

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
	GENERAL NOTE :  ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.   (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING	90 KPa ENGINEERED FILL SOIL F1 = 48"x48"x20" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD  (REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)
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NOTE:	WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
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NOTE:	ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRATMENT.
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BRICK VENEER LINTELS:	WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR. WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR. WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR. WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR. WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.  WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 12" SPR. WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR. WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x12" SPR. WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.
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WOOD LINTELS:	WB1 = 2- 2" x 8" SPRUCE BEAM WB2 = 3- 2" x 8" SPRUCE BEAM WB3 = 2- 2" x 10" SPRUCE BEAM WB4 = 3- 2" x 10" SPRUCE BEAM WB5 = 2- 2" x 12" SPRUCE BEAM  WB6 = 3- 2" x 12" SPRUCE BEAM WB7 = 5- 2" x 12" SPRUCE BEAM WB10 = 4- 2" x 8" SPRUCE BEAM WB11 = 4- 2" x 10" SPRUCE BEAM
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STEEL LINTELS:	L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6) L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8) L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)  L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10) L5 = 6" x 4" x 3/8" (150 x 100 x 10) L6 = 7" x 4" x 3/8" (180 x 100 x 10)
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#### LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A =	1-1 3/4" x 7 1/4" (1-45x184)
LVL1 =	2-1 3/4" x 7 1/4" (2-45x184)
LVL2 =	3-1 3/4" x 7 1/4" (3-45x184)
LVL3 =	4-1 3/4" x 7 1/4" (4-45x184)
LVL4A =	1-1 3/4" x 9 1/2" (1-45x240)
LVL4 =	2-1 3/4" x 9 1/2" (2-45x240)
LVL5 =	3-1 3/4" x 9 1/2" (3-45x240)
LVL5A =	4-1 3/4" x 9 1/2" (4-45x240)
LVL6A=	1-1 3/4" x 11 7/8" (1-45x300)
LVL6 =	2-1 3/4" x 11 7/8" (2-45x300)
LVL7 =	3-1 3/4" x 11 7/8" (3-45x300)
LVL7A=	4-1 3/4" x 11 7/8" (4-45x300)
LVL8 =	2-1 3/4" x 14" (2-45x356)
LVL9 =	3-1 3/4" x 14" (3-45x356)

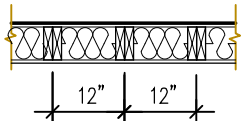
#### Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 1253 Sq. Ft.
SECOND FLOOR AREA	= 1613 Sq. Ft.
TOTAL FLOOR AREA	= 2866 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 2866 Sq. Ft.
GROSS FLOOR AREA	= 2866 Sq. Ft.
GROUND FLOOR COVERAGE	= 1253 Sq. Ft.
GARAGE COVERAGE / AREA	= 390 Sq. Ft.
PORCH COVERAGE / AREA	= 116 Sq. Ft.
COVERAGE W/ PORCH	= 1759 Sq. Ft.
	= 163.4 Sq. m.
COVERAGE W/O PORCH	= 1643 Sq. Ft.
	= 152.6 Sq. m.

KIMBERLY 2-119 ELEV-3		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	911.00	147.00	16.14 %
LEFT SIDE	1088.00	55.00	5.06 %
RIGHT SIDE	1081.00	0.00	0.00 %
REAR	900.00	185.00	20.56 %
TOTAL	3980.00	387.00	9.72 %

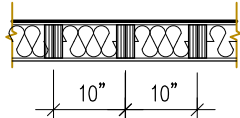
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.  
FULL HT C/W SOLID BLOCKING 4"x0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

#### TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED  
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT  
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.  
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND  
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

#### TWO STOREY HEIGHT WALL DETAIL

NOTE:	THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER .
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NOTE:	SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7"
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NOTE:	THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .
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NOTE:	PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of MARKHAM.

2853

13.3m LOTS

KIMBERLY 2-119 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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2		
1	SEPT. 9, 2020	PREPARED CUSTOM PLAN ISSUED FOR BUILDING PERMIT
No:	DATE:	WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botfel  
NAME SIGNATURE BCIN 21031

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

#### TITLE SHEET

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



MODEL:	T	----
SCALE:	3/16" = 1'-0"	
PROJ. No.	20-03	DWG. No.
		0

CITY OF **MARKHAM**

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE AND THE APPLICABLE ZONING BY-LAW



