

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psf) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4'-3"x3'-1/2"x5/16" L (100x90x6.0L) + 2-2"x8" SPR. No.2
WL3 = 5'-3"x3'-1/2"x5/16" L (125x90x6.0L) + 2-2"x10" SPR. No.2
WL4 = 6'-3"x3'-1/2"x5/16" L (150x90x6.0L) + 2-2"x12" SPR. No.2
WL5 = 6'-3"x3'-1/2"x5/16" L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5'-3"x3'-1/2"x5/16" L (125x90x6.0L) + 2-2"x12" SPR. No.2
WL7 = 5'-3"x3'-1/2"x5/16" L (125x90x6.0L) + 3-2"x10" SPR. No.2
WL8 = 5'-3"x3'-1/2"x5/16" L (125x90x6.0L) + 3-2"x12" SPR. No.2
WL9 = 6'-3"x3'-1/2"x5/16" L (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L)
L2 = 4'-3"x3'-1/2"x5/16" L (100x90x6.0L)
L3 = 5'-3"x3'-1/2"x5/16" L (125x90x6.0L)
L4 = 6'-3"x3'-1/2"x5/16" L (150x90x6.0L)
L5 = 6'-3"x3'-1/2"x5/16" L (150x100x10.0L)
L6 = 7'-3"x3'-1/2"x5/16" L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	8'-0"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	8'-0"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	8'-0"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	8'-0"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	8'-0"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	8'-0"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	8'-0"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	8'-0"	8'-0"	INTERIOR SLAB DOOR

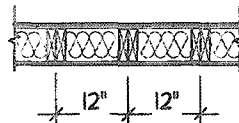
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

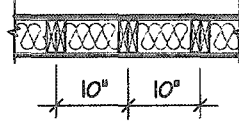
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



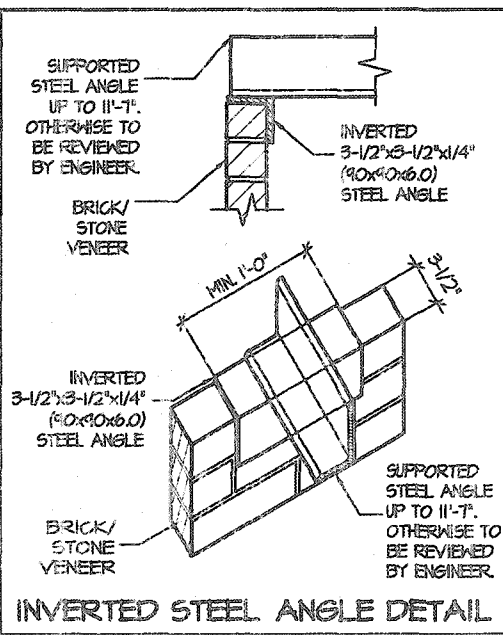
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

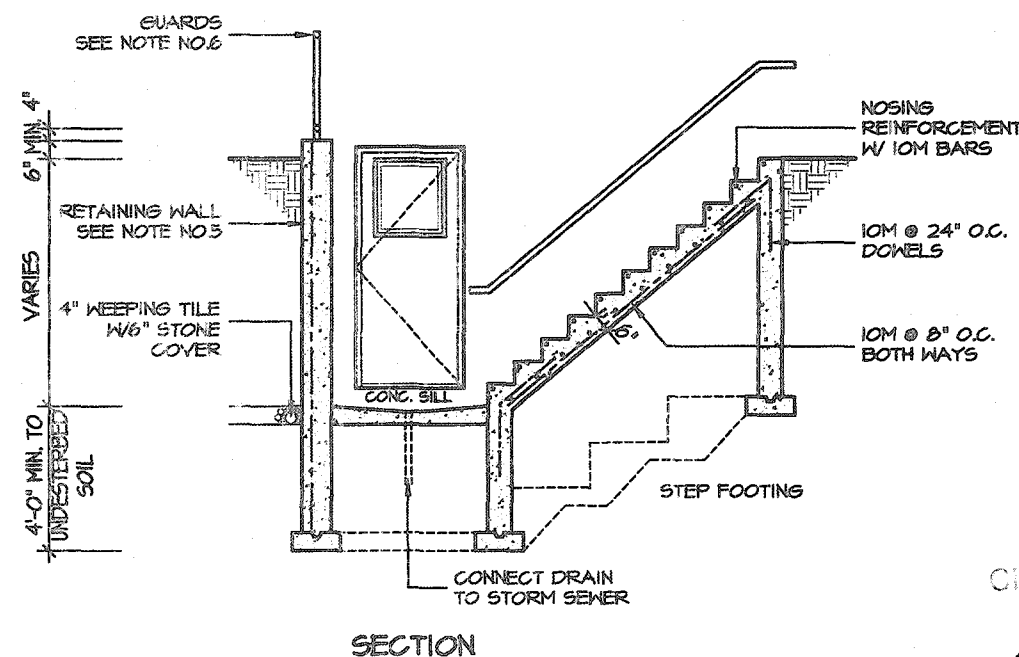
COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.16 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX U=0.28
SPACE HEATING EQUIPMENT MINIMUM APLUE	66%
HVAC MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN EFF 0.80



