

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL  
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL  
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS  
OR  
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE :  
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa  
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL  
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x18" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x18" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD  
F2 = 38"x38"x16" CONCRETE PAD  
F3 = 32"x32"x14" CONCRETE PAD  
F4 = 26"x26"x12" CONCRETE PAD  
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) - 2-2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x6) - 2-2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) - 2-2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) - 2-2" x 12" SPR.  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) - 3-2" x 10" SPR.  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM  
WB2 = 3-2" x 8" SPRUCE BEAM  
WB3 = 2-2" x 10" SPRUCE BEAM  
WB4 = 3-2" x 10" SPRUCE BEAM  
WB5 = 2-2" x 12" SPRUCE BEAM  
WB6 = 3-2" x 12" SPRUCE BEAM  
WB7 = 5-2" x 12" SPRUCE BEAM  
WB10 = 4-2" x 8" SPRUCE BEAM  
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA = 1284 Sq. Ft.  
SECOND FLOOR AREA = 1637 Sq. Ft.

TOTAL FLOOR AREA = 2921 Sq. Ft.

ADD OPEN AREAS = 19 Sq. Ft.  
ADD FIN. BASEMENT AREA = 0 Sq. Ft.

GROSS FLOOR AREA = 2940 Sq. Ft.

GROUND FLOOR COVERAGE = 1284 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 39 Sq. Ft.

COVERAGE W/ PORCH = 1713 Sq. Ft.  
= 159.1 Sq. m.

COVERAGE W/O PORCH = 1674 Sq. Ft.  
= 155.5 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA = 1284 Sq. Ft.  
SECOND FLOOR AREA = 1637 Sq. Ft.

TOTAL FLOOR AREA = 2921 Sq. Ft.

ADD OPEN AREAS = 19 Sq. Ft.  
ADD FIN. BASEMENT AREA = 0 Sq. Ft.

GROSS FLOOR AREA = 2940 Sq. Ft.

GROUND FLOOR COVERAGE = 1284 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 39 Sq. Ft.

COVERAGE W/ PORCH = 1713 Sq. Ft.  
= 159.1 Sq. m.

COVERAGE W/O PORCH = 1674 Sq. Ft.  
= 155.5 Sq. m.

AREA CALCULATIONS EL-3

FIRST FLOOR AREA = 1284 Sq. Ft.  
SECOND FLOOR AREA = 1637 Sq. Ft.

TOTAL FLOOR AREA = 2921 Sq. Ft.

ADD OPEN AREAS = 19 Sq. Ft.  
ADD FIN. BASEMENT AREA = 0 Sq. Ft.

GROSS FLOOR AREA = 2940 Sq. Ft.

GROUND FLOOR COVERAGE = 1284 Sq. Ft.  
GARAGE COVERAGE / AREA = 390 Sq. Ft.  
PORCH COVERAGE / AREA = 45 Sq. Ft.

COVERAGE W/ PORCH = 1719 Sq. Ft.  
= 159.7 Sq. m.

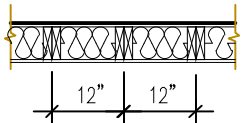
COVERAGE W/O PORCH = 1674 Sq. Ft.  
= 155.5 Sq. m.

KIMBERLY 5 ELEV.-1		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	859.00	159.00	18.51 %
LEFT SIDE	1108.00	27.00	2.44 %
RIGHT SIDE	1104.00	0.00	0.00 %
REAR	828.00	149.00	18.00 %
TOTAL	3899.00	335.00	8.59 %

KIMBERLY 5 ELEV.-2		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	863.00	150.00	17.38 %
LEFT SIDE	1094.00	27.00	2.47 %
RIGHT SIDE	1096.00	0.00	0.00 %
REAR	828.00	149.00	18.00 %
TOTAL	3881.00	326.00	8.40 %

KIMBERLY 5 ELEV.-3		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	865.00	171.00	19.77 %
LEFT SIDE	1100.00	27.00	2.45 %
RIGHT SIDE	1100.00	0.00	0.00 %
REAR	828.00	149.00	18.00 %
TOTAL	3893.00	347.00	8.91 %

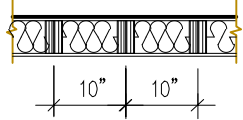
2-2"x8" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL  
DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED  
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT  
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.  
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

2940

13.3m LOTS

KIMBERLY 5 (GR)  
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OF CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REF: 10 TO THE APPROPRIATE BUILDING DEPARTMENT FOR MORE INFORMATION.  
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE RE-USED.

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter SIGNATURE 21031 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763 BCIN  
FIRM NAME

TITLE SHEET

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 0

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



Date: 02/05/21

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WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE

2940

13.3m LOTS

KIMBERLY 5 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REF: 1 TO THE APPLICABLE  
ENGINEERING DRAWINGS SET OF PROJECT AND ALL WORK  
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS  
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT  
TO BE REPRODUCED.

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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No.	DATE: WORK DESCRIPTION:

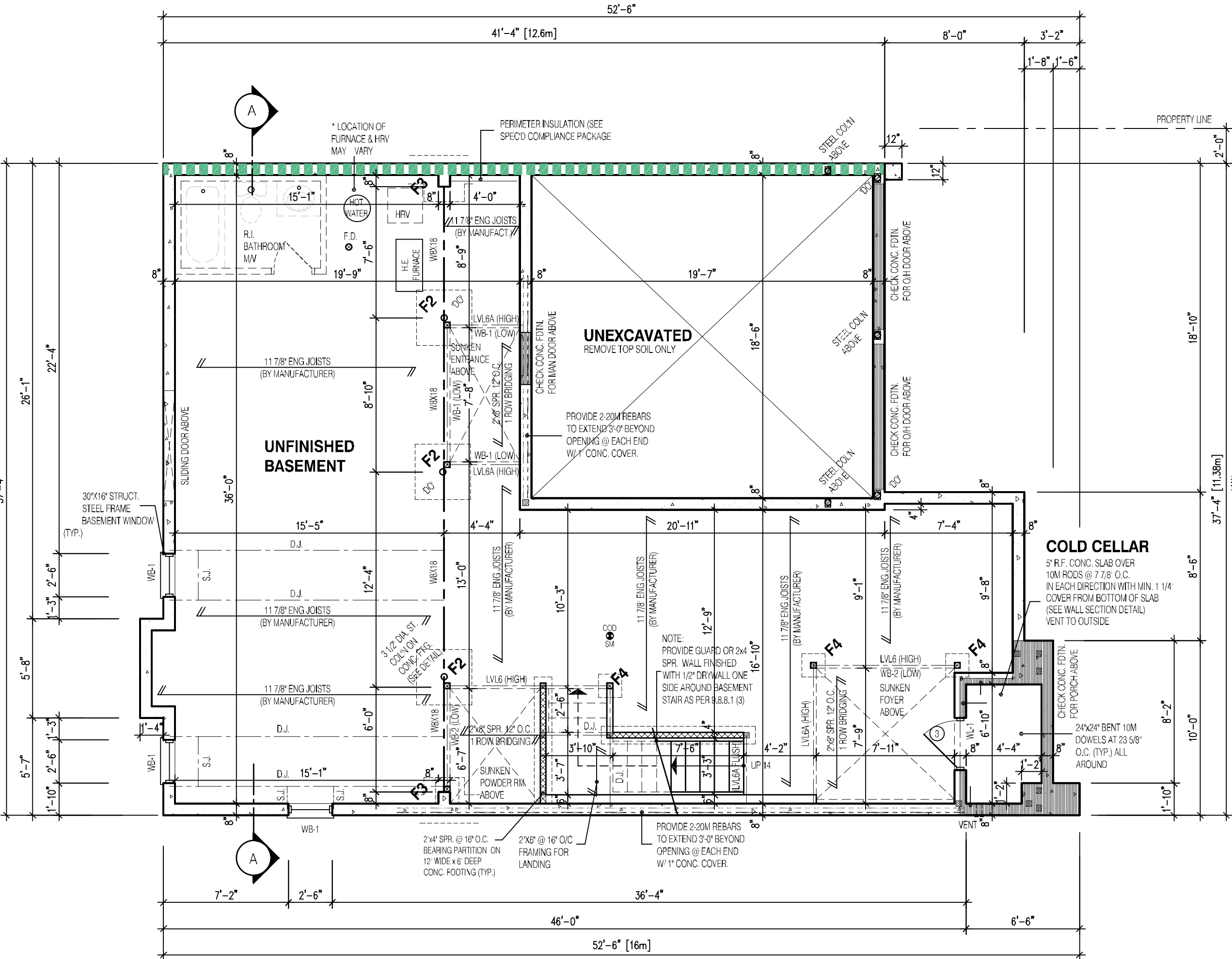
**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

