

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FILLING DETAIL)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 psi) SOIL BEARING CAPACITY FOR SINGLES OR NO KPa
FOR ENGINEERED FILL TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa, MEDIUM SOIL 80 KPa, ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x18" CONCRETE PAD F2 = 40"x40"x18" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10"
POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC.
FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (80x90x0.1) + 2-2"x8" SPR. No.2
WL2 = 4' x 3'-1 1/2" x 5/16" (100x90x0.1) + 2-2"x8" SPR. No.2
WL3 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 2-2"x10" SPR. No.2
WL4 = 6' x 3'-1 1/2" x 3/8" (150x90x0.1) + 2-2"x12" SPR. No.2
WL5 = 8' x 4' x 3/8" (150x100x0.1) + 2-2"x12" SPR. No.2
WL6 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 2-2"x12" SPR. No.2
WL7 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 3-2"x12" SPR. No.2
WL8 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1) + 3-2"x10" SPR. No.2
WL9 = 6' x 4' x 3/8" (150x100x0.1) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x134) SPR. No.2
WB2 = 3-2"x8" (3-38x134) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 4-2"x12" (4-38x286) SPR. No.2
WB8 = 5-2"x12" (5-38x286) SPR. No.2
WB9 = 4-2"x10" (4-38x235) SPR. No.2
WB10 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 4" (2-45x356)
LVL9 = 3-1 3/4" x 4" (3-45x356)

LOOSE STEEL LINTELS (L)

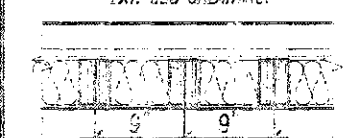
L1 = 3'-1 1/2" x 3'-1 1/2" x 1/4" (90x90x0.1)
L2 = 4' x 3'-1 1/2" x 5/16" (100x90x0.1)
L3 = 5' x 3'-1 1/2" x 5/16" (125x90x0.1)
L4 = 6' x 3'-1 1/2" x 3/8" (150x90x0.1)
L5 = 8' x 4' x 3/8" (150x100x0.1)
L6 = 7' x 4' x 3/8" (180x100x0.1)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR

TWO STOREY HEIGHT WALL DETAIL

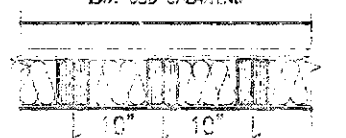
2-1 1/2" x 5 1/2" UNDERSTRAND (LSL) 1.5E
STUD WALL GLEED & NAILED TOGETHER AND
SPACED MAX. @ 5' o.c. FULL HEIGHT, 6/4 SOLID
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 21'-5" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" UNDERSTRAND (LSL) 1.5E
STUD WALL GLEED & NAILED TOGETHER AND
SPACED MAX. @ 5' o.c. FULL HEIGHT, 6/4 SOLID
BLOCKING @ 8'-0" o.c. VERTICAL AND 7/16"
EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.36 S.F.	147.45 S.F.	18.75 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	52.33 S.F.	4.50 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3699.11 S.F.	438.44 S.F.	11.24 %
TOTAL SQ. M.	362.24 S.M.	40.73 S.M.	11.24 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.36 S.F.	147.45 S.F.	18.75 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	8.05 %
RIGHT SIDE	1162.00 S.F.	38.33 S.F.	3.30 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3699.11 S.F.	438.44 S.F.	11.07 %
TOTAL SQ. M.	362.24 S.M.	40.45 S.M.	11.07 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.25 S.F.	137.46 S.F.	17.48 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	52.33 S.F.	4.50 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3699.00 S.F.	428.45 S.F.	10.99 %
TOTAL SQ. M.	362.23 S.M.	39.80 S.M.	10.99 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774.50 S.F.	165.36 S.F.	21.35 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	7.48 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3687.25 S.F.	480.35 S.F.	12.48 %
TOTAL SQ. M.	361.13 S.M.	45.00 S.M.	12.48 %

CERAMIC TILE FOR CONVENTIONAL LUMBER

(OBC 9.30.3)
SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" o.c.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'0"-7'0".
2 ROWS F.R. SPANS GREATER THAN 7'0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION UNLESS OTHERWISE
NOTED.

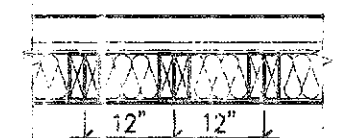
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL
ENGINEERED FLOOR FRAMING INFORMATION AND
DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" o.c. FULL HEIGHT, 6/4 SOLID
BLOCKING @ 4'-0" o.c. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 18'-0" AND MAX. SUPPORTED
LENGTH OF TRUSS IS 40'-0".

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	786.25 S.F.	137.46 S.F.	17.48 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	8.05 %
RIGHT SIDE	1162.00 S.F.	38.33 S.F.	3.30 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3699.00 S.F.	421.45 S.F.	10.81 %
TOTAL SQ. M.	362.23 S.M.	39.15 S.M.	10.81 %

UNINSULATED OPENINGS (PER OBC SB-12.3.1.1(7))

ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	774.50 S.F.	165.36 S.F.	21.35 %
LEFT SIDE	1194.75 S.F.	99.17 S.F.	8.05 %
RIGHT SIDE	1162.00 S.F.	66.33 S.F.	5.71 %
REAR	756.00 S.F.	149.49 S.F.	19.77 %
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
0.00 S.F.			
TOTAL SQ. FT.	3687.25 S.F.	477.35 S.F.	12.28 %
TOTAL SQ. M.	361.13 S.M.	44.35 S.M.	12.28 %

THE MINIMAL THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO
THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS
PER OBC SUPPLEMENTARY STANDARD SB-12,
SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab	1.76 (R10)	RIGID INSUL
≤600mm below grade		
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment	96% Min.	NATURAL GAS
Minimum AFUE		
Hot Water Heater	0.8	NATURAL GAS
Minimum EF		
HRV	75%	
Minimum Efficiency		
Drain Water Heat Recovery Unit (DWHR)		Minimum 1 OR Maximum 2 Required. Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information

ci- Denotes Continuous Insulation without framing interruption.



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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Central Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

0-11777

Mountainash 6 COMPLIANCE PACKAGE 'A1'

3409 SF.

AREA CALCULATIONS ELEV '1'

GROUND FLOOR AREA	1486 SF
SECOND FLOOR AREA	1915 SF
TOTAL FLOOR AREA	3401 SF (315.96 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	8 SF
ADD TOTAL OPEN AREAS	+8 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3409 SF (316.71 m2)
GROUND FLOOR COVERAGE	1493 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	85 SF
COVERAGE W/ PORCH	1971 SF (183.11 m2)
COVERAGE W/O PORCH	1886 SF (175.22 m2)

AREA CALCULATIONS ELEV '2'

GROUND FLOOR AREA	1486 SF
SECOND FLOOR AREA	1909 SF
TOTAL FLOOR AREA	3395 SF (315.41 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	8 SF
ADD TOTAL OPEN AREAS	+8 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3403 SF (316.15 m2)
GROUND FLOOR COVERAGE	1493 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	95 SF
COVERAGE W/ PORCH	1981 SF (184.04 m2)
COVERAGE W/O PORCH	1886 SF (175.22 m2)

AREA CALCULATIONS ELEV '3'

GROUND FLOOR AREA	1480 SF
SECOND FLOOR AREA	1880 SF
TOTAL FLOOR AREA	3360 SF (312.15 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	8 SF
ADD TOTAL OPEN AREAS	+8 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	3368 SF (312.90 m2)
GROUND FLOOR COVERAGE	1487 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	58 SF
COVERAGE W/ PORCH	1938 SF (180.05 m2)
COVERAGE W/O PORCH	1880 SF (174.66 m2)

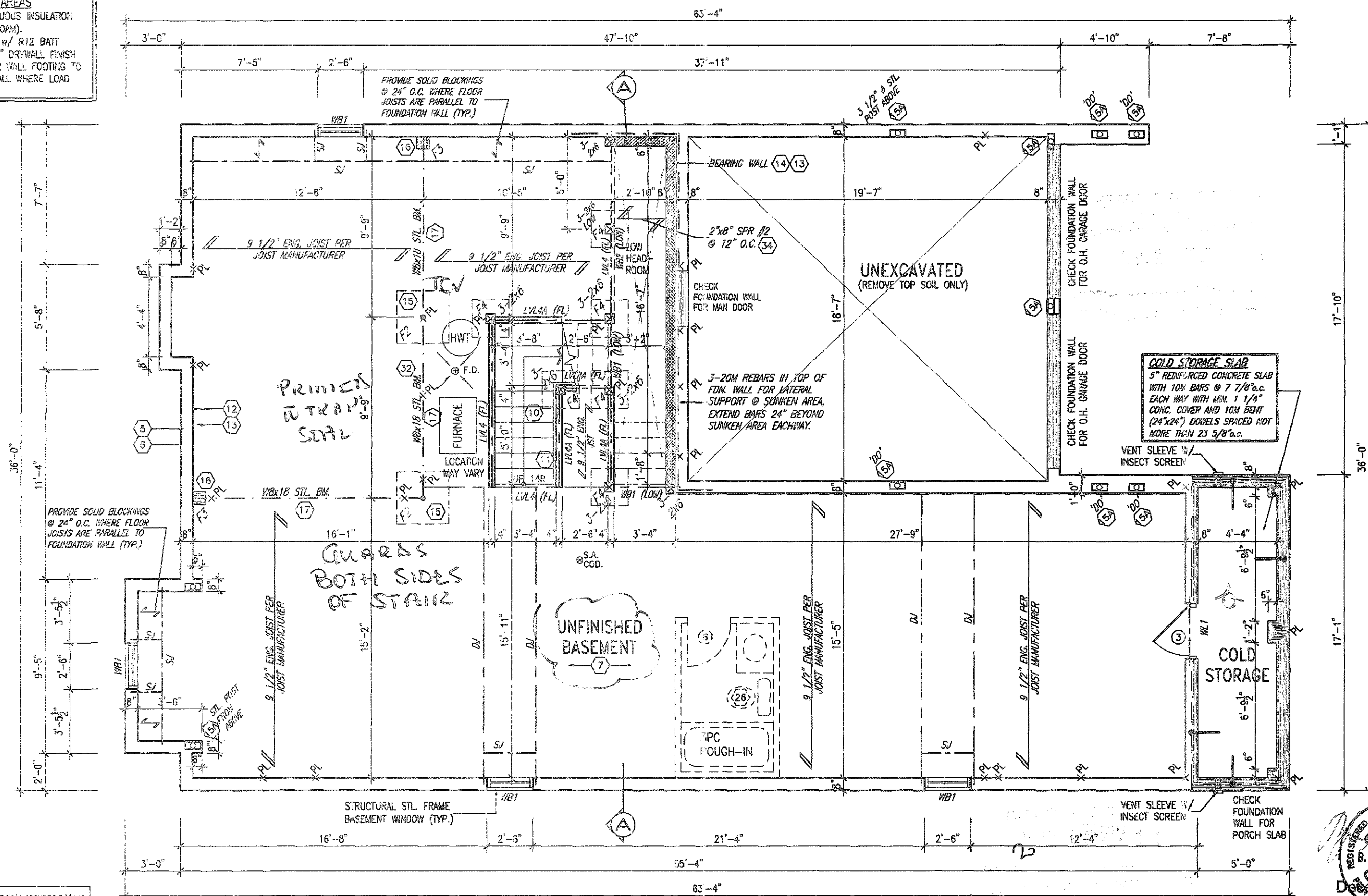


Mountainash 6 13.5m

project name	RUSSELL GARDENS PH. 3	location	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	checked by	BD,BH	scale	3/16" = 1'-0"
GENERAL NOTES & CHARTS					
19014-MOUNTAINASH-06					
A0					

BASEMENT WALL INSULATION
(TYP) (13)
-3" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGD or SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

[illegible]


 B. MARINKOVIC
 Registered Professional Engineer
 No. 11111
 State of Ontario

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STREET NO.
FOR STRUCTURE ONLY

6

COMPLIANCE PACKAGE 'A1'

18		9	
17		8	
16		7	
15		6	
14		5	PEAR BOX BAY REVISED PER CLIENT DEC. 11/2010
13		4	STAIRWAY WIDTH CORRECTED. AUG. 05/2010
12		3	ISSUED FOR PERMIT. APR 13/2010
11		2	UPDATED PER ENG & CLIENT COMMENTS MAR 24/2010
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW JAN. 28/2010
9	Designation	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.	
qualification information	
Richard Vink	244
name	signature
registration information	
W&S Design Inc.	428
Contractor must verify all elements on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	



V&A
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark

project name
RUSSELL GARDENS PH. 3

HAMILTON, ONTARIO

BASEMENT PLAN - ELEV. '1'

drawn by BD.BIM checked by - scale 3/16" = 1'-0"

MOUNTAINASH 6
13.5m

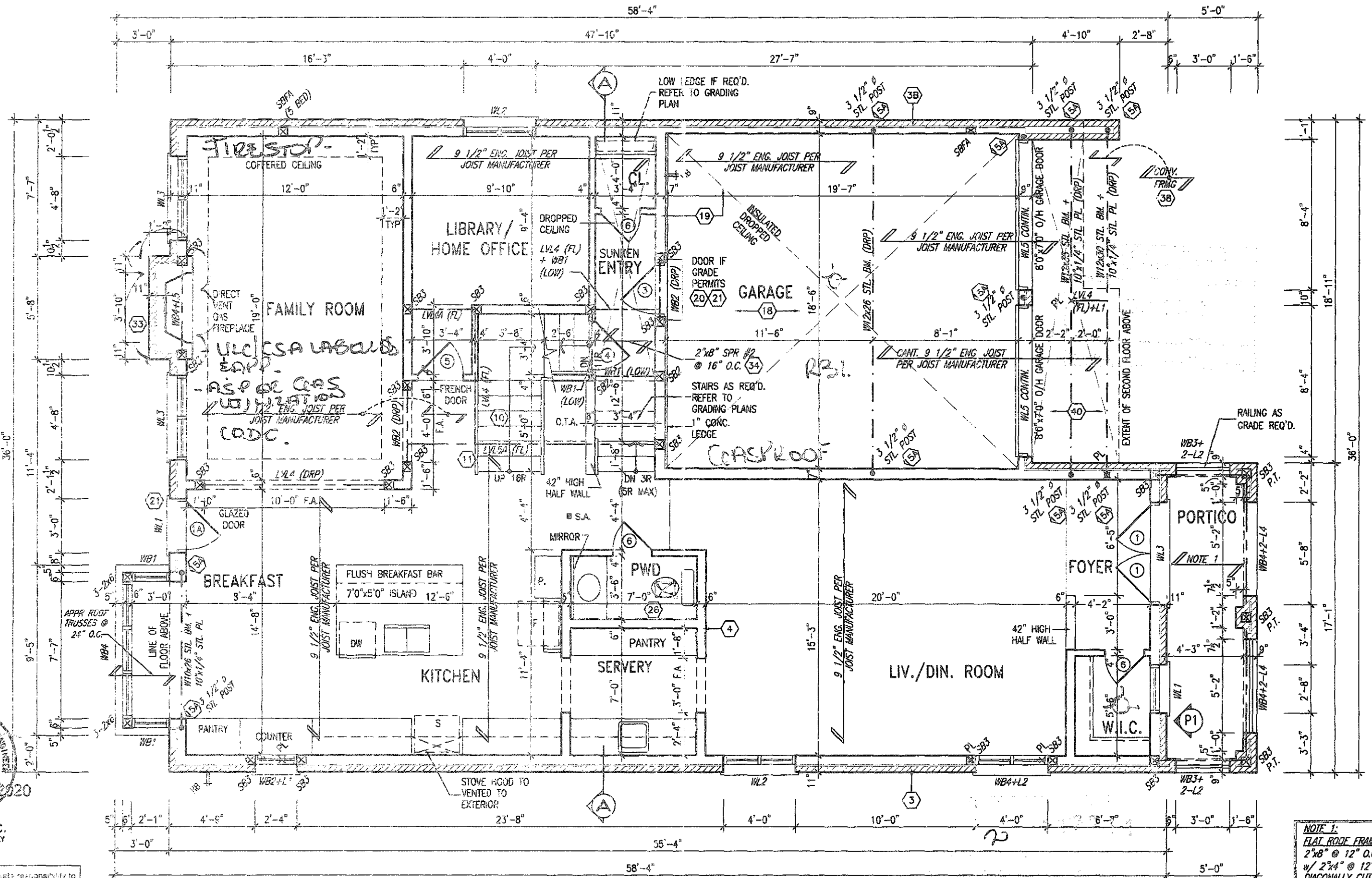
project no
19014

drawing no

A1

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3409 SF.



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It is the builder's sole responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (filing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built as indicated on these plans.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B - TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
(107-EX-01E-2020.dwg)

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE SHEATHING + SINGLE PLY ROOF MEMBRANE (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '1'

Mountainash 6
COMPLIANCE PACKAGE 'A1'

18	17	16	15	14	13	12	11	10
9	8	7	6	5	4	3	2	1
no.	description	date	by	no.	description	date	by	no.
18	5 PEAR BOX BAY REVISED PER CLIENT	DEC. 11/20; GW		9	1 PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20; GW		
17	4 STAIRWAY WIDTH CORRECTED	AUG. 05/20; GW		8				
16	3 ISSUED FOR PERMIT	APR. 13/20; GW		7				
15	2 UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20; GW		6				
14	1 PEAR BOX BAY REVISED PER CLIENT	DEC. 11/20; GW		5				

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information:
Richard Vink 24488
signature
VAS Design Inc. 42658
Contractor must only add dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the conclusion of the work. Drawings are not to be copied.