INVERTED STEEL ANGLE DETAIL

EXTERIOR WALKUP STAIRS DETAILS



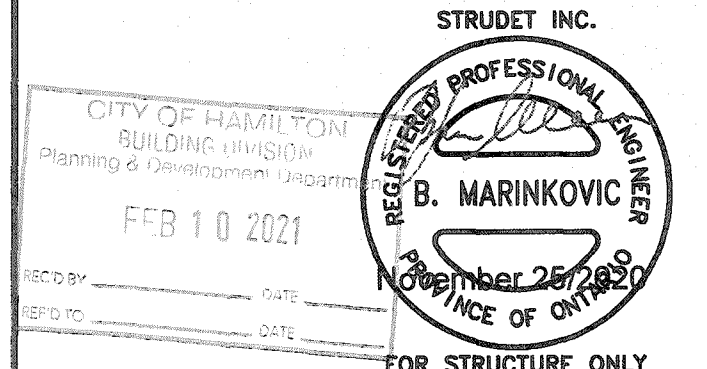
SECTION

GENERAL NOTES:

- FOOTINGS**
24"x8" POURED CONC. FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL
OR COMPACTED GRANULAR FILL.
- CONCRETE**
MINIMUM COMPRESSIVE STRENGTH OF 32 MPa (4650 psi) @ 28 DAYS W 5% TO 8% AIR
ENTRAINMENT.
- EXTERIOR STAIRS**
7 7/8" RISE MAXIMUM
8 1/4" RUN MINIMUM
9 1/4" TREAD MINIMUM
- INSULATION**
FOR INSULATION VALUE & VAPOUR BARRIER LOCATION REFER TO NOTE 13 OF STANDARD
NOTES.
- RETAINING WALL**
10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7".
PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. AND 15M HORIZONTAL REINFORCEMENT @
24" O.C. FOR WALL HEIGHTS TO 7'-0". RETAINING WALL TO RESIST LATERAL DESIGN LOADS AS
PER OBC DIVISION 8 SECTION 4.1.5.16.
- GUARDS**
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11". 2'-11" FOR
LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

AREA CALCULATIONS		ELEV. 1
GROUND FLOOR AREA	=	1226 Sq. Ft.
SECOND FLOOR AREA	=	1567 Sq. Ft.
TOTAL FLOOR AREA	=	2793 Sq. Ft.
	=	259.48 Sq. M.
1ST FLOOR OPEN AREA	=	0 Sq. Ft.
2ND FLOOR OPEN AREA	=	10 Sq. Ft.
ADD TOTAL OPEN AREAS	=	10 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2803 Sq. Ft.
	=	260.41 Sq. M.
GROUND FLOOR COVERAGE	=	1226 Sq. Ft.
GARAGE COVERAGE / AREA	=	348 Sq. Ft.
PORCH COVERAGE / AREA	=	64 Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1638 Sq. Ft.
	=	156.82 Sq. M.
TOTAL COVERAGE W/O PORCH	=	1624 Sq. Ft.
	=	150.87 Sq. M.

VALLEYCREEK 4		ELEV.1	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	714.20	66.35	74.45	6.92	10.42 %
LEFT SIDE	1131.83	105.15	63.67	5.92	5.63 %
RIGHT SIDE	1104.33	103.06	55.33	5.14	4.99 %
REAR	674.56	63.13	166.61	15.48	24.52 %
TOTAL	3624.92	337.70	360.06	33.45	9.91 %



CITY OF HAMILTON
Building Division

21 107133

PERMIT NO. 21 107133
DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL DATE

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ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

VALLEYCREEK 4-300 COMPLIANCE PACKAGE "A1"

5		
4		
3		
2	UPDATED FOR LOT 300	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020

REVISIONS

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4098
F (905) 660-0746

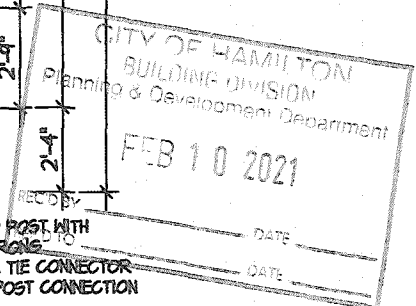
REGION
DESIGN
INC.