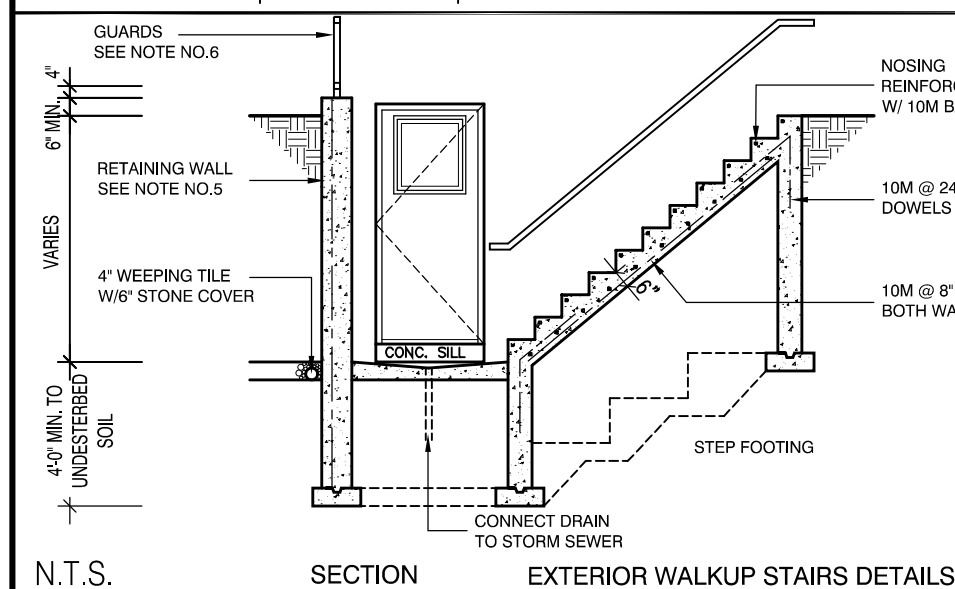
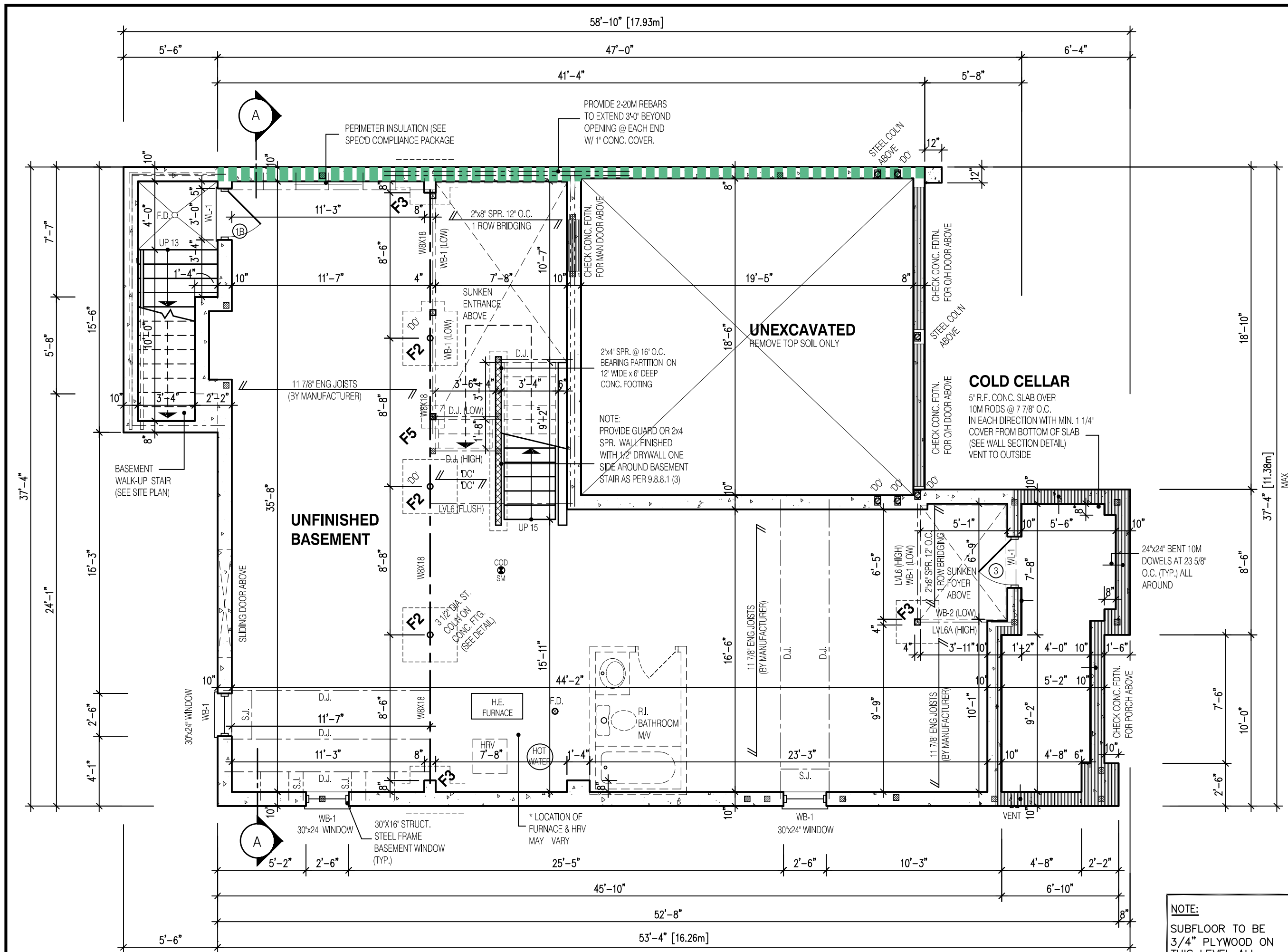
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Date: 05/28/21

**ALL CONSTRUCTION SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE**

NO PERSON SHALL CONSTRUCT OR DEMOLISH A BUILDING OR CAUSE A BUILDING TO BE CONSTRUCTED EXCEPT IN ACCORDANCE WITH THESE CERTIFIED BUILDING PERMIT DOCUMENTS, THE BUILDING CODE ACT AND THE BUILDING CODE.

