

## STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

### 120 KPa NATIVE SOIL

20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

### 100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS  
OR  
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

### 90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

### GENERAL NOTE :

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa  
FOR ENGINEERED FILL. TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL  
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

Certified Model reviewed and  
approved based on footing design  
for 120 kPa native soil.  
Where site conditions differ, a  
lot-specific revision application is  
required to be submitted and  
approved prior to pouring of footings.

## PAD FOOTING

### 120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

### 90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

### 100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD  
F2 = 38"x38"x16" CONCRETE PAD  
F3 = 32"x32"x14" CONCRETE PAD  
F4 = 26"x26"x12" CONCRETE PAD  
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

## NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

## NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa  
WITH 5-8% AIR ENTRAINMENT.

## BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1/4" (90x90x6) + 2- 2" x 8" SPR.  
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.  
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.  
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.  
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.  
WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR.  
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.  
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.  
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

## WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM  
WB2 = 3- 2" x 8" SPRUCE BEAM  
WB3 = 2- 2" x 10" SPRUCE BEAM  
WB4 = 3- 2" x 10" SPRUCE BEAM  
WB5 = 2- 2" x 12" SPRUCE BEAM  
WB6 = 3- 2" x 12" SPRUCE BEAM  
WB7 = 5- 2" x 12" SPRUCE BEAM  
WB10 = 4- 2" x 8" SPRUCE BEAM  
WB11 = 4- 2" x 10" SPRUCE BEAM

## STEEL LINTELS:

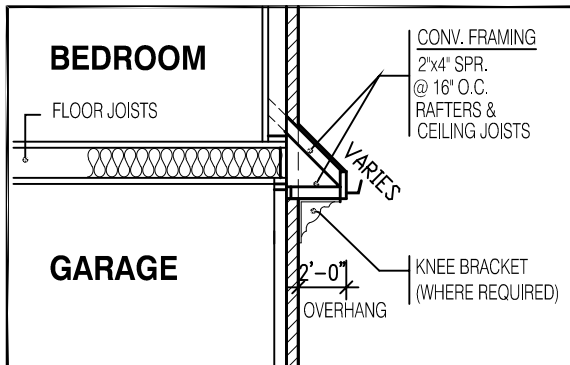
L1 = 3 1/2" x 3 1/2" x 1/4" (90 x 90 x 6)  
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)  
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)  
L5 = 6" x 4" x 3/8" (150 x 100 x 10)  
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

## LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)

## Door Schedule

NO.	WIDTH	HEIGHT 8" TO 9" CEILINGS	HEIGHT 10" OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

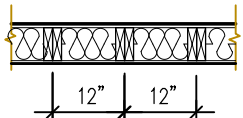


## CANOPY DETAIL AT GARAGE

N.T.S.



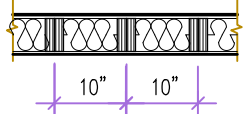
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

## TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED  
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT  
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.  
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

## TWO STOREY HEIGHT WALL DETAIL

## AREA CALCULATIONS EL-1 (LEFT)

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1034 Sq. Ft.
TOTAL FLOOR AREA	=	1880 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1891 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1130 Sq. Ft.
	=	104.98Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## AREA CALCULATIONS EL-2A

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1035 Sq. Ft.
TOTAL FLOOR AREA	=	1881 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1892 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1130 Sq. Ft.
	=	104.98Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## AREA CALCULATIONS EL-3 (LEFT)

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1032 Sq. Ft.
TOTAL FLOOR AREA	=	1878 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1889 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1104 Sq. Ft.
	=	102.56Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
ROOF TRUSS DRAWINGS BY MANUFACTURER .

## NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

## NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER .

## NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

## AREA CALCULATIONS EL-1 (RIGHT)

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1034 Sq. Ft.
TOTAL FLOOR AREA	=	1880 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1891 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1130 Sq. Ft.
	=	104.98Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## AREA CALCULATIONS EL-2B

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1044 Sq. Ft.
TOTAL FLOOR AREA	=	1890 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1901 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	73 Sq. Ft.
COVERAGE W/ PORCH	=	1130 Sq. Ft.
	=	104.98Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## AREA CALCULATIONS EL-3 (RIGHT)

FIRST FLOOR AREA	=	846 Sq. Ft.
SECOND FLOOR AREA	=	1032 Sq. Ft.
TOTAL FLOOR AREA	=	1878 Sq. Ft.
ADD OPEN AREAS	=	11 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1889 Sq. Ft.
GROUND FLOOR COVERAGE	=	846 Sq. Ft.
GARAGE COVERAGE / AREA	=	211 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1104 Sq. Ft.
	=	102.56Sq. m.
COVERAGE W/O PORCH	=	1057 Sq. Ft.
	=	98.20Sq. m.

