

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

100 KPa NATIVE SOIL  
22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS  
OR  
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

90 KPa ENGINEERED FILL SOIL  
24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

GENERAL NOTE :  
ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa  
FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL  
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 40"x46"x20" CONCRETE PAD  
F2 = 38"x38"x16" CONCRETE PAD  
F3 = 32"x32"x14" CONCRETE PAD  
F4 = 26"x26"x12" CONCRETE PAD  
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR.  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM  
WB2 = 3- 2" x 8" SPRUCE BEAM  
WB3 = 2- 2" x 10" SPRUCE BEAM  
WB4 = 3- 2" x 10" SPRUCE BEAM  
WB5 = 2- 2" x 12" SPRUCE BEAM  
WB6 = 3- 2" x 12" SPRUCE BEAM  
WB7 = 5- 2" x 12" SPRUCE BEAM  
WB10 = 4- 2" x 8" SPRUCE BEAM  
WB11 = 4- 2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

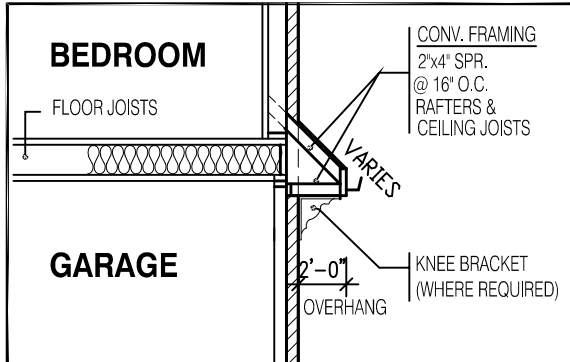
LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8" TO 9" CEILINGS	HEIGHT 10" OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

Certified Model reviewed and approved based on footing design for 120 kPa native soil.  
Where site conditions differ, a lot-specific revision application is required to be submitted and approved prior to pouring of footings.

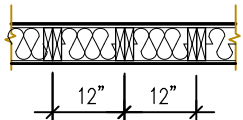


CANOPY DETAIL AT GARAGE

N.T.S.



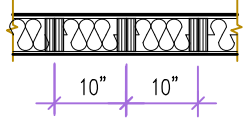
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

AREA CALCULATIONS EL-1 (LEFT)

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1057 Sq. Ft.
TOTAL FLOOR AREA	=	1926 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1937 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1153 Sq. Ft.
	=	107.12 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

AREA CALCULATIONS EL-2A

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1055 Sq. Ft.
TOTAL FLOOR AREA	=	1924 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1935 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1153 Sq. Ft.
	=	107.12 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

AREA CALCULATIONS EL-3 (LEFT)

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1055 Sq. Ft.
TOTAL FLOOR AREA	=	1924 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1935 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1127 Sq. Ft.
	=	104.70 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

AREA CALCULATIONS EL-1 (RIGHT)

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1057 Sq. Ft.
TOTAL FLOOR AREA	=	1926 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1937 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1153 Sq. Ft.
	=	107.12 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

AREA CALCULATIONS EL-2B

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1066 Sq. Ft.
TOTAL FLOOR AREA	=	1935 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1946 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1153 Sq. Ft.
	=	107.12 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

AREA CALCULATIONS EL-3 (RIGHT)

FIRST FLOOR AREA	=	869 Sq. Ft.
SECOND FLOOR AREA	=	1055 Sq. Ft.
TOTAL FLOOR AREA	=	1924 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1935 Sq. Ft.
GROUND FLOOR COVERAGE	=	869 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1127 Sq. Ft.
	=	104.70 Sq. m.
COVERAGE W/O PORCH	=	1080 Sq. Ft.
	=	100.33 Sq. m.

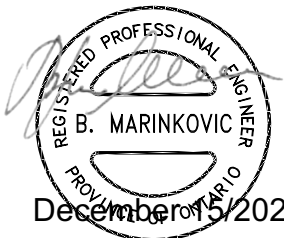
SEMI LOTS

PEYTON 2  
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4	DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020	ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter  21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code  
**jardin design group inc.** 27763  
FIRM NAME BCIN