SHEET TITLE
AREA CHARTS
SCALE
3/16"=1'-0"
DATE
JAN 2020
BY
V.G.
TYPE
PROJECT

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.
AREA
2,814
PAGE NO.
0



PROJECT NAME
RUSSELL GARDENS III

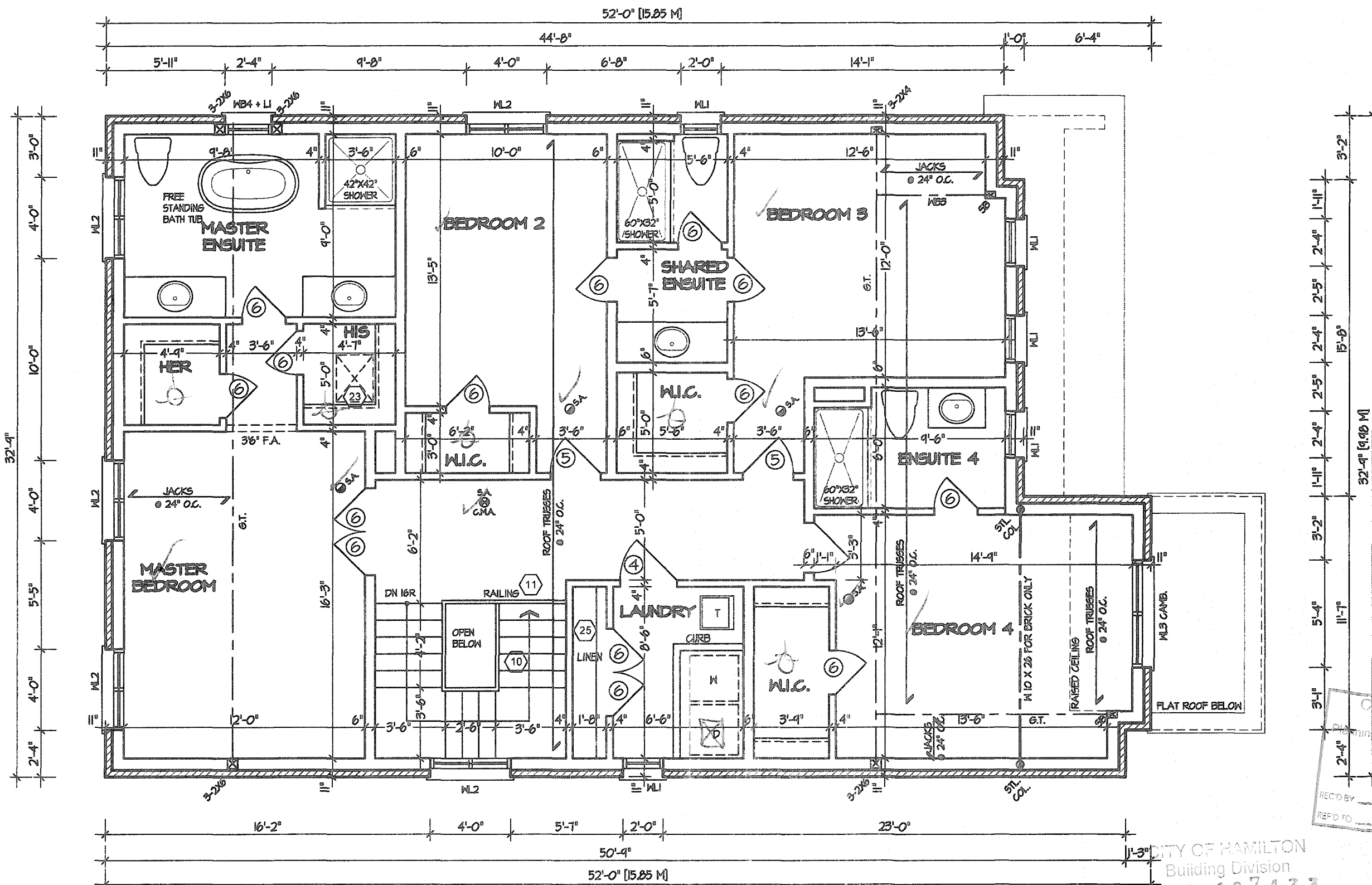
Greenpark.