BASEMENT PLAN EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 1B



**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
SUBFLOOR TO BE  
3/4\"/>

**LEGEND:**

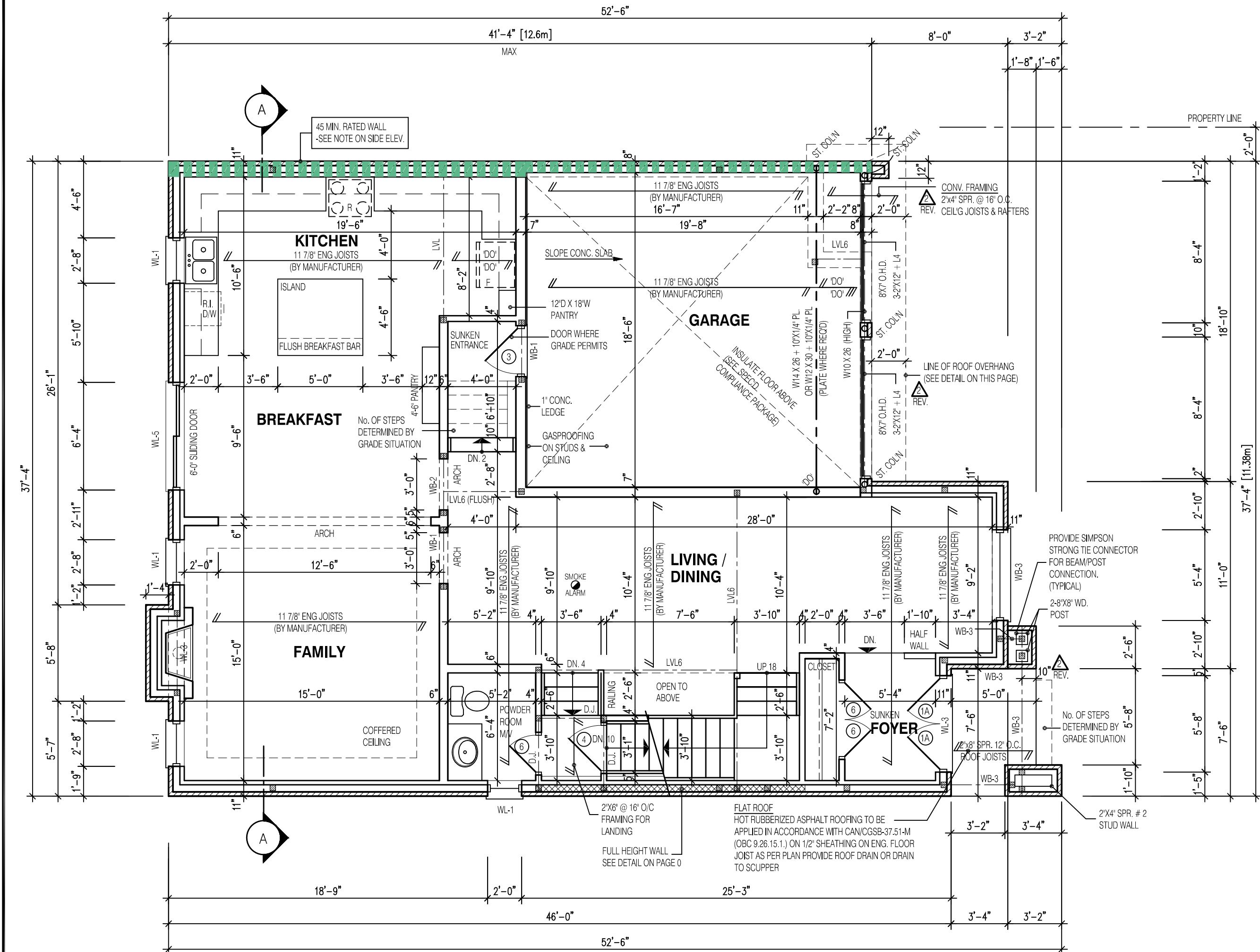
- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines and the Ontario Building Code  
and are approved for construction.

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.





2940

13.3m LOTS

KIMBERLY 5 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.

FOR STRUCTURE ONLY

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

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DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No.      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

21031

NAME      SIGNATURE      BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.      27763

FIRM NAME      BCIN

FIRST FLOOR PLAN EL-3

LAMPONE INVESTMENTS INC.

CITY OF MARKHAM

MODEL: T

SCALE: 3/16"=1'-0"

PROJ. No. 20-03

DWG. No. 2B

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/05/21  
**ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE**  
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.  
**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE

**NOTE:**  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**  
BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)  
INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE  
STL. PLATE FOR STEEL COL'N ABOVE  
LVL LAMINATED VENEER LUMBER  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
REPEAT NOTE  
SHOWER WEEPERS

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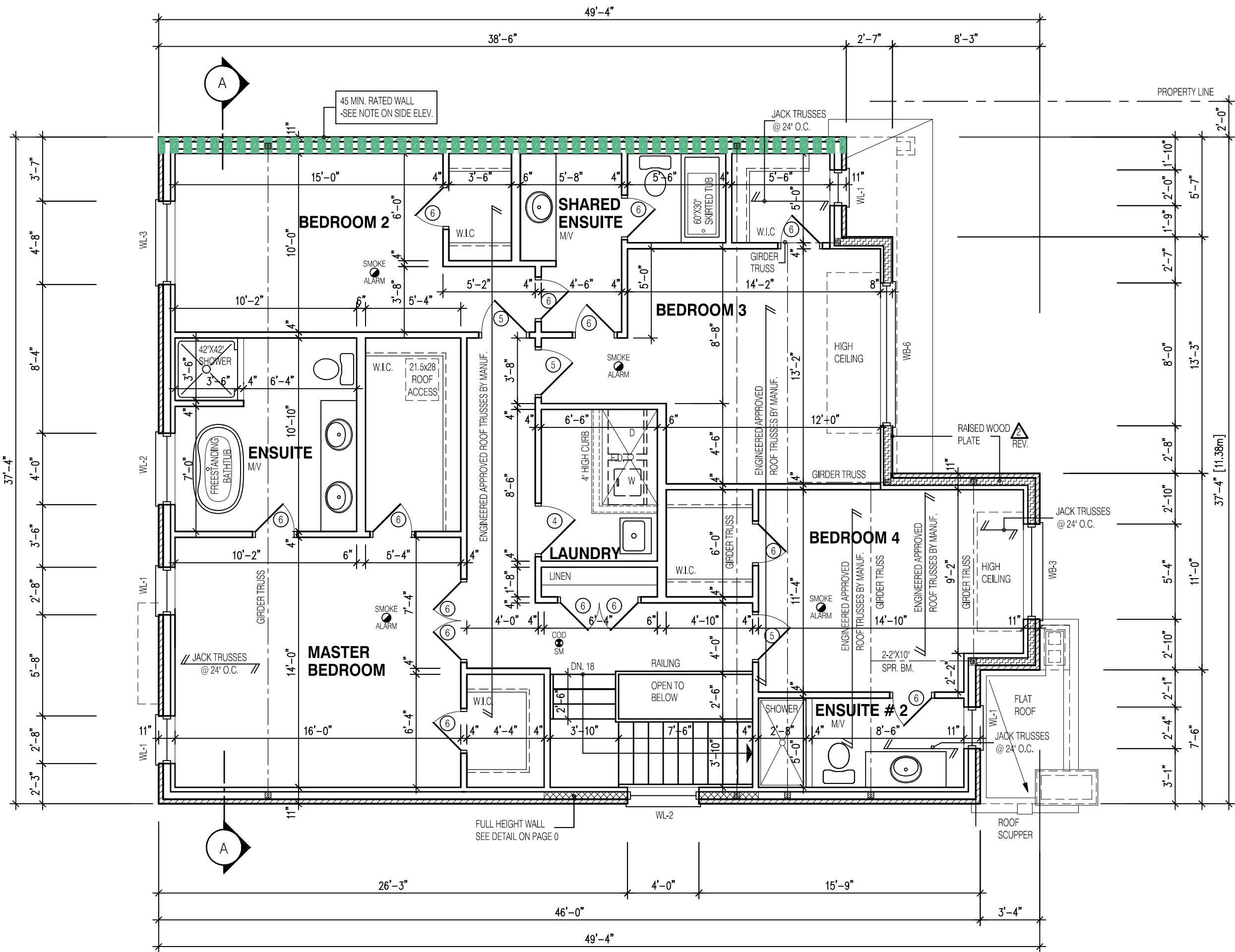
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