## SEMI LOTS

## PEYTON 2S ELEVATION 1,2 & 3

## A1 PACKAGE

## O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
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JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE  
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS  
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT  
TO BE SCALED.

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DEC. 2, 2020	REV. AS PER CITY COMMENT; REISSUED FOR PERMIT	
3 JULY 2, 2020	ISSUED FOR BUILDING PERMIT	
2 JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE	
1 JUNE 18, 2020	ISSUED FOR BROCHURE	

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code.

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

## TITLE SHEET

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

	MODEL:	---
	SCALE:	3/16"=1'-0"
	PROJ. No.	20-03
	DWG. No.	0

CITY OF **MARKHAM**

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW



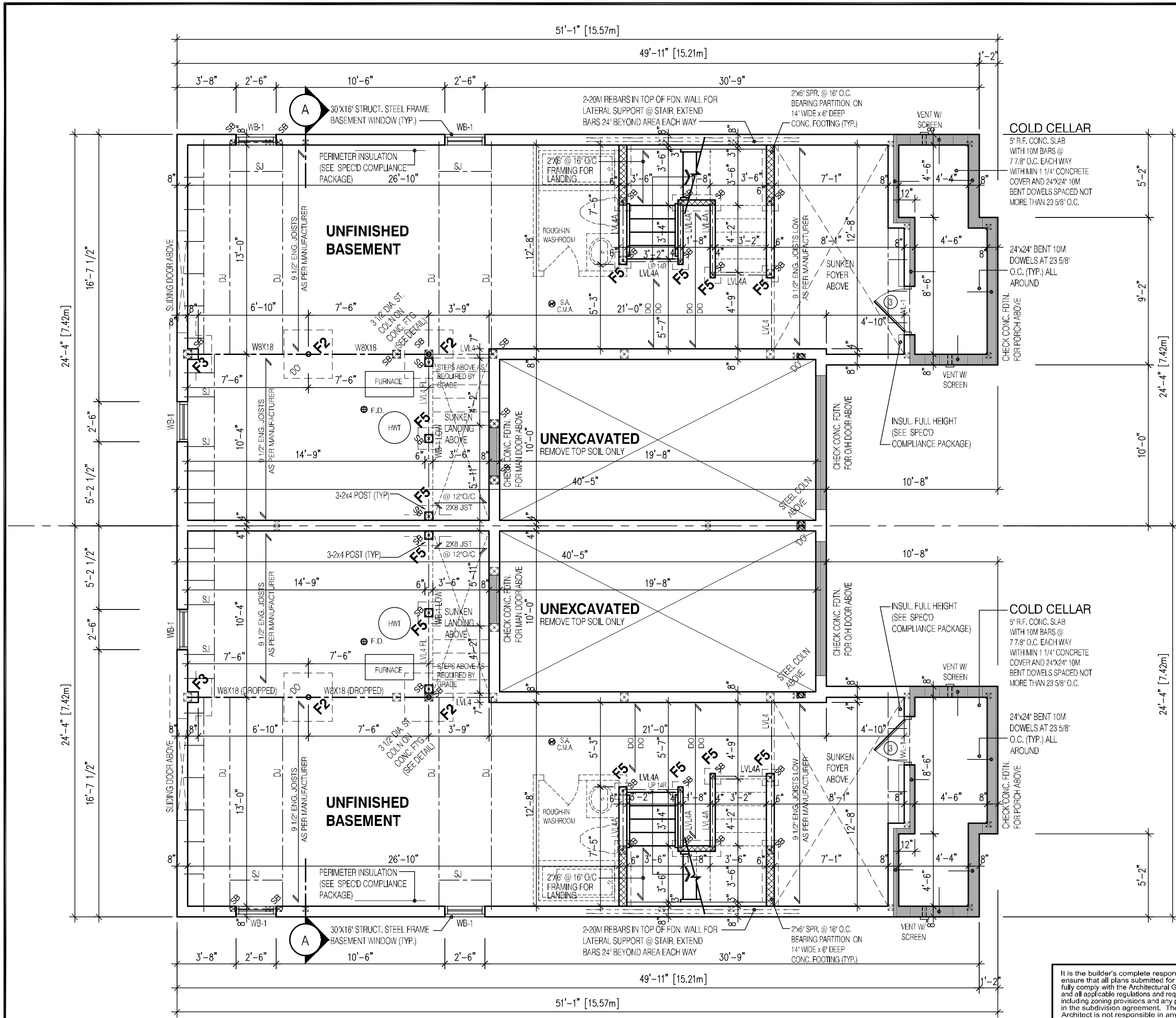
Date: 02/10/21

**ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR  
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE  
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE  
BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND  
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE





<b>NOTE:</b> SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7. 2 ROWS FOR SPANS GREATER THAN 7'	<b>NOTE:</b> REFER TO SHEET NO. 0-1 FOR UNTEL. BEAMS AND DOOR SIZE	<b>NOTE:</b> SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL	<b>LEGEND:</b> <div><div></div> BUILDING FACE &lt; THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)</div> <div><div></div> INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE</div> <div><div></div> STL. PLATE FOR STEEL COLN ABOVE</div> <div><div></div> LVL LAMINATED VENEER LUMBER</div> <div><div></div> S.J. SINGLE JOIST</div> <div><div></div> D.J. DOUBLE JOIST</div> <div><div></div> T.J. TRIPLE JOIST</div> <div><div></div> DO REPEAT NOTE</div> <div><div></div> O SHOWER WEEPERS</div>
<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.		<b>NOTE:</b> ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	

**BASEMENT PLAN 1  
PEYTON 2S**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

**JOHN C. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY:   
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1891	
SEMI LOTS	
PEYTON 2S ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
STRUDET INC.  FOR STRUCTURE ONLY	
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVENTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.	
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3	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1	JUNE 18, 2020 ISSUED FOR BROCHURE
No:	DATE: WORK DESCRIPTION:
<b>jardin</b> DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	
Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	27763
FIRM NAME	BCIN
BASEMENT PLAN EL-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
	MODEL: T SCALE: 3/16"=1'-0" PROJ. No. 20-03 DWG. No. 1