-AS PGR
WAS
UTILIZATION
CODE.

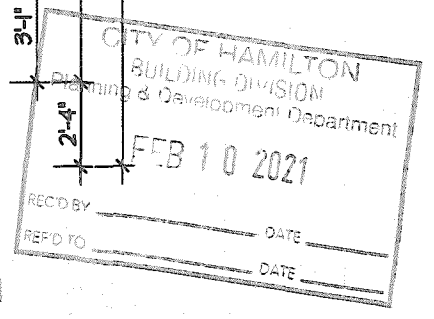
PROJECT NAME
RUSSELL GARDENS III

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p>REGION DESIGN INC.</p>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			
4.						FIRST FLOOR PLAN					PROJECT NAME
3.						ELEV. 1					
2.	UPDATED FOR LOT 300	SEP 2020				SCALE	BY	AREA	PAGE No.		
1.	ISSUED FOR REVIEW	JAN 2020				3/16"=1'-0"	V.G.	2,814	2		
REVISIONS			DATE	TYPE	PROJECT						
			JAN 2020					RUSSELL GARDENS III			



SECOND FLOOR PLAN "I"

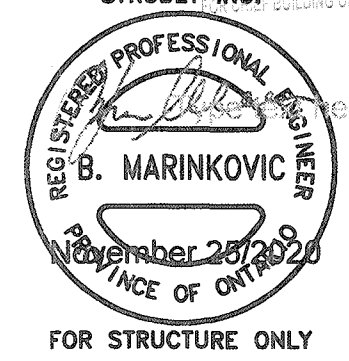
MAIN BATH
REINFORCING FOR
FUTURE GRAB
BAR



CITY OF HAMILTON
Building Division
107133

THREE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

John June 2021



FOR STRUCTURE ONLY

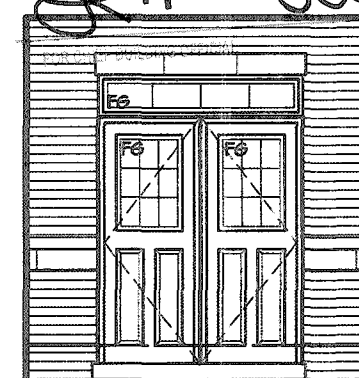
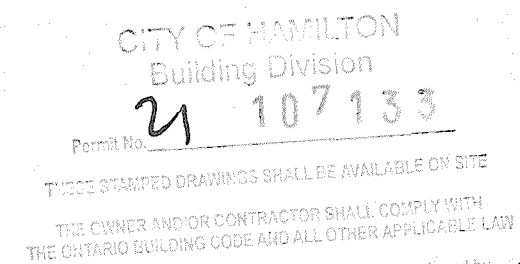
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: JAN 28 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 4-300 COMPLIANCE PACKAGE "A1"

<p>5</p> <p>4</p> <p>3</p> <p>2 UPDATED FOR LOT 300 SEP 2020</p> <p>1 ISSUED FOR REVIEW JAN 2020</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 738-4096</p> <p>F (905) 660-0746</p> <p>REGION DESIGN INC.</p>	<p>SHEET TITLE</p> <p>SECOND FLOOR PLAN</p> <p>ELEV. 1</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE JAN 2020</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 2,814</p> <p>PAGE No. 3</p>	<p>PROJECT NAME</p> <p>RUSSELL GARDENS III</p>
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**INSIDE PORTICO
ELEVATION**

FEB 10 2021

REC'D BY _____ DAT _____
REF'D TO _____ DAT _____

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROPRIAL

APPROVED BY: _____
DATE: JAN 28, 2021

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VALLEYCREEK 4-300

COMPLIANCE PACKAGE "A1"



5		
4		
3		
2	UPDATED FOR LOT 300	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770

SIGNATURE

BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION
FL ELEV 1

SCALE
3/16" = 1' 0'

DATE JAN 2020

BY VG

TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
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AREA 2.814