**NOTE:**  
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**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'



**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LAMINATED VENEER LUMBER
- SINGLE JOIST
- DOUBLE JOIST
- TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

**NOTE:**

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

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in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
MARKHAM.

2940

13.3m LOTS

KIMBERLY 5 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE  
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
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THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS  
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TO BE SCALED.

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DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
1 JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No:	DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

SEC. FLOOR PLAN EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



MODEL:  
T  
SCALE:  
3/16" = 1'-0"  
PROJ. No. 20-03 DWG. No. 3B





Date: 02/05/21  
**ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE**  
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR  
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE  
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE  
BUILDING CODE ACT AND THE BUILDING CODE.  
**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE

2940  
13.3m LOTS  
KIMBERLY 5 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
  
FOR STRUCTURE ONLY

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ISSUANCE OF A BUILDING PERMIT. REFERENCE TO THE APPLICABLE  
ENGINEERING DRAWINGS BY THE PROJECTING ARCHITECT WORK  
AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
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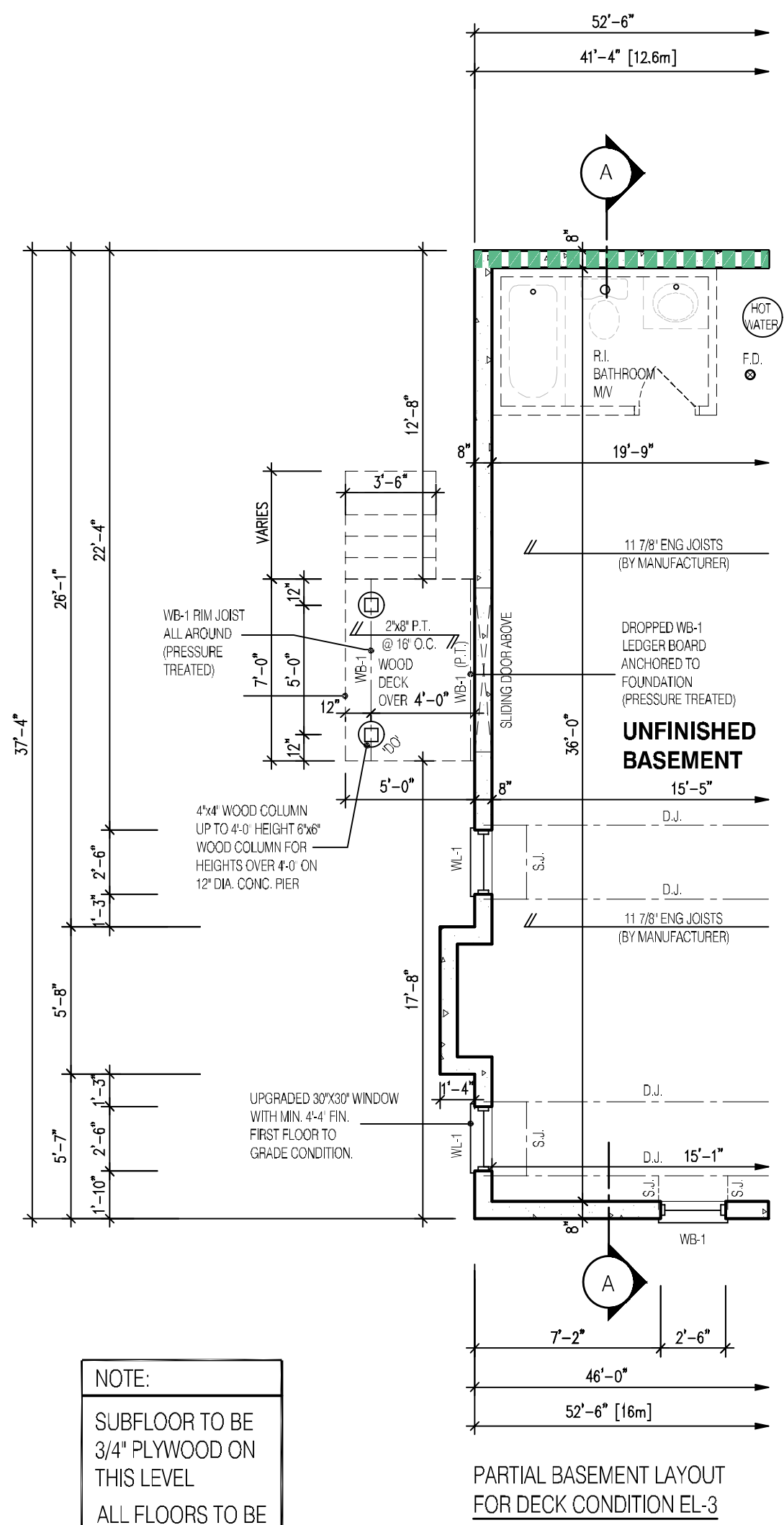
Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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3.2.4 of the building code

