

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL  
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL  
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS  
OR  
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :  
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa  
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL  
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x18" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 38"x38"x16" CONCRETE PAD  
F3 = 32"x32"x14" CONCRETE PAD  
F4 = 26"x26"x12" CONCRETE PAD  
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) - 2-2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x6) - 2-2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2-2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 12" SPR.  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) - 3-2" x 10" SPR.  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM  
WB2 = 3-2" x 8" SPRUCE BEAM  
WB3 = 2-2" x 10" SPRUCE BEAM  
WB4 = 3-2" x 10" SPRUCE BEAM  
WB5 = 2-2" x 12" SPRUCE BEAM  
WB6 = 3-2" x 12" SPRUCE BEAM  
WB7 = 5-2" x 12" SPRUCE BEAM  
WB10 = 4-2" x 8" SPRUCE BEAM  
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA = 1253 Sq. Ft.  
SECOND FLOOR AREA = 1600 Sq. Ft.

TOTAL FLOOR AREA = 2853 Sq. Ft.

ADD OPEN AREAS = 0 Sq. Ft.  
ADD FIN. BASEMENT AREA = 2853 Sq. Ft.

GROSS FLOOR AREA = 2853 Sq. Ft.

GROUND FLOOR COVERAGE = 1253 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 116 Sq. Ft.

COVERAGE W/ PORCH = 1759 Sq. Ft.  
= 163.4 Sq. m.

COVERAGE W/O PORCH = 1643 Sq. Ft.  
= 152.6 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA = 1253 Sq. Ft.  
SECOND FLOOR AREA = 1600 Sq. Ft.

TOTAL FLOOR AREA = 2853 Sq. Ft.

ADD OPEN AREAS = 0 Sq. Ft.  
ADD FIN. BASEMENT AREA = 2853 Sq. Ft.

GROSS FLOOR AREA = 2853 Sq. Ft.

GROUND FLOOR COVERAGE = 1253 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 54 Sq. Ft.

COVERAGE W/ PORCH = 1697 Sq. Ft.  
= 157.6 Sq. m.

COVERAGE W/O PORCH = 1643 Sq. Ft.  
= 152.6 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA = 1253 Sq. Ft.  
SECOND FLOOR AREA = 1613 Sq. Ft.

TOTAL FLOOR AREA = 2866 Sq. Ft.

ADD OPEN AREAS = 0 Sq. Ft.  
ADD FIN. BASEMENT AREA = 2866 Sq. Ft.

GROSS FLOOR AREA = 2866 Sq. Ft.

GROUND FLOOR COVERAGE = 1253 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 116 Sq. Ft.

COVERAGE W/ PORCH = 1759 Sq. Ft.  
= 163.4 Sq. m.

COVERAGE W/O PORCH = 1643 Sq. Ft.  
= 152.6 Sq. m.

KIMBERLY 2 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	859.00	138.00	16.07 %
LEFT SIDE	1043.00	52.00	4.99 %
RIGHT SIDE	1056.00	0.00	0.00 %
REAR	828.00	166.00	20.05 %
TOTAL	3786.00	356.00	9.40 %

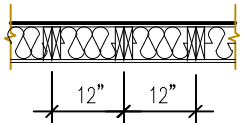
KIMBERLY 2 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	889.00	144.00	16.57 %
LEFT SIDE	1045.00	52.00	4.98 %
RIGHT SIDE	1054.00	0.00	0.00 %
REAR	828.00	166.00	20.05 %
TOTAL	3796.00	362.00	9.54 %

KIMBERLY 2 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE

ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	876.00	147.00	16.78 %
LEFT SIDE	1042.00	52.00	4.99 %
RIGHT SIDE	1042.00	0.00	0.00 %
REAR	828.00	166.00	20.05 %
TOTAL	3788.00	365.00	9.64 %

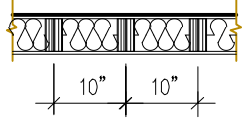
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL  
DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED  
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT  
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.  
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.



Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR  
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE  
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE  
BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE

2853

13.3m LOTS

KIMBERLY 2 (GR)  
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OF CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REF: 10 TO THE APPROPRIATE  
ENGINEERING DRAWINGS SET OF PROCEEDINGS WILL WORK  
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS  
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT  
TO BE RE-USED.

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6		
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4		
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2		
1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No.	DATE:	WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

Walter Botter SIGNATURE 21031 BCIN

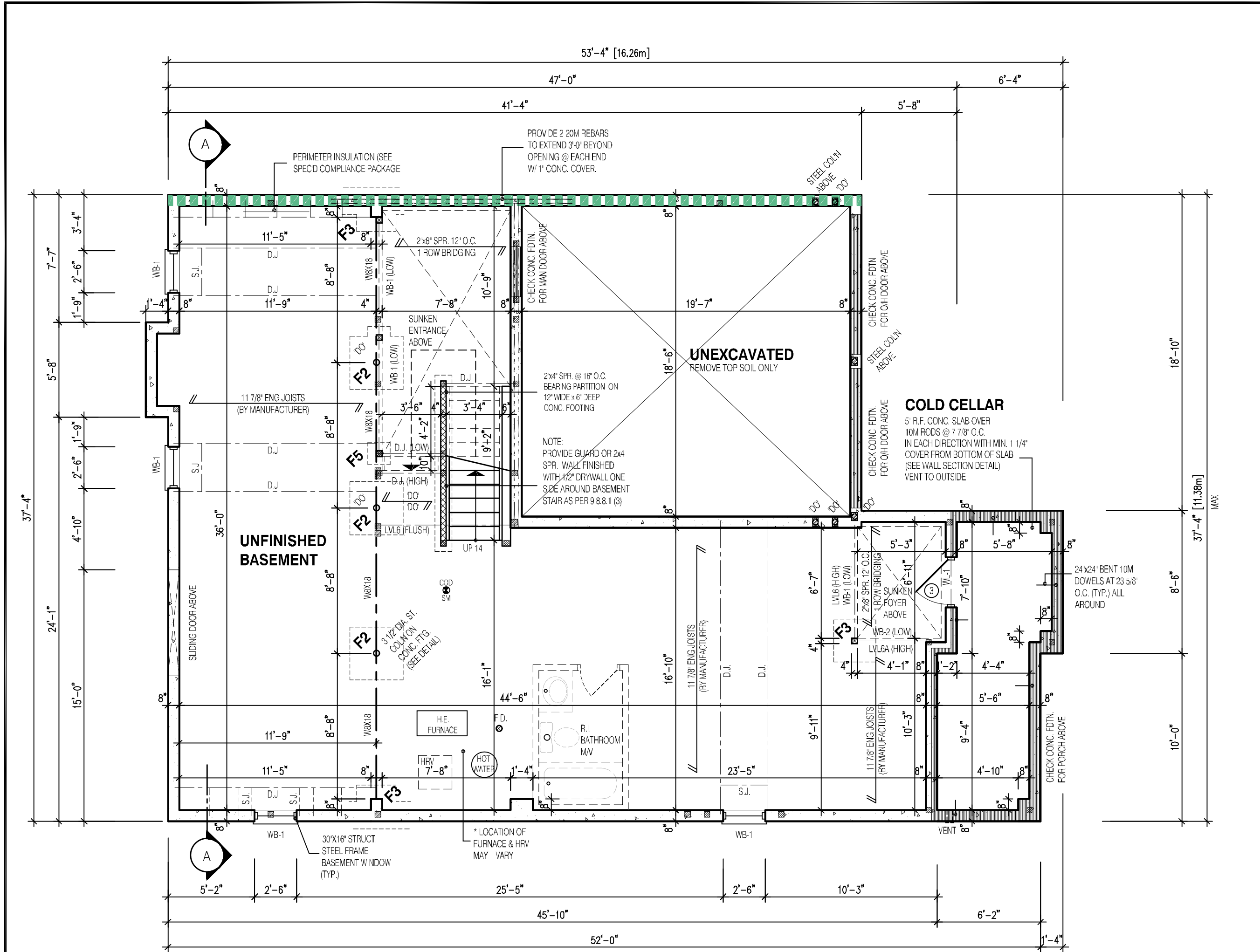
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763 BCIN  
FIRM NAME