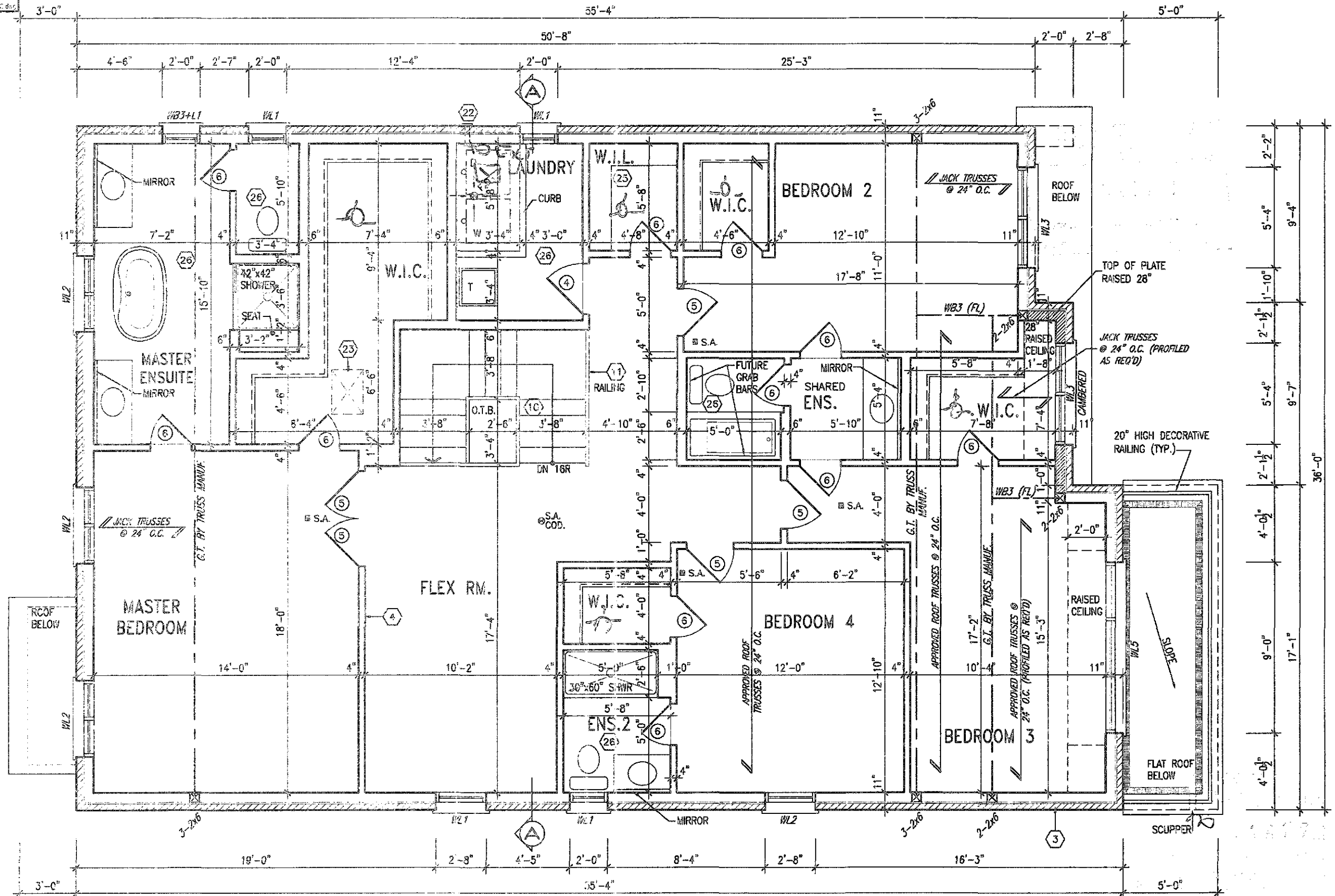
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.	MOUNTAINASH 6 13.5m
project name RUSSELL GARDENS PH. 3	location HAMILTON, ONTARIO
date JAN 2020	monitored by HAMILTON, ONTARIO
drawn by BD, BML	checked by 3/16" = 1'-0"
drawing no. 19014-MOUNTAINASH-06	
sheet no. A2	

3409 SF.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHUB IN MAIN BATHROOM PER OBC DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.2.3.6.(7)(a) & 3.2.3.8.(3)(g). SHOWER: 3.2.3.13.(2)(g). BATHUB: 3.2.3.13.(4)(a). FREE STANDING BATHUB EXCLUDED. SEE DETAILS PROVIDED.



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It is the Engineer's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions to the satisfaction of the City of Hamilton. The Engineer is not responsible in any way for examining or approving any other plans or drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Signature of B. Marinkovic
Professional Engineer
Ontario
Date: Jan 3/24

SECOND FLOOR PLAN - ELEV. '1'

MAIN BATH
CONFORMING FOR
FUTURE GRAB
BAR.

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

18		9			
17		8			
16		7			
15		6			
14		5	1. RAMP BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	2. STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	3. ISSUED FOR PERMIT.	APR. 13/20	GW
11		2	4. UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 24/20	GW
10		1	5. PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink
signature
24488
BORN
name
registration information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

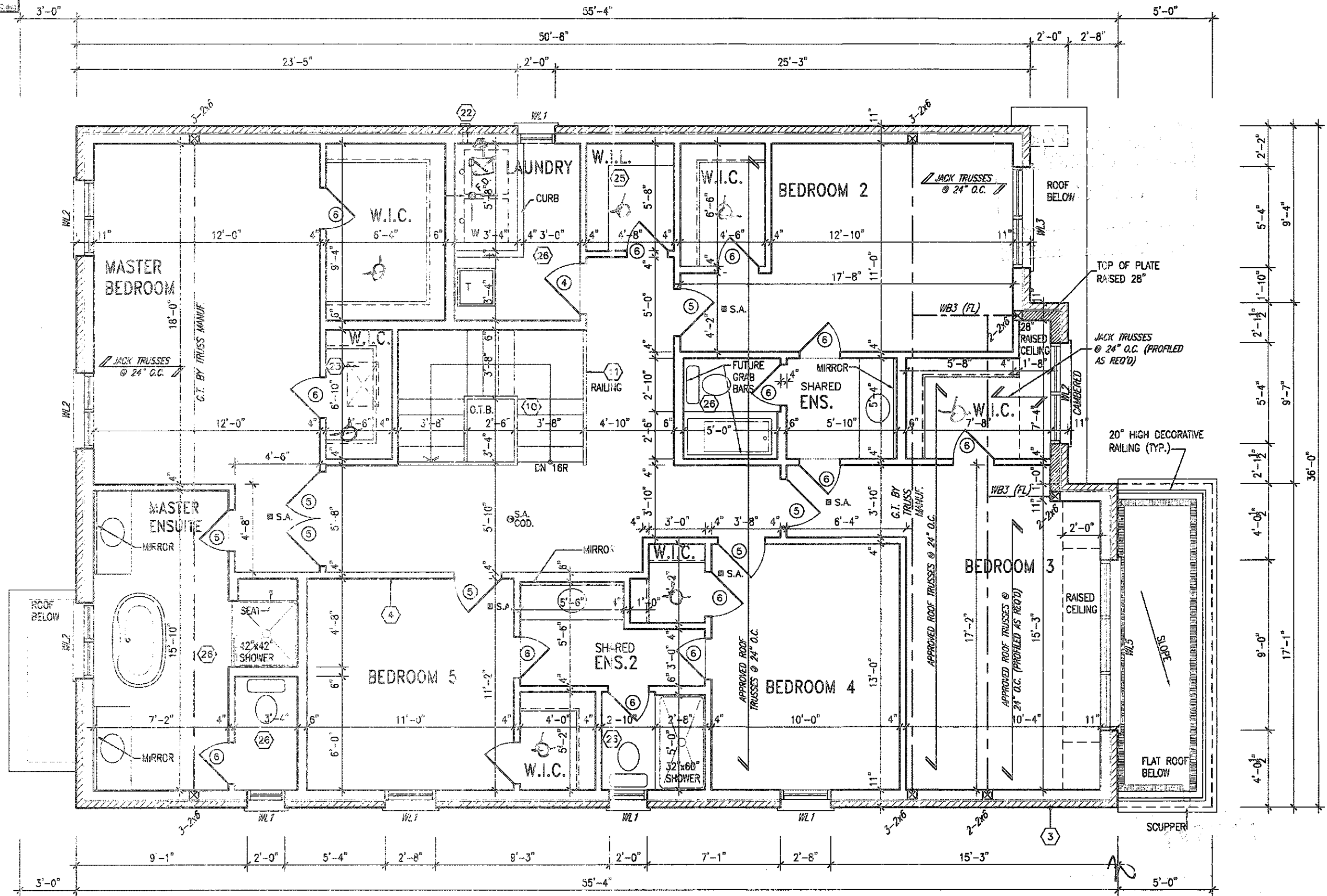
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
Project name RUSSELL GARDENS PH. 3	Municipality HAMILTON, ONTARIO	Project no. 19014	Drawing no. A3
Date JAN 2020	Drawn by BO.BIM	Checked by 3/16" = 1'-0"	Scale 3/16" = 1'-0"
SECOND FLOOR PLAN - ELEV. '1'			
19014-MOUNTAINASH-06			

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3409 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FUTURES LISTED: WATER CLOSET: 3.8.3.8.1(3)(a) & 3.8.3.8.1(3)(b) SHOWER: 3.8.3.13.2(2)(a) BATHTUB: 3.8.3.13.4(4)(a) FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



STRUDET INC.
FOR STRUCTURE ONLY

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '1'

Jan 3/21
MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (plotting) plans or existing drawings with respect to any zoning or building code or permit matter or that any project can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20 GW
12			3	ISSUED FOR PERMIT.	APR 15/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 20/20 GW
Description		date	by	no.	correction

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink 24485
signature
VA3 Design Inc. 42658
registration information
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are property of the Designer and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.

VA3 DESIGN
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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.	MOUNTAINASH 6 13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ONTARIO
date JAN 2020	project no. 19014
drawn by BD.BM	checked by 3/16" = 1'-0"
drawing no. A4	

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '1'

18014-MOUNTAINASH-06

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3409 SF.

PART LEFT SIDE ELEVATION - ELEV '1' (5 BED)



LEFT SIDE ELEVATION - ELEV '1'

ALLOWABLE GLAZED OPENINGS
WALL AREA
LIMITING DISTANCE
GLAZING ALLOWED
GLAZING PROVIDED
GLAZING PROVIDED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS
30"x24" BASEMENT WINDOWS

51194.75 SQ. FT. (INCLUDES GRADE)
1.2 M (7%)
=83.63 SQ. FT.
=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

=78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=83.30 SQ. FT. (GLASS AREA ONLY) - 5 BED

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

The undersigned hereby certifies that the plans submitted for approval are true and correct copies of the original plans and that the same comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The undersigned also certifies that the plans submitted for approval are true and correct copies of the original plans and that the same comply with the applicable Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

DATE: 2020-01-14
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GV
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GV
12				3	ISSUED FOR PERMIT.	APR. 13/20	GV
11				2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 24/20	GV
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GV

This undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information
Richard Vink 2448E
signature
VA3 Design Inc. 4265E

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JAN 2020

drawn by
BD.BIM

checked by
3/16" = 1'-0"

manipulated
HAMILTON, ONTARIO

project no.
19014

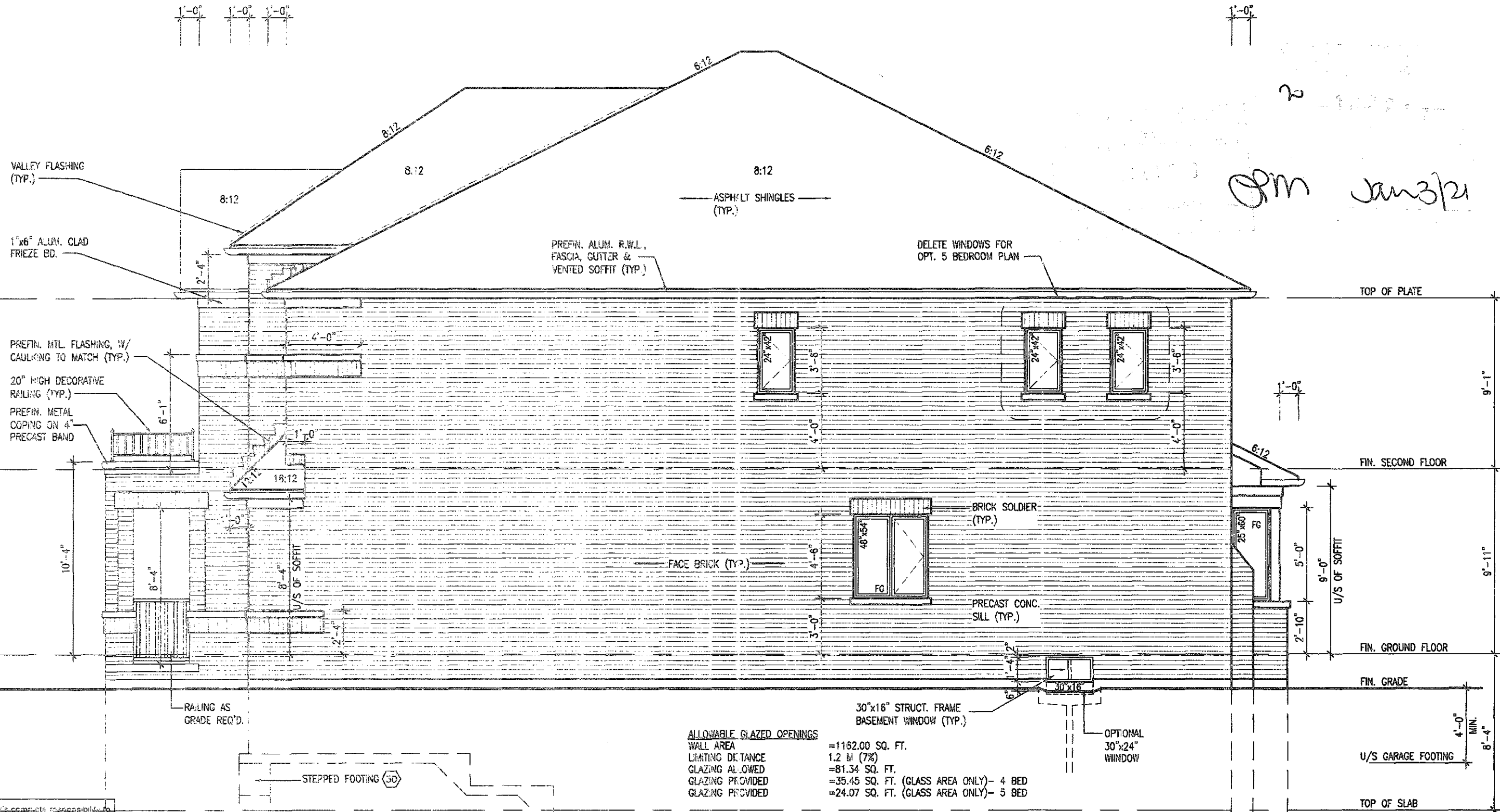
drawing no.
A6

MOUNTAINASH 6
13.5m

LEFT SIDE ELEVATION - ELEV '1' STD & OPT. 5 BED

19014-MOUNTAINASH-08

3409 SF.



RIGHT SIDE ELEVATION -
ELEV '1' STD & OPT. 5 BED

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1162.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.34 SQ. FT.
GLAZING PROVIDED	=35.45 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED	=24.07 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=36.51 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=25.13 SQ. FT. (GLASS AREA ONLY) - 5 BED

I, the undersigned, hereby certify that these plans were prepared by me or under my direct supervision and that I am a duly qualified Architect or Engineer under the laws of the Province of Ontario and that I am duly registered with the Association of Architects and Engineers of Ontario.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Richard Vink
Architect
19014-MOUNTAINASH-06

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR DOOR BAY REVISED PER CLIENT.	DEC. 11/20	GV
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GV
12				3	ISSUED FOR PERMIT.	APR. 13/20	GV
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR. 24/20	GV
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GV

The undersigned has caused this plan to be prepared by me or under my direct supervision and that I am a duly qualified Architect or Engineer under the laws of the Province of Ontario and that I am duly registered with the Association of Architects and Engineers of Ontario.

Richard Vink
Architect
19014-MOUNTAINASH-06

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f. 416.630.4782
vasdesign.com

Greenpark

MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ONTARIO

date
JAN 2020

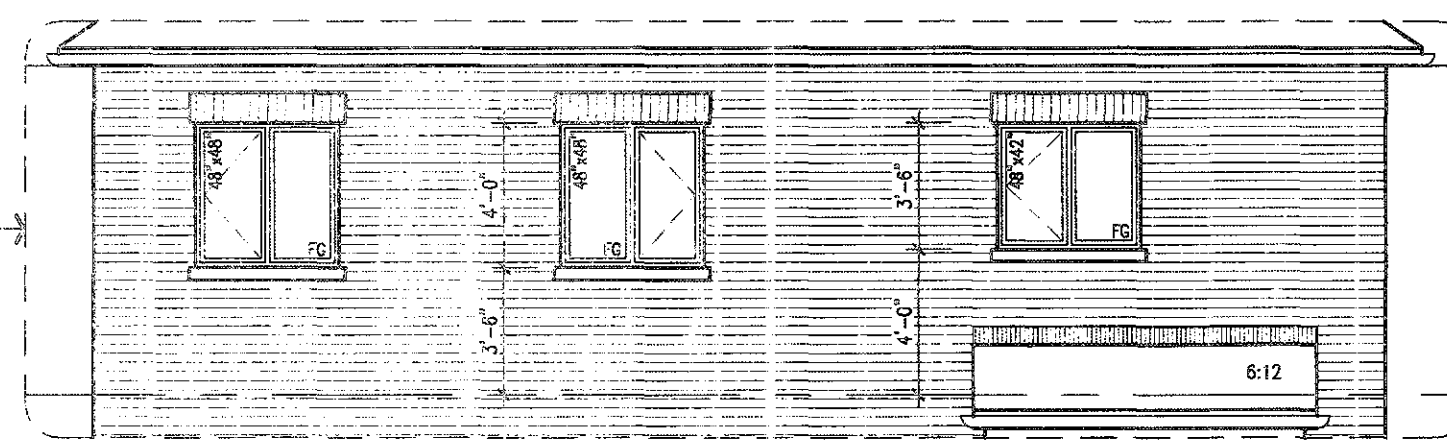
drawn by
BD.BM

checked by
3/16" = 1'-0"