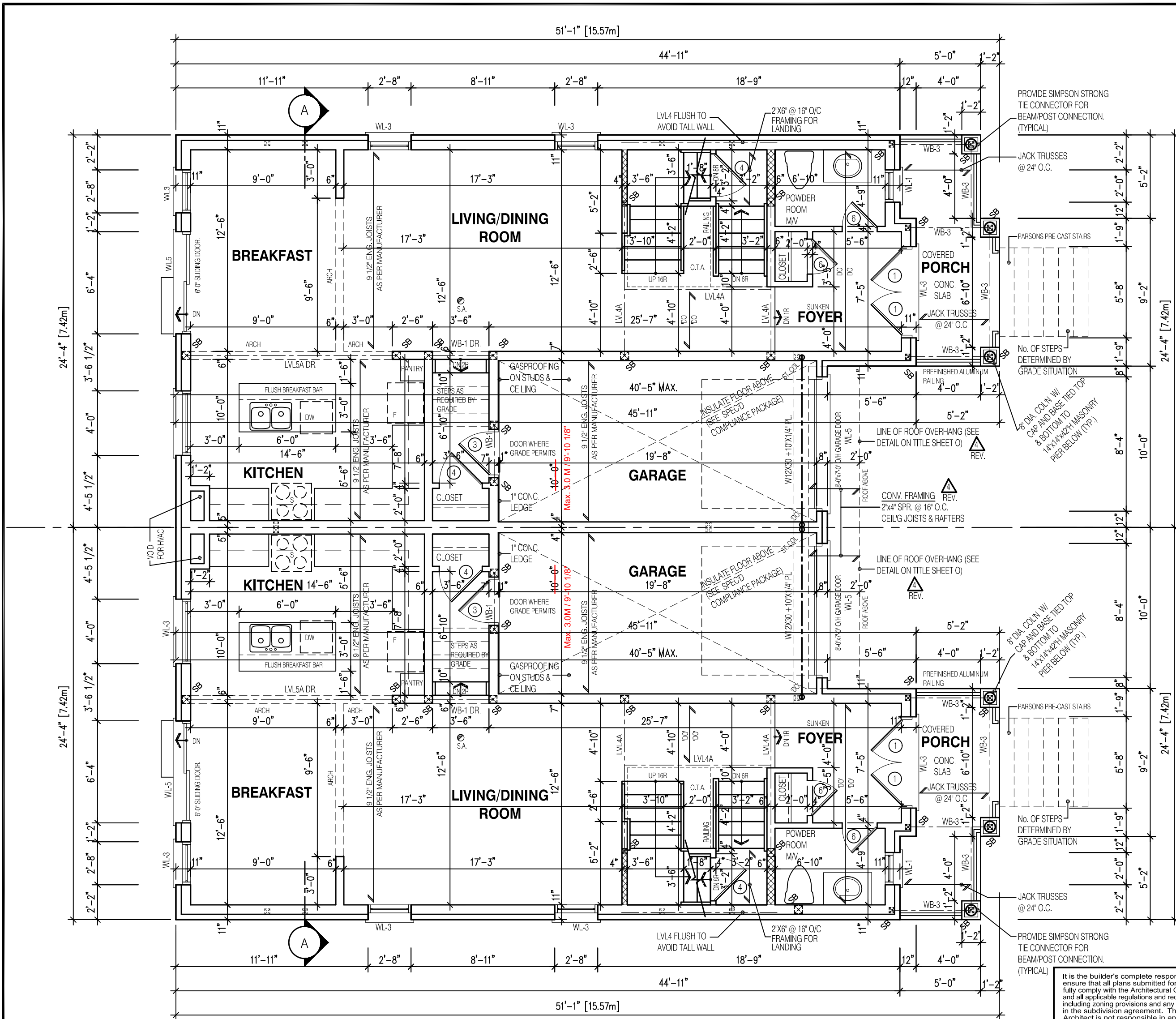


Date: 02/10/21

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<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	<b>NOTE:</b> SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7, 2 ROWS FOR SPANS GREATER THAN 7'	<b>NOTE:</b> SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL	<b>LEGEND:</b> <div><div></div> BUILDING FACE &lt; THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) <div></div> INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE <div></div> STL. PLATE FOR STEEL COLN ABOVE <div></div> LVL LAMINATED VENEER LUMBER <div></div> S.J. SINGLE JOIST <div></div> D.J. DOUBLE JOIST <div></div> T.J. TRIPLE JOIST <div></div> REPEAT NOTE <div></div> SHOWER WEEPERS</div>
<b>NOTE:</b> REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.	<b>NOTE:</b> ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	

## FIRST FLOOR PLAN 1 PEYTON 2S

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1891 SEMI LOTS
PEYTON 2S ELEVATION 1
A1 PACKAGE
O.REG. 332/12
STRUDET INC. B. MARINKOVIC December 15, 2020 PROFESSIONAL ENGINEER FOR STRUCTURE ONLY
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK. AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.
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5
DEC. 2, 2020 REV. AS PER CITY COMMENT; REISSUED FOR PERMIT
3 JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2 JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1 JUNE 18, 2020 ISSUED FOR BROCHURE
No. DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.
Walter Botter NAME SIGNATURE BCIN 21031
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code jardin design group inc. 27763 FIRM NAME BCIN
FIRST FLOOR PLAN EL-1
LAMPONE INVESTMENTS INC. CITY OF MARKHAM
MODEL: T SCALE: 3/16"=1'-0" PROJ. No. 20-03 DWG. No. 2