TITLE SHEET

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

	MODEL:	T	----
	SCALE:	3/16"=1'-0"	
	PROJ. No.	20-03	DWG. No.
			0



**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

**NOTE:**  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853
13.3m LOTS
KIMBERLY 2 (GR) ELEVATION 1
A1 PACKAGE
O.REG. 332/12
STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC 2107/2020 PROVINCE OF ONTARIO
FOR STRUCTURE ONLY
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REF: 1 TO THE APPROPRIATE ENGINEERING DRAWINGS SET OUT HEREIN AND ALL WORK AS CONSTRUCTED INHERENTLY MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO Carry OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO Carry OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.
7
6
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2
1 JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No. DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
Walter Botter 21031 NAME SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763 FIRM NAME BCIN
BASEMENT PLAN EL-1 LAMPONE INVESTMENTS INC. CITY OF MARKHAM
MODEL: T
SCALE: 3/16"=1'-0"
PROJ. No. 20-03
DWG. No. 1



Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE





Date: 02/05/21

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NOT BE REGISTERED ON TITLE

2853

13.3m LOTS

KIMBERLY 2 (GR)  
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



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ENGINEERING DRAWINGS SET OUT HEREIN AND THE CONTRACT  
DOCUMENTS.  
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1 JULY 2, 2020 ISSUED FOR BUILDING PERMIT  
No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

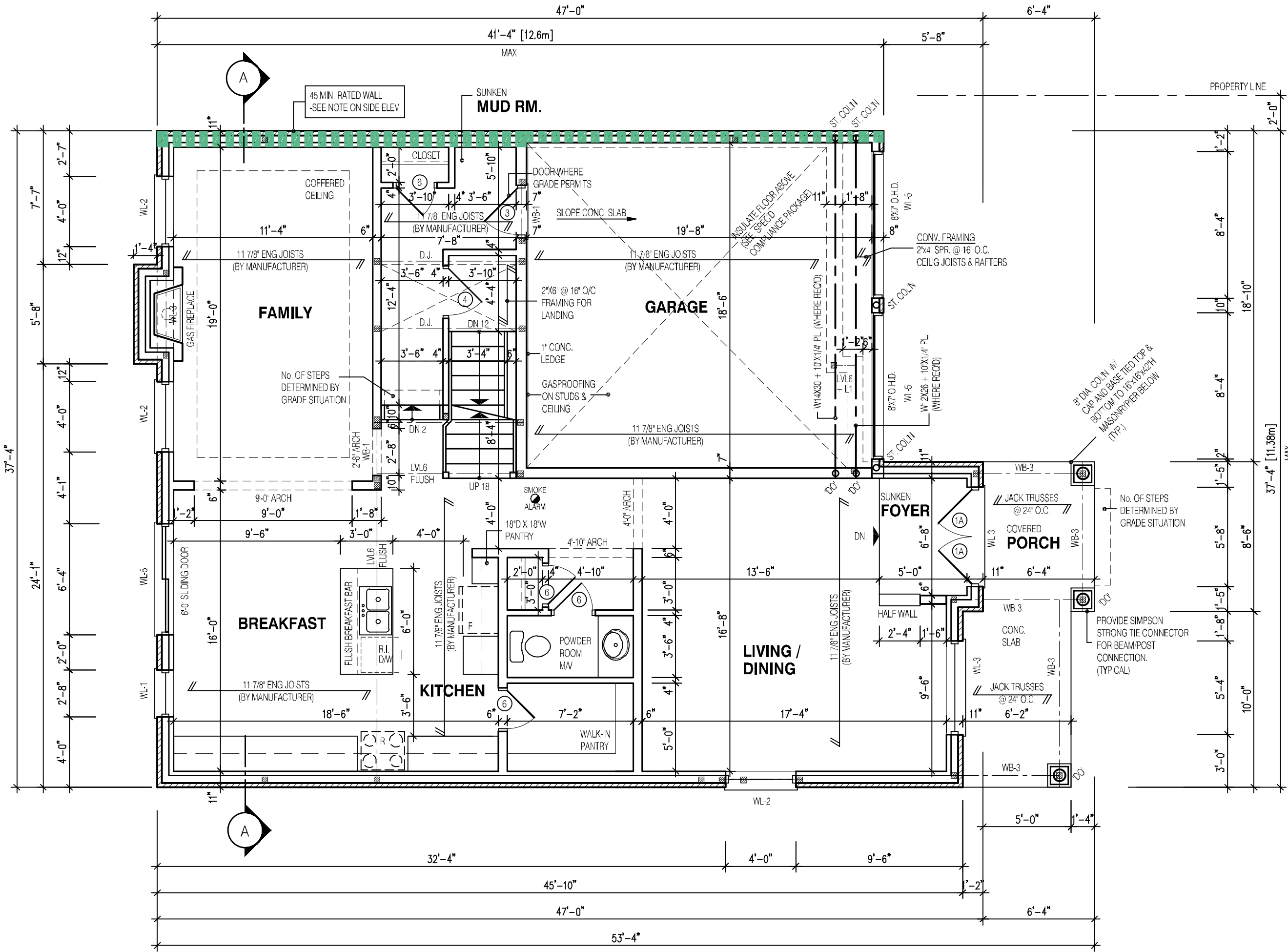
Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 2



**NOTE:**  
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CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.

**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL,  
BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE  
1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS  
FOR SPANS GREATER THAN 7'