scale
RIGHT SIDE ELEVATION - ELEV '1' STD & OPT. 5 BED

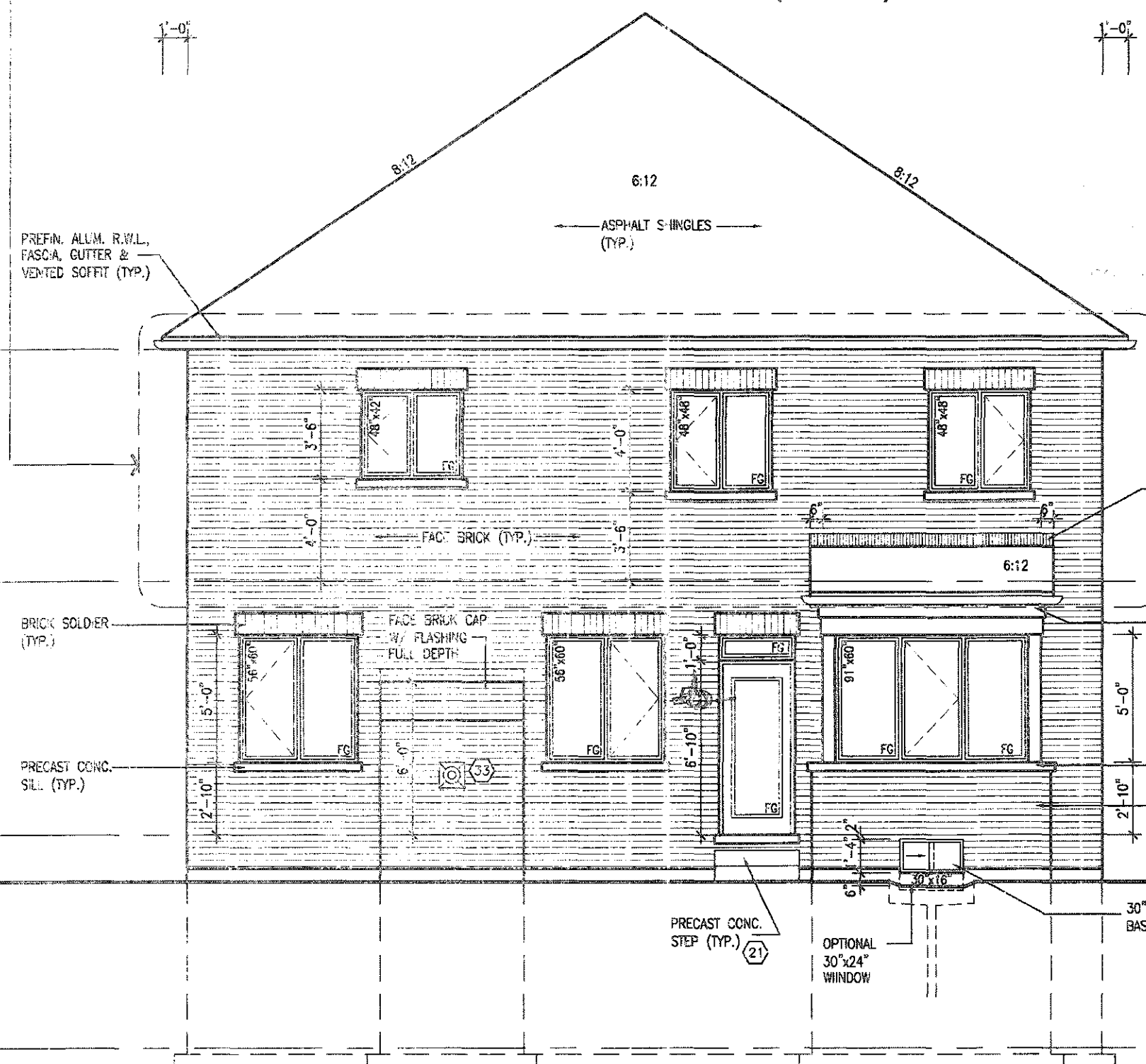
file name
19014-MOUNTAINASH-06

drawing no.
A7



PART REAR ELEVATION - ELEV '1' (5 BED)

3409 SF.



REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for permitting or approving site (lot) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

By: *[Signature]*
 Date: *[Date]*
 Title: *[Title]*

18		9	
17		8	
16		7	
15		6	
14		5	REAR DOOR BAY REVISED PER CLIENT DEC. 11/20 GH
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 GH
12		3	ISSUED FOR PERMIT APR. 13/20 GH
11		2	UPDATED PER ENG & CLIENT COMMENTS MAR. 24/20 GH
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW JAN. 28/20 GH
no	description	date	by

The undersigned has obtained a license responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Richard Vink 24485
[Signature]
 VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 va3design.com

		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		project no. 19014	
drawn by BD.BIM		drawing no. A8	
checked by 3/16" = 1'-0"		title REAR ELEVATION - ELEV '1' STD & OPT. 5 BED	
scale 19014-MOUNTAINASH-06		revision 19014-MOUNTAINASH-06	

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
December 9, 2020

STRUDET INC.
FOR STRUCTURE ONLY



MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

[illegible]

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3409 SF.

BASEMENT WALL INSULATION
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-4" FROM FINISHED FIRST FLOOR TO GRADE.

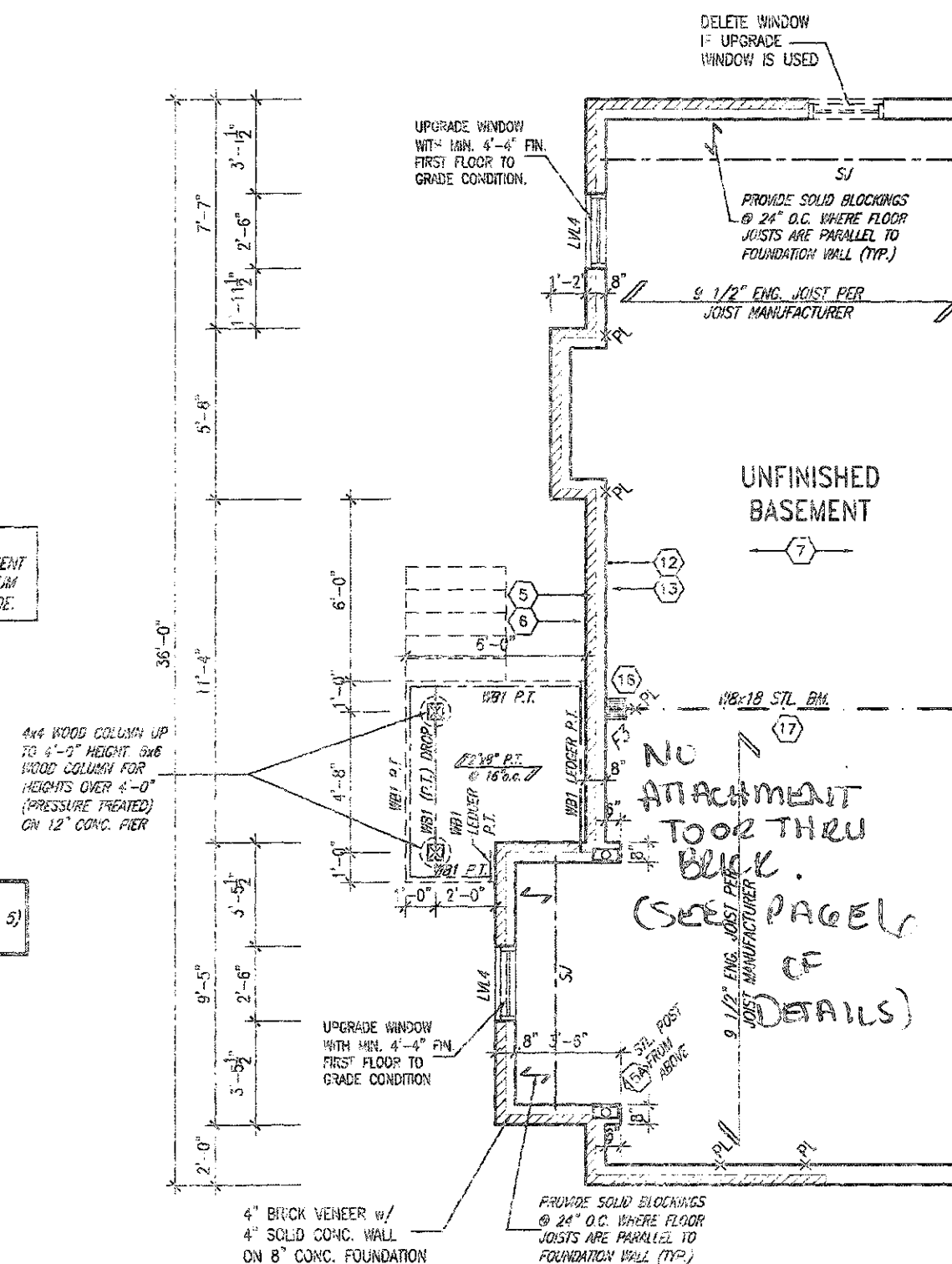
VENUEER CUT
WHEN VENUEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

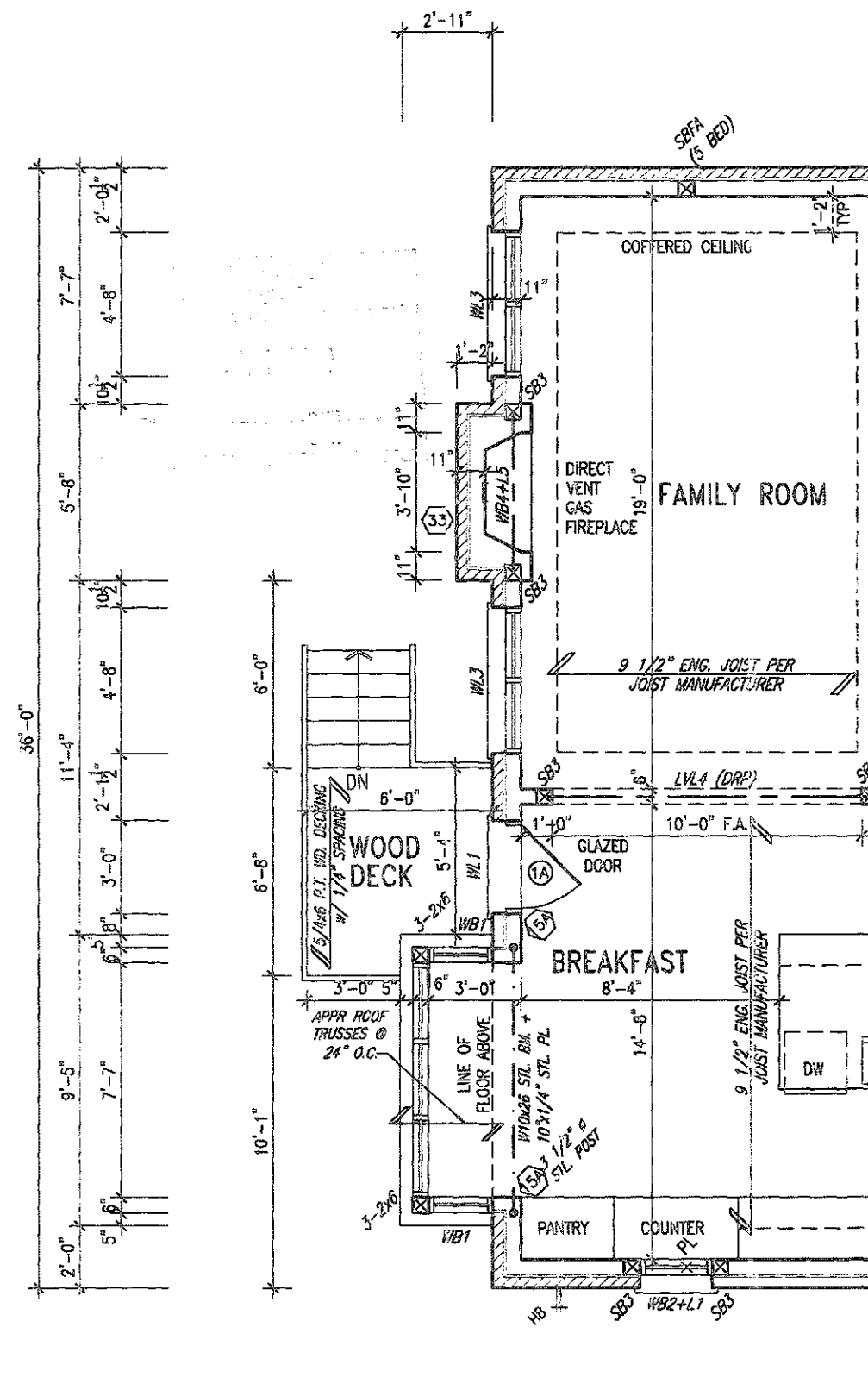
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the applicable Guidelines and all applicable regulations and requirements including zoning provisions and all other provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving any (existing) plans or working drawings submitted to any zoning or building code or permit authority or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

DESIGNER'S SEAL AND SIGNATURE
DATE: 2020-01-14
PROJECT NO: 19014-MOUNTAINASH-08



PARTIAL BASEMENT PLAN
DECK CONDITION



PARTIAL GROUND FLOOR PLAN
DECK CONDITION

John Jan 3/21



STRUDET INC.
FOR STRUCTURE ONLY

MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

18		3			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 29/20	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					

The undersigned has prepared and taken responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to use a Designer.
qualification information:
Richard Vink 24488
signature
VA3 Design Inc. 42658
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	RUSSELL GARDENS PH. 3	city	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	checked by	BD.BHM	drawing no.	A10
scale	3/16" = 1'-0"				
notes	PARTIAL PLANS - DECK CONDITION 19014-MOUNTAINASH-08				

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Diagram illustrating a gabled roof structure. The roof pitch is indicated as 12:12. The roof is labeled "ASPHALT SHINGLES (TYP.)". The roof pitch is also indicated as 6:12. A dashed line shows the roof's profile.

BRICK SOLDIER
(T/P.)

Architectural drawing of the exterior elevation of a building. The drawing includes the following elements and dimensions:

- Top Left Window:** A double window with a height of 5'-0" and a width of 2'-10". It is labeled "FACE BRICK CAP W/ FLASHING FULL DEPTH" and "FC".
- Top Right Window:** A double window with a height of 5'-0" and a width of 2'-10". It is labeled "FC".
- Center Door:** A single door with a height of 6'-0" and a width of 2'-6". It is labeled "FC".
- Bottom Left Window:** A single window with a height of 2'-6" and a width of 3'-0". It is labeled "FC".
- Bottom Right Window:** A single window with a height of 2'-6" and a width of 3'-0". It is labeled "FC".
- Front Porch:** A porch with a railing, located in front of the center door. It is labeled "FC".
- Labels:** "FACE BRICK CAP W/ FLASHING FULL DEPTH" is written above the top left window. "FC" is written below the top left window, the center door, and the bottom right window. "33" is written in a circle below the center door.

FIN. GR. 3/21

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

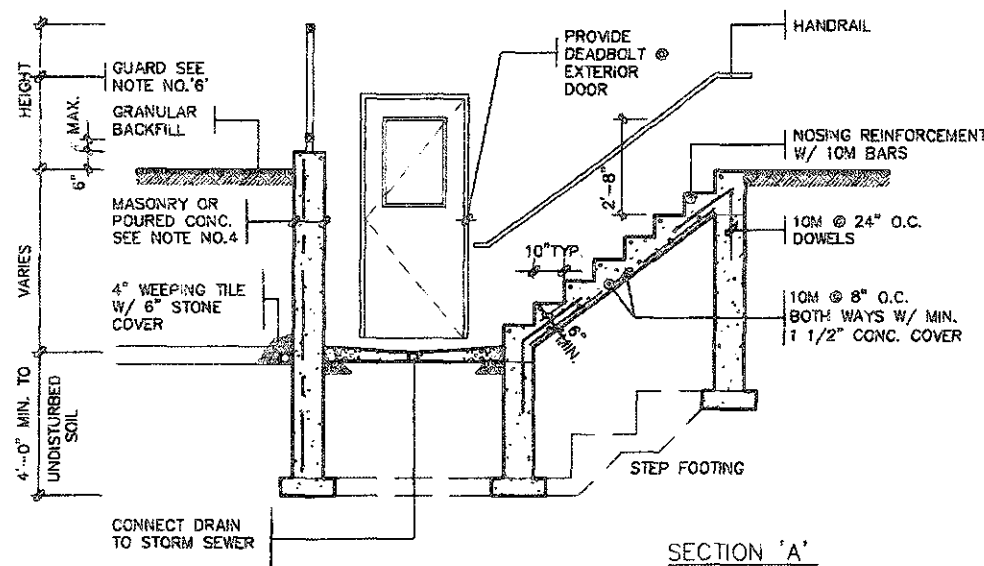
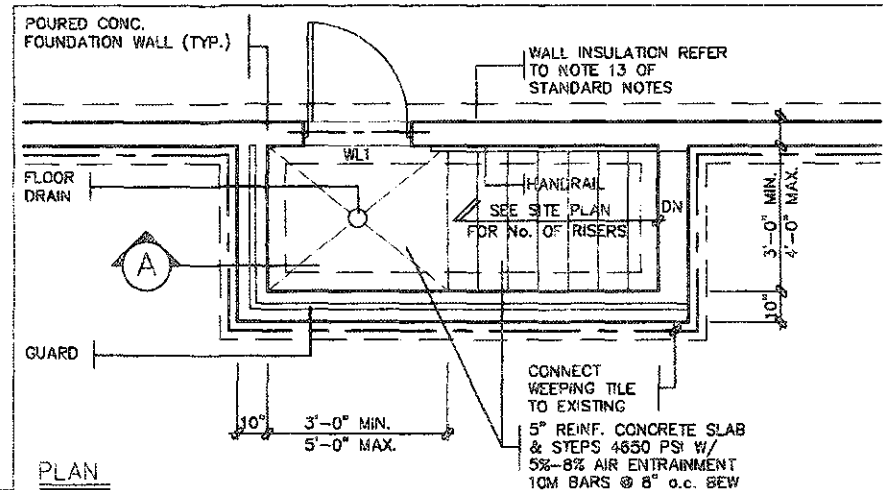
18				9		
17				8		
16				7		
15				6		
14				5	FOR BOX BAY REVISED PER CLIENT.	DEC. 11/20 GW
13				4	STAIRWAY WIDTH CORRECTED.	DEC. 05/20 GW
12				3	ISSUED FOR PERMIT.	APR 15/20 GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20 GW
no. description				no. description	date	by

The undersigned has accepted of this responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.	
qualification information	
Richard Vink	2448
name	signature
qualification information	
VA3 Design Inc.	4263
Contractor must verify all dimensions on the job and report any discrepancy to the design team. If proceeding with the work, all dimensions and materials must be stamped in the presence of the Designer which must be stamped at the completion of the work. Drawings are not to be photocopied.	