PROJECT

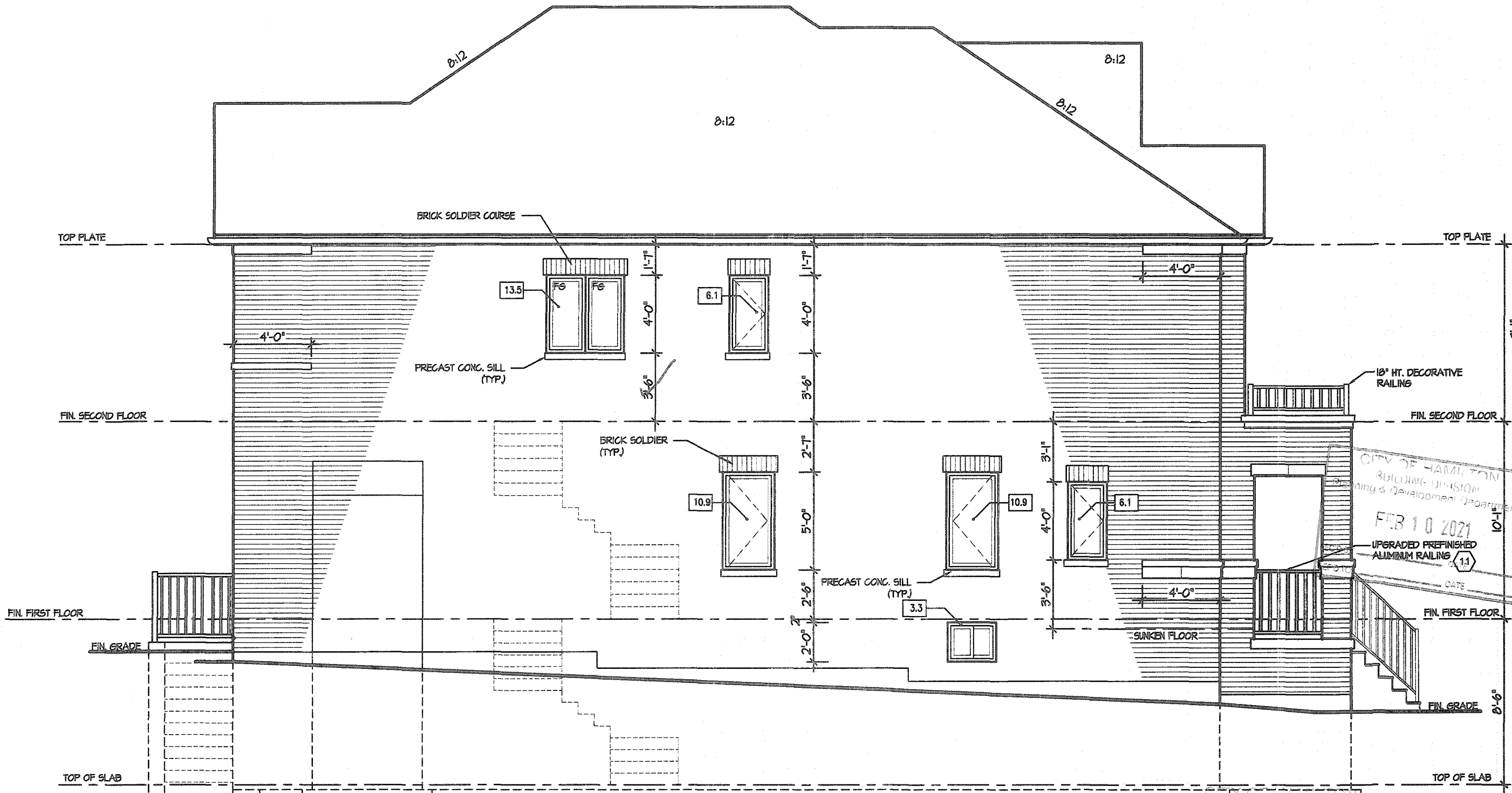
PAGE No.

4

Greenpark.

PROJECT NAME

RUSSELL GARDENS III



LEFT ELEVATION I

ALLOWABLE GLAZING

WALL AREA

WALL AREA
ALLOWABLE WINDOW AREA @
ACTUAL WINDOW AREA

1.00 % (1.2 M SIDEYARD)
1167.08
81.70
50.80

Building Division
21 107133

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by
[Signature] CHIEF BUILDING OFFICIAL
DATE

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 28, 2021
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VALLEYCREEK 4-300
COMPLIANCE PACKAGE "A1"

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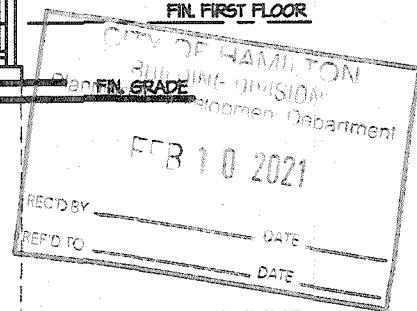
REGION
DESIGN
INC.