**NOTE:**  
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FLOOR TRUSS LAYOUT BY MANUFACTURER.

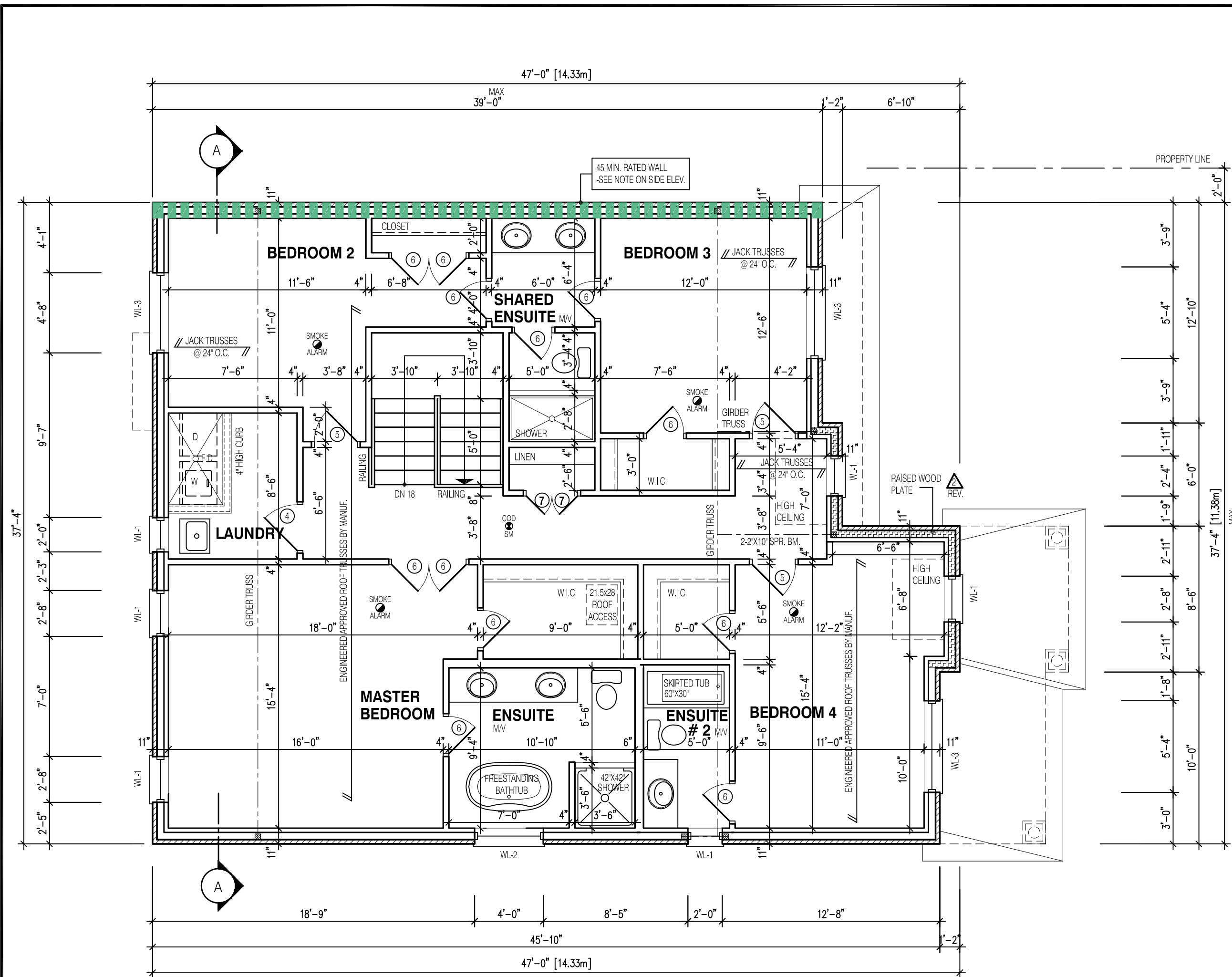
**NOTE:**  
SUBFLOOR TO BE  
5/8" PLYWOOD ON  
THIS LEVEL  
ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

**LEGEND:**

- BUILDING FACE < THAN 4'-0" (12m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Desi-  
gn Guidelines approved by the City of  
Markham  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
  - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
  - STL. PLATE FOR STEEL COL'N ABOVE
  - LVL. LAMINATED VENEER LUMBER
  - S.J. SINGLE JOIST
  - D.J. DOUBLE JOIST
  - T.J. TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

2853	
13.3m LOTS	
KIMBERLY 2 (GR)	
ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
STRUDET INC.	
FOR STRUCTURE ONLY	
<small>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</small>	
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DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
1 JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No:	DATE: WORK DESCRIPTION:
<b>jardin</b> DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
<small>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</small>	
<small>QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</small>	
Walter Botter  21031 NAME SIGNATURE BCIN	
<small>REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code</small>	
jardin design group inc. 27763 FIRM NAME BCIN	
SEC. FLOOR PLAN EL-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	SCALE: 3/16"=1'-0"
PROJ. No. 20-03	DWG. No. 3

CITY OF **MARKHAM**

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

20.130062.000.00.CM

Date: 02/05/21

**ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE





Date: 02/05/21

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THE ONTARIO BUILDING CODE

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ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE

2853

13.3m LOTS

KIMBERLY 2 (GR)  
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPLICABLE  
BUILDING CODES AND REGULATIONS SHALL BE MADE BY THE CONTRACTOR.  
AS CONSTRUCTED, THE WORK SHALL BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No.	DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 3-1

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.



LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLUMN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:  
SUBFLOOR TO BE  
5/8" PLYWOOD ON  
THIS LEVEL  
ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