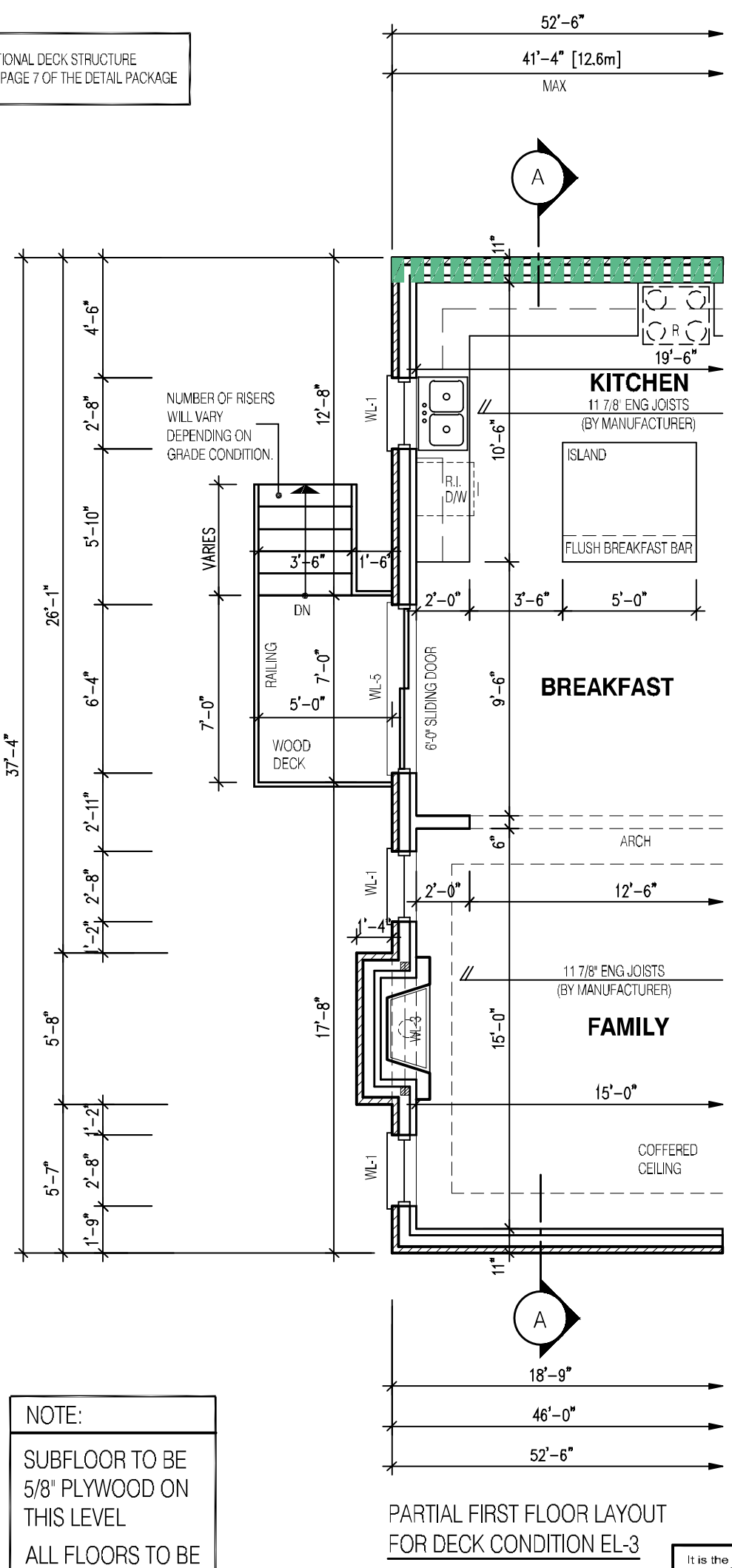
Jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 3B-1



FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE



**NOTE:**  
WHEN VENEER CUT IS GREATER THAN  
26" A 10" POURED CONC. FOUNDATION  
WALL IS REQUIRED. (FOUNDATION PLAN  
TO BE REVIEWED IN CONJUNCTION WITH  
SITE PLAN)

**NOTE:**  
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER .

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
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FLOOR TRUSS LAYOUT BY MANUFACTURER .

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- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
  - INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
  - STL. PLATE FOR STEEL COLN ABOVE
  - LVL LAMINATED VENEER LUMBER
  - S.J. SINGLE JOIST
  - D.J. DOUBLE JOIST
  - T.J. TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS

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house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines and the Ontario Building Code  
of MARKHAM.

APPROVED BY:   
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

Date: 02/05/21

ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE

2940

13.3m LOTS


KIMBERLY 5-117(GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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1	OCT. 8, 2020

No:

DATE:

WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763


FIRM NAME

BCIN

PARTIAL WALK-UP EL-3

LAMPONE INVESTMENTS INC.

CITY OF MARKHAM

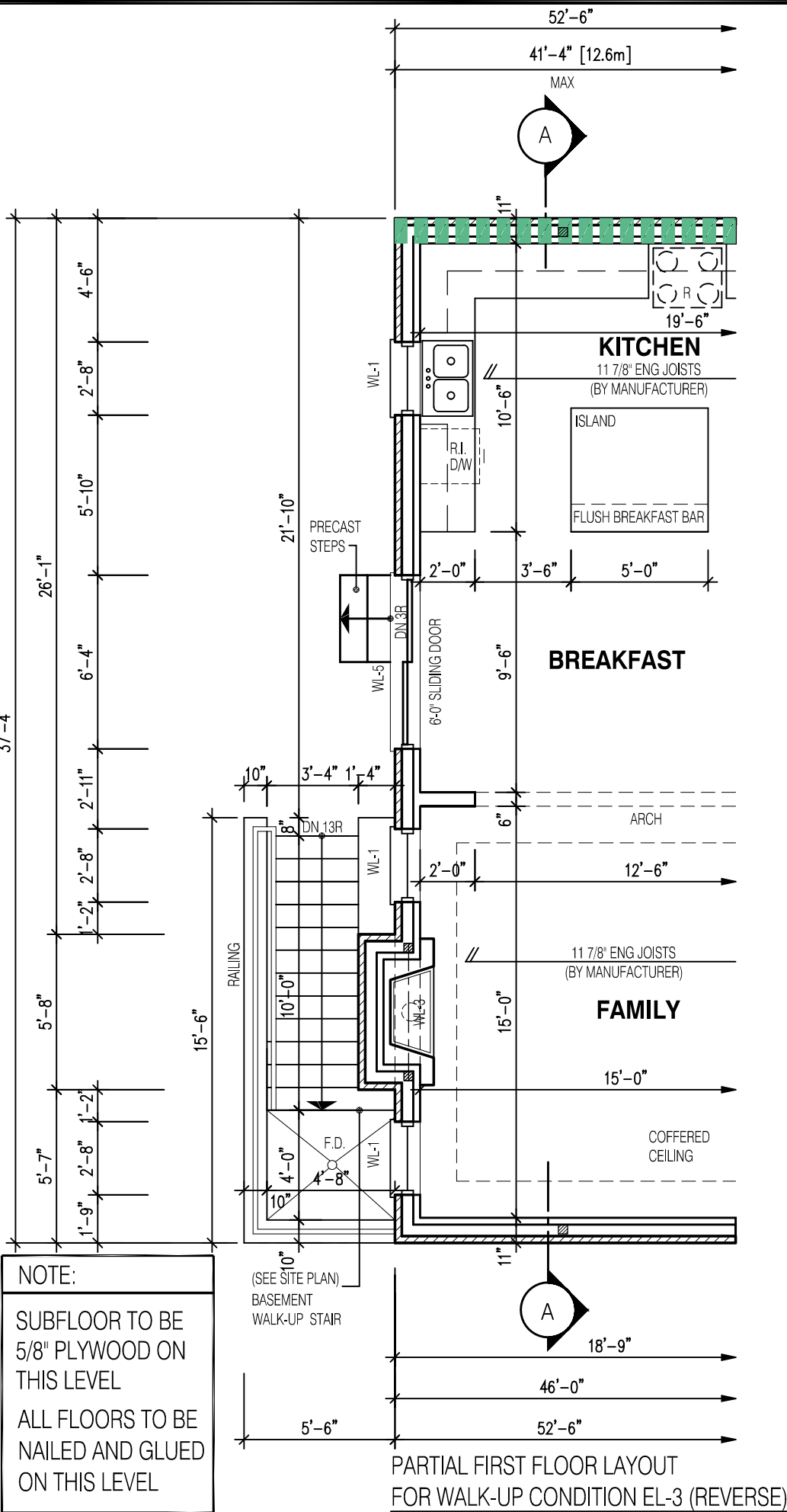
BILD

MODEL:  
T

SCALE:  
3/16"=1'-0"

PROJ. No.  
20-03

DWG. No.  
3B-2



NOTE:  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

NOTE:  
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:  
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NOTE:  
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.

