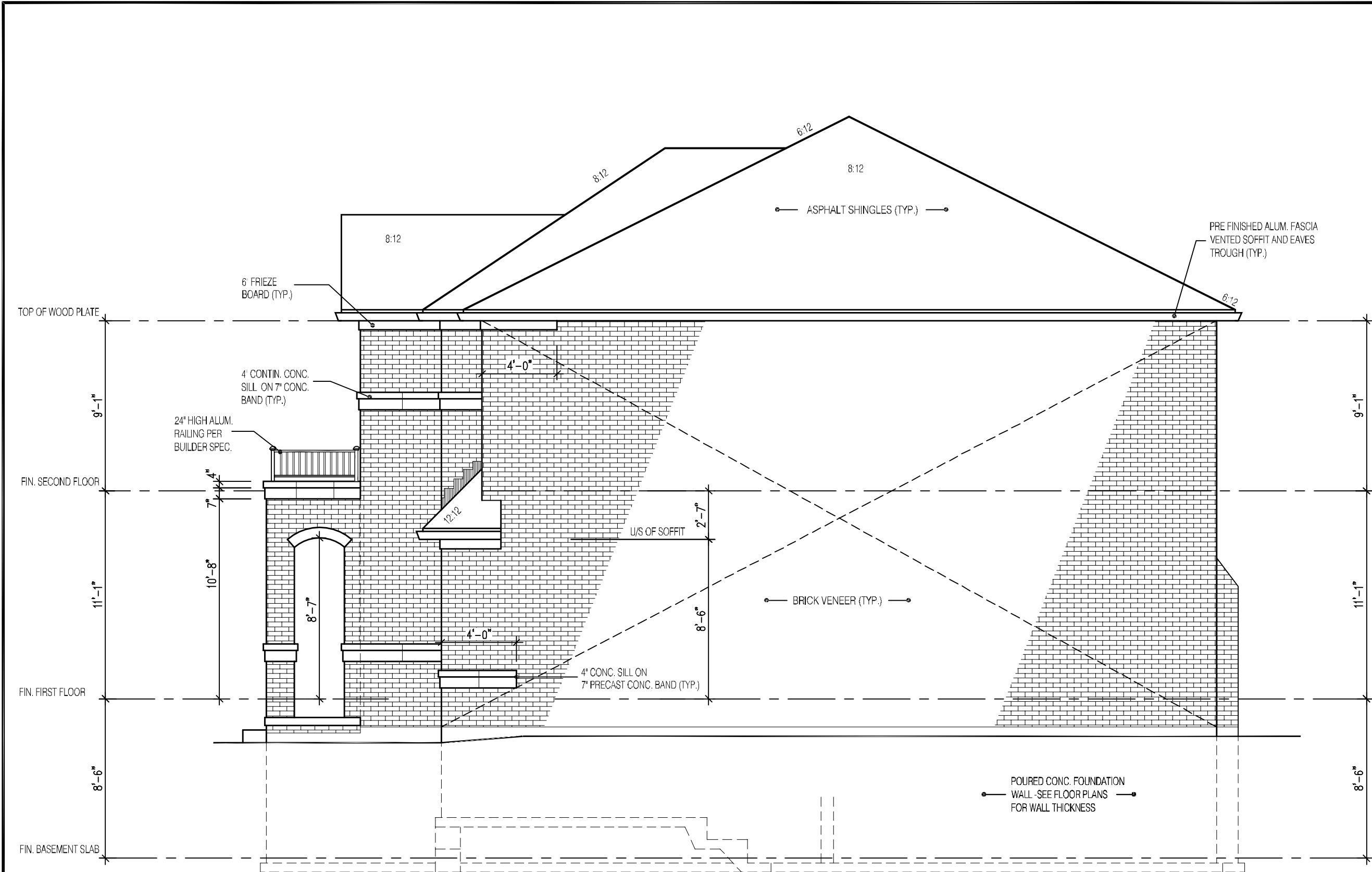
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Date: 02/05/21

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SIDE ELEVATION 1

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: OCT 29, 2020
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2789
13.3m LOTS
KIMBERLY 1 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUING OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS DOES NOT CONSTITUTE A PROFESSIONAL ASSESSMENT OF THE WORKING DRAWINGS PRIOR TO HOLDING TIGHTS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4		
3		
2		
1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No:	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-1
LAMPONE INVESTMENTS INC.
CITY OF MARKHAM