TITLE SHEET

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



MODEL:	T	---
SCALE:	3/16"=1'-0"	
PROJ. No.	20-03	DWG. No.
		0



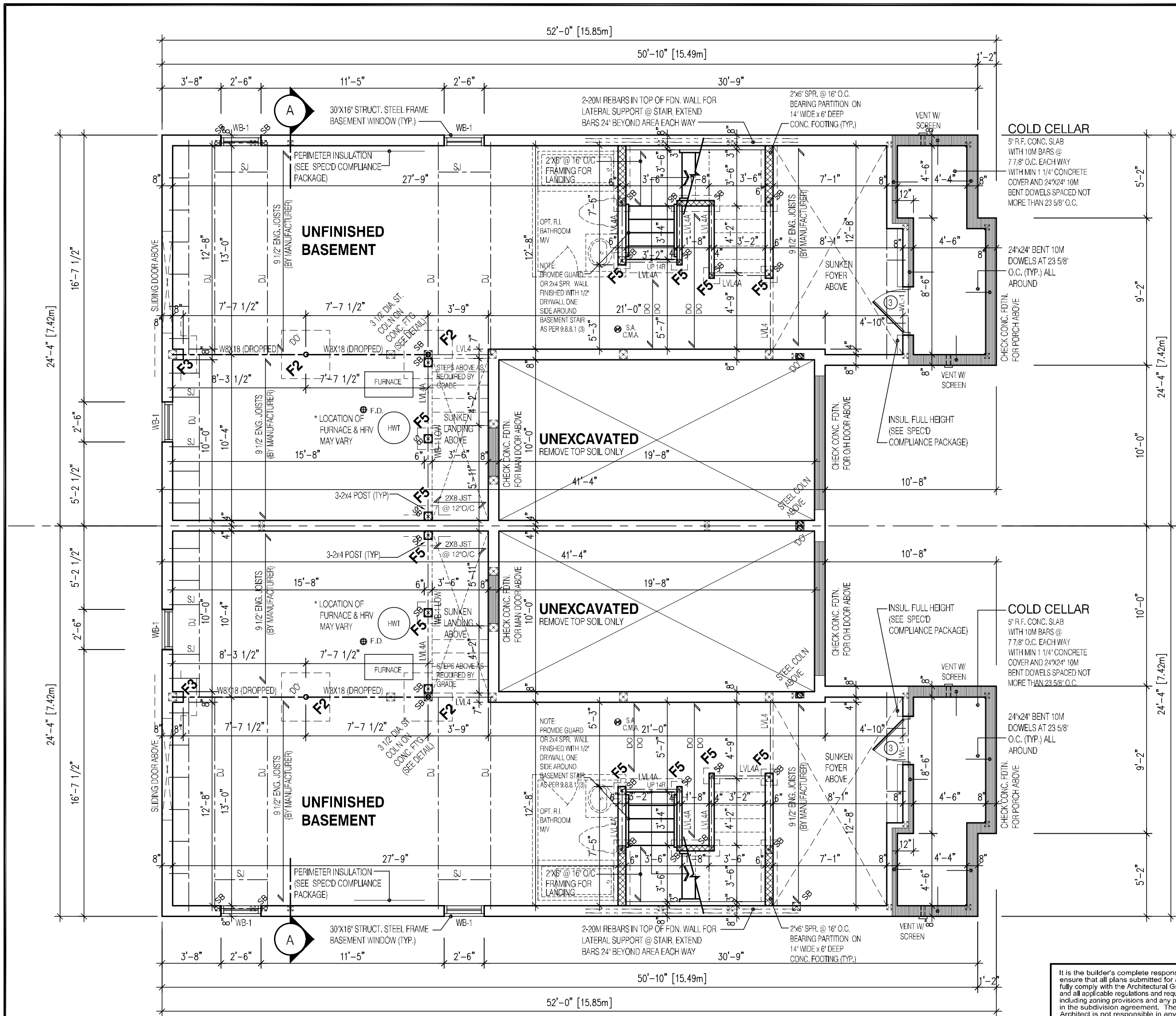
Date: 02/10/21

**ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE.





**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-2". 2 ROWS FOR SPANS GREATER THAN 7'.

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
REFER TO SHEET NO. 0-1 FOR UNTEL. BEAMS AND DOOR SIZE

**NOTE:**  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

**NOTE:**  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**

	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)	S.J.	SINGLE JOIST
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE	D.J.	DOUBLE JOIST
	STL. PLATE FOR STEEL COLN ABOVE	T.J.	TRIPLE JOIST
	LVL	DO	REPEAT NOTE
		DO	SHOWER WEEPERS

## BASEMENT PLAN 1 PEYTON 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1937	
SEMI LOTS	
PEYTON 2	
ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
Type text here	
STRUDET INC.	
FOR STRUCTURE ONLY	
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7	
6	
5	
4	
3	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020 ISSUED FOR BROCHURE
No:	DATE: WORK DESCRIPTION:
<b>jardin</b> DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	27763
FIRM NAME	BCIN
BASEMENT PLAN EL-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL:	T
SCALE:	3/16"=1'-0"
PROJ. No.	20-03
DWG. No.	1