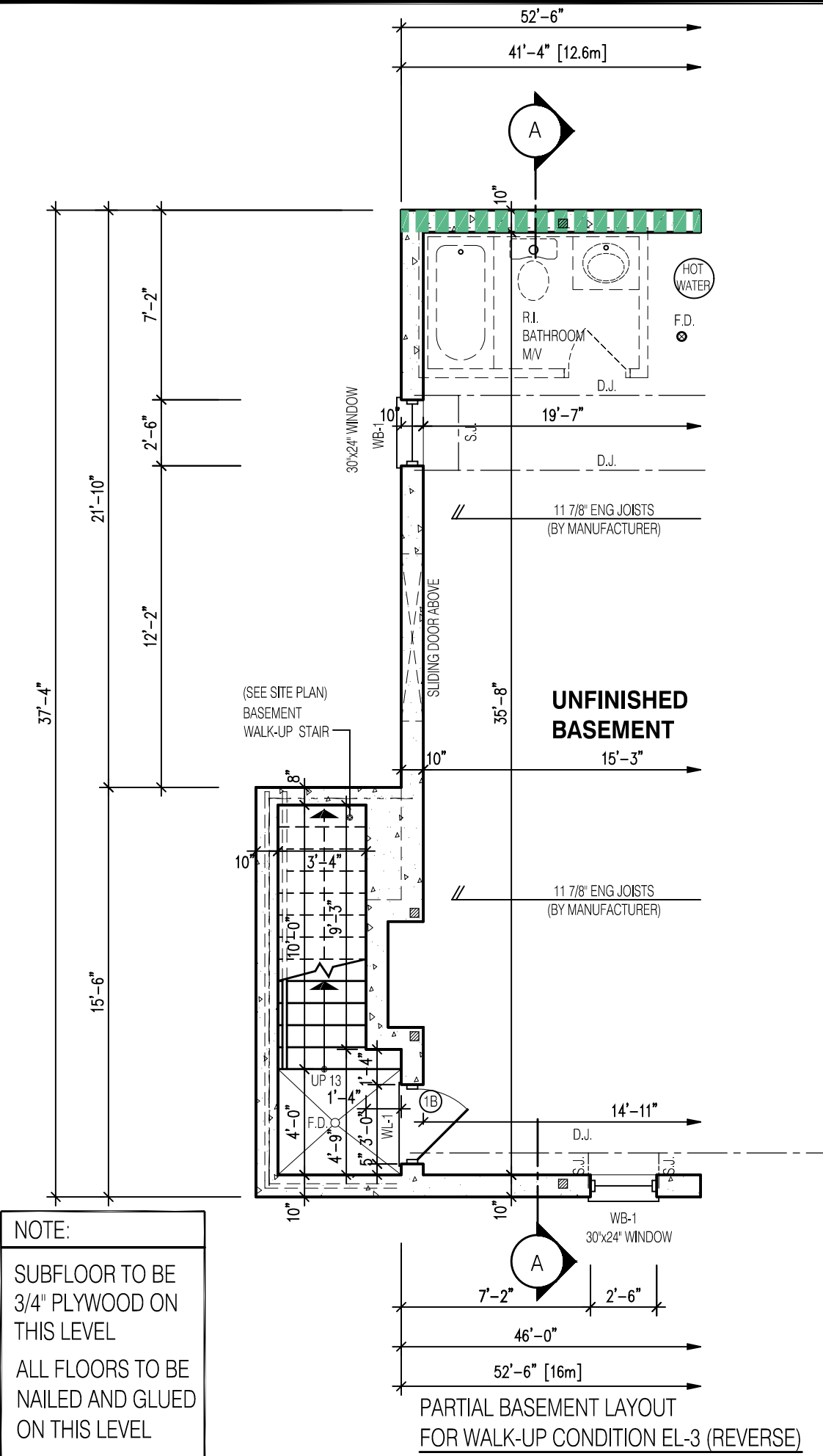
JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

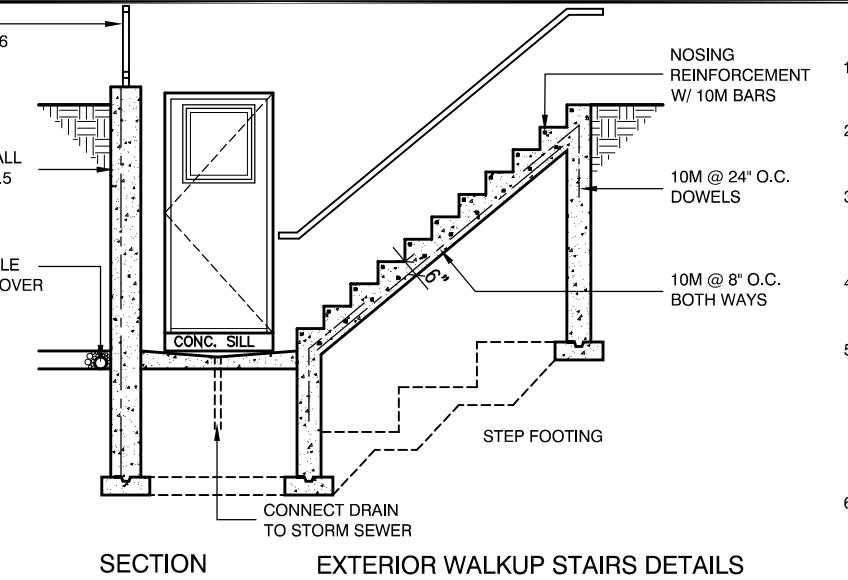
APPROVED BY: 

DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



NOTE:  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL



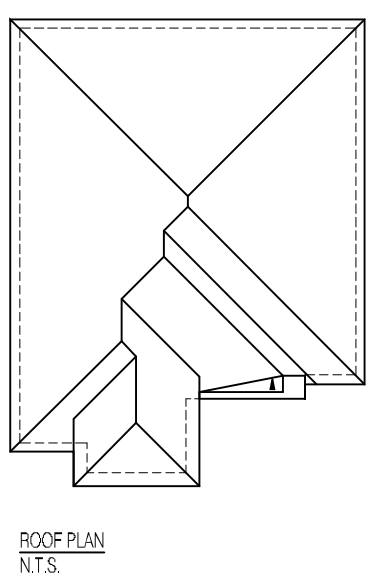
GENERAL NOTES:

- FOOTING  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL. CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
- EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
- INSULATION  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
- RETAINING WALL  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.
- GUARDS  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.





KIMBERLY 5  
FRONT ELEV. 3



2940  
13.3m LOTS  
KIMBERLY 5 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12