**NOTE:** THE PROPOSED DEVELOPMENT IS SUBJECT TO COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF THE ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS INCLUDING THE PROVISIONS OF A SITE PLAN AND / OR SUBDIVISION AGREEMENT WHICH MAY OR MAY NOT BE REGISTERED ON TITLE



- GENERAL NOTES:**
- FOOTING  
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED GRANULAR FILL. CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT.
  - EXTERIOR STAIRS  
7 7/8" RISE MAXIMUM  
8 1/4" RUN MINIMUM  
9 1/4" TREAD MINIMUM
  - INSULATION  
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD NOTES.
  - RETAINING WALL  
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION 8 SECTION 4.1.5.16.
  - GUARDS  
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

**NOTE:**  
REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

**NOTE:**  
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**NOTE:**  
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

**NOTE:**  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of CALEDON.



2853  
13.3m LOTS  
KIMBERLY 2-119 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
SEP 17/2020  
FOR STRUCTURE ONLY

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1	SEPT. 9, 2020 PREPARED CUSTOM PLAN ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botte 21031  
NAME SIGNATURE BCIN  
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code  
jardin design group inc. 27763  
FIRM NAME BCIN

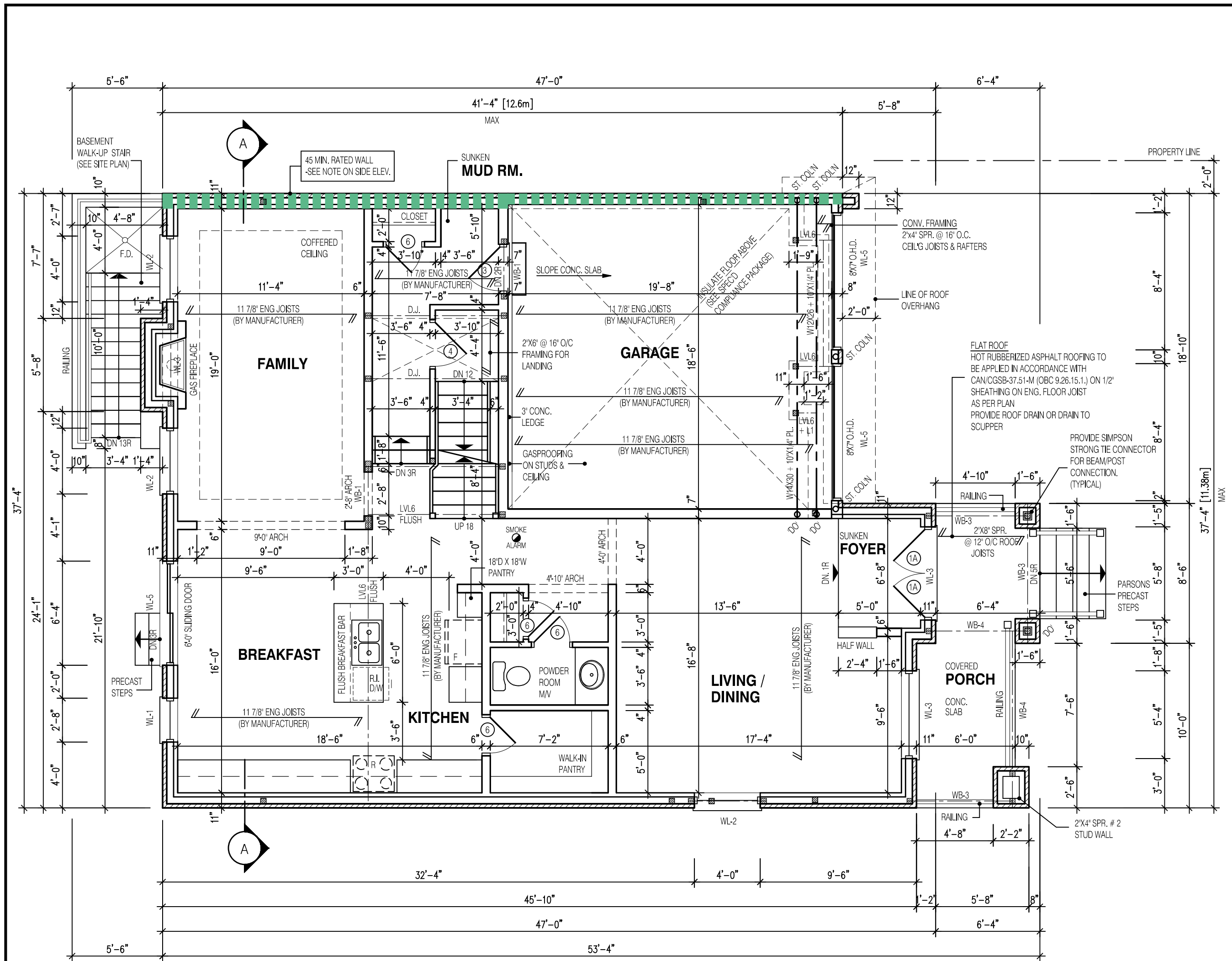
BASEMENT PLAN EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