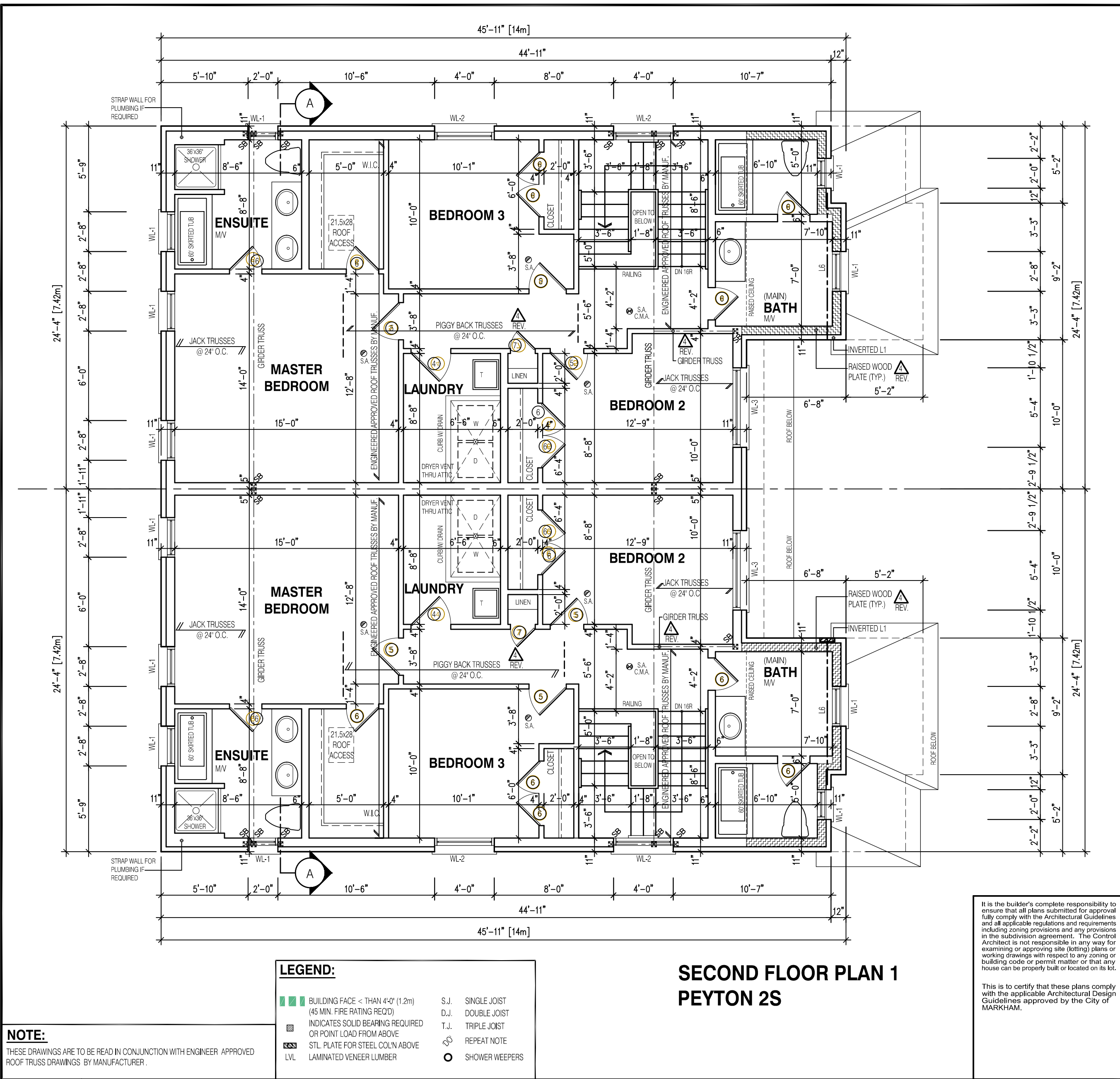
Date: 02/10/21

ALL CONSTRUCTION SHALL COMPLY WITH  
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BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE  
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ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A  
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
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**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

**SECOND FLOOR PLAN 1  
PEYTON 2S**

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1891  
SEMI LOTS

PEYTON 2S  
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

STRUDET INC.