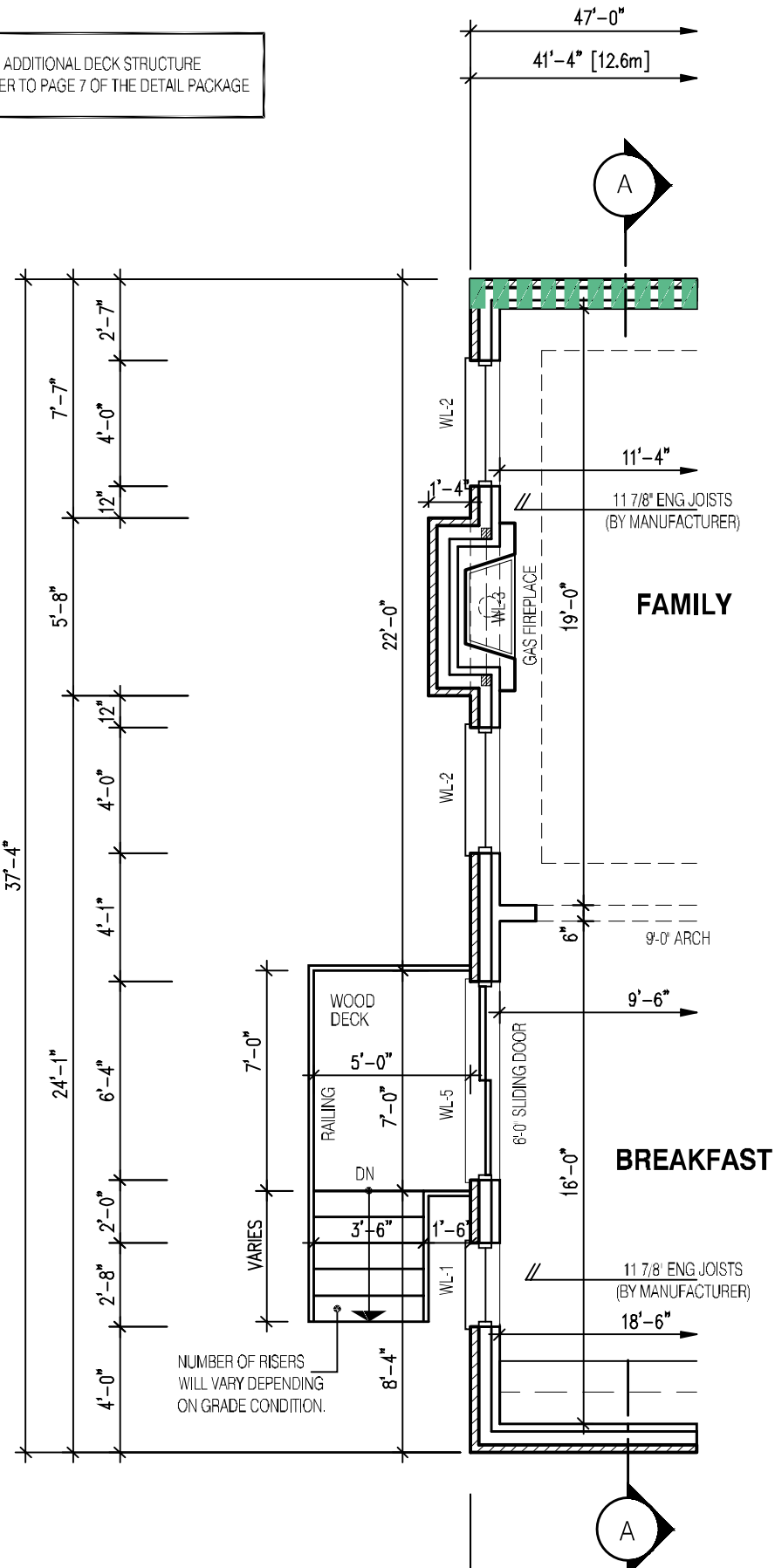
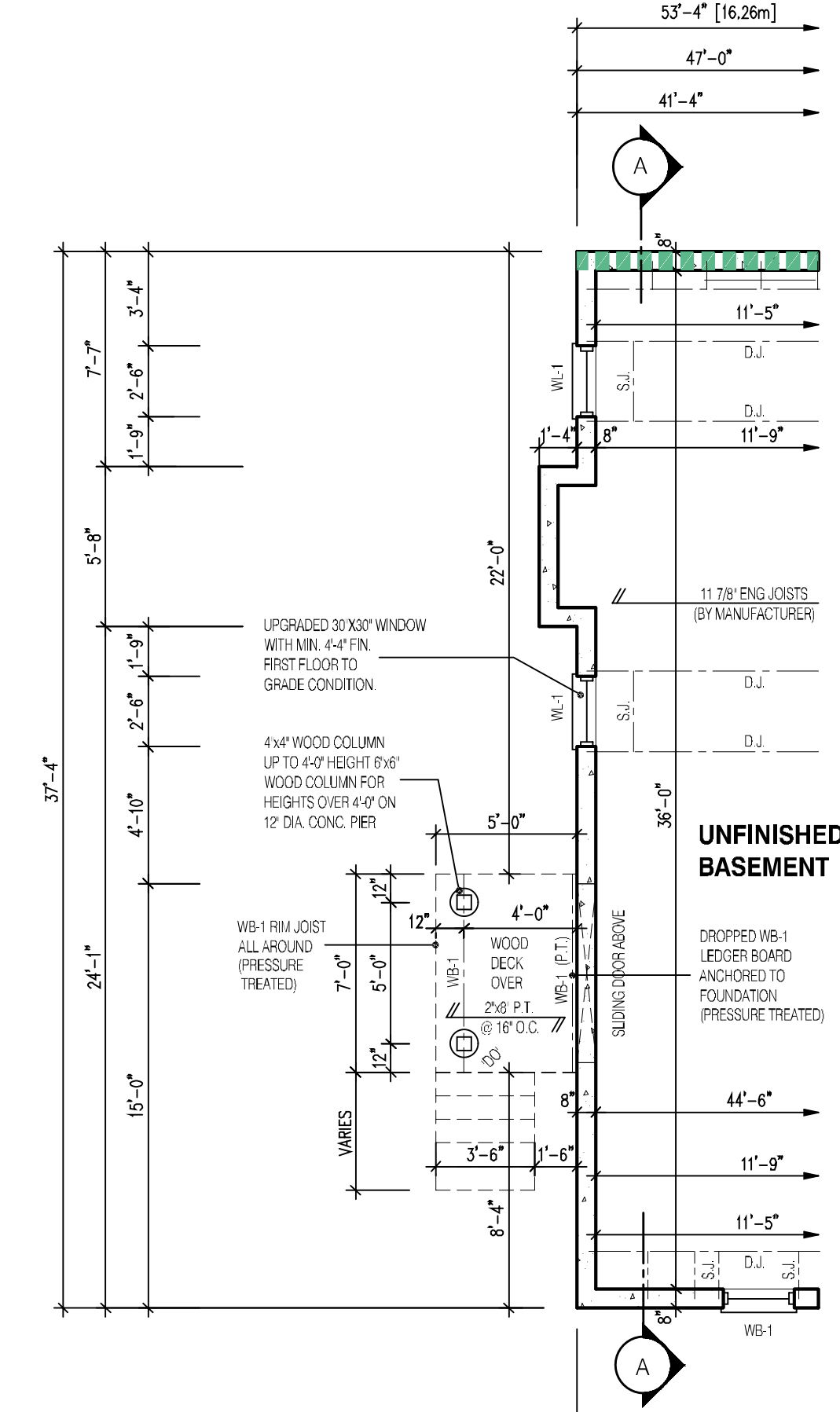
NOTE:  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:  
SUBFLOOR TO BE  
3/4" PLYWOOD ON  
THIS LEVEL  
ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

NOTE:  
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

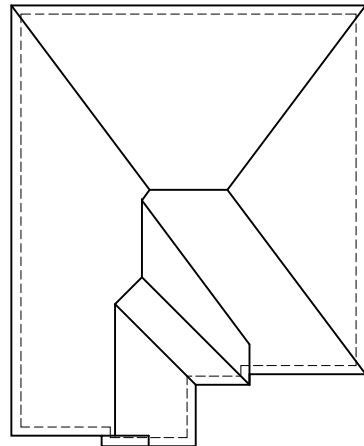
NOTE:  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.