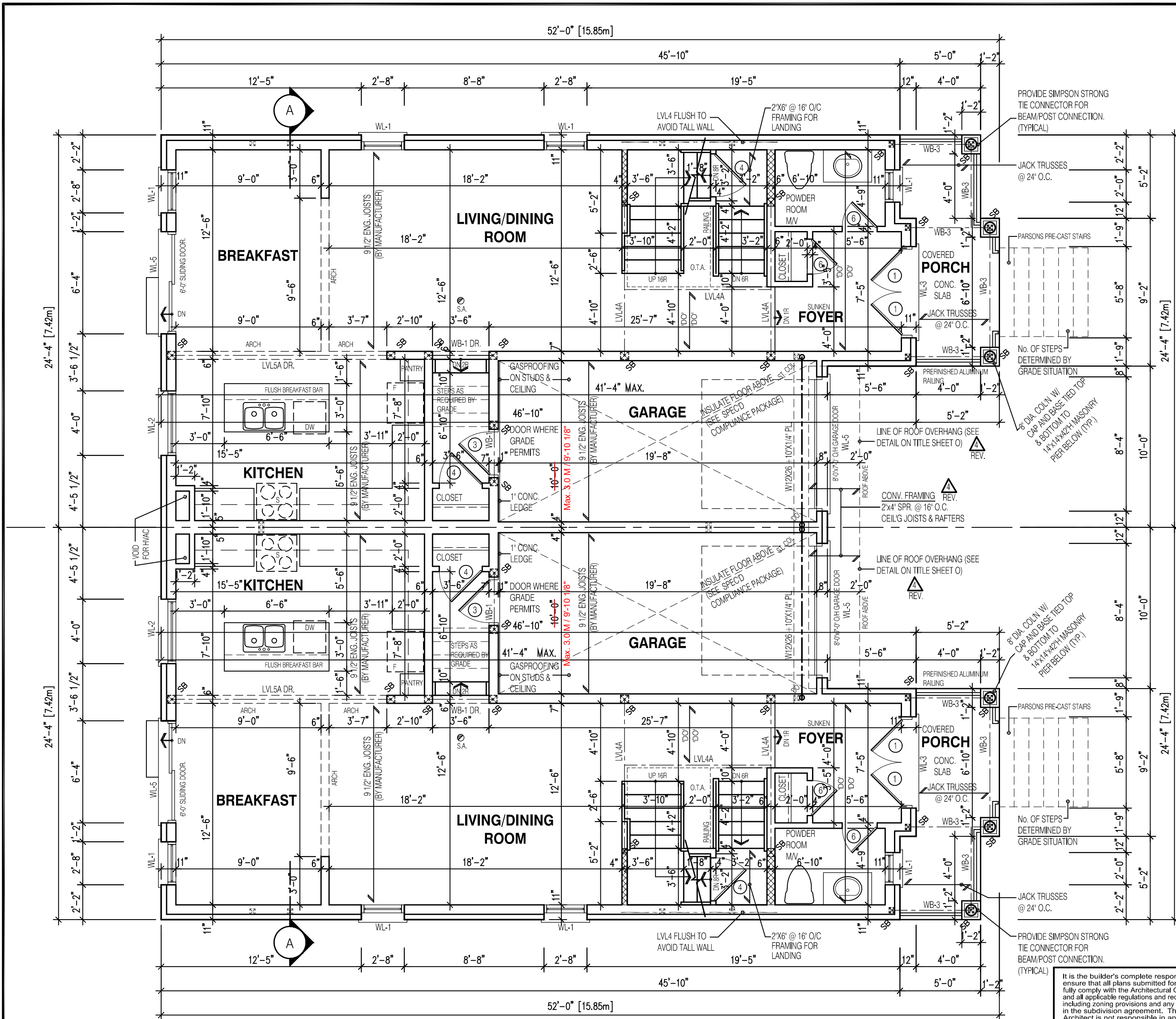
Date: 02/10/21

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<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	<b>NOTE:</b> SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5-7, 2 ROWS FOR SPANS GREATER THAN 7'	<b>NOTE:</b> SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL	<b>LEGEND:</b> <div><div></div> BUILDING FACE &lt; THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)</div> <div><div></div> INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE</div> <div><div></div> STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER</div> <div><div></div> S.J. SINGLE JOIST</div> <div><div></div> D.J. DOUBLE JOIST</div> <div><div></div> T.J. TRIPLE JOIST</div> <div><div></div> REPEAT NOTE</div> <div><div></div> SHOWER WEEPERS</div>
<b>NOTE:</b> REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.	<b>NOTE:</b> ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	

FIRST FLOOR PLAN 1  
PEYTON 2

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
December 15, 2020  
FOR STRUCTURE ONLY

7		
6		
5		
4	DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
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1	MAY 28, 2020	ISSUED FOR BROCHURE

No. DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

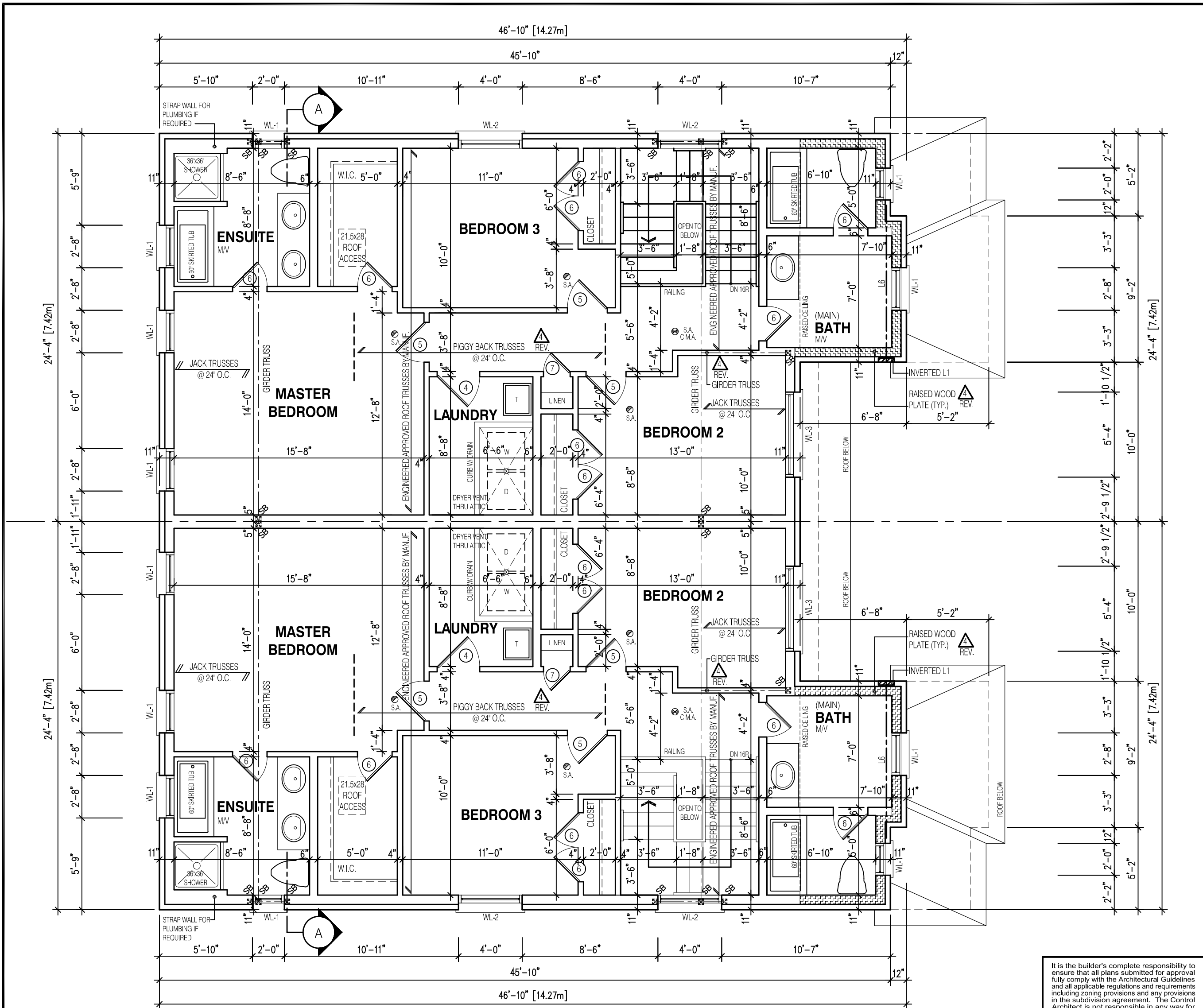
FIRST FLOOR PLAN EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

BILD

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03 DWG. No. 2



Date: 02/10/21  
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE  
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.  
NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE.



LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COL'N ABOVE
	LVL
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

SECOND FLOOR PLAN 1  
PEYTON 2

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1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
  
FOR STRUCTURE ONLY

7		
6		
5		
4	DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020	ISSUED FOR BROCHURE

No:      DATE:      WORK DESCRIPTION:

DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter   
NAME      SIGNATURE      BCIN 21031

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.      27763  
FIRM NAME      BCIN

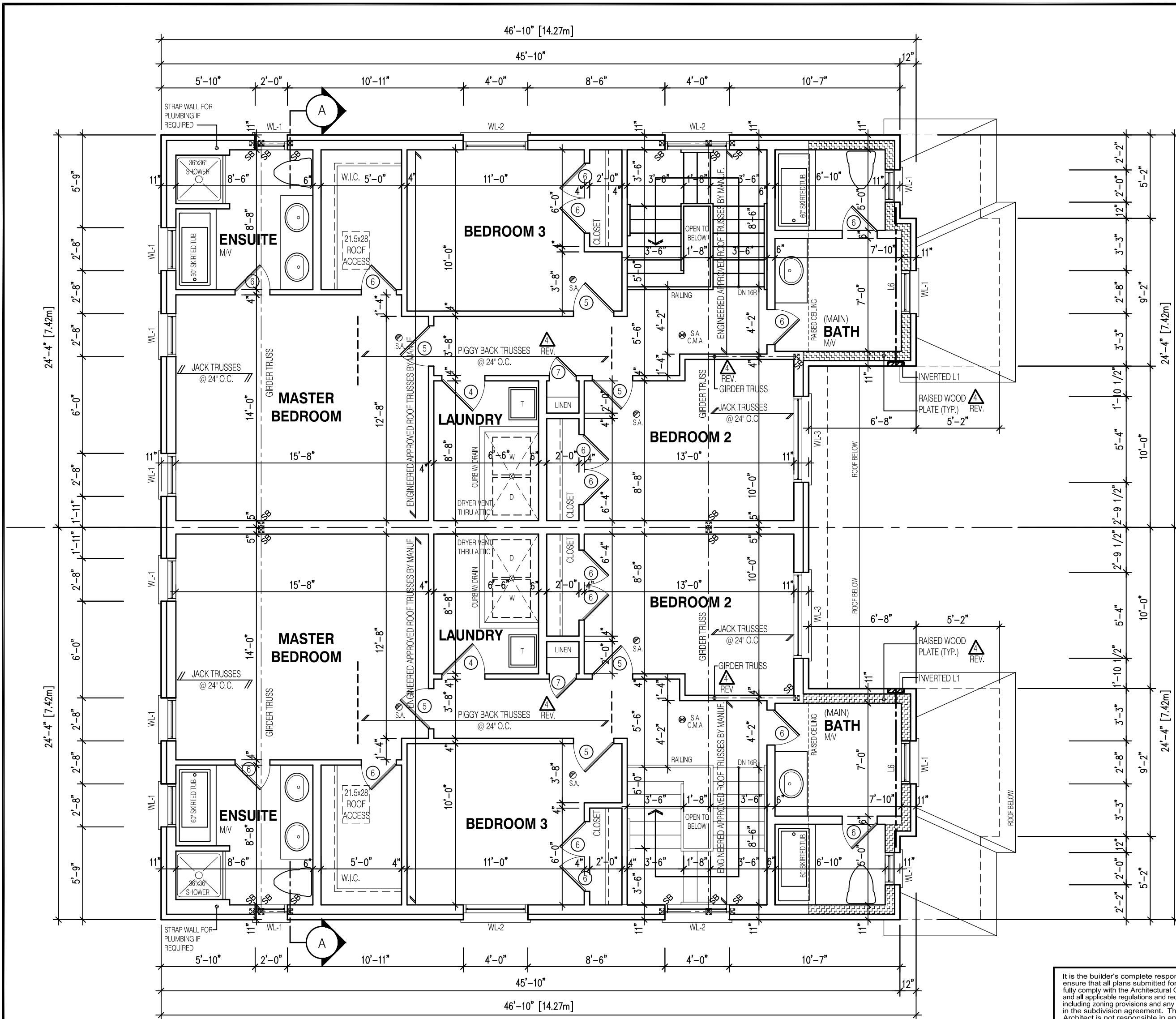
SEC. FLOOR PLAN EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03      DWG. No. 3



Date: 02/10/21  
ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE  
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR  
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE  
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE  
BUILDING CODE ACT AND THE BUILDING CODE.  
NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
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LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COL'N ABOVE LAMINATED VENEER LUMBER
	S.J. SINGLE JOIST
	D.J. DOUBLE JOIST
	T.J. TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

SECOND FLOOR PLAN 1  
PEYTON 2

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1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
  
FOR STRUCTURE ONLY

7		
6		
5		
4	DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020	ISSUED FOR BROCHURE

No:      DATE:      WORK DESCRIPTION:

DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter   
NAME      SIGNATURE      BCIN 21031

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code  
jardin design group inc.      27763  
FIRM NAME      BCIN

SEC. FLOOR PLAN EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03      DWG. No. 3