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2W 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark _{INC.}		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		municipality HAMILTON, ONTARIO	
date JAN 2020		drawing no. 19014	
drawn by BD.BM		title REAR ELEV '1' & OPT. 5 BED- DECK COND.	
checked by -		scale 3/16" = 1'-0"	
CRG - (H)ARCHIVE - DRN(1/22/17)DM14(REV)UTS(X)CES#F MOUNTAINASH, SC14-MOJ1-MTASH-22.dwg - Fr - Dwg 11 2020 - 11:46 AM		19014-MOUNTAINASH-C6	

3409 SF.



GENERAL NOTES

1. FOOTINGS

24"x8" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

2. CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF (32MPa) 4850 PSI @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT

3. EXTERIOR STAIRS

7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/4" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM

4. INSULATION

FOR INSULATION VALUE & VAPOUR BARRIER LOCATION, REFER TO NOTE 13 OF STANDARD NOTES.

5. RETAINING WALL

10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 24" o.c. & 15M HORIZONTAL REINFORCEMENT @ 24" o.c. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL EACH FACE @ 16" o.c. & 15M VERTICAL EACH FACE @ 12" o.c. FOR WALL HEIGHTS FROM 7'-0" TO 8'-6". WALL TO RESIST LATERAL DESIGN LOADS AS PER CBC DIVISION B SECTION 4.1.5.16.

6. GUARDS

3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS.

BASEMENT WALK-UP PLAN, SECTION & NOTES

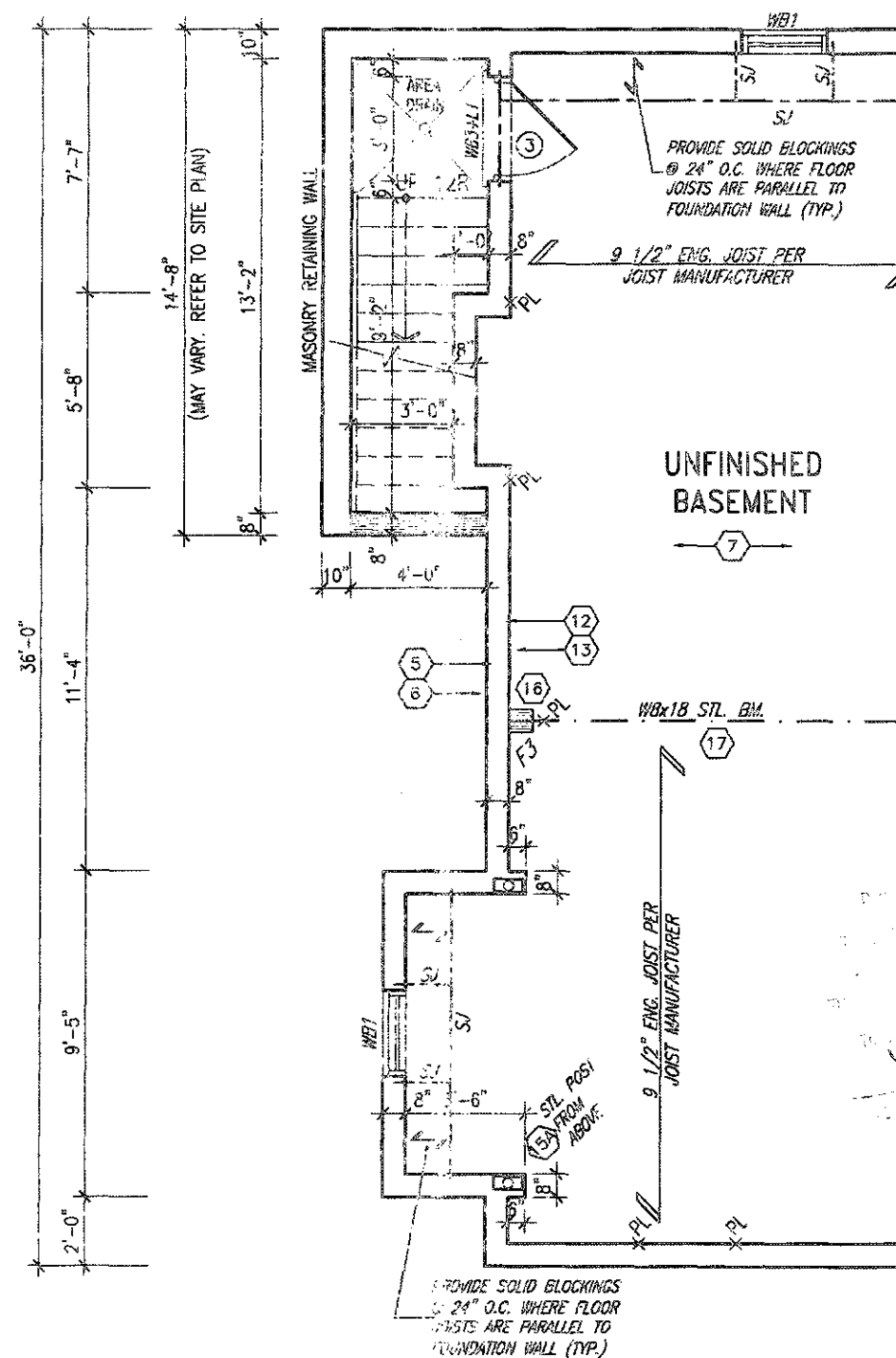
SCALE: N.T.S.

BASEMENT WALL INSULATION (TYP)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

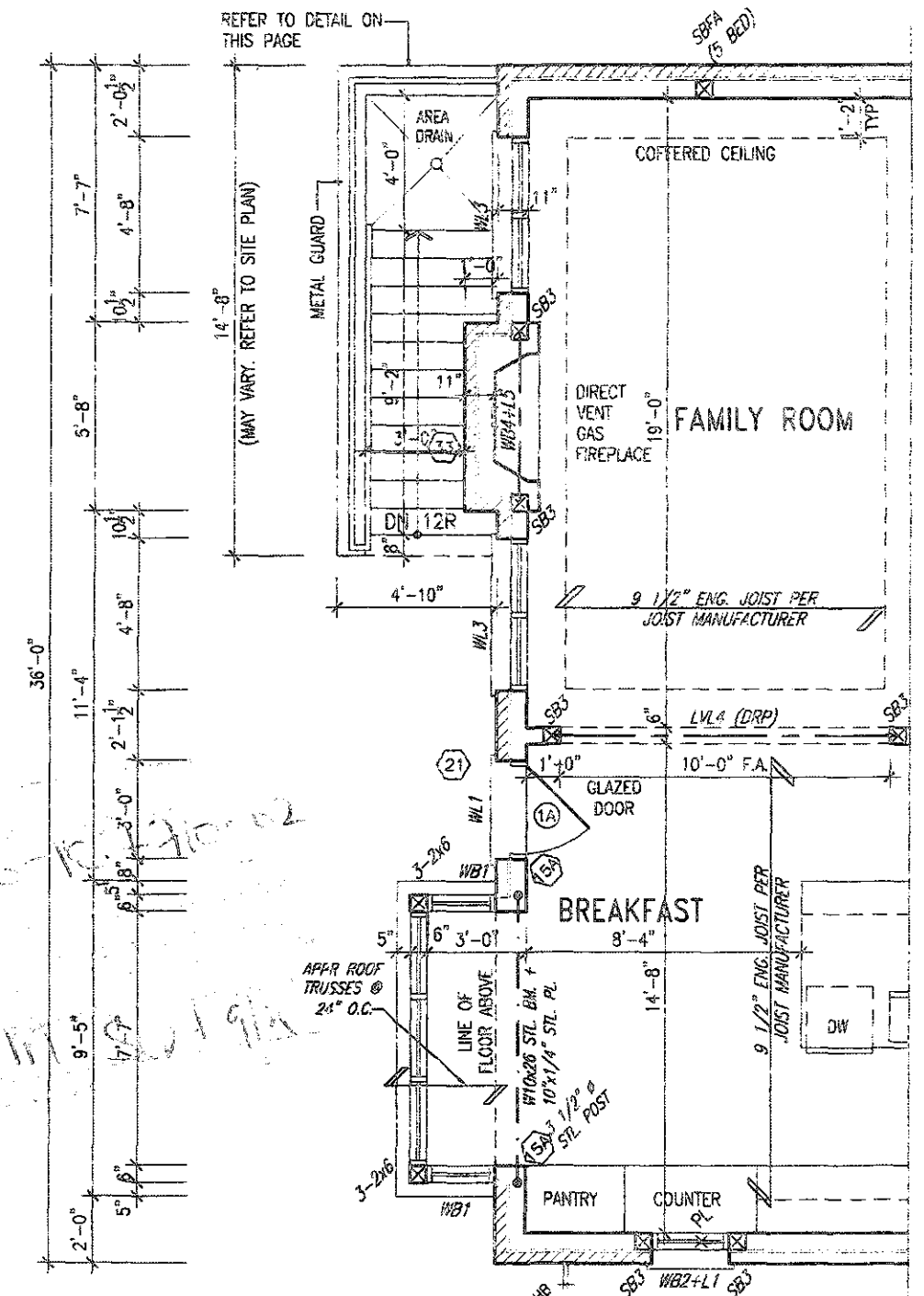
BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

NOTE: FIREPLACE PROJECTION REDUCED TO 12" FOR WALK-UP CONDITION ONLY



PARTIAL BASEMENT PLAN
W/ WALK-UP BASEMENT
CONDITION

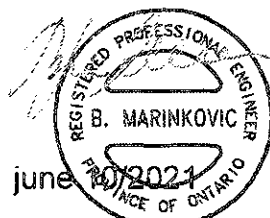


PARTIAL GROUND FLOOR PLAN
W/ WALK-UP BASEMENT
CONDITION

MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any variations in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site plan, plans or zoning diagrams with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	ADD WUB CONDITION	JUN 02/21	WT
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR 15/20	GW
11				2	UPDATED PER ENG. & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20	GW

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Richard Vink
24488
VA3 Design Inc.
42858

253 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com



project name	RUSSELL GARDENS PH. 3	location	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	checked by	BD:BNH	scale	3/16" = 1'-0"
drawn by	BD:BNH	approved by		drawing no.	A12
					19014-MOUNTAINASH-08

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(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

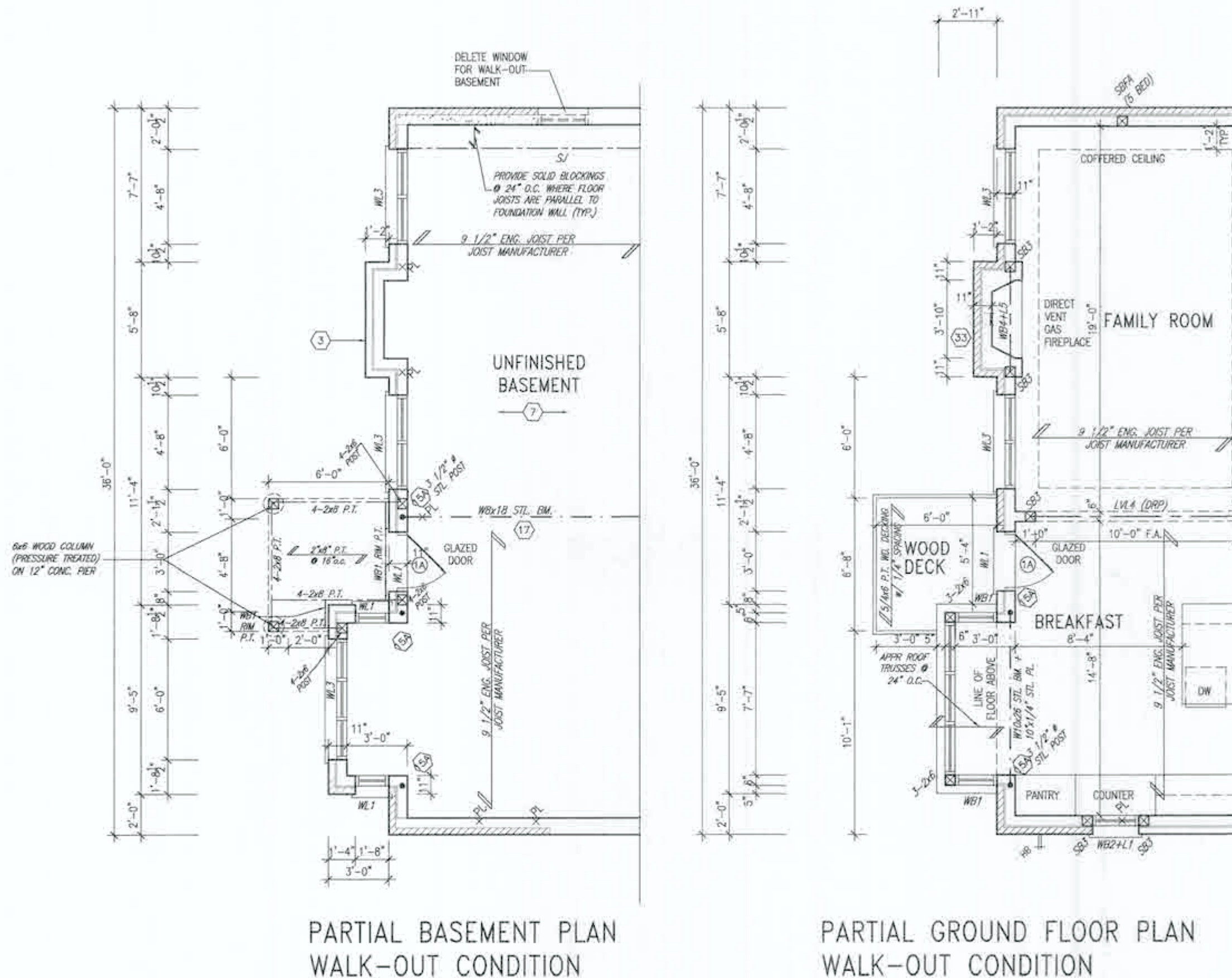
NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

VEENER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

3409 SF.



CITY OF HAMILTON
Births Division
20-187711-01
Jm
July 27/21

OFFICE OF HUMAN RESOURCES
 Building 00-000000
 Planning & Development Department
 JUN 14 2021
 RETURN TO: _____ DATE: _____
 PHONE NO. _____ DATE: _____

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

[illegible]

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Toronto ON M2J 1R4
t. 416.630.2255 f. 416.630.478
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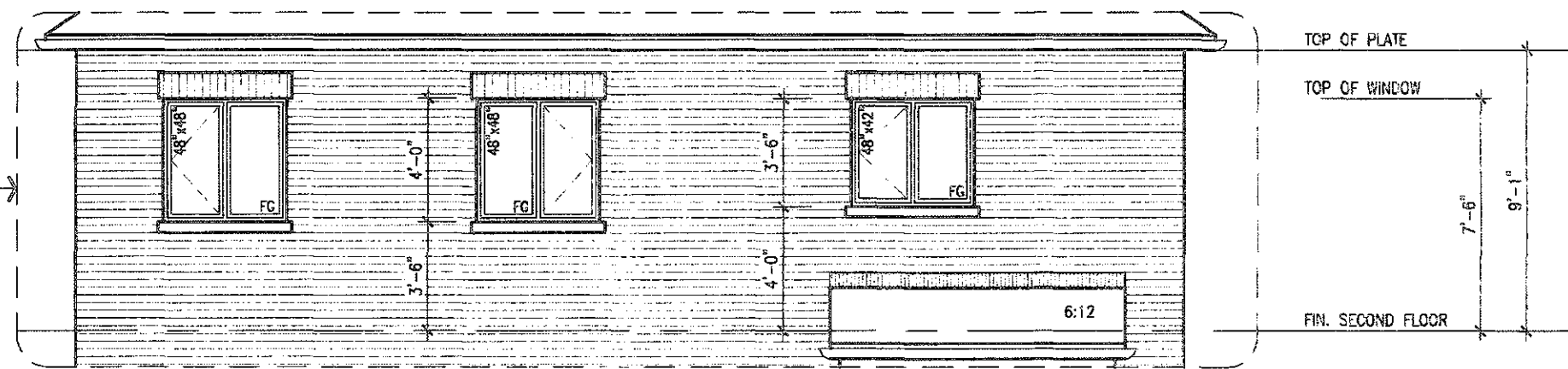
Greenpark.