MODEL: T  
SCALE: 3/16" = 1'-0"  
PROJ. No. 20-03  
DWG. No. 1B



Date: 05/28/21  
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DRAWN BY: [redacted] DRAWING NAME: --

**NOTE:**  
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**NOTE:**  
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

**NOTE:**  
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

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**NOTE:**  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

**LEGEND:**  
■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)  
■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE  
■ STL. PLATE FOR STEEL COL'N ABOVE  
LVL LAMINATED VENEER LUMBER  
S.J. SINGLE JOIST  
D.J. DOUBLE JOIST  
T.J. TRIPLE JOIST  
○ REPEAT NOTE  
○ SHOWER WEEPERS

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Markham.

APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2853  
13.3m LOTS  
KIMBERLY 2-119 (GR)  
ELEVATION 3  
A1 PACKAGE  
O.REG. 332/12

STRUDET INC.  
  
FOR STRUCTURE ONLY

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1	SEPT. 9, 2020	PREPARED CUSTOM PLAN ISSUED FOR BUILDING PERMIT

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botter [Signature] 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

jardin design group inc. 27763  
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3  
LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM

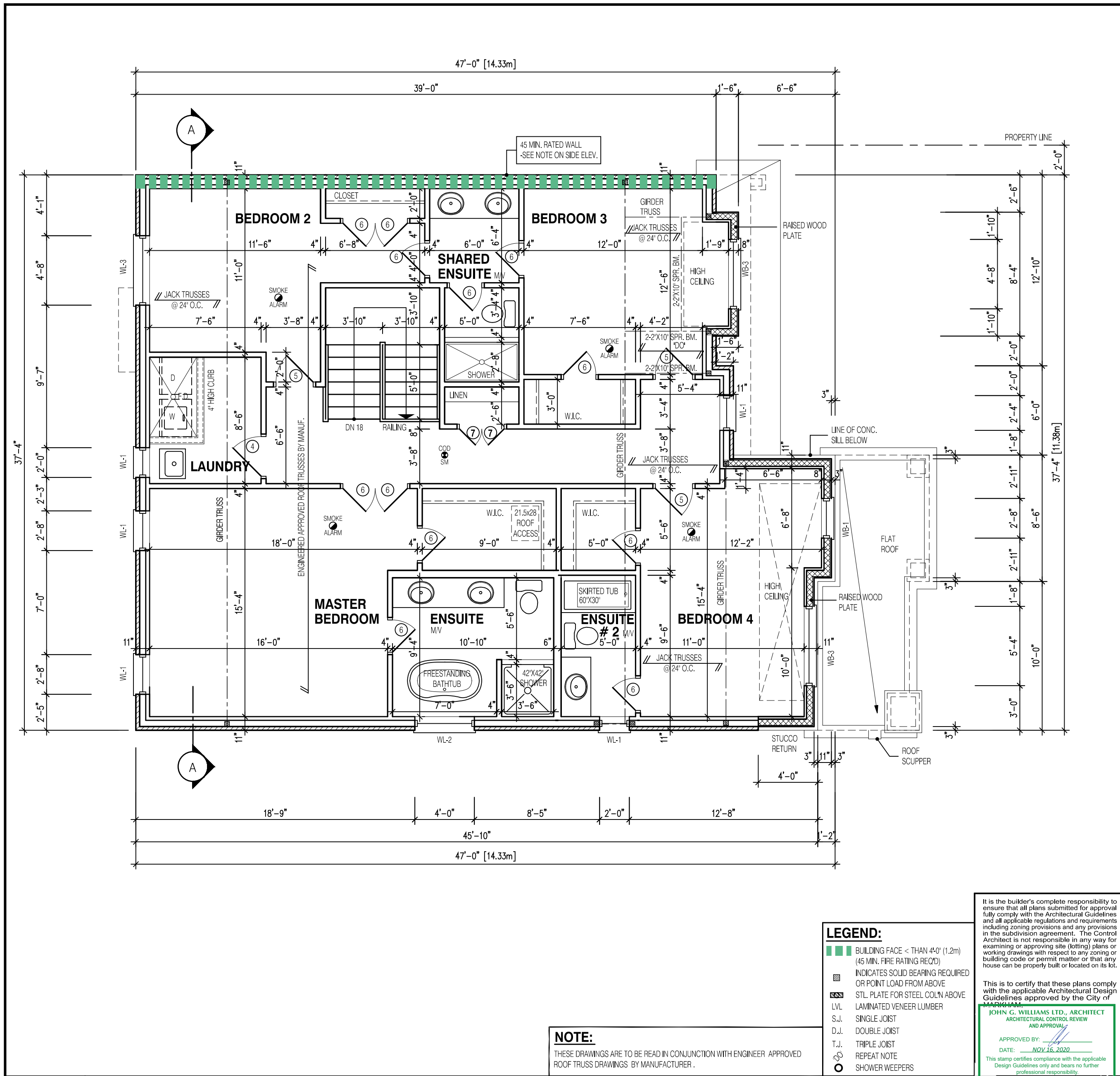
**BILD**

MODEL: T	----
SCALE: 3/16" = 1'-0"	
PROJ. No. 20-03	DWG. No. 2B

Date: 05/28/21  
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2853

13.3m LOTS

KIMBERLY 2-119 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

SEP 17/2020

PROVINCE OF ONTARIO

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jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Bottel

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763

FIRM NAME

BCIN

SEC. FLOOR PLAN EL-3

LAMPONE INVESTMENTS INC.