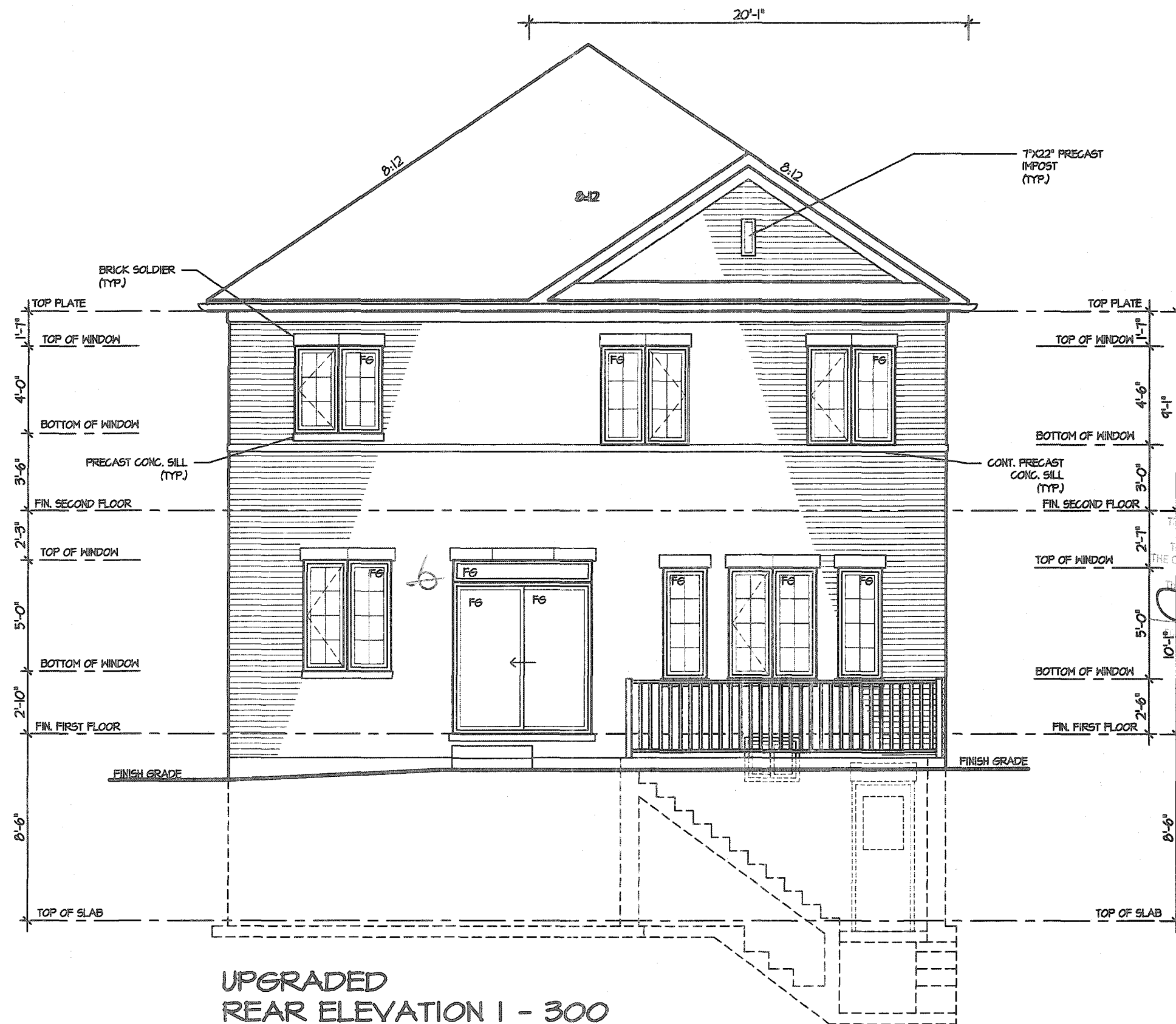
SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 1
SCALE
3/16"=1'-0"
DATE
JAN 2020
BY
V.G.
TYPE
PROJECT

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AREA
2,814
PAGE No.
5

PROJECT NAME
RUSSELL GARDENS III

Greenpark.