Date: 02/05/21  
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

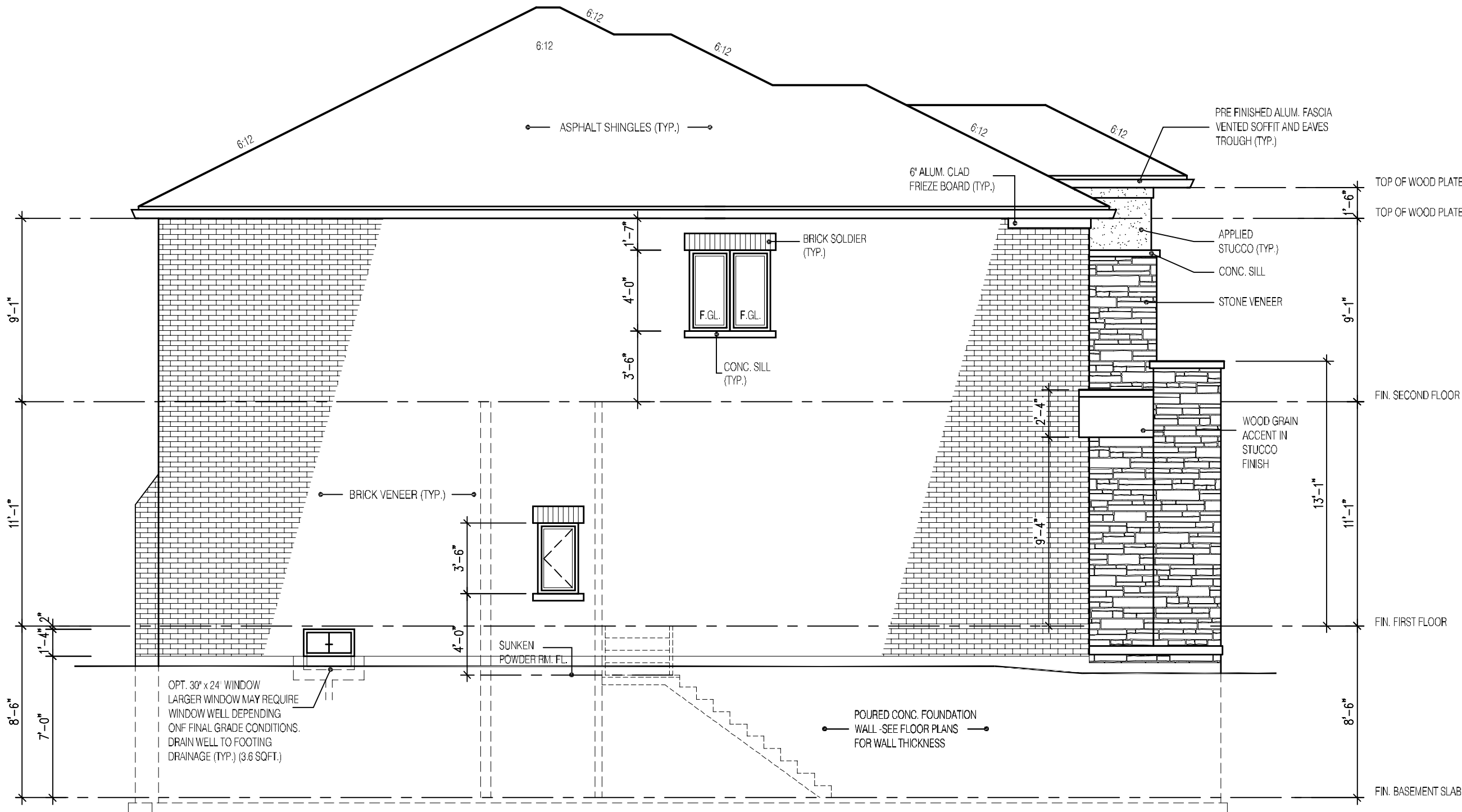
Walter Botter 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

FRONT ELEVATION-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 4B

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house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines and the requirements of the City of  
Markham.  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.



SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1100	Φ
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	77.0	Φ
ACTUAL WINDOW AREA	27.0	Φ

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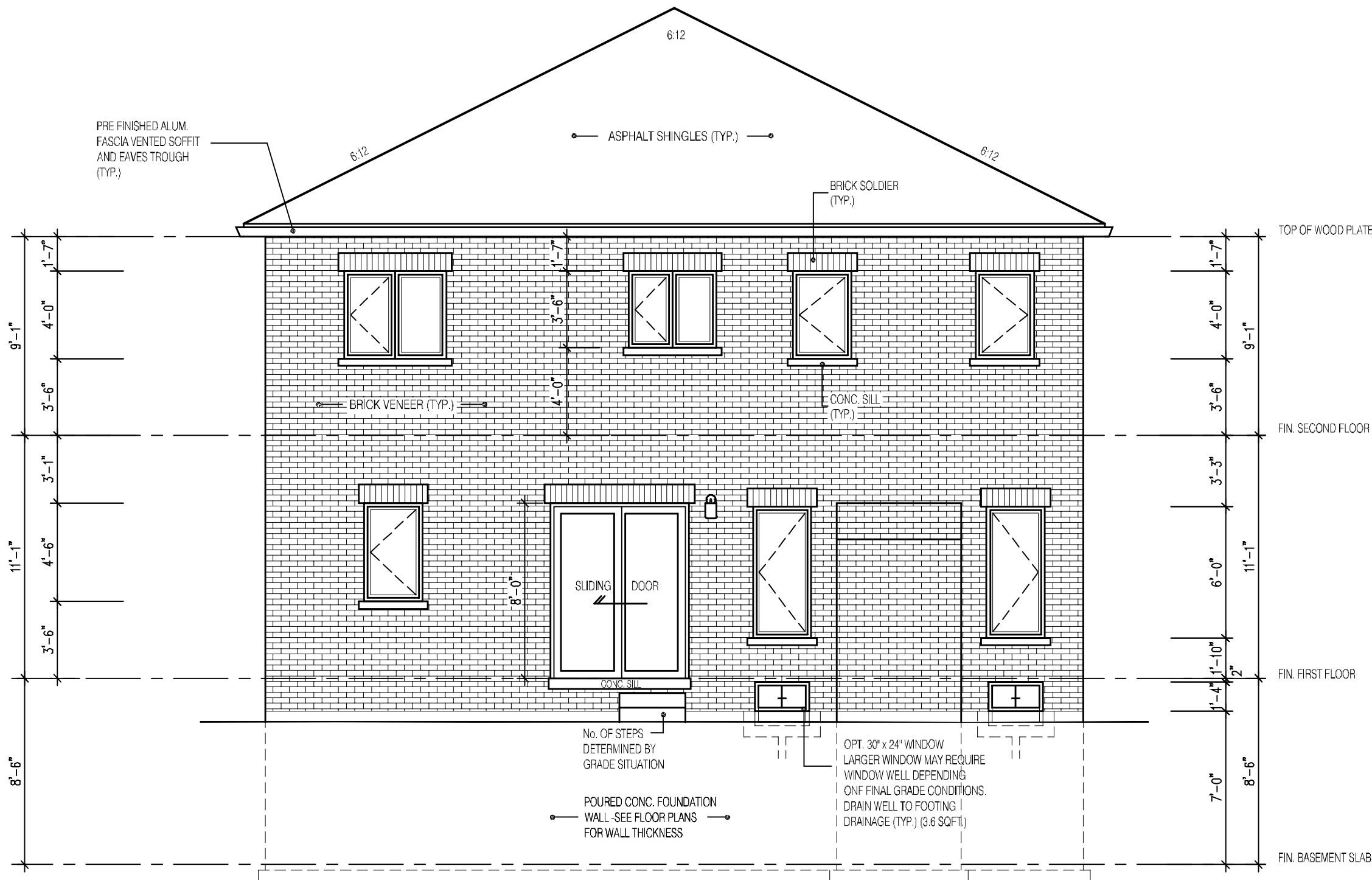
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2940	
13.3m LOTS	
KIMBERLY 5 (GR)	
ELEVATION 3	
A1 PACKAGE	
O.REG. 332/12	
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No.	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code. [Signature] 21031	
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code. [Signature] 27763	
FIRM NAME	BCIN
SIDE ELEVATION-3	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL:	T
SCALE:	3/16"=1'-0"
PROJ. No.	20-03
DWG. No.	5B



Date: 02/05/21  
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REAR ELEVATION 3

2940  
13.3m LOTS  
KIMBERLY 5 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT

No:      DATE:      WORK DESCRIPTION:

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VAUGHAN, ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
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*Walter Botter* 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
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**jardin design group inc.** 27763  
FIRM NAME BCIN

REAR ELEVATION-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6B

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This is to certify that these plans comply with the applicable Architectural Design Guidelines and the City of Markham.

APPROVED BY: *[Signature]*  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



Date: 02/05/21  
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**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE.