MOUNTAINASH 6
13.5m

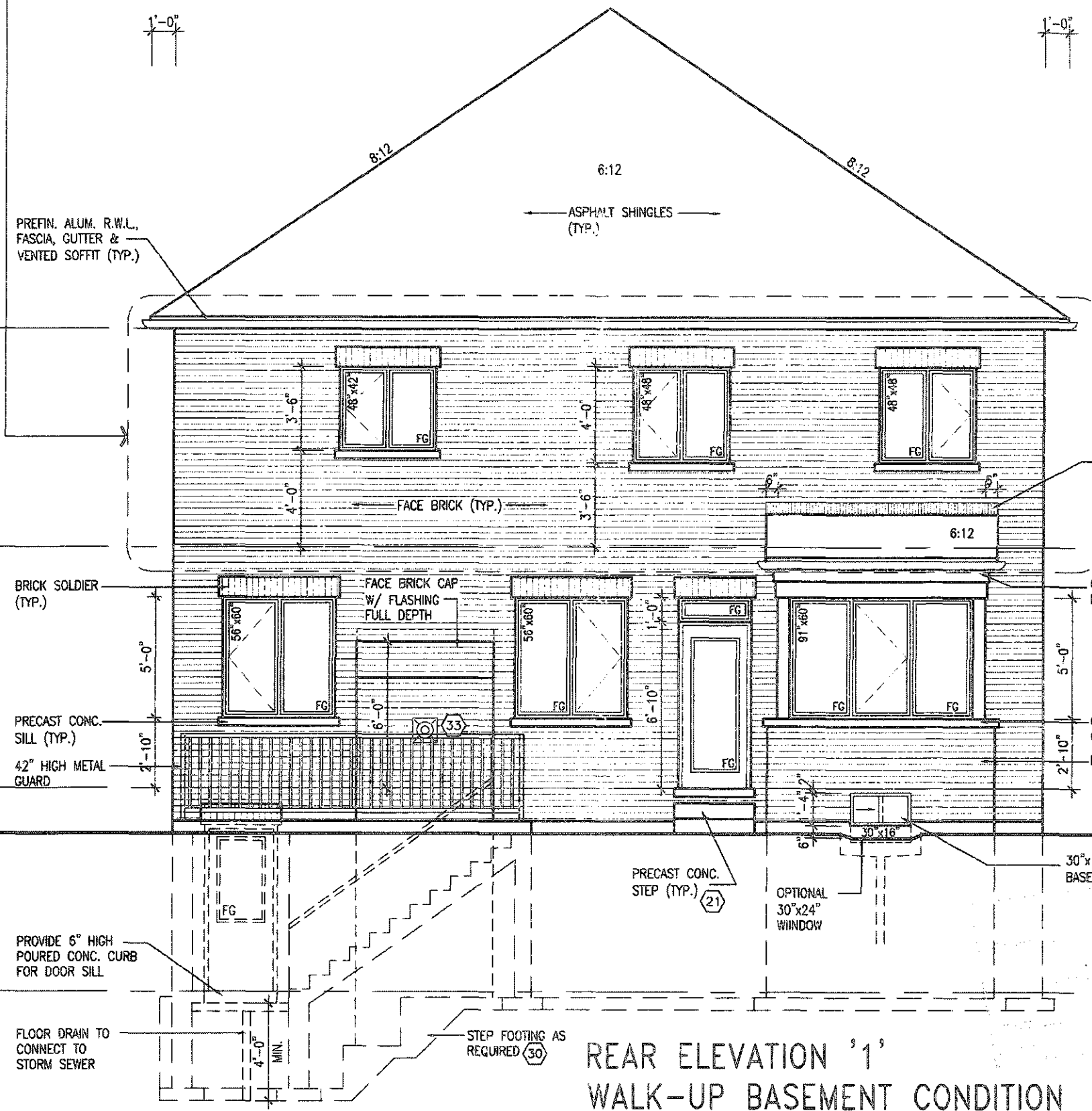
project name	RUSSELL GARDENS PH. 3		multiplicity	HAMILTON, ONTARIO		project no.	19014
date	JAN 2020		PARTIAL PLANS - WALKOUT CONDITION				drawing no.
drawn by	checked by	scale			file name		A12
BD,SM		3/16" = 1'-0"			19014-MOUNTAINASH-06		

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PART REAR ELEVATION - ELEV '1' (5 BED)



REAR ELEVATION '1'
WALK-UP BASEMENT CONDITION

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

DESIGNER: RUSSELL GARDENS PH. 3
DATE: JAN 2020
DRAWN BY: BD.BIM
CHECKED BY: [Signature]
APPROVED BY: [Signature]

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	ADD WUB CONDITION	JUN 02/21	WT
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for the design and meets the qualifications and meets the requirements set out in the Ontario Building Code as a Designer qualification information.

Richard Vink
signature
24488
BOI
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be re-used.

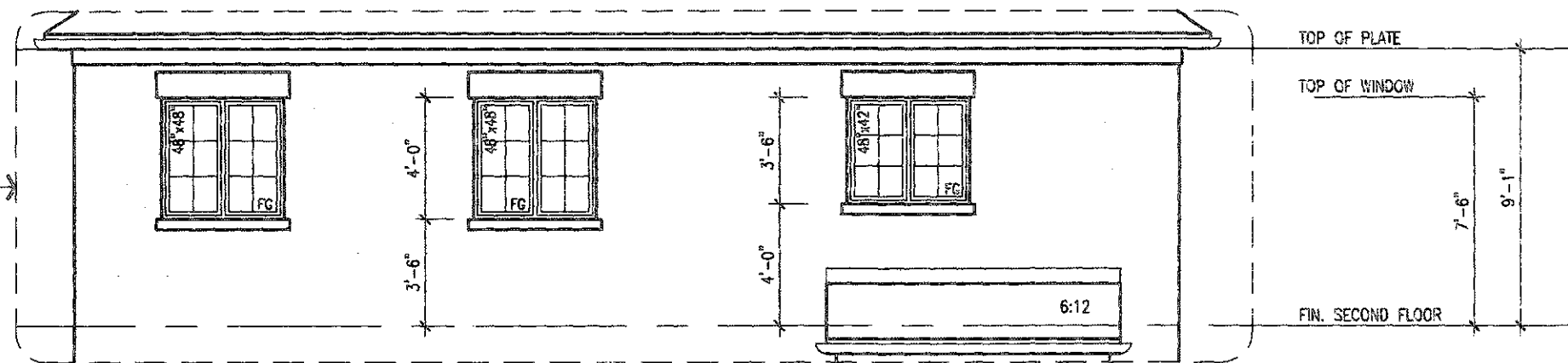
VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

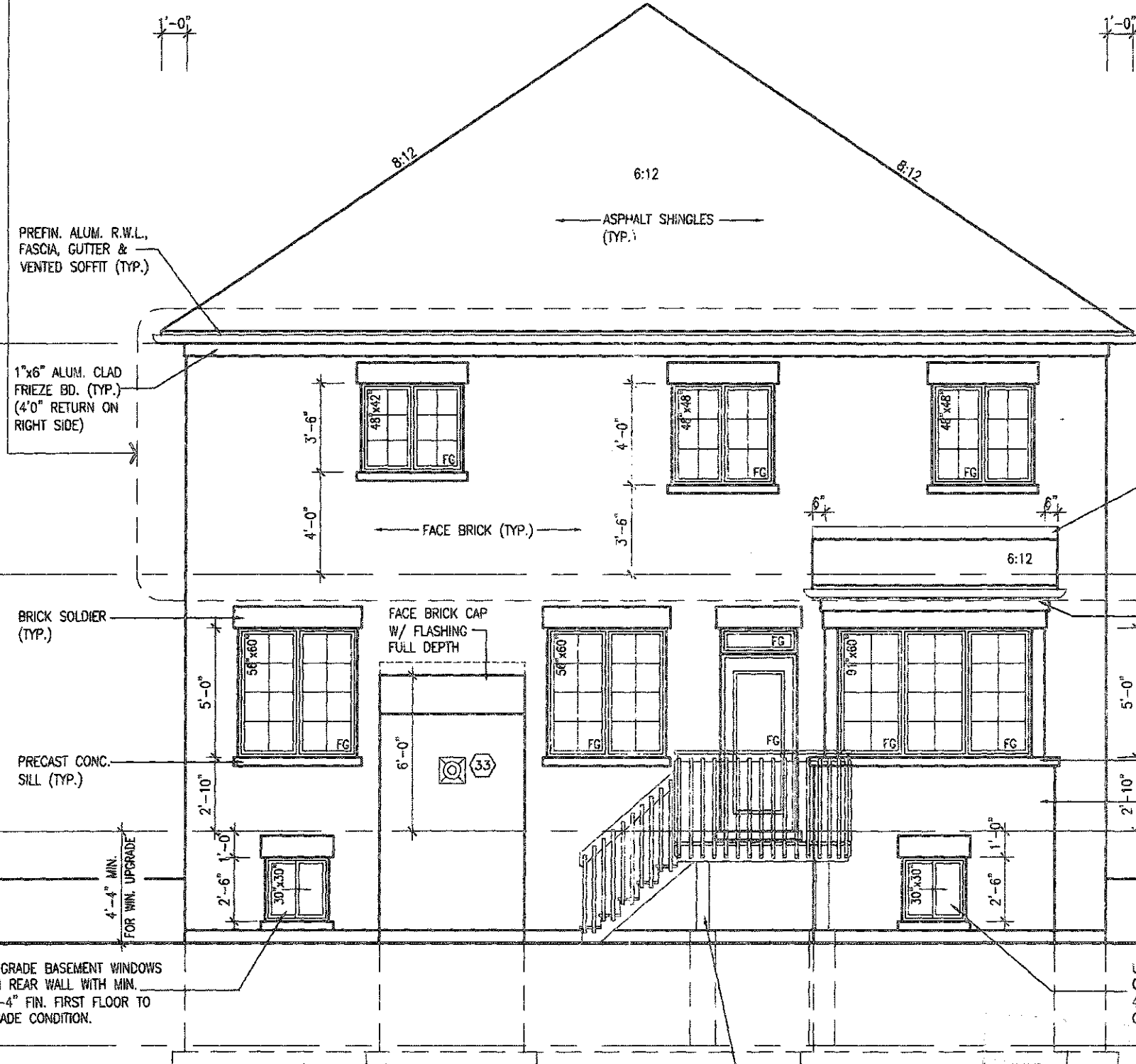
project name	RUSSELL GARDENS PH. 3	municipality	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	created by	BD.BIM	checked by	3/16" = 1'-0"
drawn by	BD.BIM	scale	3/16" = 1'-0"	file name	19014-MOUNTAINASH-06
drawn by	BD.BIM	scale	3/16" = 1'-0"	sheet no.	A13

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3409 SF.



PART REAR ELEVATION - ELEV '1' (5 BED)



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

It is the client's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site plotting plans or working drawings with respect to any zoning or outlying code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

UPGRADED REAR ELEVATION '1' - DECK CONDITION

4x4 WOOD COLUMN UP TO 4'-0" HEIGHT. 6x6 WOOD COLUMN FOR HEIGHTS OVER 4'-0" (PRESSURE TREATED) ON 12" CONC. PIER

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

18			9		
17			8		
16			7		
15			6	ADD WUB CONDITION	JUN 02/21 WT
14			5	REAR BOX BAY REVISED PER CLIENT.	DEC 11/20 GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG 05/20 GW
12			3	ISSUED FOR PERMIT.	APR 13/20 GW
11			2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20 GW
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN 28/20 GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code for a Designer.

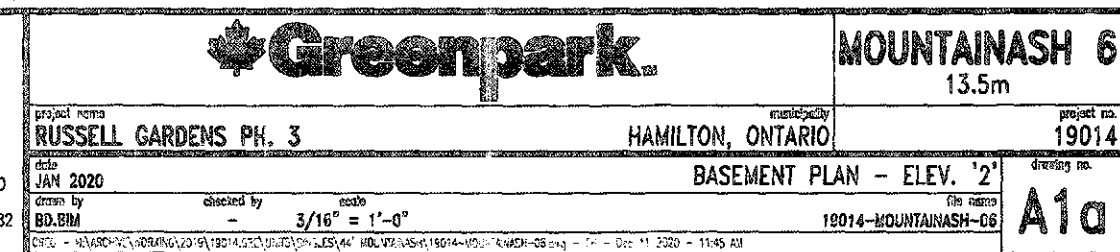
qualification information
Richard Vink 24488
signature
VA3 Design Inc. 42658
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va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3	location HAMILTON, ONTARIO	project no. 19014	drawing no. A14
date JAN 2020	checked by BD.BM	scale 3/16" = 1'-0"	description UPGRADED REAR ELEV '1' - 4/5 BED - DECK COND.
19014-MOUNTAINASH-06			

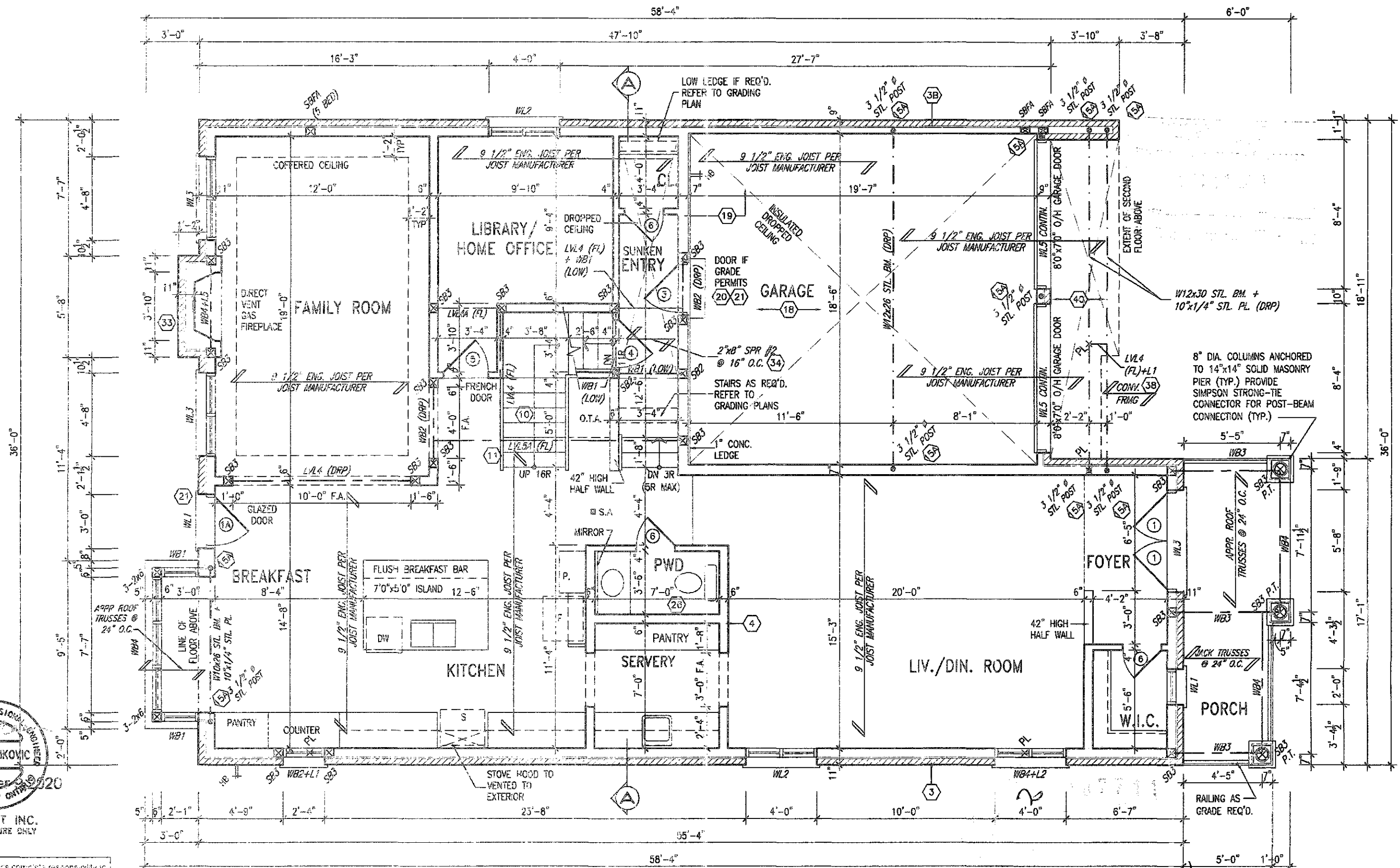
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-2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH.
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.



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3409 SF.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
December 3, 2020
STRUDET INC.
FOR STRUCTURE ONLY

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

GROUND FLOOR PLAN - ELEV. '2'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. 3 - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m

dm Jan 3/21

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

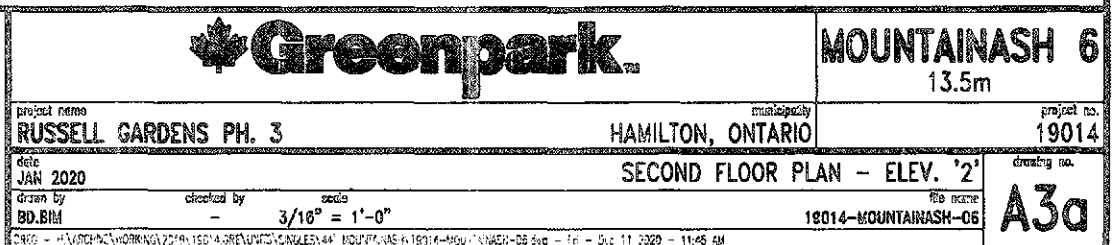
18	9				
17	8				
16	7				
15	6				
14	5	REAR PORCH REVISED PER CLIENT	DEC. 11/20	GM	
13	4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GM	
12	3	ISSUED FOR PERMIT	APR. 13/20	GM	
11	2	REPORTED PER ENG. & CLIENT COMMENTS	MAR. 24/20	GM	
10	1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 26/20	GM	
9					
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3					
2					
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va3design.com

Greenpark MOUNTAINASH 6 13.5m
project name: RUSSELL GARDENS PH. 3
location: HAMILTON, ONTARIO
date: JAN 2020
drawn by: BD.EIM
checked by: 3/16" = 1'-0"
drawing no.: 19014-MOUNTAINASH-06
project no.: 19014
drawing no.: A2a

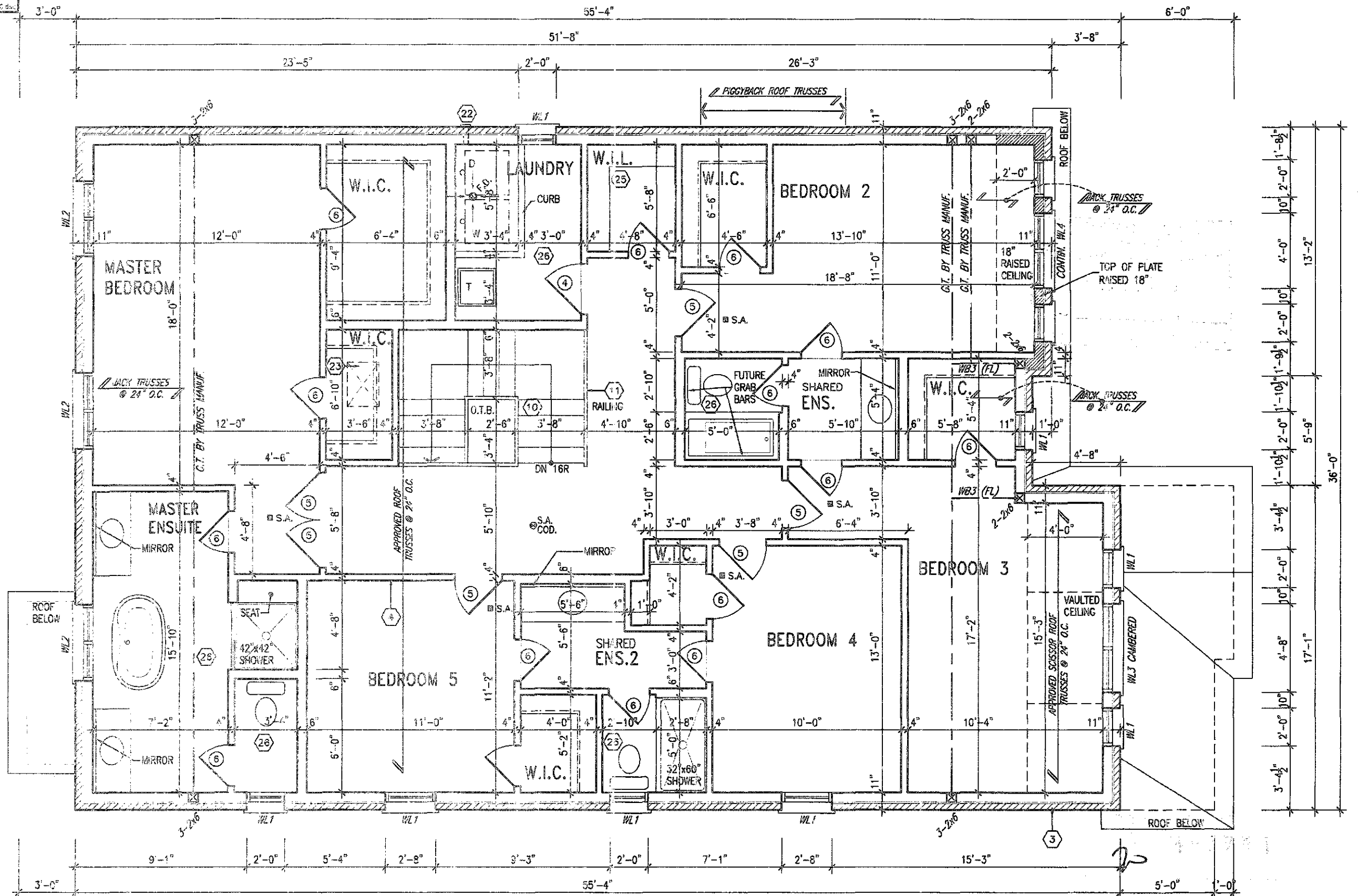
STUD WALL REINFORCEMENT FOR FUTURE
CRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSETS AND SHOWER OR
BATHTUB IN MAIN BATHROOM PER DET. DIV. 8-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FINISHES
LISTED. WATER CLOSET: 3.2.3.8 (3/4") & 3.0.2.8 (3/4").
SHOWER: 3.8.1.3 (2/4") & 6.4.1.9 3.0.2.13 (4/4").
FREE STANDING BATHTUB EXCLUDED. SEE DETAILS
PROVIDED. 02-11-13-1000



