



GENERAL NOTES AND COMMENTS



Date: 05/28/21

**ALL CONSTRUCTION SHALL COMPLY WITH
THE ONTARIO BUILDING CODE**

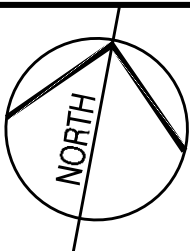
NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR
CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE
WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE
BUILDING CODE ACT AND THE BUILDING CODE.

NOTE: THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE
WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND
ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A
SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY
NOT BE REGISTERED ON TITLE

Section 6.5 , Zoning By-Law 177-96

- The review and approval of this permit is for single detached dwelling unit only
- No accessory dwelling is permitted.

--- STORM CONNECTION
--- SANITARY CONNECTION
W- WATER CONNECTION
H- HYDRO CONNECTION
□ DOUBLE CATCH BASIN
□ CATCH BASIN
○ HYDRANT
⊗ VALVE AND CHAMBER
△ ENTRANCE DOOR LOCATION
▲ GARAGE DOOR LOCATION
* ENGINEERED FILL LOT
● SANITARY MANHOLE
○ STORM MANHOLE
MAIL COMMUNITY MAILBOX
○ DOWNSPOUT LOCATION
--- SWALE DIRECTION
● STREET LIGHT
▲ TRANSFORMER
⊠ CABLE TV PEDESTAL
■ BELL PEDESTAL
FG BELL/ROG. FLUSH TO GRADE
H HYDRO METER
G GAS METER
⊠ AIR-CONDITIONING UNIT
SP SUMP PUMP
F.FLR. FINISHED FLOOR ELEVATION
T/WALL TOP OF FOUNDATION WALL
F.SLAB FIN. BASEMENT FLOOR SLAB
U/FTG. UNDERSIDE FOOTING ELEVATION
--- PROPOSED 3:1 SLOPE
--- PROPOSED GRADE
100.00 PROPOSED SWALE GRADE
×100.00



CITY OF MARKHAM
BUILDING STANDARDS DIVISION
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING
CODE AND THE APPLICABLE ZONING BY-LAW



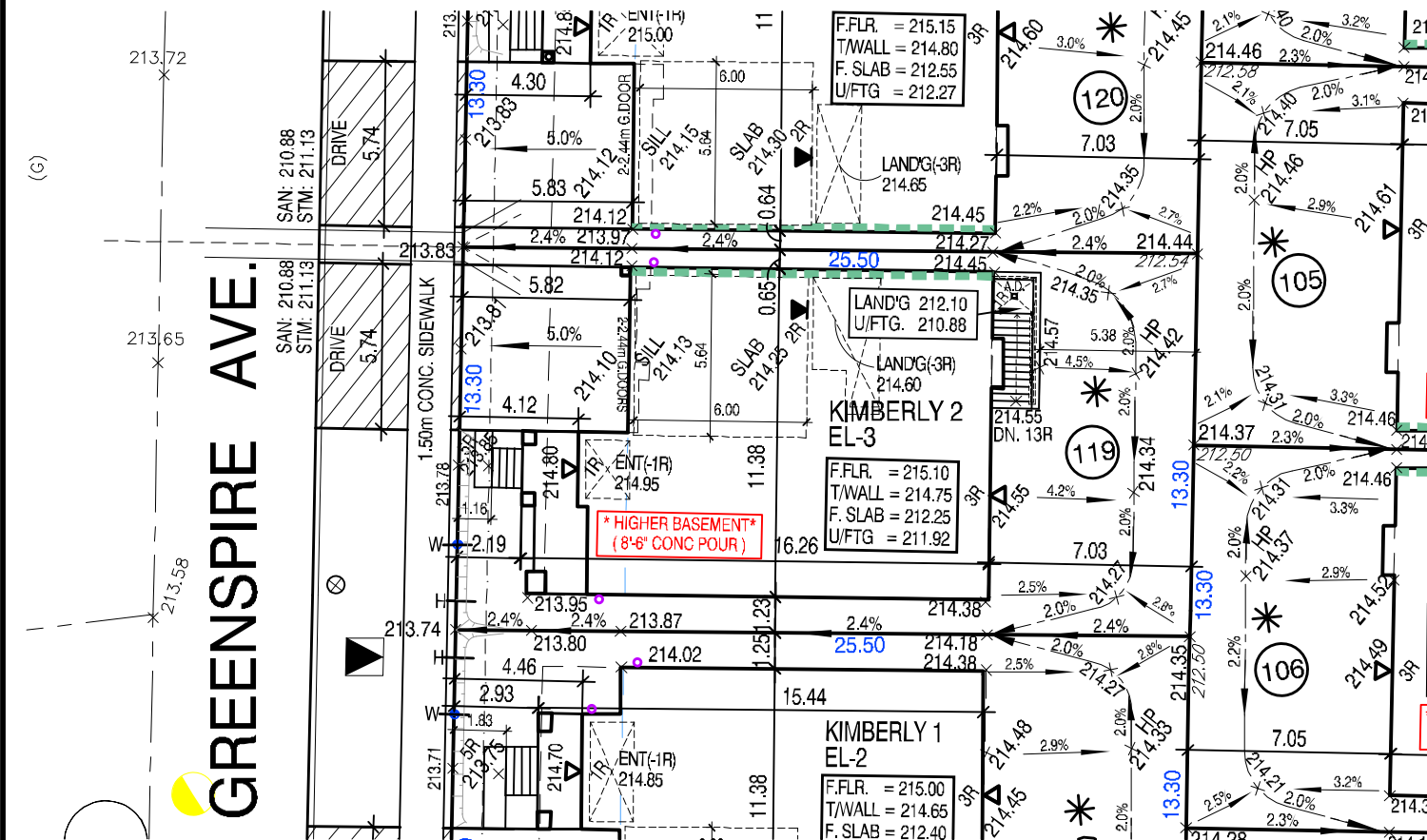
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MASONRY VENEER REQUIRED
ON SIDES OF STAIRS