CITY OF MARKHAM

BILD

MODEL:  
T  
SCALE:  
3/16" = 1'-0"  
PROJ. No.  
20-03  
DWG. No.  
3B



Date: **05/28/21**

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KIMBERLY 2-119  
FRONT ELEV. 3

2853	
13.3m LOTS	
KIMBERLY 2-119 (GR)	
ELEVATION 3	
A1 PACKAGE	
O.REG. 332/12	
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1	SEPT. 9, 2020
PREPARED CUSTOM PLAN ISSUED FOR BUILDING PERMIT	
No:	DATE:
WORK DESCRIPTION:	
jardin	
DESIGN GROUP INC	
64 JARDIN DR. SUITE 3A	
VAUGHAN ONT. L4K 3P3	
TEL: 905 660-3377 FAX: 905 660-3713	
EMAIL: info@jardindesign.ca	
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer	
QUALIFICATION INFORMATION	
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	
Walter Botter	
21031	
NAME	SIGNATURE
REGISTRATION INFORMATION	
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	
27763	
FIRM NAME	BCIN
FRONT ELEVATION-3	
LAMPONE INVESTMENTS INC.	
CITY OF MARKHAM	
MODEL:	
T	
SCALE:	
3/16" = 1'-0"	
PROJ. No.	DWG. No.
20-03	4B