NOTE:  
WHEN VENEER CUT IS GREATER THAN  
26" A 10" POURED CONC. FOUNDATION  
WALL IS REQUIRED. (FOUNDATION PLAN  
TO BE REVIEWED IN CONJUNCTION WITH  
SITE PLAN)



KIMBERLY 2  
FRONT ELEV. 1



ROOF PLAN  
N.T.S.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham, Ontario, and the Architectural Control Review and Approval.

APPROVED BY:   
DATE: OCT 25, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE ARCHITECT'S ENGINEERING DRAWINGS SHALL BE MADE PRIOR TO ANY WORK.

AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN, ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

FRONT ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 4

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

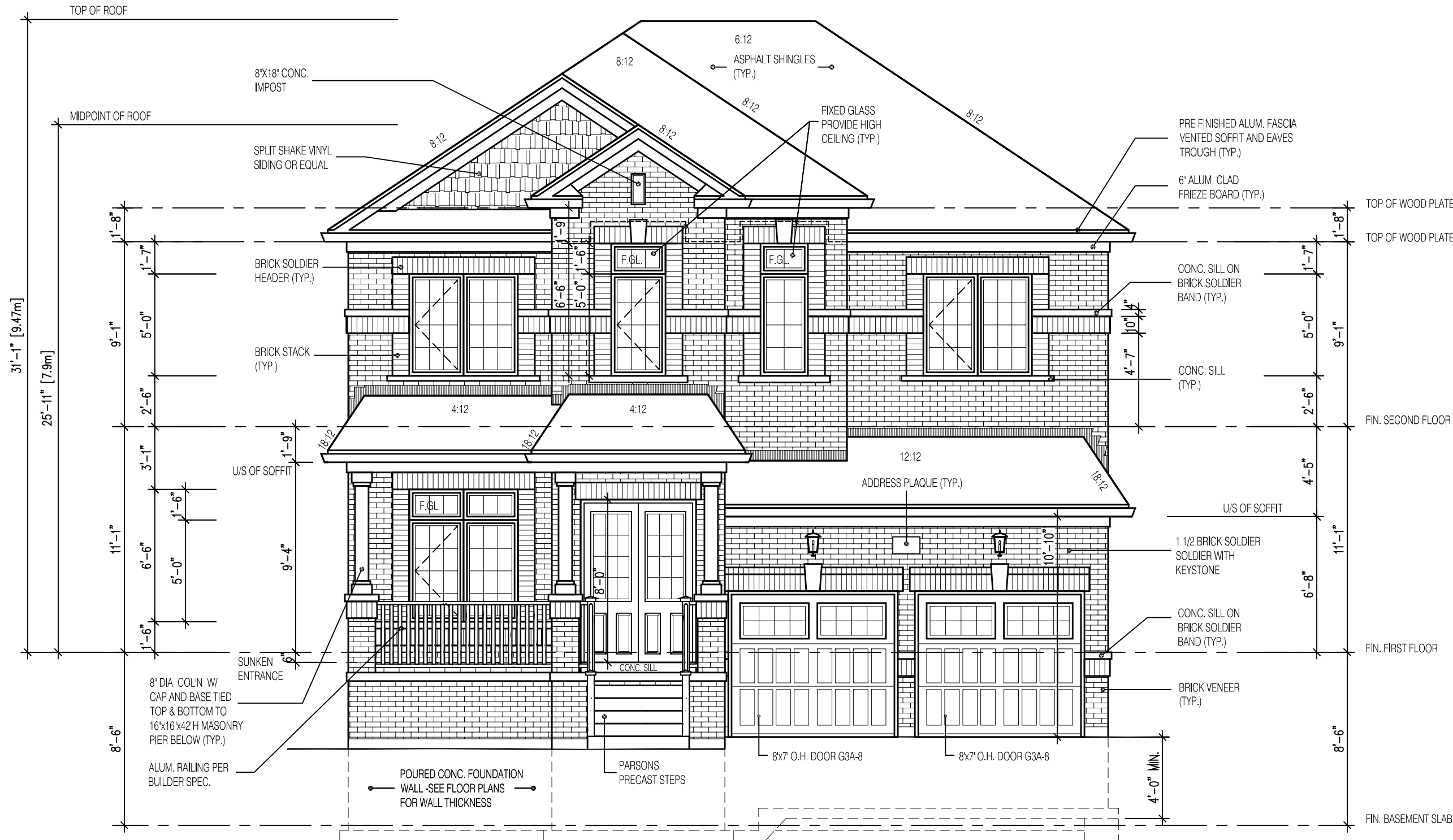


Date: 02/05/21  
**ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE**

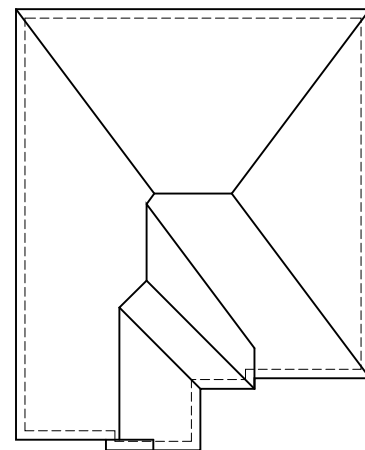
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**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE





KIMBERLY 2  
FRONT ELEV. 1  
(FOR LOT 66)




ROOF PLAN  
N.T.S.

KIMBERLY 2 ELEV.-1 (FOR LOT 66) ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	928.00	138.00	14.87 %
LEFT SIDE	1043.00	52.00	4.99 %
RIGHT SIDE	1056.00	0.00	0.00 %
REAR	828.00	166.00	20.05 %
TOTAL	3855.00	356.00	9.23 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

APPROVED BY:   
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853
13.3m LOTS
KIMBERLY 2 (GR) ELEVATION 1
A1 PACKAGE
O.REG. 332/12
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.
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2 OCT 26, 2020 ADDED DRAWING TO SET; ISSUED TO CLIENT
1 JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No: DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.3 of the building code
Walter Botter  21031 NAME SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code jardin design group inc. 27763 FIRM NAME BCIN
FRONT ELEVATION-1
LAMPONE INVESTMENTS INC. CITY OF MARKHAM
MODEL: T SCALE: 3/16"=1'-0" PROJ. No. 20-03 DWG. No. 4-1