Date: 02/05/21  
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SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE

2940  
13.3m LOTS  
KIMBERLY 5 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
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INC. PRIOR TO COMMENCEMENT OF WORK.  
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OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REF: TO THE APPLICABLE  
ENGINEERING DRAWINGS AND SPECIFICATIONS AND WORK  
AS CONSTRUCTED INHERENTLY MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO  
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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT

No. DATE: WORK DESCRIPTION:

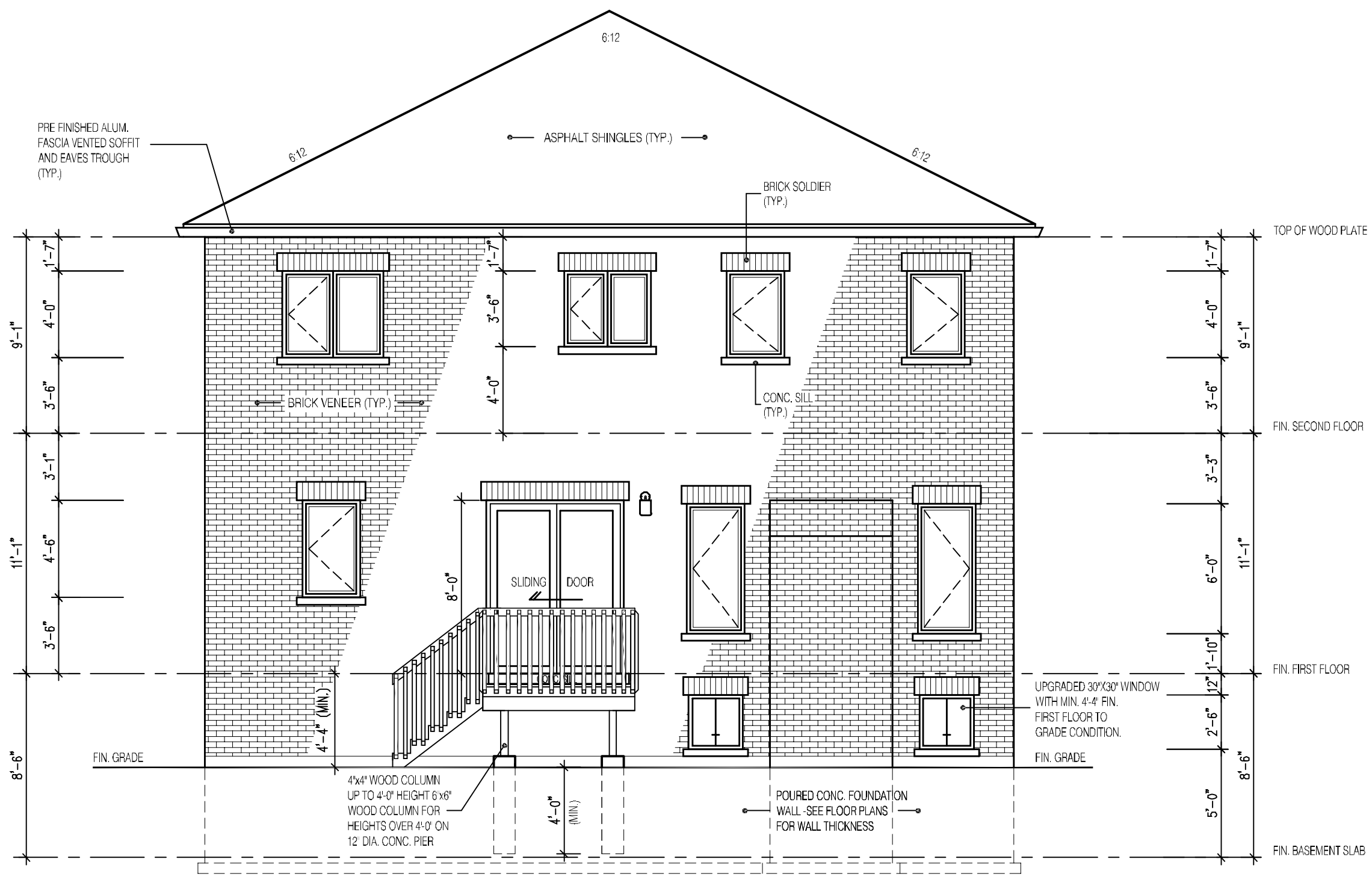
**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: ---  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6B-1



**REAR ELEVATION 3  
DECK CONDITION**

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

**NOTE:**  
**WHEN VENEER CUT IS GREATER THAN  
26" A 10" POURED CONC. FOUNDATION  
WALL IS REQUIRED.  
(FOUNDATION PLAN TO BE REVIEWED  
IN CONJUNCTION WITH SITE PLAN)**

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ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines and the Ontario Building Code of  
MARKHAM.  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.





KIMBERLY 5-117 ELEV.-3		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	865.00	171.00	19.77 %
LEFT SIDE	1100.00	27.00	2.45 %
RIGHT SIDE	1100.00	0.00	0.00 %
REAR	904.00	175.00	19.36 %
TOTAL	3969.00	373.00	9.40 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of BIRMINGHAM.

**WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

<b>2940</b>	
<b>13.3m LOTS</b>	
<b>KIMBERLY 5-117(GR)</b>	
<b>ELEVATION 3</b>	
<b>A1 PACKAGE</b>	
<b>O.REG. 332/12</b>	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.</p>	
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1	<div style="display: flex; justify-content: space-between;"> <div> <b>OCT. 8, 2020</b> </div> <div> <b>ADDED DRAWING TO SET ISSUED FOR BUILDING PERMIT</b> </div> </div>
<div style="display: flex; justify-content: space-between;"> <div> <b>No:      DATE:</b> </div> <div> <b>WORK DESCRIPTION:</b> </div> </div>	
<p><b>JARDIN DESIGN GROUP INC</b></p> <p>64 JARDIN DR, SUITE 3A VAUGHAN ONT, L4K 3P3</p> <p>TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: <a href="mailto:info@jardindesign.ca">info@jardindesign.ca</a></p>	
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</p> <p style="text-align: center;">QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code</p>	
<div style="display: flex; justify-content: space-between;"> <div> <b>Walter Botter</b>  NAME </div> <div style="text-align: center;">   SIGNATURE </div> <div style="text-align: right;"> <b>21031</b>  BCIN </div> </div>	
<p style="text-align: center;">REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code</p>	
<div style="display: flex; justify-content: space-between;"> <div> <b>jardin design group inc.</b>  FIRM NAME </div> <div style="text-align: right;"> <b>27763</b>  BCIN </div> </div>	
<b>REAR WALK-UP EL-3</b>	
<b>LAMPONE INVESTMENTS INC.</b>	
<b>CITY OF MARKHAM</b>	
<p><b>BILD</b></p>	<div style="display: flex; justify-content: space-between;"> <div> MODEL: T SCALE: 3/16" = 1'-0" </div> <div>----</div> </div> <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div> PROJ. No. 20-03 </div> <div> DWG. No. 6B-2 </div> </div>