December 15, 2020

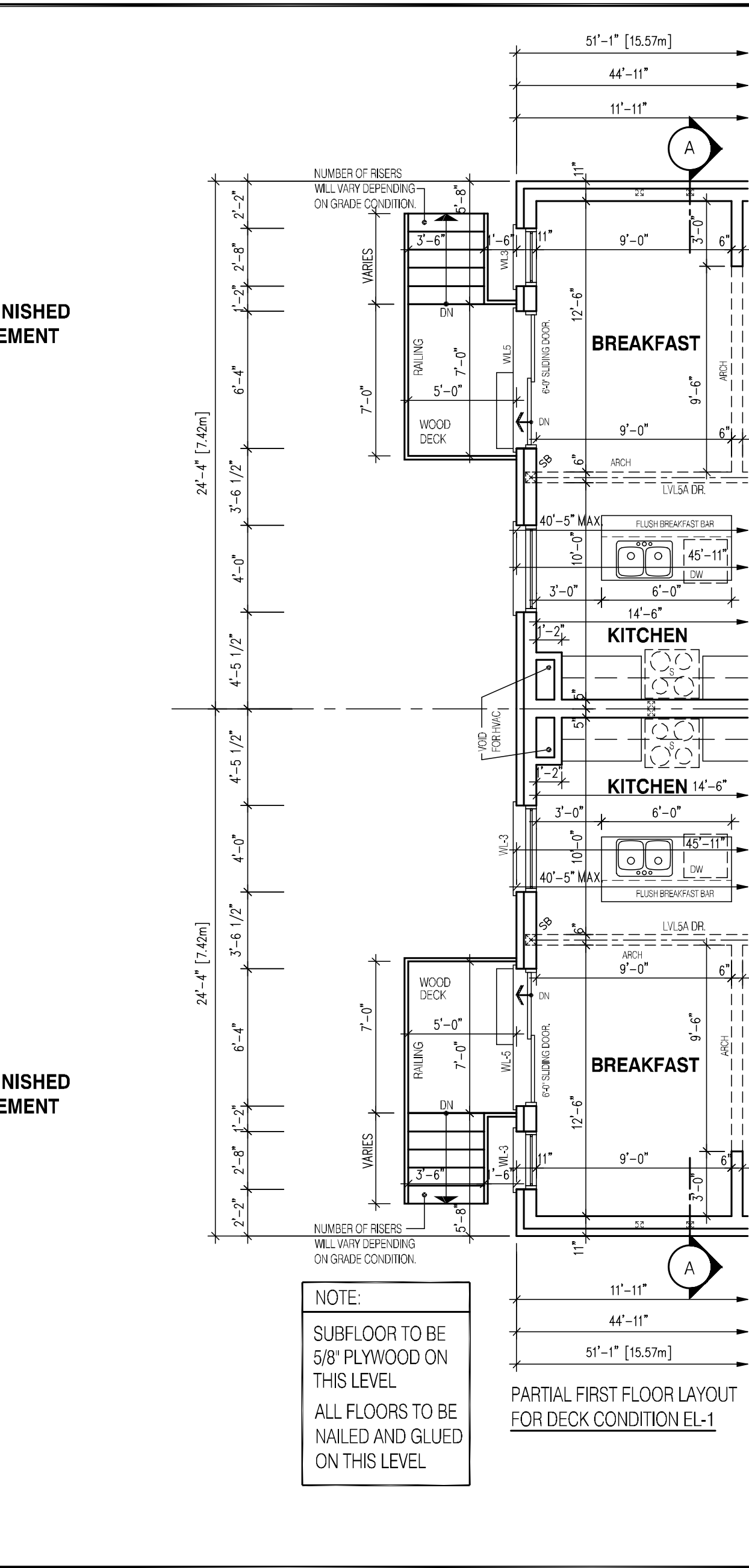
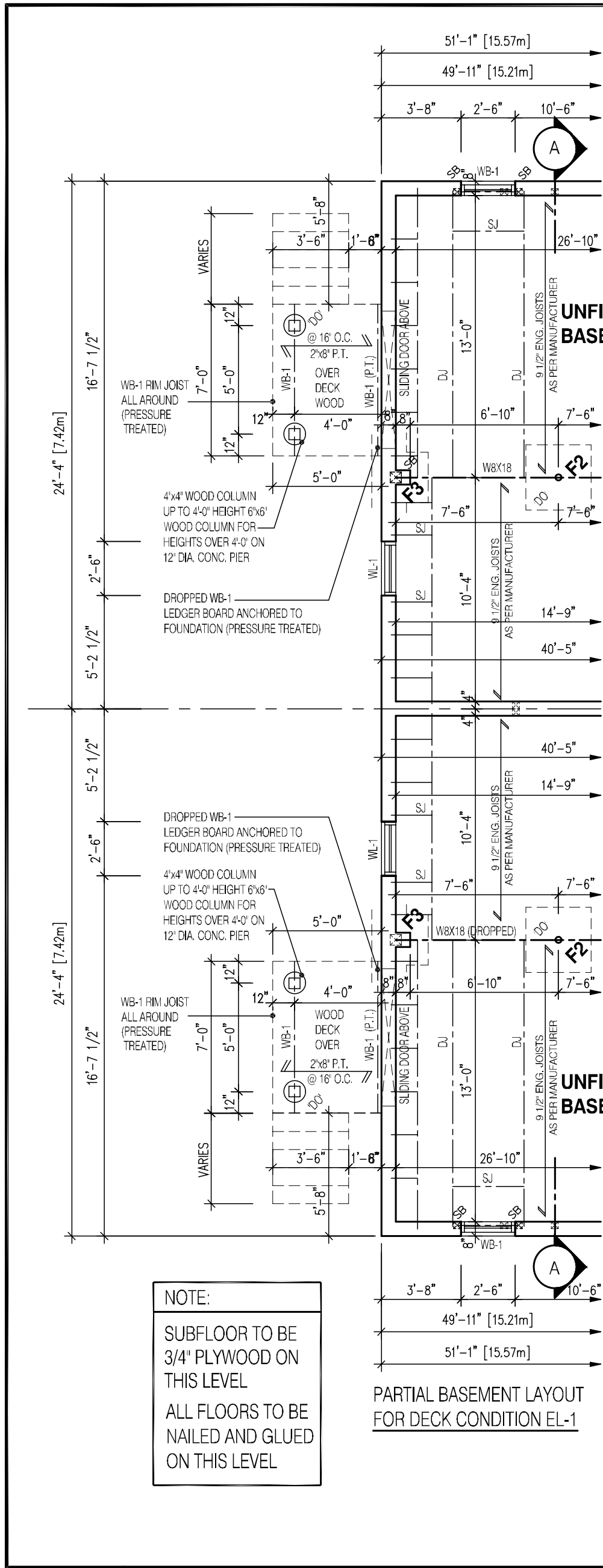
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jardin design group inc.	27763
FIRM NAME	BCIN
SEC. FLOOR PLAN EL-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	
SCALE: 3/16"=1'-0"	
PROJ. No. 20-03	DWG. No. 3



Date: **02/10/21**  
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SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY  
NOT BE REGISTERED ON TITLE





**LEGEND:**

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- ▣ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

**NOTE:**  
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**1891 SEMI LOTS**

**PEYTON 2S ELEVATION 1**

**A1 PACKAGE**

**O.REG. 332/12**

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
21/07/2020  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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No.	DATE	WORK DESCRIPTION:
7		
6		
5		
4		
3	JULY 2, 2020	ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020	ISSUED FOR PRE-COORDINATION STAGE
1	JUNE 18, 2020	ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