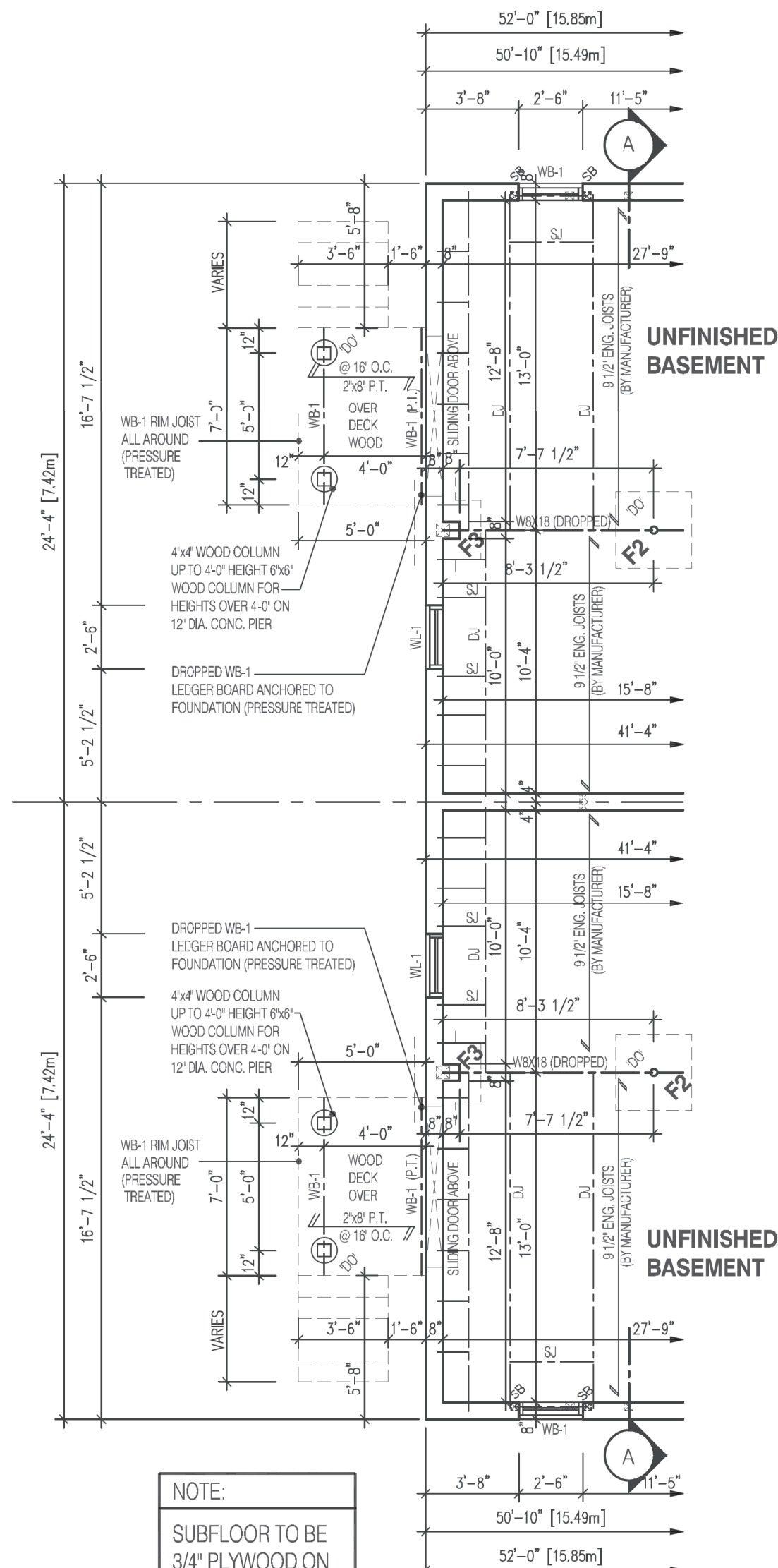
Date: 02/10/21

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BUILDING CODE ACT AND THE BUILDING CODE.

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WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE.

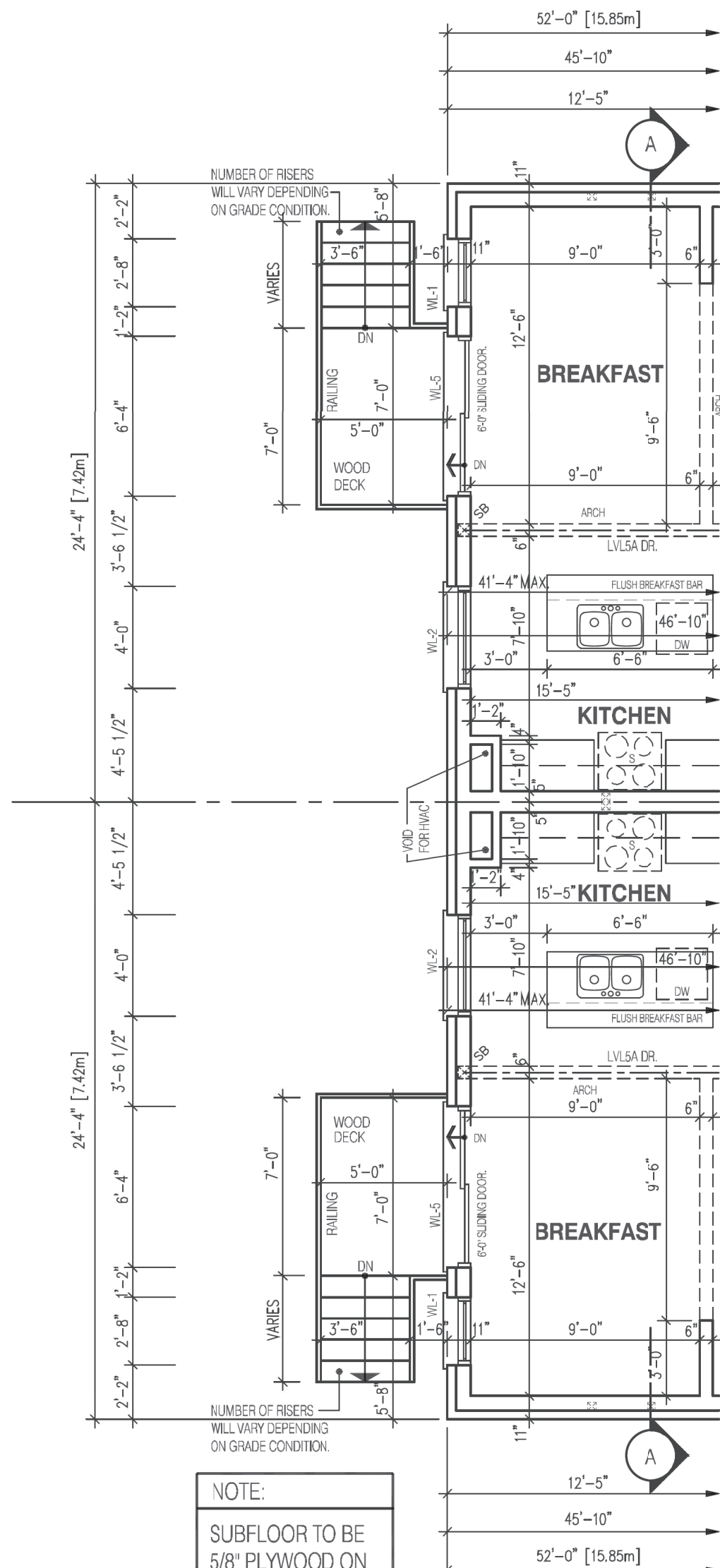




NOTE:

SUBFLOOR TO BE  
3/4" PLYWOOD ON  
THIS LEVEL

ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL












NOTE:

SUBFLOOR TO BE  
5/8" PLYWOOD ON  
THIS LEVEL

ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

**LEGEND:**

-  BUILDING FACE < THAN 4'-0" (1.2m)  
 (45 MIN. FIRE RATING REQ'D)  
 INDICATES SOLID BEARING REQUIRED  
 OR POINT LOAD FROM ABOVE  
 STL. PLATE FOR STEEL COLN ABOVE  
 LVL LAMINATED VENEER LUMBER  
 S.J. SINGLE JOIST  
 D.J. DOUBLE JOIST  
 T.J. TRIPLE JOIST  
 REPEAT NOTE  
 SHOWER WEEPERS

**NOTE:**

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS  
AND DOOR SIZE

**NOTE:**

THESE DRAWINGS ARE TO BE READ IN  
CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER.

**NOTE:**

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**

THESE DRAWINGS ARE TO BE READ IN  
CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER

## NOTE

**WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)**

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

DATE: SEP 23, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1937

## SEMI LOTS

**PEYTON 2**  
**ELEVATION 1**

## A1 PACKAGE

**O.REG. 332/12**

Type text here

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP, INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JAFCON DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4		
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020	ISSUED FOR BROCHURE

No:	DATE:	WORK DESCRIPTION:
-----	-------	-------------------

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

NAME	SIGNATURE	BCIN
Walter Botter		21037

**REGISTRATION INFORMATION**  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

FIRM NAME	jardin design group inc.	27763
BCIN		

DECK CONDITION EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



MODEL: T		----
SCALE: 3/16"=1'-0"		
PROJ. No. 20-03	DWG. No. 3-1	

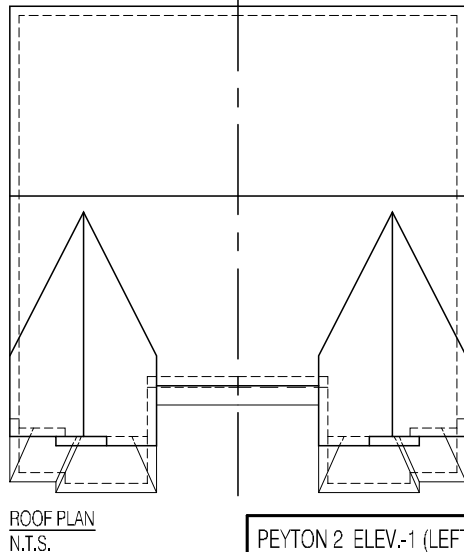




FRONT ELEVATION 1

FRONT ELEVATION 1

FRONT ELEVATION  
PEYTON 2



PEYTON 2 ELEV.-1 (LEFT)		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	521.00	77.69	14.91 %
LEFT SIDE	936.69	75.83	8.10 %
RIGHT SIDE	936.69	0.00	0.00 %
REAR	480.00	120.69	25.14 %
TOTAL	2874.37	274.21	9.54 %

PEYTON 2 ELEV.-1 (RIGHT)		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	521.00	77.69	14.91 %
LEFT SIDE	936.69	0.00	0.00 %
RIGHT SIDE	936.69	75.83	8.10 %
REAR	480.00	120.69	25.14 %
TOTAL	2874.37	274.21	9.54 %

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7	
6	
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3	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020 ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

FRONT ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 4

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/10/21

ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR  
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE  
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BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE.





LEFT ELEVATION 1

SIDE ELEVATION 1  
PEYTON 2

UNPROTECTED OPENINGS

WALL AREA  
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD)  
ACTUAL GLAZED AREA

915  $\Phi$   
64.05  $\Phi$   
58.61  $\Phi$

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
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1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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7		
6		
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4		
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
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1	MAY 28, 2020	ISSUED FOR BROCHURE

No:      DATE:      WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter      21031  
NAME      SIGNATURE      BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.      27763  
FIRM NAME      BCIN