CITY OF HAMILTON
Building Division

Permit No. 21 107133

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DATE 10/1/2021
CHIEF BUILDING OFFICIAL

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
FEB 10 2021
REC'D BY: DATE
REF'D TO: DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: DATE JAN 28 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

VALLEYCREEK 4-300
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	UPDATED FOR LOT 300	SEP 2020
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR 28770
NAME SIGNATURE BCIN

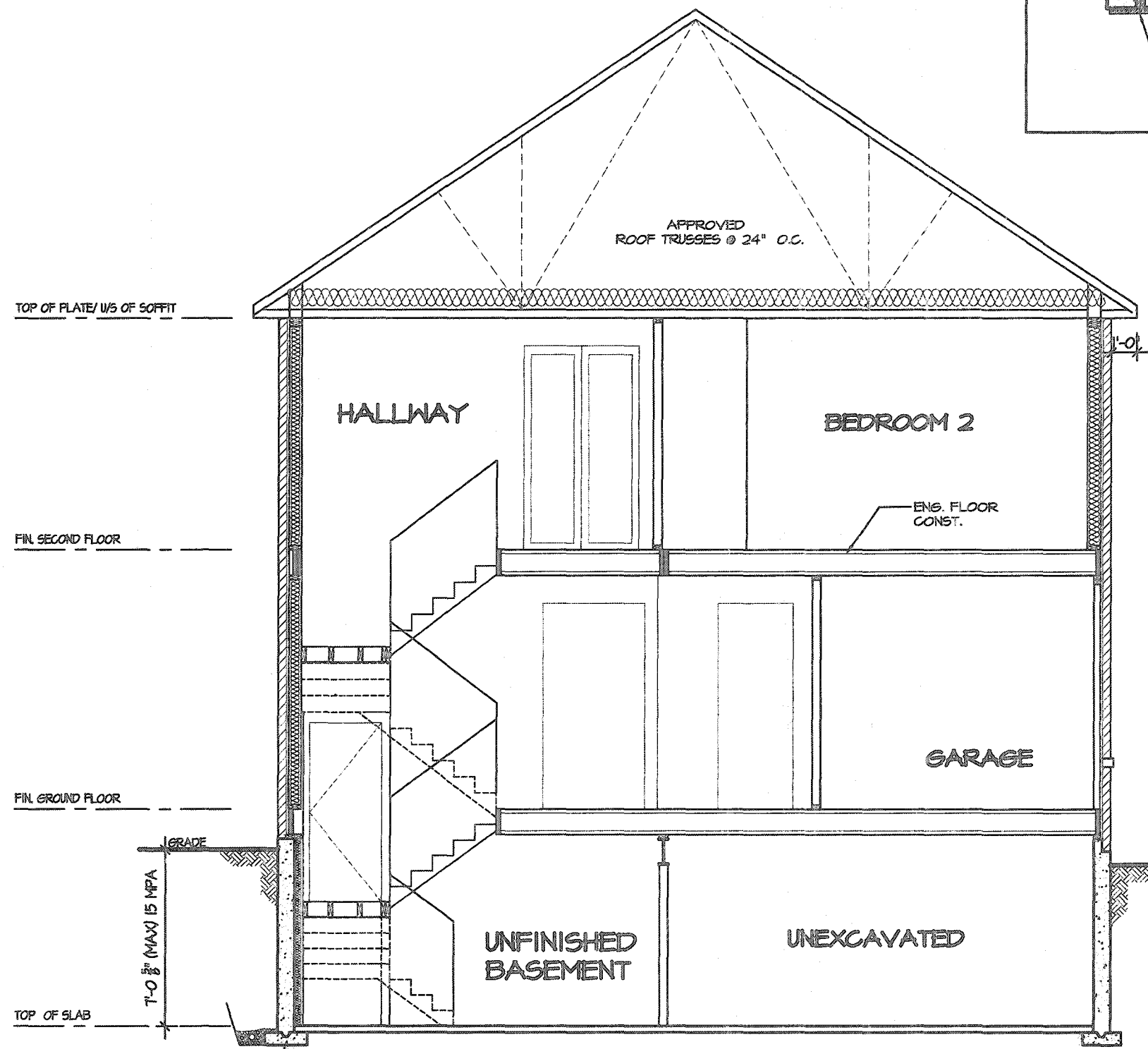
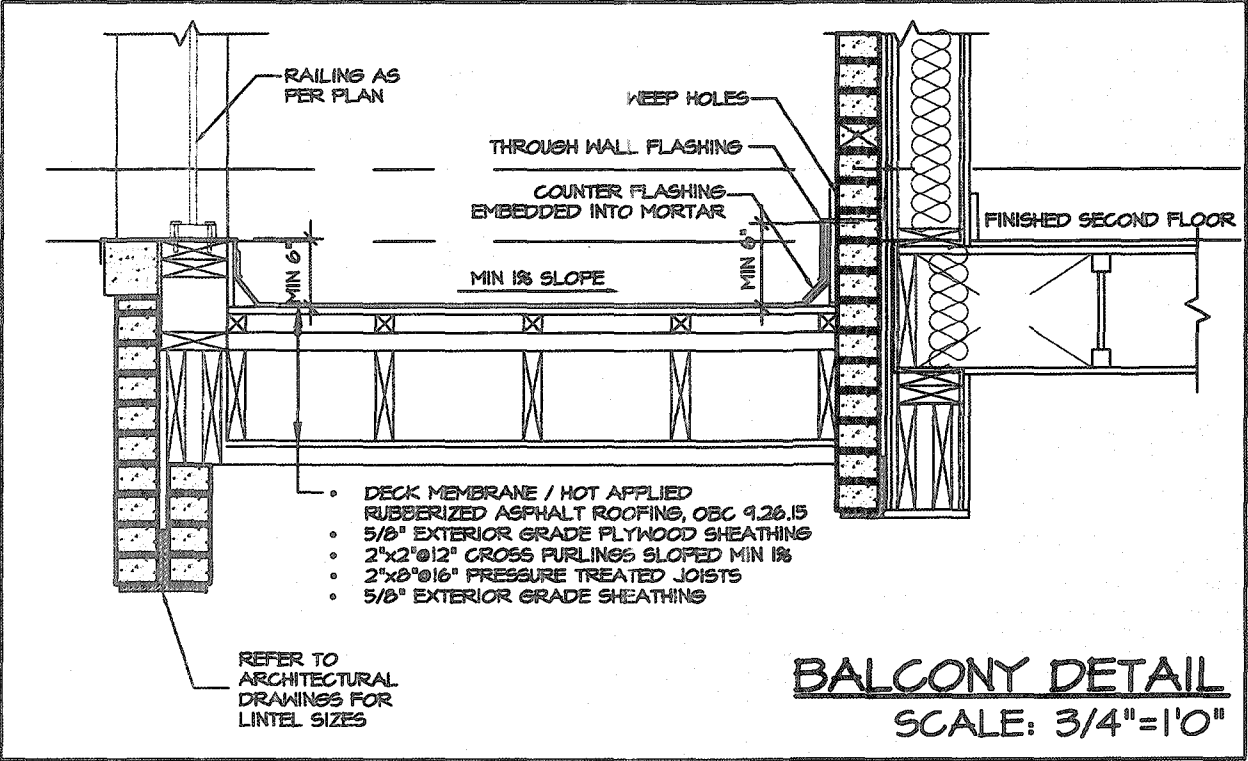
REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
REAR ELEVATION
ELEV., 1, 2 & 3
SCALE 3/16"=1'-0"
DATE JAN 2020
BY V.G.
TYPE
AREA 2,814
PAGE No. 7
PROJECT