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

APPROVED FOR GRADING

1. THE PROPOSED LOT GRADING IS APPROVED
AS BEING IN CONFORMITY WITH THE OVERALL
APPROVED GRADING PLANS AND COMPOSITE
PLANS FOR THE SUBDIVISION.
2. ANY UTILITIES AND/OR SERVICE RELOCATION
AS A RESULT OF BUILDER DEVIATION FROM
THE APPROVED PLANS WILL BE DONE AT THE
BUILDERS EXPENSE.
3. THE BUILDER MUST VERIFY THE SEWER
CONNECTION ELEVATIONS PRIOR TO THE
EXCAVATION OF THE HOUSE FOUNDATIONS.

DATE:

SCHACFFER ASSESSMENT

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

FOR LOTS:
TOWN OF MARKHAM

I, AVI SHWARTZ OAA, MRAIC of JOHN G.
WILLIAMS LIMITED, ARCHITECT certify that
the plans/drawings comply with the applicable
architectural control guidelines approved by the
Town of Markham and on file with the Design
Group, Development Services Commission.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:

DATE: FEB 22, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

5		
4		
3		
2	OCT. 14, 2020	REV. AS PER ENGINEERS COMMENTS & ISSUED FOR PERMIT.
1	SET. 30, 2020	ISSUED FOR CLIENTS/ENGINEERS GRADING REVIEW.

REVISIONS:



SCALE 1:250



LAMPONE INVESTMENTS INC.

PROJ. No. 20-03

MUNICIPAL ADDRESS

LOT No. 119

GREENSPIRE AVE.



The Designer has reviewed and takes responsibility
for this design and meets the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.3 of the building code

Walter Botte 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

REG. PLAN

PART OF WEST HALF OF LOT 20 AND
PART OF N80 ACRES OF E 1/2 OF LOT 20,
CONCESSION 7 (GEOGRAPHIC TOWNSHIP OF MARKHAM COUNTY OF YORK)
THE REGIONAL MUNICIPALITY OF YORK
CITY OF MARKHAM REGISTERED PLAN 65M-4573

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON
SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE
REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY
STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR
CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER
TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL
REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF
THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK
IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE
PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.