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3409 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER CBC DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FUTURES LISTED: WATER CLOSET: 3.8.3.6.(3)(a) & 3.8.3.6.(3)(c) SHOWER: 3.8.3.13.(2)(a); BATHTUB: 3.8.3.13.(4)(a); FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



STRUDET INC.
FOR STRUCTURE ONLY

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18			9		
17			8		
16			7		
15			6		
14			5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20/GV
13			4	STAIRWAY WIDTH CORRECTED	NOV. 05/20/GV
12			3	ISSUED FOR PERMIT	APR. 13/20/GV
11			2	UPDATED PER ENG & CLIENT COMMENT	MAR. 24/20/GV
10			1	PRELIMINARY. ISSUED FOR CLIENT REVIEW	JAN. 26/20/GV
9	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Richard Vink 24488
signature
VA3 Design Inc. 42656
signature
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

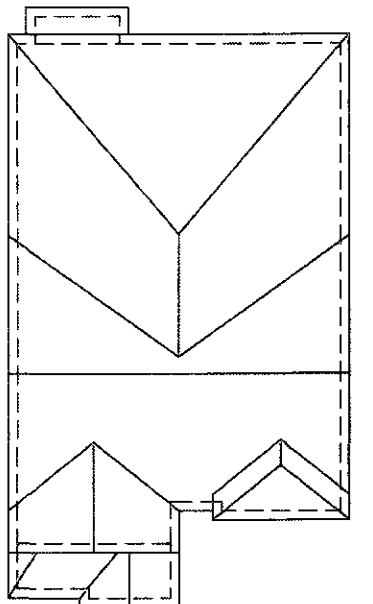
MOUNTAINASH 6
13.5m

project name: **RUSSELL GARDENS PH. 3**
city: **HAMILTON, ONTARIO**
project no.: **19014**

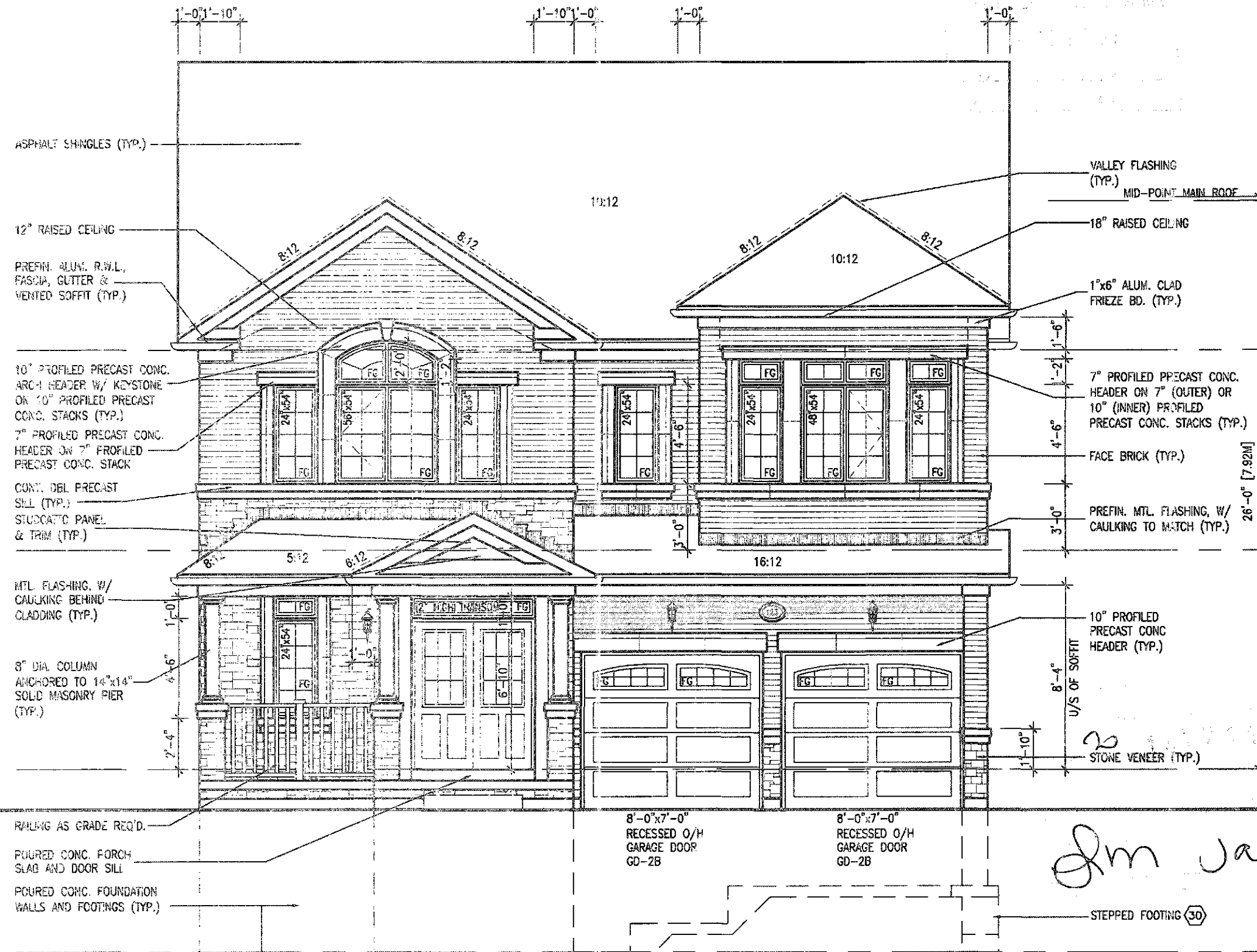
date: **JAN 2020**
drawn by: **BD.BIM**
checked by: **3/16" = 1'-0"**
scale: **3/16" = 1'-0"**

OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '2'
drawing no.: **19014-MOUNTAINASH-06**
revision: **A4a**

3409 SF.



ROOF PLAN-2



FRONT ELEVATION - ELEV. '2'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

EXTERIOR RAILINGS:
3'-8" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

18		9	
17		8	
16		7	
15		6	
14		5	REAR BOX BAY REVISED PER CLIENT. DEC. 11/20 GR
13		4	STAIRWAY WIDTH CORRECTED. AUG. 05/20 GR
12		3	ISSUED FOR PERMIT. APR. 13/20 GR
11		2	UPDATED PER ENG & CLIENT COMMENTS. MAR. 24/20 GR
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW. JAN. 28/20 GR
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer.

Richard Vink 24488
signature
42658

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ONTARIO

MOUNTAINASH 6
13.5m

project no.
19014

FRONT ELEVATION - ELEV. '2'

19014-MOUNTAINASH-06

drawing no.
A5a

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PART LEFT SIDE ELEVATION - ELEV '2' (5 BED)

LEFT SIDE ELEVATION - ELEV '2'

ALLOWABLE GLAZED OPENINGS
WALL AREA
LIMITING DISTANCE
GLAZING ALLOWED
GLAZING PROVIDED
GLAZING PROVIDED
=1194.75 SQ. FT.
1.2 M (7%)
=83.63 SQ. FT.
=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT.
30"x24" BASEMENT WINDOWS
30"x24" BASEMENT WINDOWS
=78.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
=83.30 SQ. FT. (GLASS AREA ONLY) - 5 BED

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no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR. 12/20	GW
11				2	UPDATED PER ENG. & CLIENT COMMENTS	MAR. 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW

The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink 24488
signature
VA3 Design Inc. 42658
registration information

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are representations of services and the property of the Designer which must be returned at the conclusion of the work. Drawings are not to be used.

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark.

MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

location
HAMILTON, ONTARIO

date
JAN 2020

drawn by
BD.BH

checked by
3/16" = 1'-0"

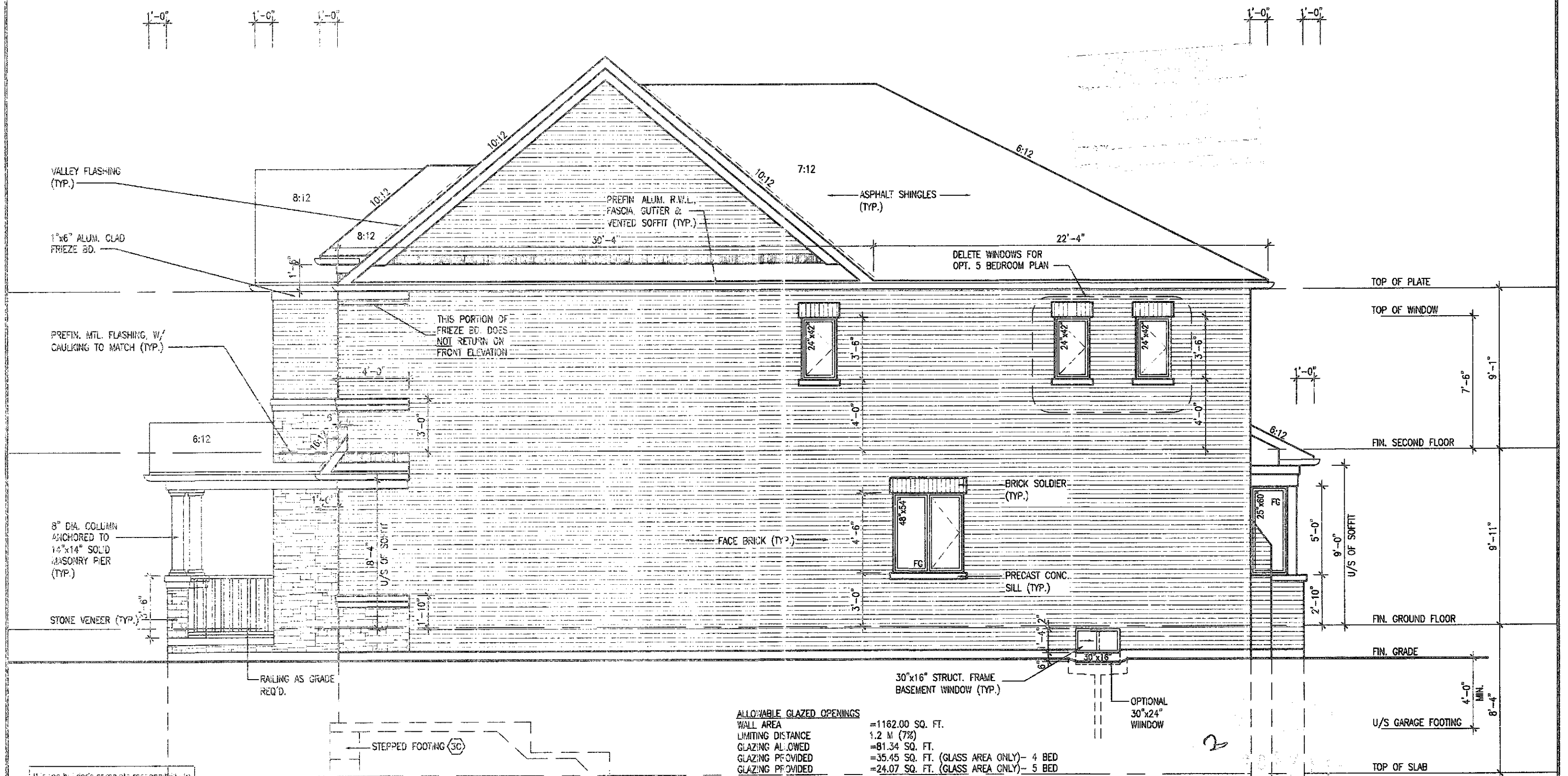
scale
3/16" = 1'-0"

project no.
19014

drawing no.
A6a

19014-MOUNTAINASH-06

3409 SF.



It is the builder's composite responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (plotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or placed on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

RIGHT SIDE ELEVATION -
ELEV '2' STD & OPT. 5 BED

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1162.00 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.34 SQ. FT.
GLAZING PROVIDED	=35.45 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED	=24.07 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTICAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=36.51 SQ. FT. (GLASS AREA ONLY)- 4 BED
30"x24" BASEMENT WINDOWS	=25.13 SQ. FT. (GLASS AREA ONLY)- 5 BED

of m MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

18	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000
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[illegible]

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

1. RECEIVED
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 3. TIME
 4. BY
 5. FOR
 6. TO
 7. FROM
 8. REMARKS
 9. INITIALS
 10. SIGNATURE
 11. DATE
 12. TIME
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15		6	
14		5	1. PAR BOX BAY REVISED PER CLIENT DEC. 11/2010
13		4	2. STARWAY WIDTH CORRECTED. AUG. 05/2010
12		3	3. ISSUED FOR PERMIT. APR 13/2010
11		2	2. UPDATED PER ENG & CLIENT COMMENTS MAR 24/2010
10		1	1. PRELIMINARY, ISSUED FOR CLIENT REVIEW. JAN. 28/2010
9	description	date	no
8	description	date	no

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information Richard Vink	signature <i>Richard Vink</i>
name registration information VA3 Design Inc.	264 426
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

VAD
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vad3design.com

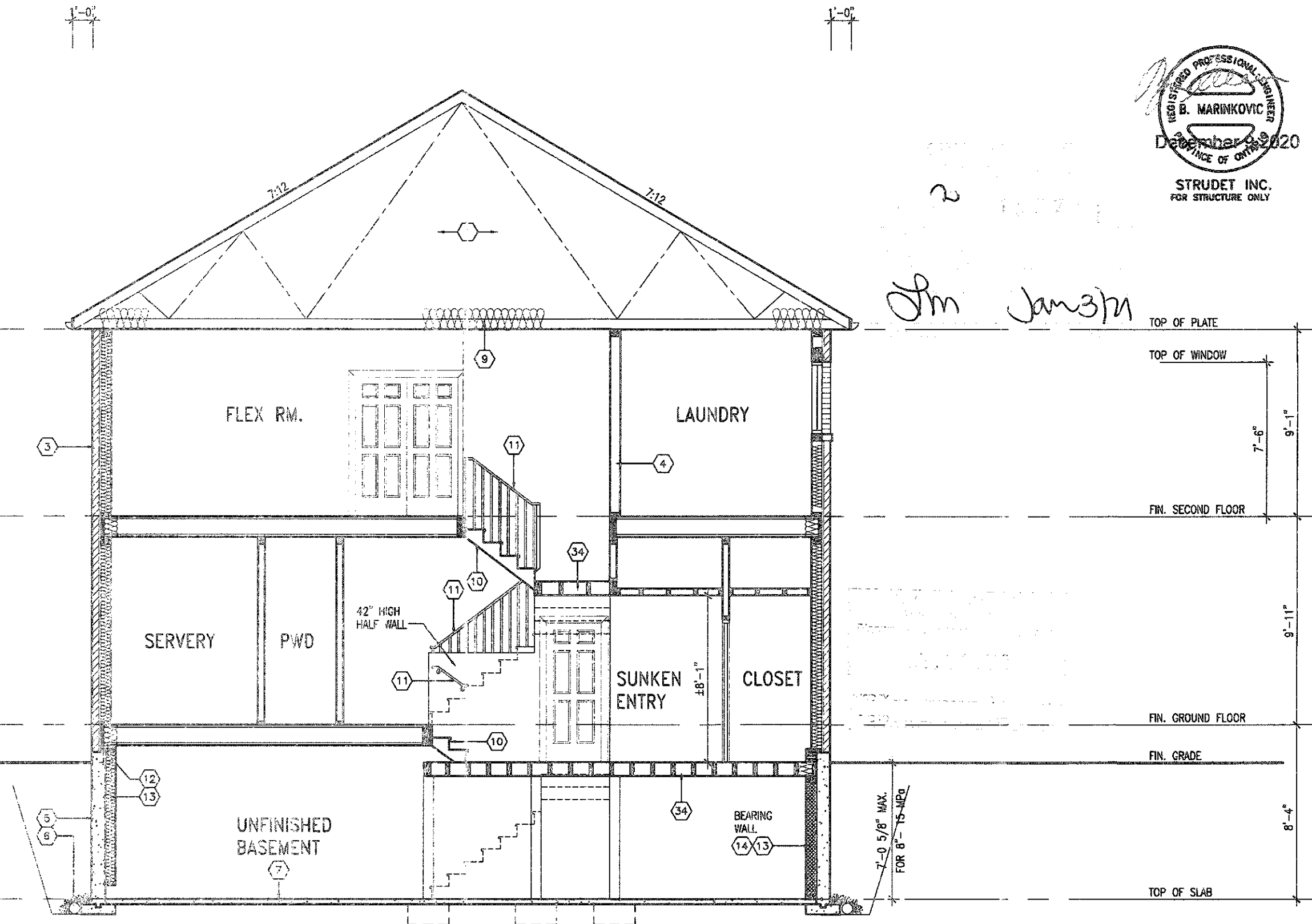


MOUNTAINASH 6
13.5m

project name RUSSELL GARDENS PH. 3	location HAMILTON, ONTARIO	project no. 19014
date JAN 2020		drawing no. A8a
description PEAR ELEVATION - ELEV '2' STD & OPT. 5 BED		
drawn by BD/ML	checked by -	file name 19014-MOUNTAINASH-06
scale 3/16" = 1'-0"		

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3409 SF.