**jardin DESIGN GROUP INC**  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

**DECK CONDITION EL-1**

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

**BILD**

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 3-1

**CITY OF MARKHAM**

**BUILDING STANDARDS DIVISION**

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW

20.130104.000.00.CM

Date: 02/10/21

**ALL CONSTRUCTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE**

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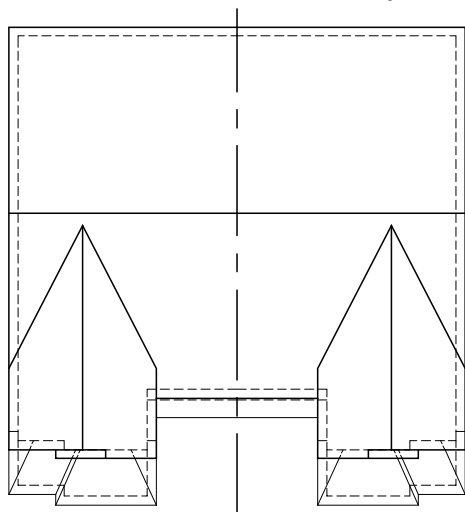




FRONT ELEVATION 1

FRONT ELEVATION 1

FRONT ELEVATION  
PEYTON 2S



PEYTON 2S ELEV.-1 (LEFT)		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	521.00	77.69	14.91 %
LEFT SIDE	918.65	75.83	8.25 %
RIGHT SIDE	918.65	0.00	0.00 %
REAR	480.00	120.69	25.14 %
TOTAL	2838.31	274.21	9.66 %

PEYTON 2S ELEV.-1 (RIGHT)		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	521.00	77.69	14.91 %
LEFT SIDE	918.65	0.00	0.00 %
RIGHT SIDE	918.65	75.83	8.25 %
REAR	480.00	120.69	25.14 %
TOTAL	2838.31	274.21	9.66 %

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
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1891	
SEMI LOTS	
PEYTON 2S ELEVATION 1	
A1 PACKAGE	
O.REG. 332/12	
Date: 02/10/21	
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No:	DATE: WORK DESCRIPTION:
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca	
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Walter Botter	21031
NAME	SIGNATURE BCIN
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jardin design group inc.	27763
FIRM NAME	BCIN
FRONT ELEVATION-1	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	
SCALE: 3/16"=1'-0"	
PROJ. No.	DWG. No.
20-03	4



Date: 02/10/21

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LEFT ELEVATION 1

SIDE ELEVATION 1  
PEYTON 2S

UNPROTECTED OPENINGS

WALL AREA 897  $\Phi$   
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDYARD) 62.79  $\Phi$   
ACTUAL GLAZED AREA 58.61  $\Phi$

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
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1891  
SEMI LOTS  
PEYTON 2S  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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No:      DATE:      WORK DESCRIPTION:

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DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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REGISTRATION INFORMATION  
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jardin design group inc.      27763  
FIRM NAME      BCIN

SIDE ELEVATION-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 5

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/10/21  
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REAR ELEVATION 1

REAR ELEVATION 1

REAR ELEVATION 1  
PEYTON 2S

1891  
SEMI LOTS  
PEYTON 2S  
ELEVATION 1  
A1 PACKAGE  
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DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
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TEL: 905 660-3377 FAX: 905 660-3713  
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
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Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

REAR ELEVATION-1

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

LAMPONE INVESTMENTS INC. CITY OF MARKHAM			
 <b>BILD®</b>	MODEL: T		
	SCALE: 3/16" = 1'-0"		
	PROJ. No. 20-03		DWG. No. 6

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW



Date: 02/10/21

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JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
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REAR ELEVATION 1  
DECK CONDITION

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

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APPROVED BY: [Signature]  
DATE: OCT 29, 2020

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

1891  
SEMI LOTS  
PEYTON 2S  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

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7	
6	
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3	JULY 2, 2020 ISSUED FOR BUILDING PERMIT
2	JUNE 25, 2020 ISSUED FOR PRE-COORDINATION STAGE
1	JUNE 18, 2020 ISSUED FOR BROCHURE

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR, SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-1  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 6-1

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

Date: 02/10/21

**ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



RIGHT ELEVATION 1

SIDE ELEVATION 1  
PEYTON 2S

UNPROTECTED OPENINGS

WALL AREA 897  
ALLOWABLE GLAZED AREA @ 7.0%(1.2m SIDEYARD) 62.79  
ACTUAL GLAZED AREA 58.61

1891  
SEMI LOTS  
PEYTON 2S  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

7		
6		
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FIRM NAME BCIN

SIDE ELEVATION-1

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16"=1'-0"  
PROJ. No. 20-03  
DWG. No. 7