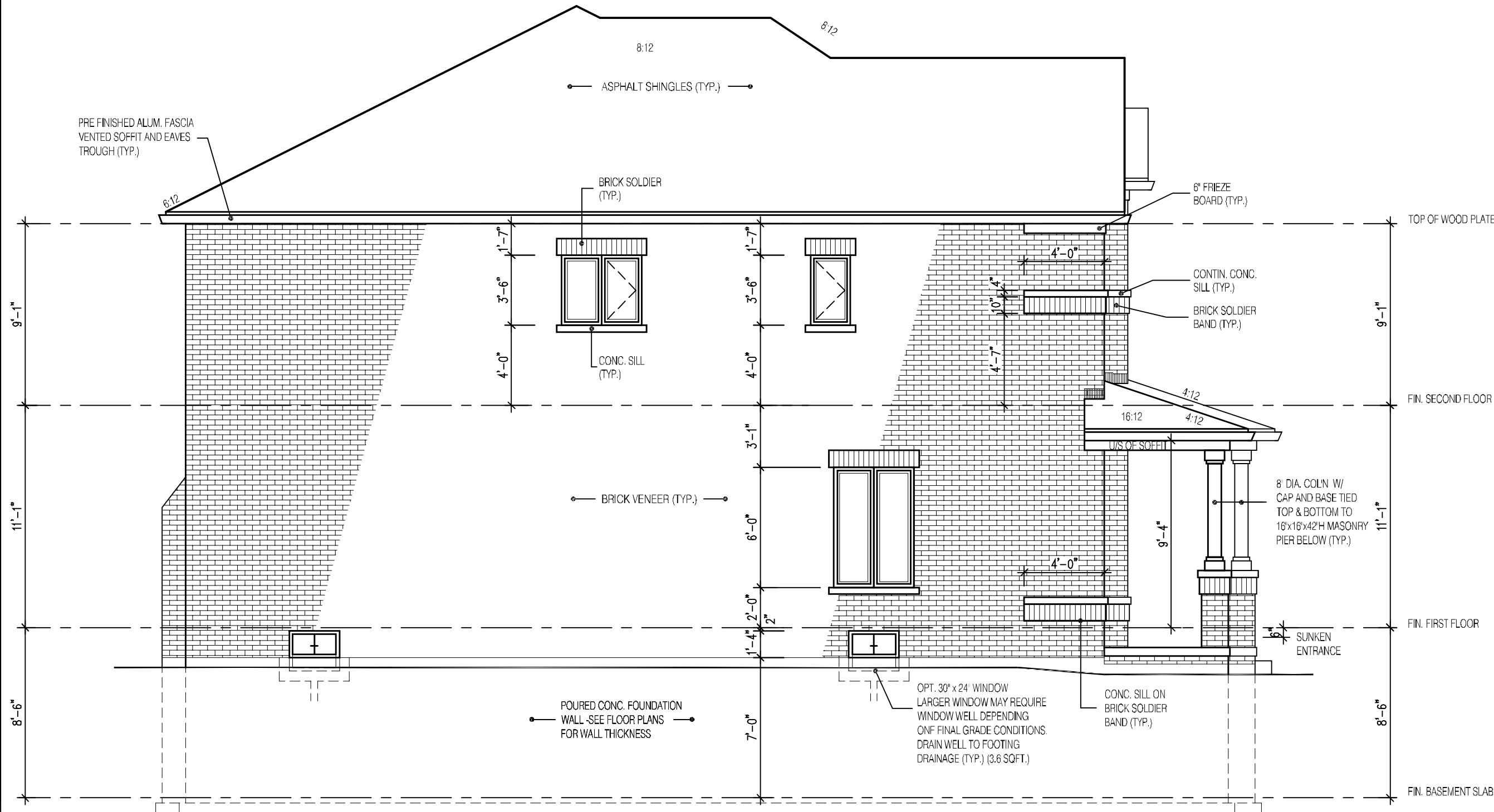


Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE

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SIDE ELEVATION 1

UNPROTECTED OPENINGS

WALL AREA	1017	⌘
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	71.19	⌘
ACTUAL WINDOW AREA	51.67	⌘

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APPROVED BY:   
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter  21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

SIDE ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

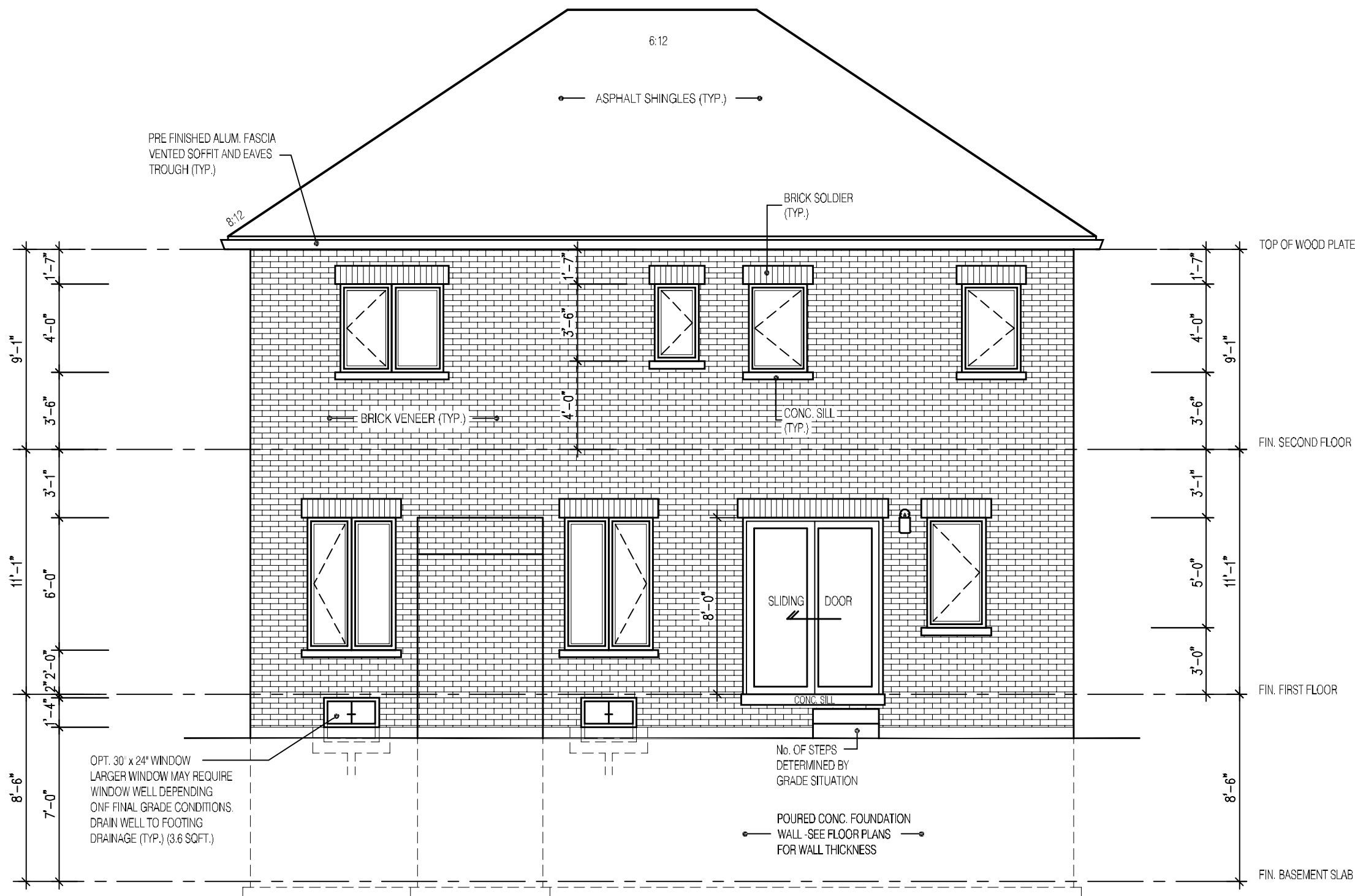
 MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 5