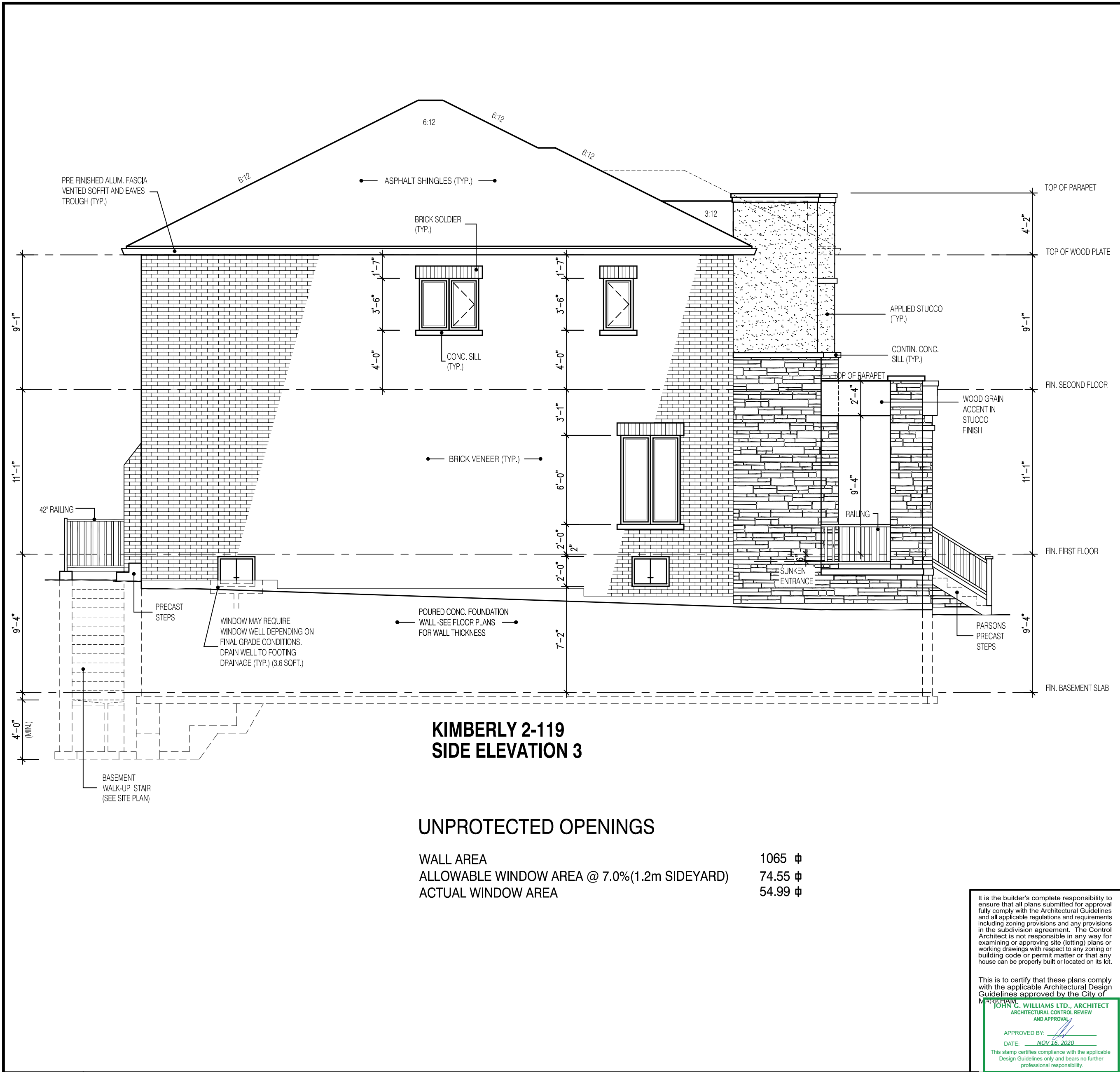


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APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
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KIMBERLY 2-119  
SIDE ELEVATION 3

UNPROTECTED OPENINGS

WALL AREA	1065	φ
ALLOWABLE WINDOW AREA @ 7.0%(1.2m SIDEYARD)	74.55	φ
ACTUAL WINDOW AREA	54.99	φ

2853	
13.3m LOTS	
KIMBERLY 2-119 (GR)	
ELEVATION 3	
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O.REG. 332/12	
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Walter Botfel	21031
NAME	SIGNATURE BCIN
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jardin design group inc.	27763
FIRM NAME	BCIN
SIDE ELEVATION-3	
LAMPONE INVESTMENTS INC. CITY OF MARKHAM	
MODEL: T	
SCALE: 3/16" = 1'-0"	
PROJ. No.	DWG. No.
20-03	5B



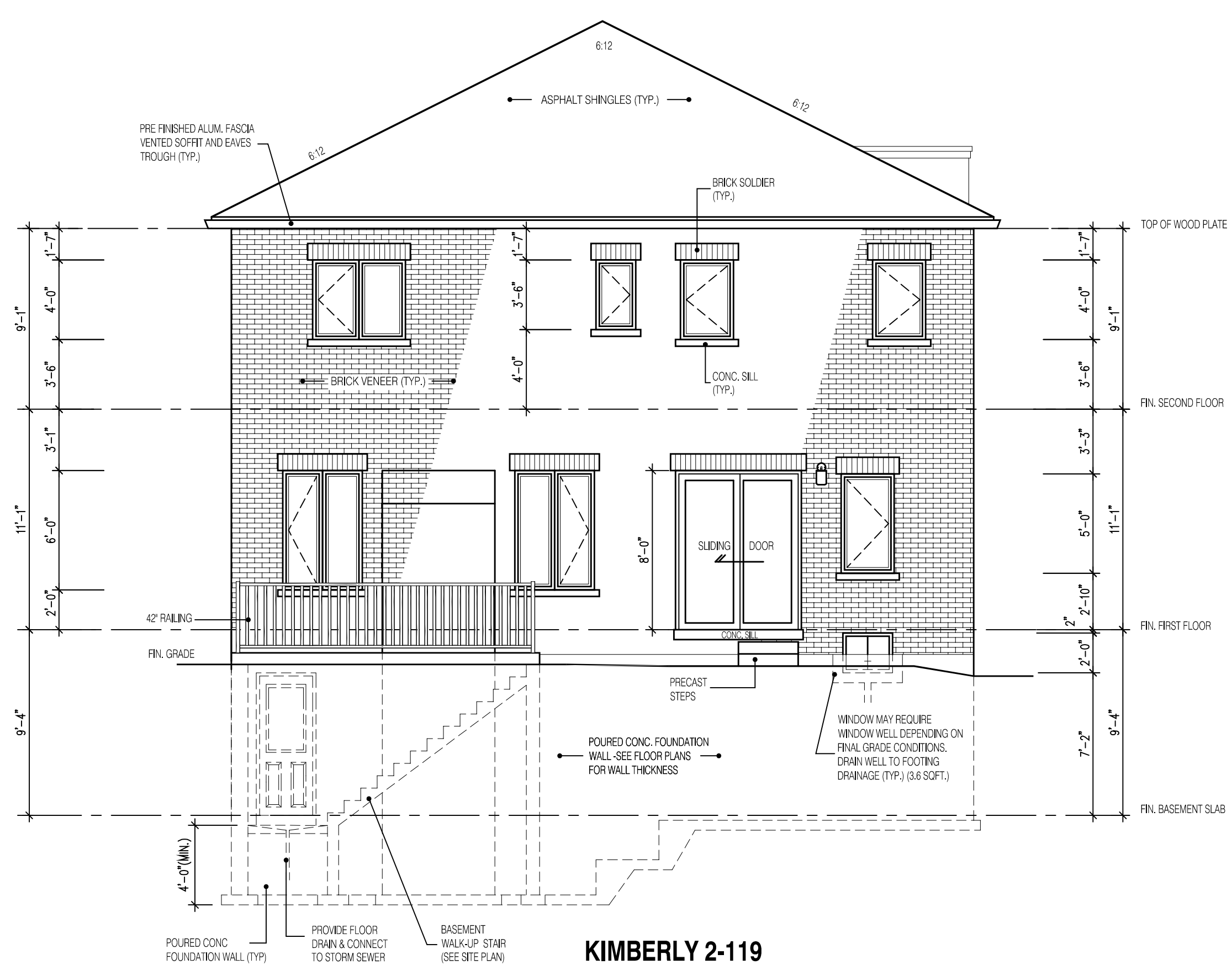
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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: NOV 16, 2020  
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KIMBERLY 2-119  
REAR ELEVATION 3

2853

13.3m LOTS

KIMBERLY 2-119 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	SEPT. 9, 2020

No:

DATE:

WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT. L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

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Walter Botter

21031

NAME

SIGNATURE

BCIN

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jardin design group inc.