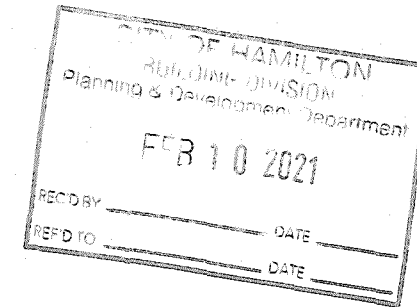
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

Greenpark.
PROJECT NAME
RUSSELL GARDENS III

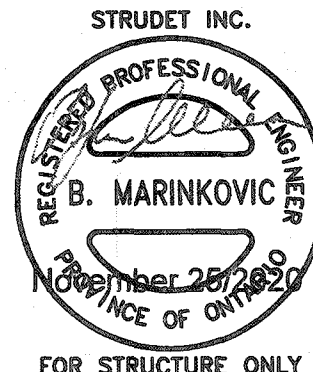


CROSS SECTION

VALLEYCREEK 4-300
COMPLIANCE PACKAGE "A1"



CITY OF HAMILTON
Building Division
Permit No. 4 107133
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
The drawings and/or specifications have been reviewed by
[Signature] June 26/20
FOR CHIEF BUILDING OFFICIAL DATE



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

5		
4		
3		
2	UPDATED FOR LOT 300	SEP 2020
1	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

[Signature]
SIGNATURE

28770
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 860-0746

REGION DESIGN INC.

SHEET TITLE
CROSS SECTION

SCALE 3/16"=1'-0"

DATE JAN 2020

BY V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 2,814

PAGE No. 8

PROJECT

Greenpark

PROJECT NAME
RUSSELL GARDENS III