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21  
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REAR ELEVATION 1

2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.  
**Walter Botter** 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.  
**jardin design group inc.** 27763  
FIRM NAME BCIN

REAR ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6

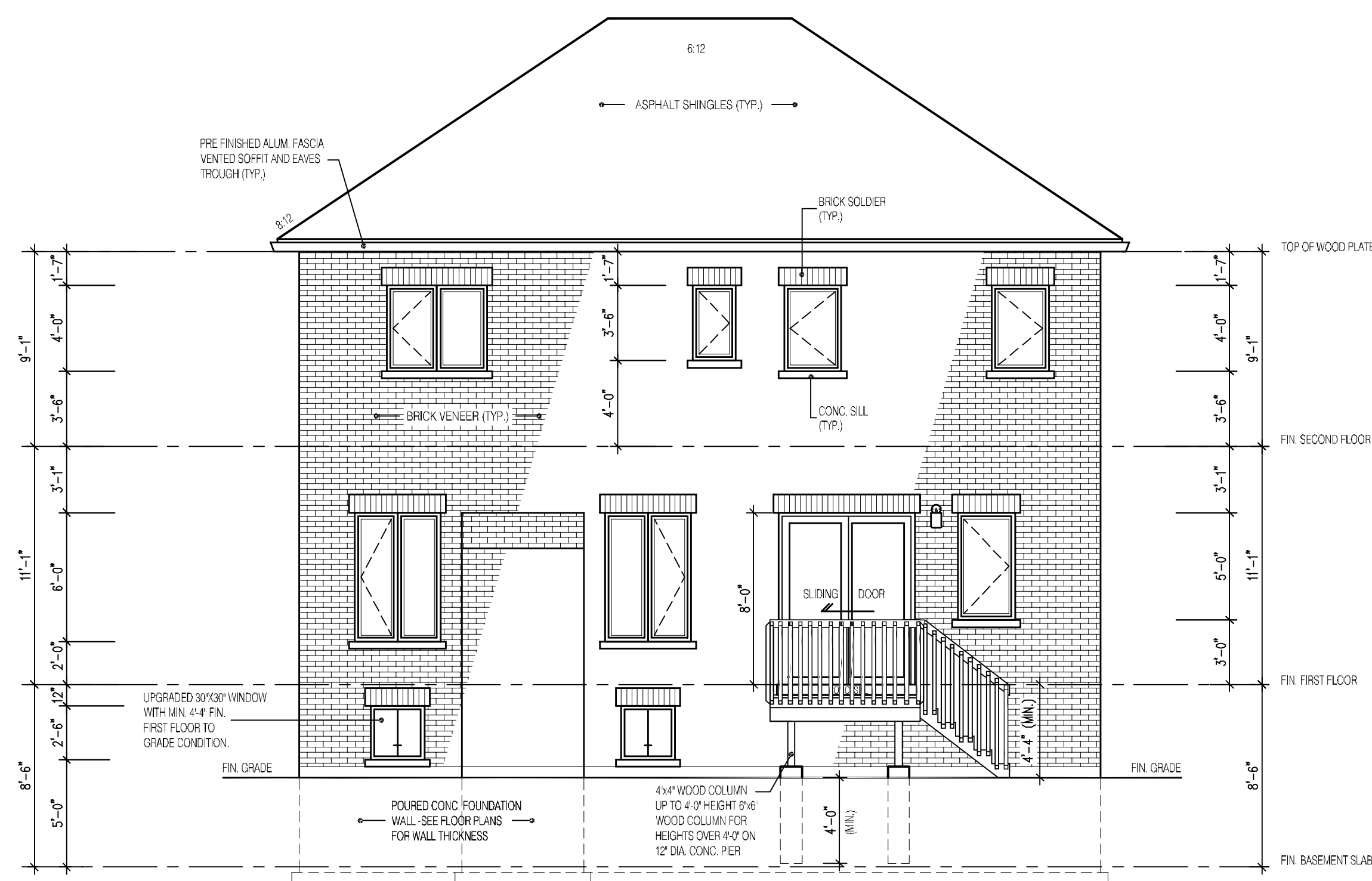
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This is to certify that these plans comply with the applicable Architectural Design Guidelines and the City of Markham Architectural Control Review and Approval.  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21  
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**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



REAR ELEVATION 1  
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

**NOTE:**  
**WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.**  
**(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)**

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This is to certify that these plans comply with the applicable Architectural Design Guidelines and the City of Markham Architectural Control Review and Approval.

APPROVED BY: *[Signature]*  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *[Signature]* 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