27763

FIRM NAME

BCIN

REAR ELEVATION-3

LAMPONE INVESTMENTS INC.

CITY OF MARKHAM

MODEL:  
T

SCALE:  
3/16" = 1'-0"

PROJ. No.  
20-03

DWG. No.  
6B

CITY OF **MARKHAM**  
BUILDING STANDARDS DIVISION  
REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW

Date: **05/28/21**

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JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW

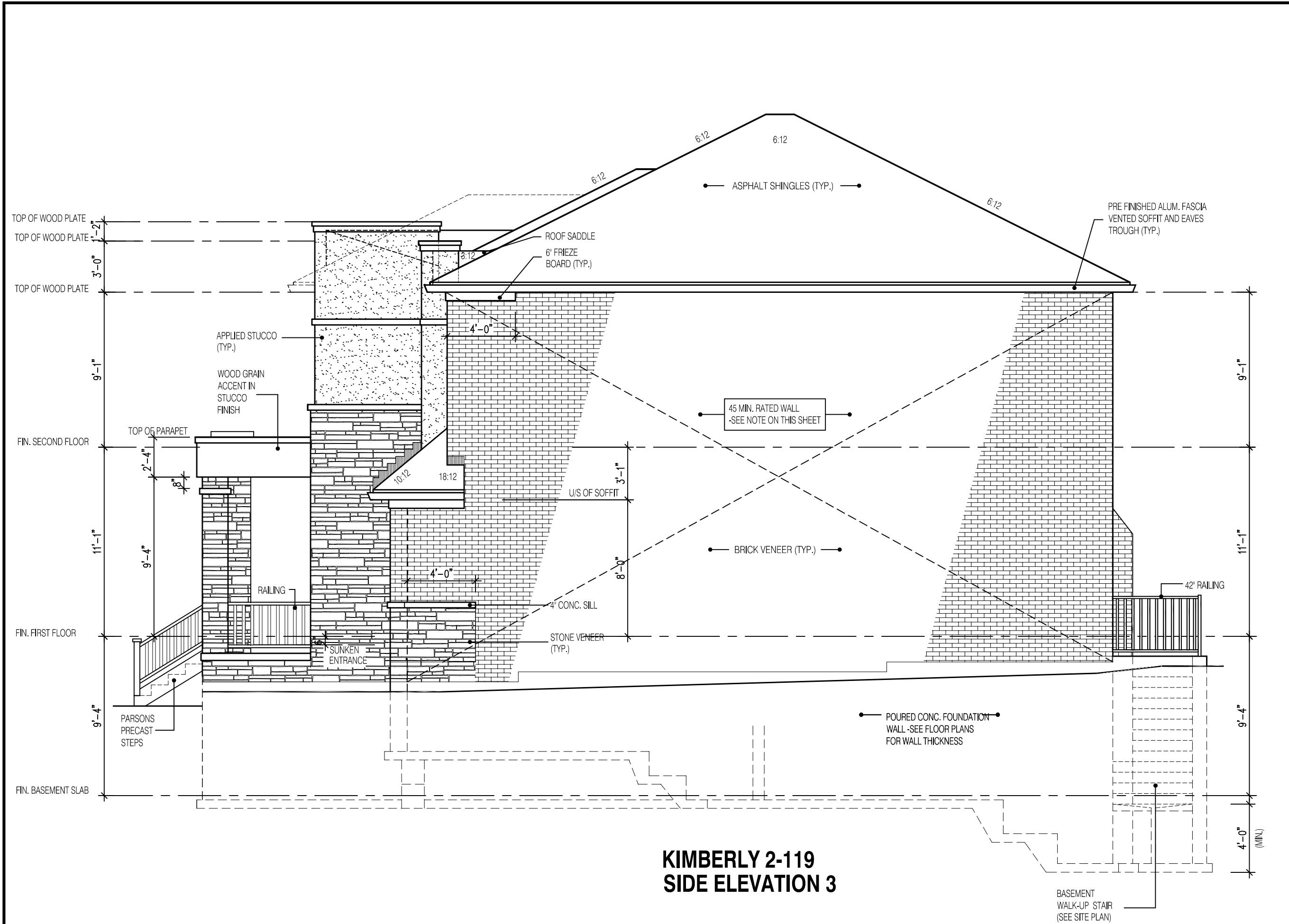
AND APPROVAL

APPROVED BY:

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DRAWN BY:   
DRAWING NAME: --