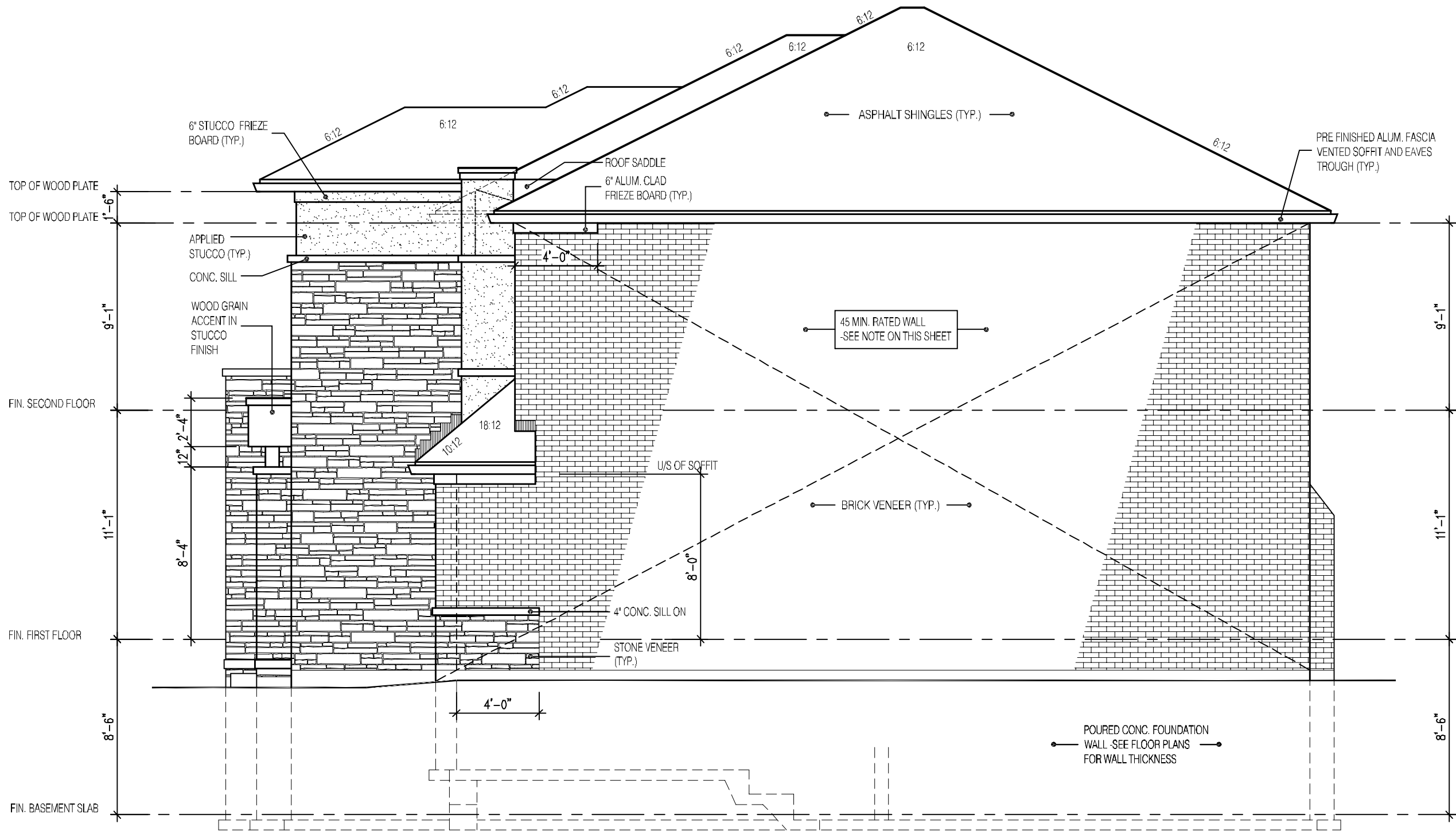


Date: 02/05/21

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SIDE ELEVATION 3

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
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2940  
13.3m LOTS  
KIMBERLY 5 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

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1	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
No.	DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter [Signature] 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

SIDE ELEVATION-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 7B

CITY OF MARKHAM

BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/05/21

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**2940**  
**13.3m LOTS**  
**KIMBERLY 5 (GR)**  
**ELEVATION 3**  
**A1 PACKAGE**  
**O.REG. 332/12**

STRUDET INC.  
  
FOR STRUCTURE ONLY

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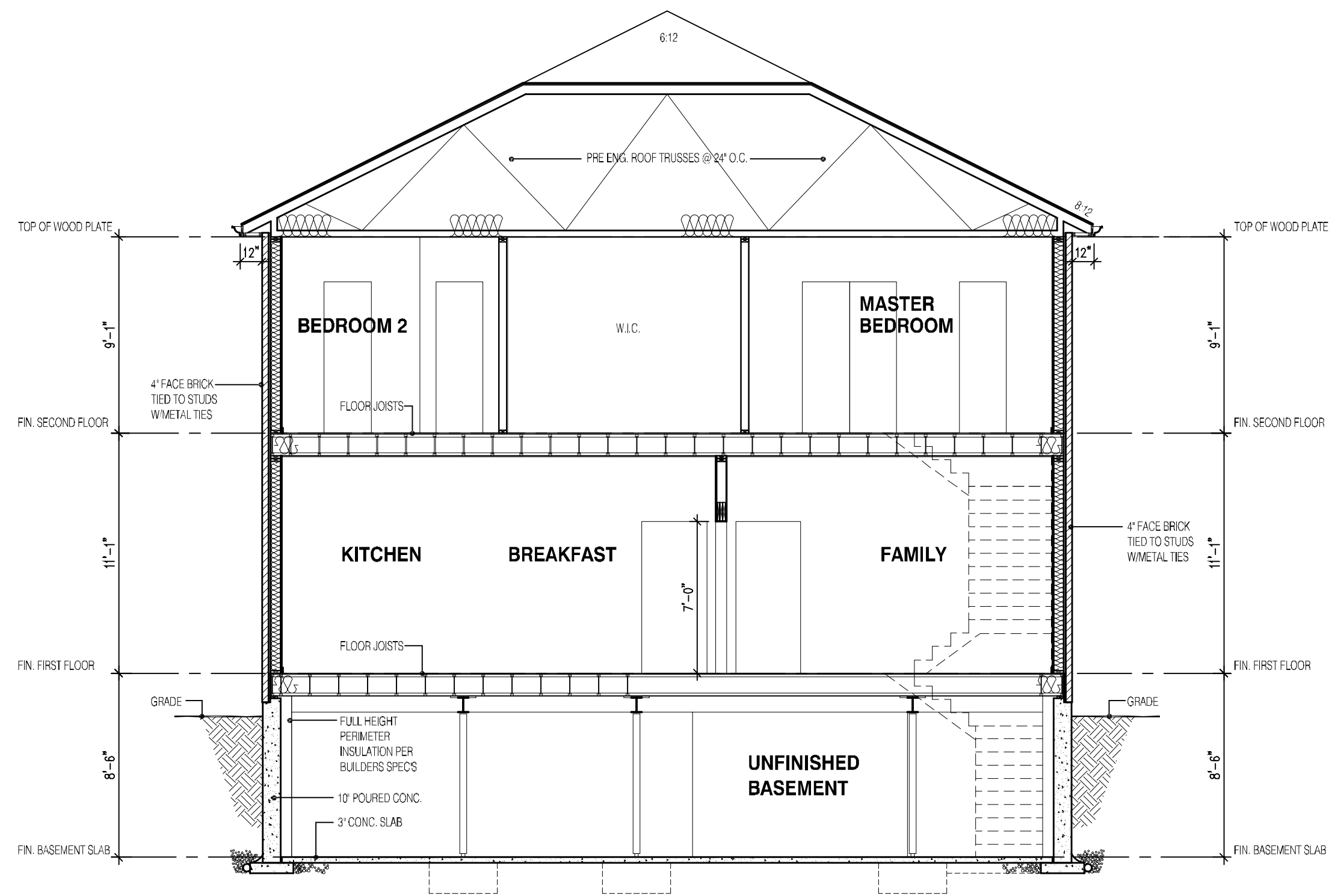
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1	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
No. DATE: WORK DESCRIPTION:		

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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3.2.5 of the building code  
  
NAME SIGNATURE 21031 BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

**SECTION ELEV.-3**  
**LAMPONE INVESTMENTS INC.**  
**CITY OF MARKHAM**

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 8B



**SECTION ELEVATION 3**