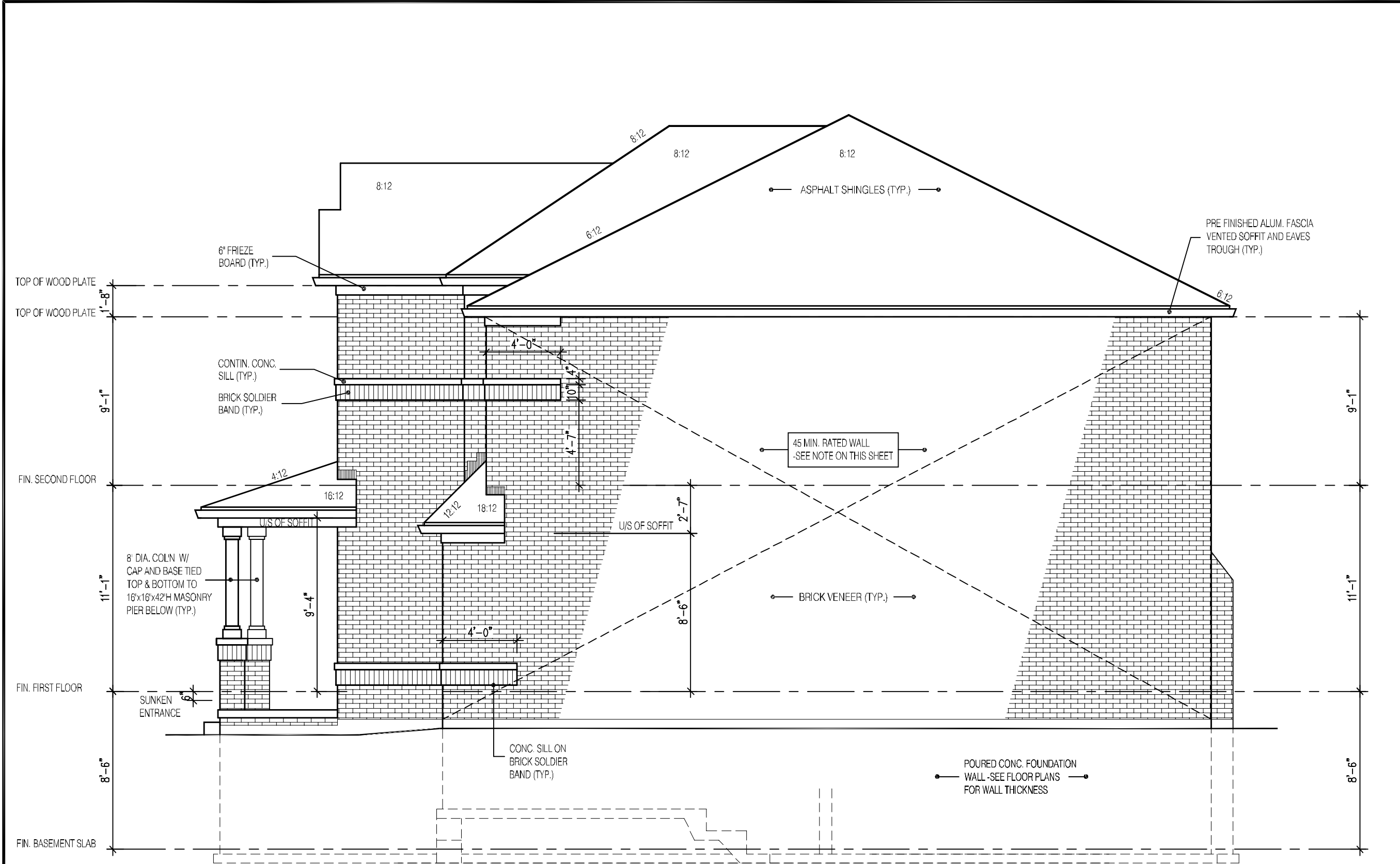
BILD

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6-1

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/05/21  
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SIDE ELEVATION 1

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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DATE: OCT 29, 2020  
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2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No.	DATE:	WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter [Signature] 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

SIDE ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 7

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

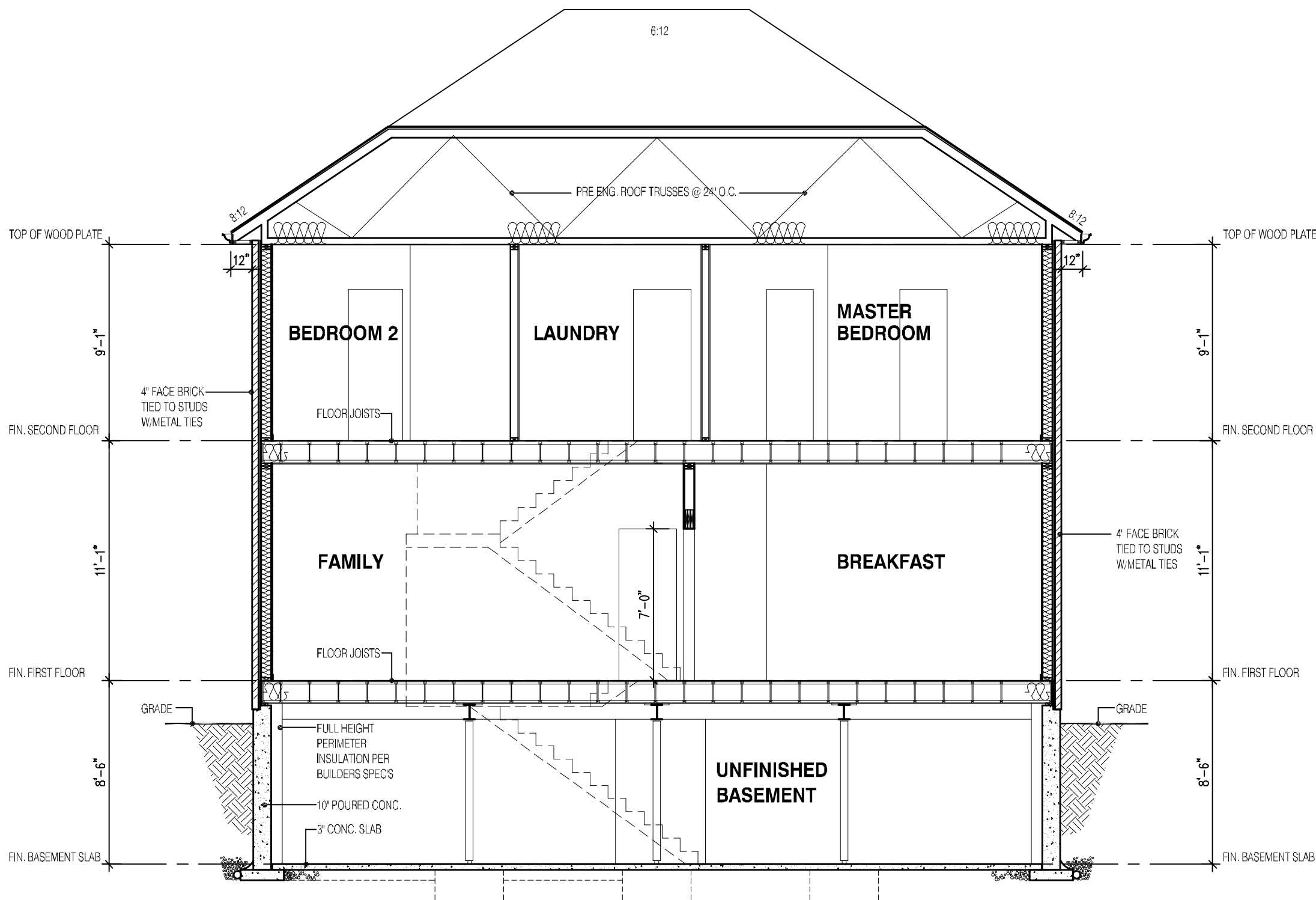


Date: 02/05/21

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SECTION ELEVATION 1

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2853  
13.3m LOTS  
KIMBERLY 2 (GR)  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
21/07/2020  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

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jardin design group inc. 27763  
FIRM NAME BCIN

SECTION ELEV.-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

 MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 8

CITY OF **MARKHAM**  
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