SIDE ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 5

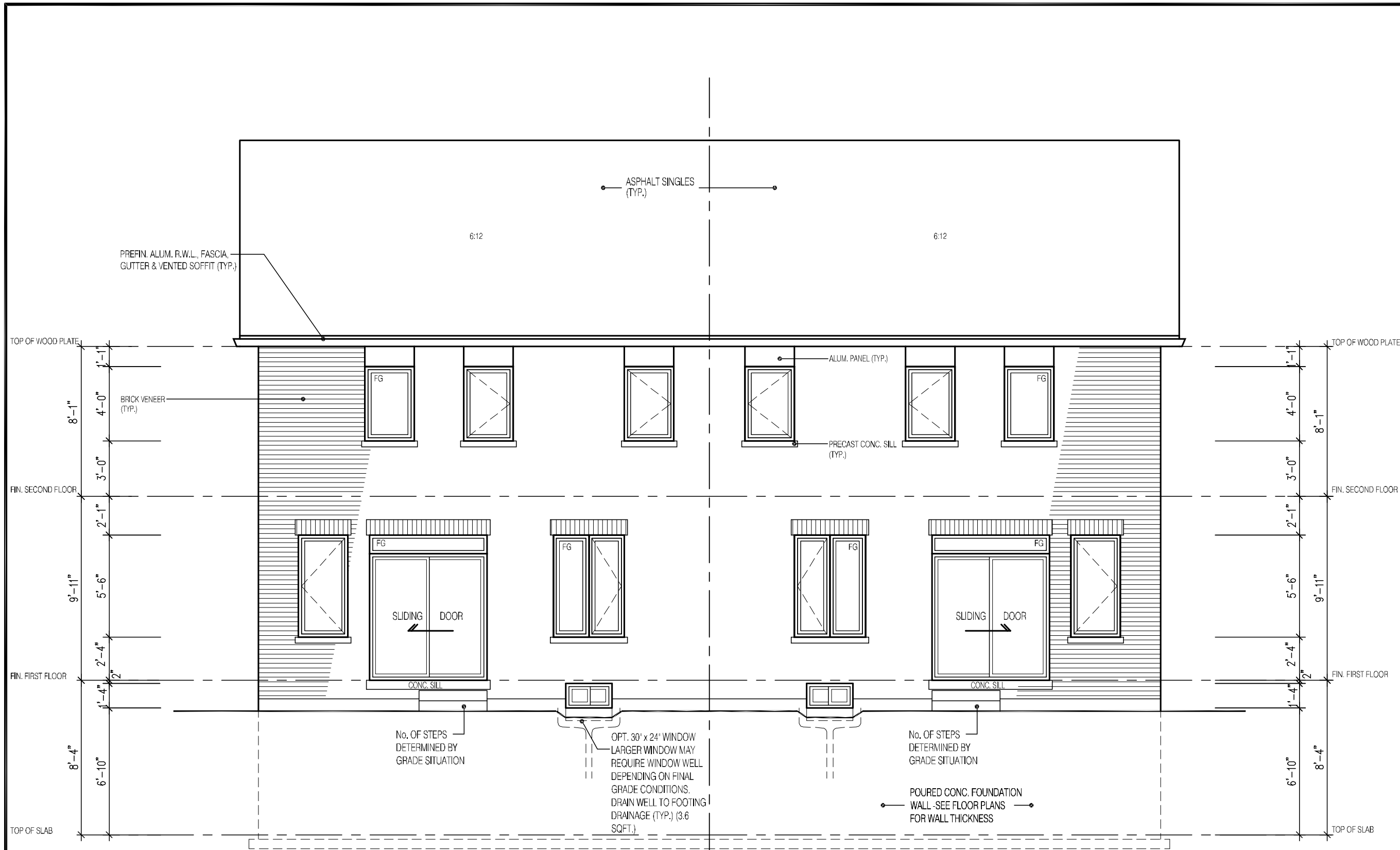
CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/10/21  
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ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE.

20.130096.000.00.CM

DRAWN BY:      DRAWING NAME:      —





REAR ELEVATION 1

REAR ELEVATION 1

REAR ELEVATION 1  
PEYTON 2

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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7		
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1	MAY 28, 2020	ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

REAR ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/10/21  
ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE

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REAR ELEVATION 1

REAR ELEVATION 1

REAR ELEVATION 1  
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

**NOTE:**  
**WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.**  
**(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)**

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**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:   
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7	
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3	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1	MAY 28, 2020 ISSUED FOR BROCHURE

No:      DATE:      WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031  
NAME      SIGNATURE      BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME      BCIN