KIMBERLY 2-119  
SIDE ELEVATION 3

#### HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

#### 45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

#### BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

#### 45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90%% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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2853

13.3m LOTS

KIMBERLY 2-119 (GR)  
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	SEPT. 9, 2020	PREPARED CUSTOM PLAN ISSUED FOR BUILDING PERMIT
No:	DATE:	WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botter  21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763  
FIRM NAME BCIN

SIDE ELEVATION-3

LAMPONE INVESTMENTS INC.  
CITY OF MARKHAM



PROJ. No.  
20-03

MODEL:  
T

SCALE:  
3/16" = 1'-0"

DWG. No.  
7B

CITY OF **MARKHAM**

BUILDING STANDARDS DIVISION

REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING  
CODE AND THE APPLICABLE ZONING BY-LAW



21.117718.000.00.HP

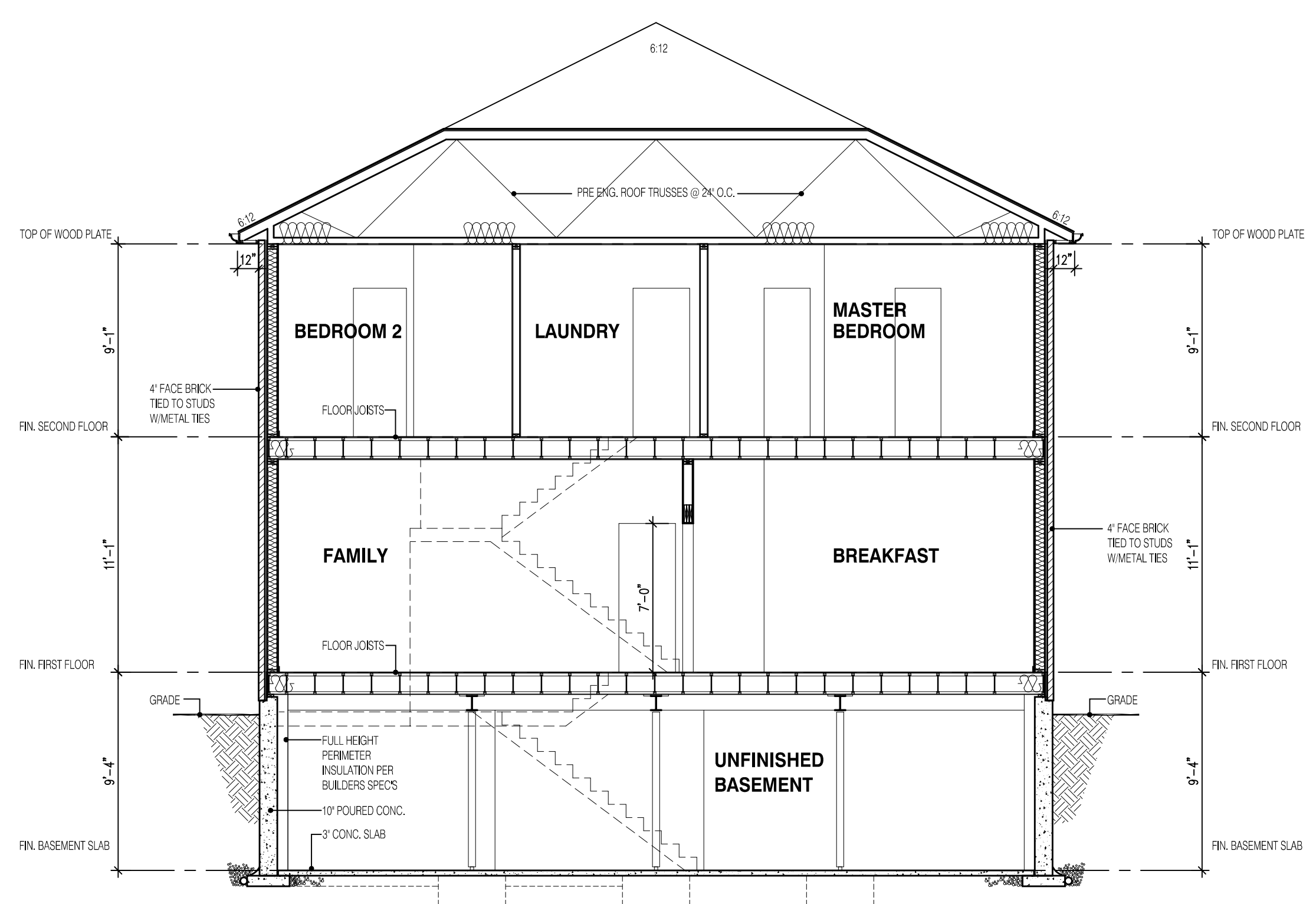
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KIMBERLY 2-119  
SECTION A-A ELEVATION 3

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ELEVATION 3

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O.REG. 332/12

STRUDET INC.



FOR STRUCTURE ONLY

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jardin


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21031

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FIRM NAME BCIN

SECTION ELEV.-3

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CITY OF MARKHAM



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DWG. No.  
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CITY OF MARKHAM

BUILDING STANDARDS DIVISION

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