CROSS SECTION 'A-A'
(ELEV. '2')

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

The Engineer's complete responsibility to ensure that plans submitted for approval comply with the applicable Guidelines and applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Engineer is not responsible in any way for obtaining or approving site (lotting) plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18		9			
17		8			
16		7			
15		6			
14		5	FEAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR. 13/20	SRV
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
no.	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink
signature
24488
BCO
42658

VA3 DESIGN Inc.
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark

PROJECT NAME
RUSSELL GARDENS PH. 3

LOCATION
HAMILTON, ONTARIO

DATE
JAN 2020

DRAWN BY
BD.BHM

CHECKED BY
-

SCALE
3/16" = 1'-0"

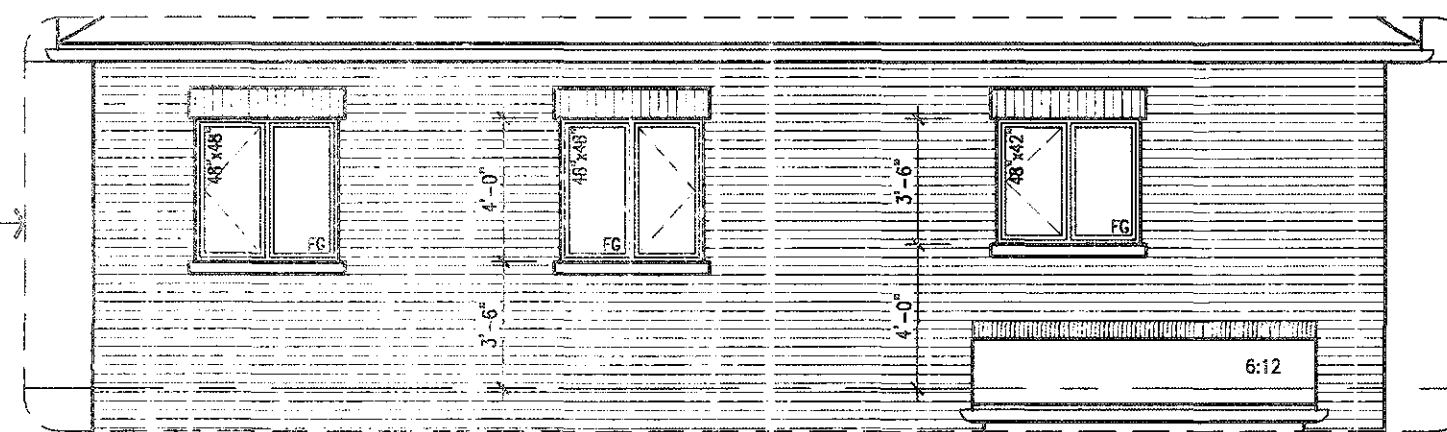
MOUNTAINASH 6
13.5m

PROJECT NO.
19014

CROSS SECTION 'A-A'

19014-MOUNTAINASH-06

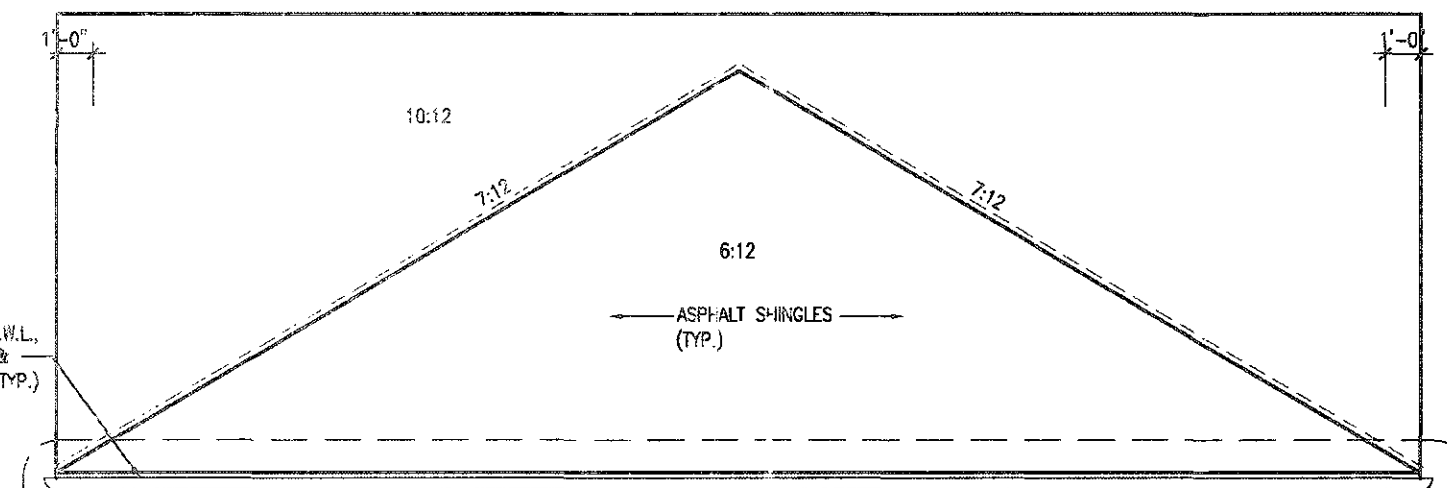
drawing no.
A9a



TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR

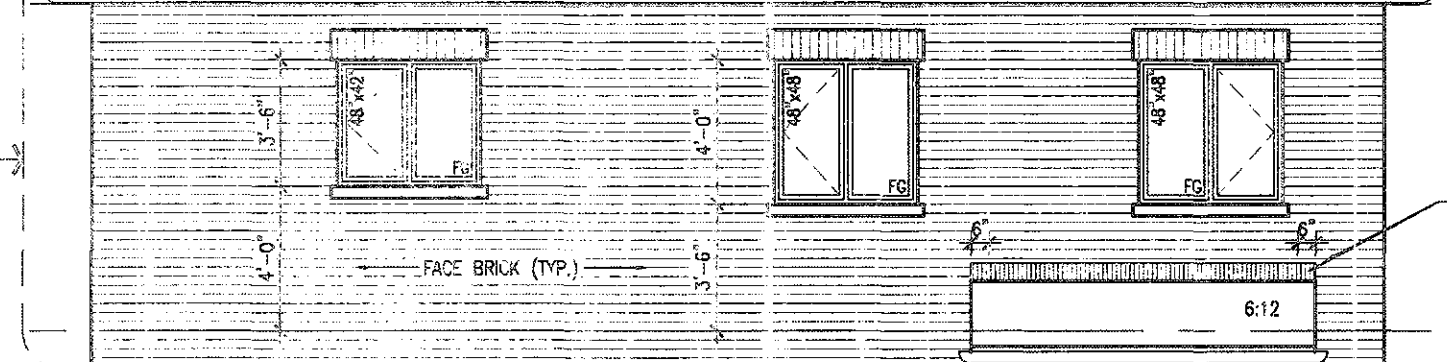
9'-1"
7'-6"

3409 SF.



PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

Jim Jangpa

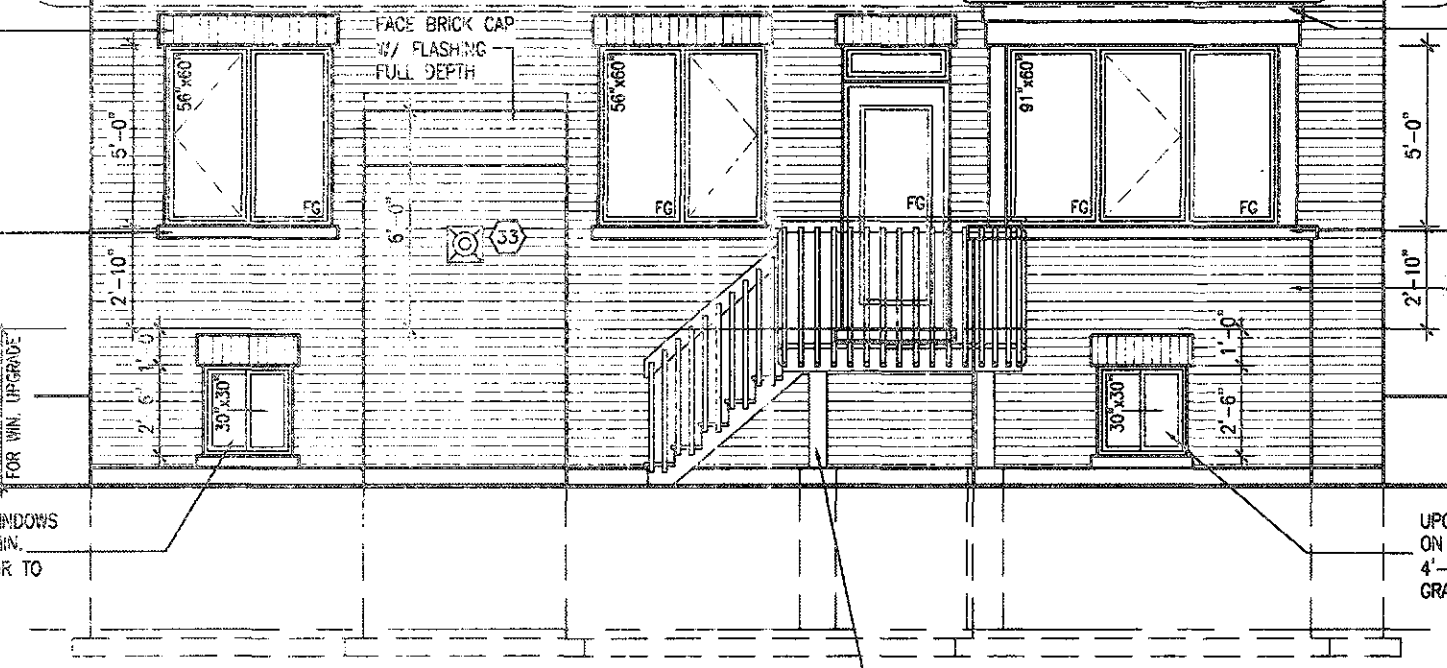


TOP OF PLATE
TOP OF WINDOW
FIN. SECOND FLOOR

9'-1"
7'-6"

PREFIN. MTL. FLASHING, W/
CAULKING TO MATCH (TYP.)

BRICK SOLDIER
(TYP.)



6"x8" ALUM. CLAD
FRIEZE BDS.
CONTINUOUS PRECAST
CONC. SILL
FACE BRICK
FIN. GROUND FLOOR

9'-11"
5'-0"
2'-10"

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PRECAST CONC.
SILL (TYP.)

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT, 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

REAR ELEVATION '2' -
DECK CONDITION

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

12		9			
11		8			
10		7			
9		6			
8		5	REAR ELEV '2' REVISED PER CLIENT.	DEC. 11/20	GW
7		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
6		3	ISSUED FOR PERMIT	APR. 13/20	GW
5		2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW
4		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW
3					
2					
1					
no	description	date	by	no	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Registrar.

Richard Vink 24488
signature
42658

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

MOUNTAINASH 6
13.5m

project name: **RUSSELL GARDENS PH. 3**
location: **HAMILTON, ONTARIO**
drawing no.: **19014**

date: **JAN 2020**
drawn by: **BD.BIM**
checked by: **3/16" = 1'-0"**

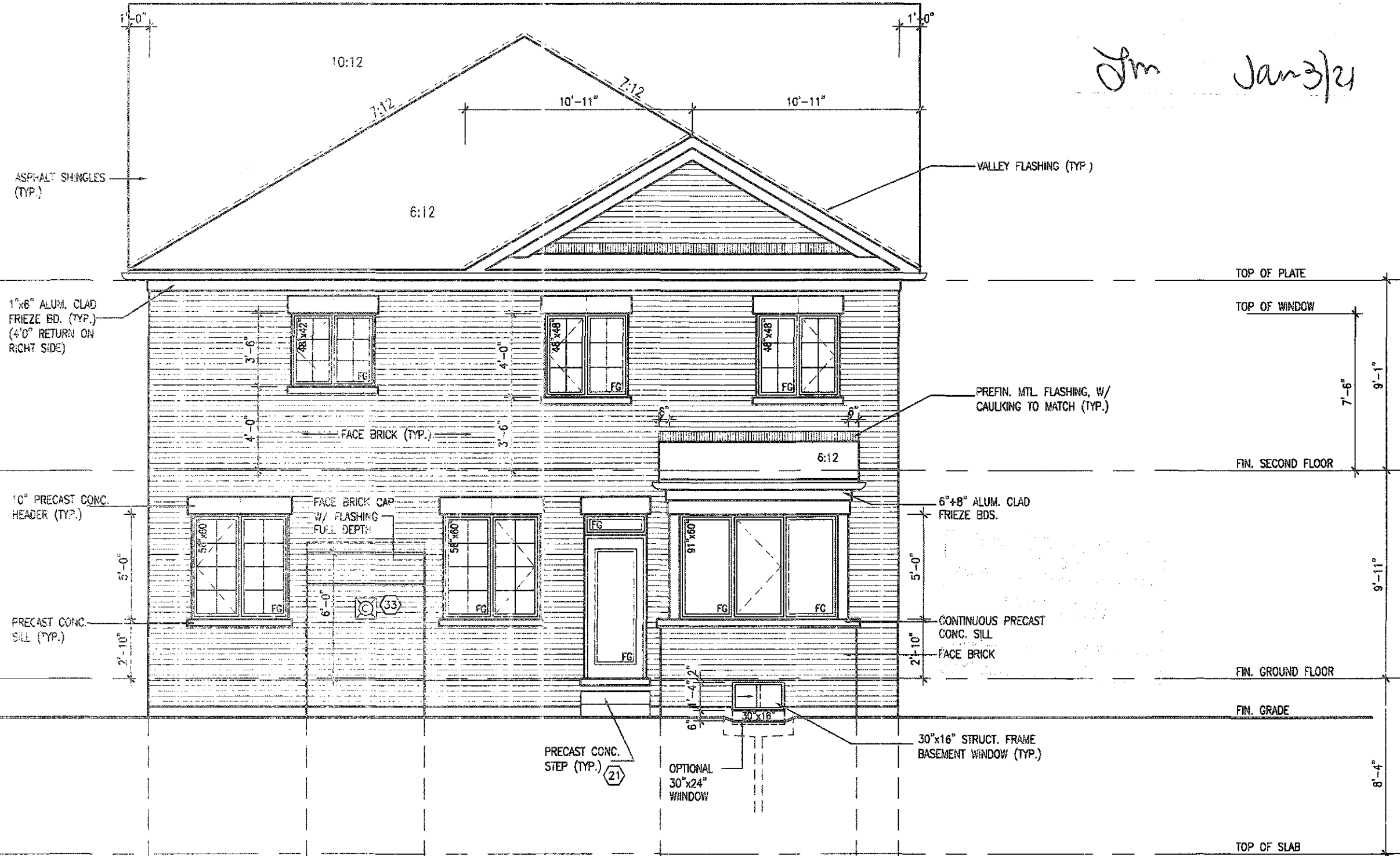
REAR ELEV '2' & OPT. 5 BED- DECK COND.
19014-MOUNTAINASH-06

A11a

3409 SF.

2 1577 11

Jm Jan 3/21



UPGRADED REAR ELEVATION - ELEV. '2'
(4 BEDROOM)

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Council Architect is not responsible in any way for obtaining or approving site planning plans or zoning drawings with respect to any zoning or building code or permit matter or that any house can be properly built or sited on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Signature of Architect
Date: 1/3/21

18		9			
17		8			
16		7			
15		6			
14		5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT	APR. 13/20	GW
11		2	UPGRADED PER ENG & CLIENT COMMENTS	MAR. 24/20	GW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW
no. description	date	by	no. description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and areas the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink
signature
24488
BOB
42668

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

MOUNTAINASH 6
13.5m

project name
RUSSELL GARDENS PH. 3

date
JAN 2020

drawn by
BO.BIM

checked by
-

scale
3/16" = 1'-0"

project no.
19014

location
HAMILTON, ONTARIO

description
UPGRADED REAR ELEV '2' - (4 BED)

file name
19014-MOUNTAINASH-08

drawing no.
A12a

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The diagram illustrates a cross-section of a roof assembly. The roof structure is shown with a central peak and sloped sides. The roof deck is labeled "6:12". The roof slope is indicated as "10:12" on the left side and "7:12" on the right side. The roof assembly includes a layer of "ASPHALT SHINGLES (TYP.)" and a layer of "V.L. (TYP.)". The roof is supported by a wall structure. The wall has a vertical section labeled "1'0\"/>

 Greenpark		MOUNTAINASH 6 13.5m	
Project name RUSSELL GARDENS PH. 3		Plan capacity HAMILTON, ONTARIO	
Job JAN 2020		Project no. 19014	
drawn by BD/EM		drawing no. 19014-MOUNTAINASH-06	
created by -		scale 3/16" = 1'-0"	
title REAR ELEVATION '2' - WALK-UP CONDITION		sheet no. A13a	

All graphics specifications, related documents and design are the copyright property of V&S DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&S DESIGN's written permission.