DECK CONDITION EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6-1

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

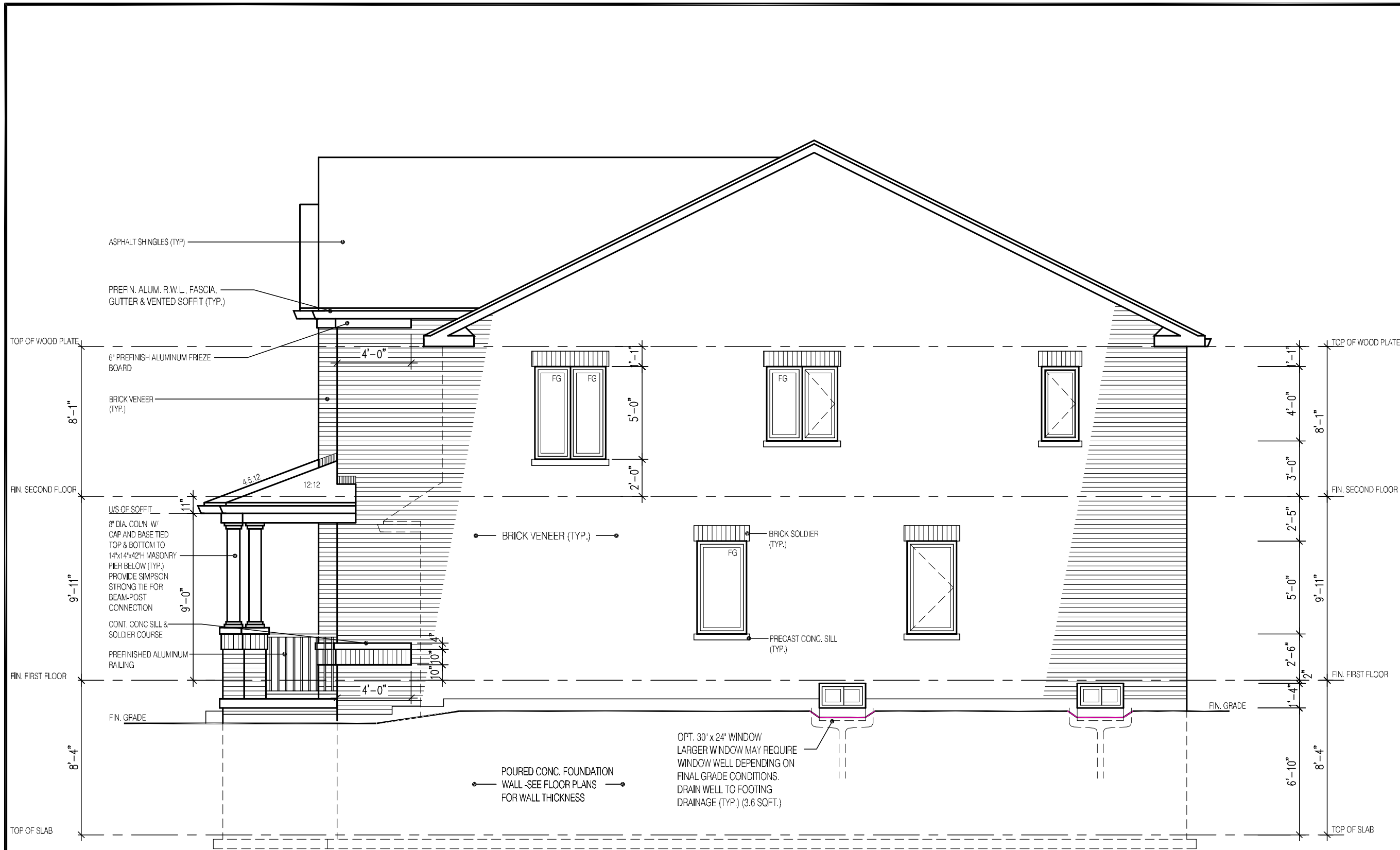
Date: 02/10/21

**ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE.





RIGHT ELEVATION 1

SIDE ELEVATION 1  
PEYTON 2

UNPROTECTED OPENINGS

WALL AREA 915  $\Phi$   
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDYARD) 64.05  $\Phi$   
ACTUAL GLAZED AREA 58.61  $\Phi$

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/10/21

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1	MAY 28, 2020	ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

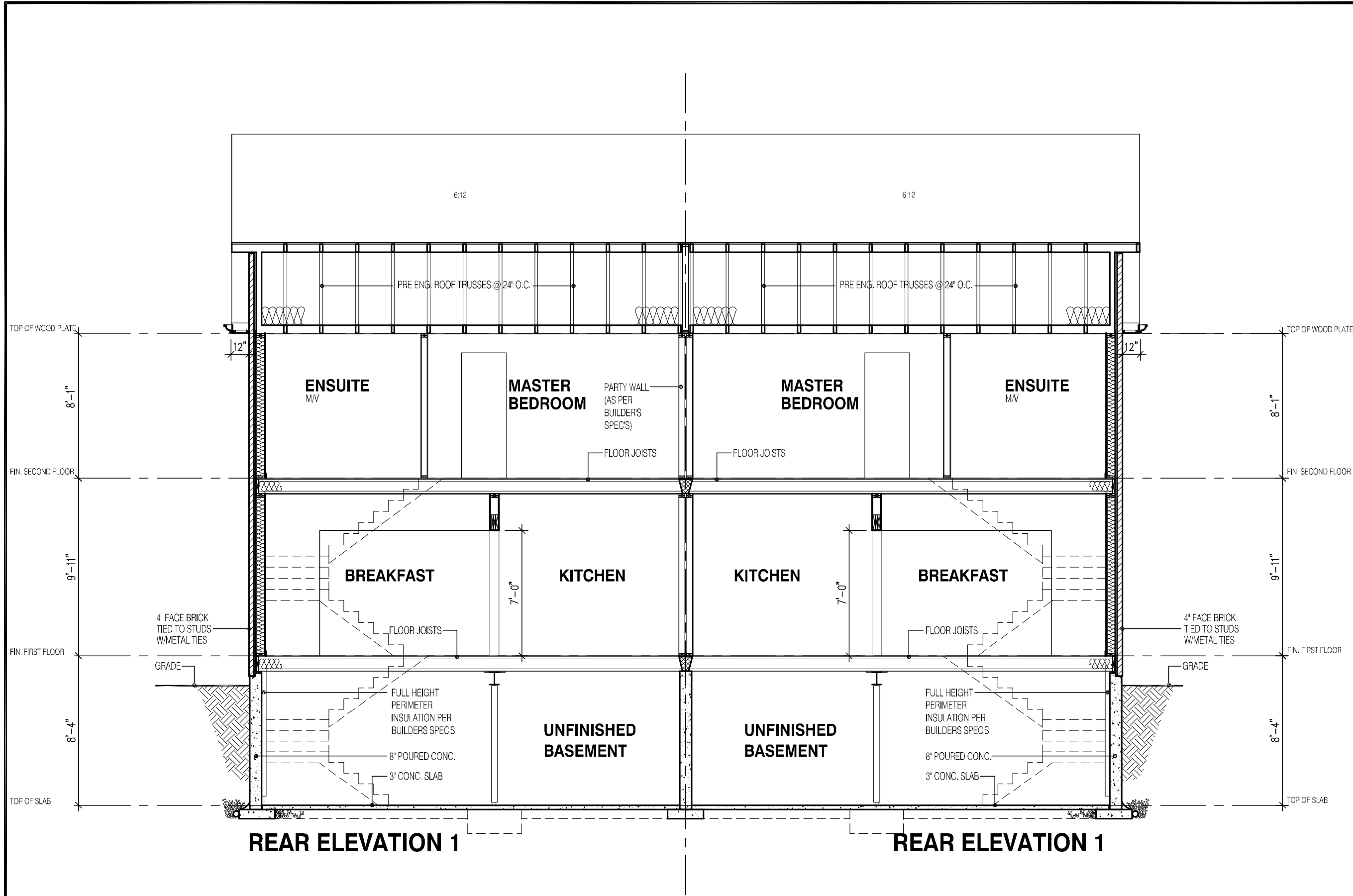
SIDE ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 7

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
Markham

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable  
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professional responsibility.



SECTION ELEVATION 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

1937  
SEMI LOTS  
PEYTON 2  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
  
FOR STRUCTURE ONLY

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Walter Botter  
NAME  
jardin design group inc.  
FIRM NAME

SIGNATURE  
21031  
BCIN  
27763  
BCIN

SECTION (ELEVATION 1)  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16" = 1'-0"  
PROJ. No. 20-03  
DWG. No. 8

CITY OF MARKHAM  
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