BILD
MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No: 20-03
DWG. No: 7

CITY OF **MARKHAM**
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

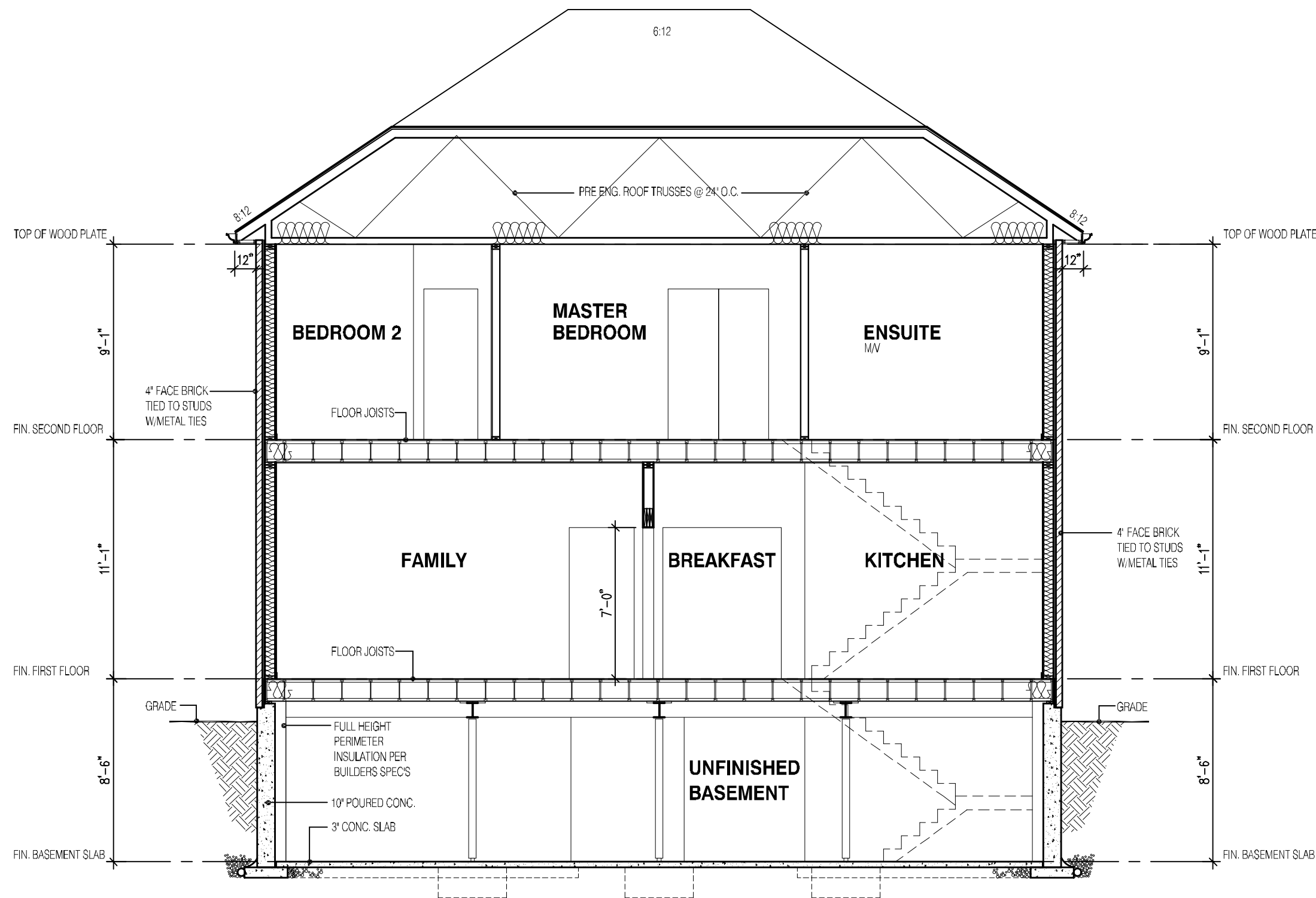


Date: 02/05/21

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SECTION ELEVATION 1

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2789	
13.3m LOTS	
KIMBERLY 1 (GR)	
ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURE ONLY	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUING OF A BUILDING PERMIT. REF: 1 TO THE ARCHITECT'S ENGINEERING DRAWINGS SET OUT, PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</p>	
7	
6	
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2	
1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No:	DATE: WORK DESCRIPTION:
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	27763
FIRM NAME	BCIN
SECTION ELEVATION-1	
LAMPONE INVESTMENTS INC.	
CITY OF MARKHAM	
	MODEL: T
	SCALE: 3/16"=1'-0"
PROJ. No: 20-03	DWG. No: 8



Date: 02/05/21

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