CITY OF MARKHAM  
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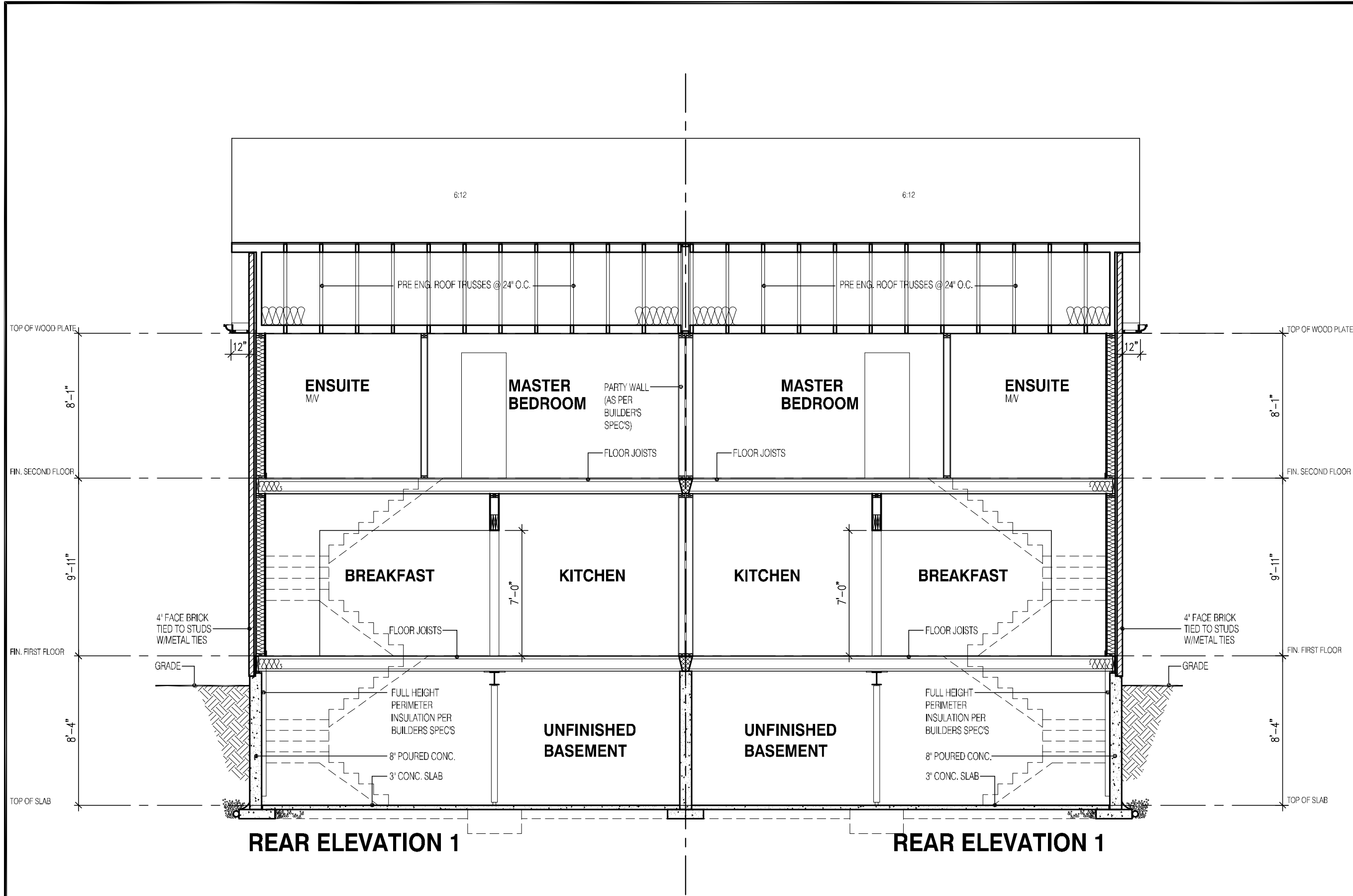
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham

JOHN C. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: [Signature]  
DATE: OCT 29, 2020  
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SECTION ELEVATION 1

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1891  
SEMI LOTS  
PEYTON 2S  
ELEVATION 1  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
21/07/2020  
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

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jardin design group inc. 27763  
FIRM NAME BCIN

SECTION (ELEVATION 1)  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

BILD

MODEL:  
T  
SCALE:  
3/16"=1'-0"

PROJ. No.  
20-03

DWG. No.  
8

CITY OF MARKHAM  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
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