(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

SUPPORT 2"x4" WALL WHERE LOA
SEALING

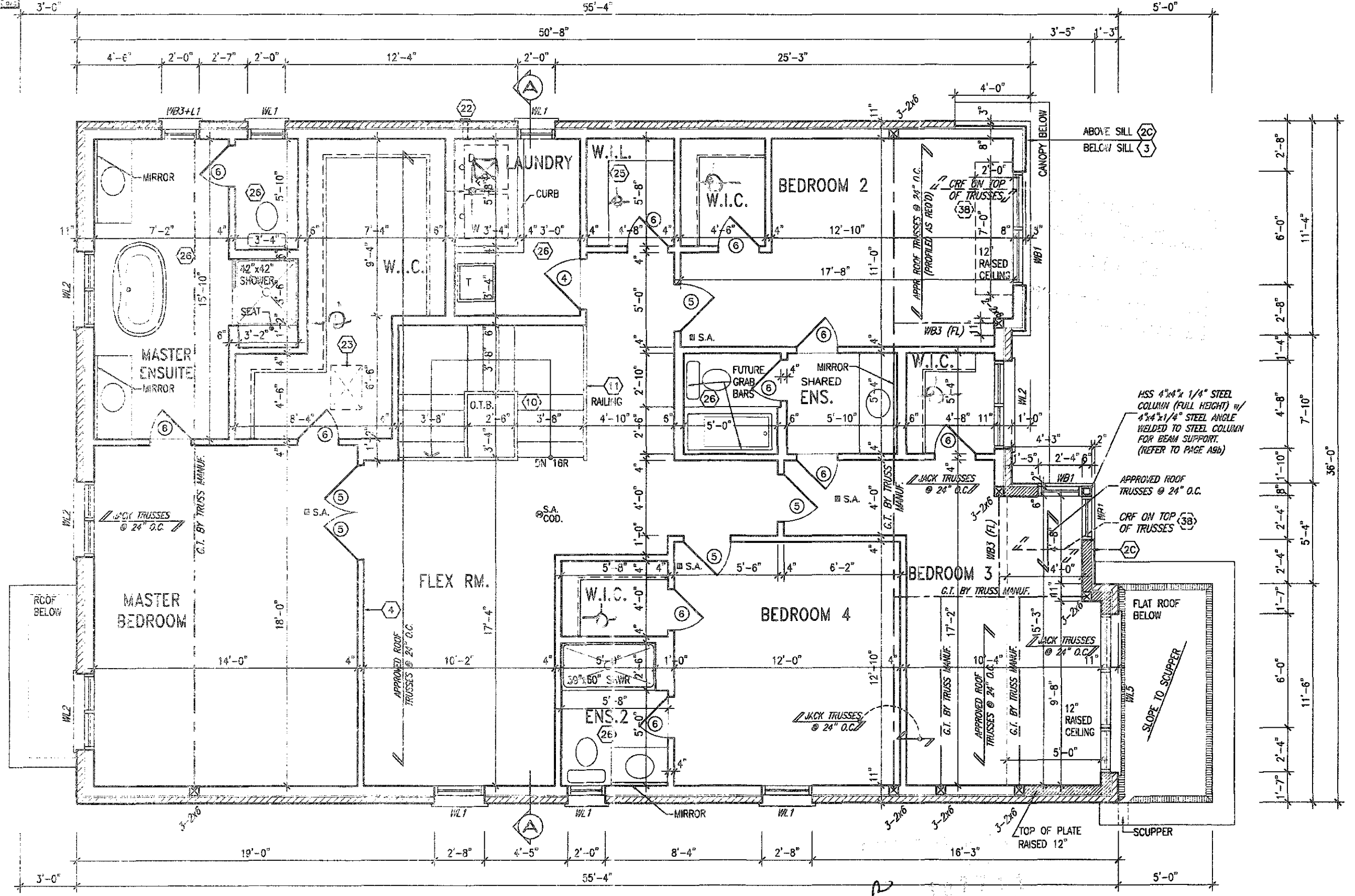
[illegible]

		MOUNTAINASH 6
		13.5m
project name RUSSELL GARDENS PH. 3	municipality HAMILTON, ONTARIO	project no. 19014
date JAN 2020		drawing no.
drawn by BD.BIM		BASEMENT PLAN - ELEV. "3"
checked by -	scale 3/16" = 1'-0"	file name 19014-MOUNTAINASH-06
DWG: C:\PROJECTS\GREENPARK\GREENPARK\PHASE3\BIM\19014-MOUNTAINASH-06.dwg - Fr - Date: Jan 11 2020 - 11:45 AM		
		A1b

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3409 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.0.3.8.1(3)(a) & 3.0.3.8.2(3)(c); SHOWER: 3.0.3.13.2(1)(g); BATHTUB: 3.0.3.13.1(4)(a); FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
December 8, 2020
PROVINCE OF ONTARIO
STRUDET INC.
FOR STRUCTURE ONLY

SECOND FLOOR PLAN - ELEV. '3'

Jim Jarzka MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for approving or approving site layout plans or working drawings with respect to any zoning or building code or permit or other that any house plan is properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18		9			
17		8			
16		7			
15		6			
14		5	POUR BOX WAY REVISED PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 24/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW
9	description	date	by	no.	description

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification information
Richard Vink 24488
signature
V43 Design Inc. 42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are representations of content and the property of the Designer which must be retained at the completion of the work. Drawings are not to be copied.

V43 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
v43design.com

Greenpark.

project name
RUSSELL GARDENS PH. 3

date
JAN 2020

drawn by
BD.BIM

created by
-

scale
3/16" = 1'-0"

MOUNTAINASH 6
13.5m

project no.
19014

location
HAMILTON, ONTARIO

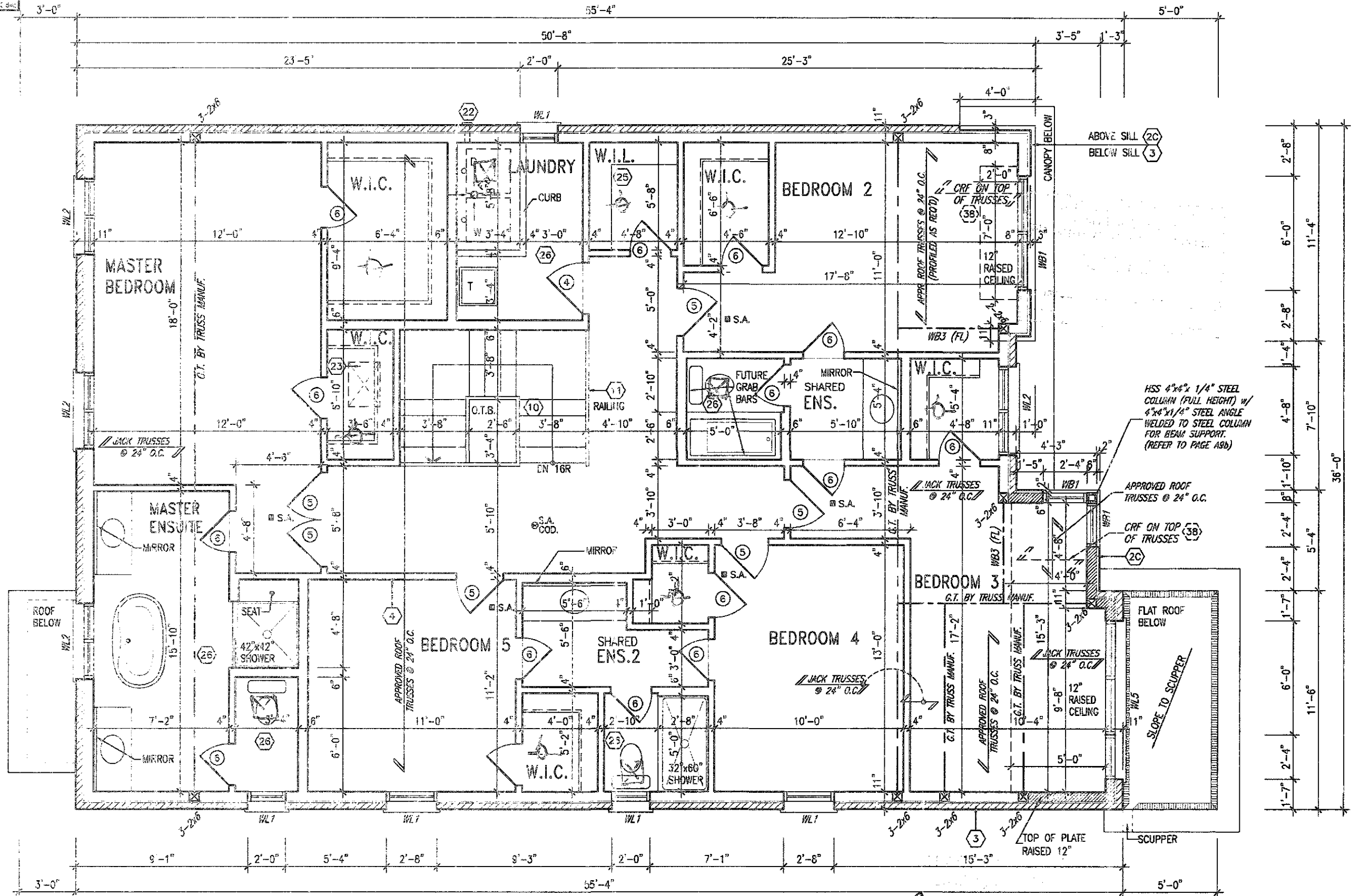
second floor plan - elev. '3'

drawing no.
A3b

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3409 SF.

GRAB BAR NOTE:
STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHS IN MAIN BATHROOM PER OBC DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8(3/4) & 3.8.3.8(3/6) SHOWER: 3.8.3.13(2/4) BATH: 3.8.3.13(4/4) FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED.



OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'

pm Jan 3/20 MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is the owner's complete responsibility to ensure that all plans submitted for approval comply with the applicable Ontario Building Code and all applicable regulations and requirements including zoning provisions and any provisions in the subject site agreement. The Control of Building Act does not impose any liability for obtaining or approving any planning plans or zoning drawings with respect to any zoning or building code or permit matter or that any plans can be properly built or located on site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

STRUDET INC.
FOR STRUCTURE ONLY

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX RAY REVISED PER CLIENT.	DEC. 11/20	GV
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GV
12				3	ISSUED FOR PERMIT.	APR. 13/20	GV
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR. 24/20	GV
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GV

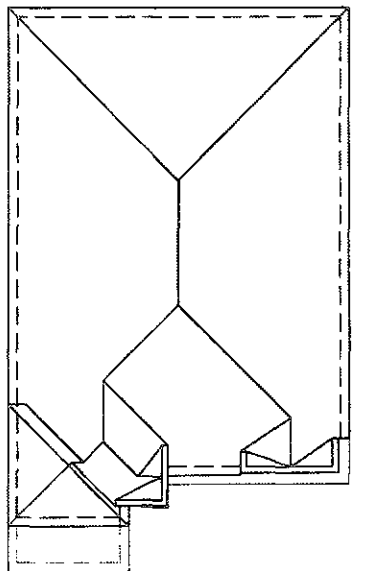
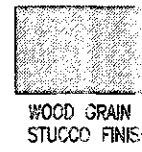
The undersigned hereby certifies that the design and the specifications and the requirements set out in the Ontario Building Code to be a design.
signature: *R. Vink*
name: Richard Vink
number: 24488
title: BECN
organization: VAS Design Inc.
number: 42658
Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are the property of the designer and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.	MOUNTAINASH 6 13.5m
project name: RUSSELL GARDENS PH. 3	location: HAMILTON, ONTARIO
date: JAN 2020	drawing no. 19014
drawn by: BO.BLM	checked by: 3/16" = 1'-0"
OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3'	
19014-MOUNTAINASH-06	
A4b	

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3409 SF.



ROOF PLAN-3

FRONT ELEVATION - ELEV. '3'

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

MOUNTAINASH 6 COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18
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1

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

no	description	date	by	no	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX WAY REVISED PER CLIENT	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT	APR. 13/20	GW
11				2	UPDATED PER ENG. & CLIENT COMMENTS	MAR. 24/20	GW
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW

The undersigned hereby certifies that the design and construction of this building complies with the requirements set out in the Ontario Building Code as a Designer.

Richard Vink 24488
signature
42656

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com



MOUNTAINASH 6
13.5m

project name	RUSSELL GARDENS PH. 3	location	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	checked by	BD.BM	drawing no.	A5b
scale	3/16" = 1'-0"				
notes	19014-MOUNTAINASH-06				

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Technical drawings of four window units, labeled A, B, C, and D, showing their dimensions and labels.

- Unit A:** A rectangular window unit with a height of 3'-6" and a width of 4'-0". The label "36" x 42" is visible inside the frame.
- Unit B:** A rectangular window unit with a height of 3'-6" and a width of 4'-0". The label "36" x 48" is visible inside the frame.
- Unit C:** A rectangular window unit with a height of 3'-6" and a width of 4'-0". The label "24" x 42" is visible inside the frame.
- Unit D:** A rectangular window unit with a height of 3'-6" and a width of 4'-0". The label "30" x 48" is visible inside the frame.

Diagram showing the vertical dimensions of the wall:

- Wall height: 9'-1"
- Window height: 7'-6"
- Labels: TOP OF PLATE, TOP OF WINDOW, FIN. SECOND FLOOR

[illegible]

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1194.75 SQ. FT. (INCLUDES
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=83.63 SQ. FT. GLAZING
GLAZING PROVIDED	=75.49 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING REQUIRED	=81.18 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=78.49 SQ. FT. (GLASS AREA ONLY)- 4 BED
30"x24" BASEMENT WINDOWS	=83.30 SQ. FT. (GLASS AREA ONLY)- 5 BED

Cfm MOUNTAINASH 6
 COMPLIANCE PACKAGE 'A1'

It is the building contractor's responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for evaluating or approving site plotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or placed on a lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

18				9		
17				8		
16				7		
15				6		
14				5	FEAR BOX BAY REVISED PER CLIENT	DEC. 1, 2001
13				4	STARWAY WIDTH CORRECTED.	AUG. 05/2001
12				3	ISSUED FOR PERMIT.	APR. 13/2001
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR. 24/2001
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	JAN. 28/2001
no.	description	date	by	no.	description	date

The undersigned has conferred and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	244
Richard Vink		
name	signature	
registration information		428
V43 Design Inc.		

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. Drawings are not to be scaled.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

Greenpark.

MOUNTAINASH 6
13.5m

project name	location	community	project no.
RUSSELL GARDENS PH. 3	HAMILTON, ONTARIO		19014
date	LEFT SIDE ELEVATION - ELEV '3' STD & OPT. 5 BED		drawing no.
JAN 2020			
drawn by	checked by	scale	file name
BD.BM	-	3/16" = 1'-0"	19014-MOUNTAINASH-05
CSG - H:\ARCHIVE\2020\12014\19014-05\MOUNTAINASH\CSG\19014-05-19014-MOUNTAINASH-05.dwg - Tr - Dec 11 2020 - 13:56 PM			

All drawings specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

3409 SF.

VALLEY FLASHING
(TYP.)
PREFIN. METAL COPING ON
6" STUCCO TRIM (TYP.)
APPLIED STUCCO FINISH W/
DECORATIVE REVEALS (TYP.)
1"x6" ALUM. CLAD
FRIEZE SD.

ALUM. CLAD TRIM (TYP.)

WOOD GRAIN STUCCO
FINISH TRIM (TYP.)

15"x15" MASONRY
PIER #/ 8"x8"
W/ WOOD GRAIN
STUCCO FINISH
TRIM WRAPPED
COLUMN (TYP.)

CONTEMPORARY STONE
PATTERN (TYP.)

RAILING AS GRADE
REQ'D.

STEPPED
FOOTING

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

6:12

ASPHALT SHINGLES
(TYP.)

DELETE WINDOWS FOR
OPT. 5 BEDROOM PLAN

BRICK SOLDIER
(TYP.)

PRECAST CONC.
SILL (TYP.)

30"x16" STRUCT. FRAME
BASEMENT WINDOW (TYP.)

OPTIONAL
30"x24"
WINDOW

ALLOWABLE GLAZED OPENINGS

WALL AREA =1162.00 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED =81.34 SQ. FT.
GLAZING PROVIDED =59.41 SQ. FT. (GLASS AREA ONLY) - 4 BED
GLAZING PROVIDED =48.03 SQ. FT. (GLASS AREA ONLY) - 5 BED

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. =60.47 SQ. FT. (GLASS AREA ONLY) - 4 BED
30"x24" BASEMENT WINDOWS =49.09 SQ. FT. (GLASS AREA ONLY) - 5 BED

RIGHT SIDE ELEVATION -
ELEV '3' STD & OPT. 5 BED

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

18		9			
17		8			
16		7			
15		6			
14		5	REAR BAY REVIS PER CLIENT.	DEC. 11/20	GW
13		4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12		3	ISSUED FOR PERMIT.	APR 13/20	GW
11		2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10		1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 26/20	GW
9	designer	date	by	no. conception	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and skills to meet the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink 24488
signature
no. registration information
VA3 Design Inc. 42658

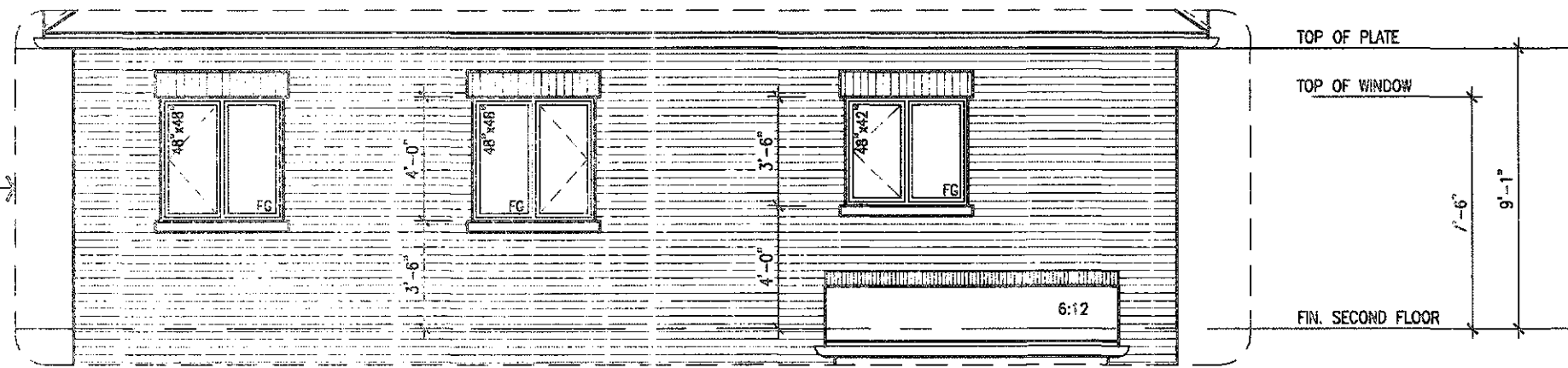
Contractor must carry all drawings on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are returned to the Designer at the completion of the work. Drawings are not to be copied.

**VA3
DESIGN**
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

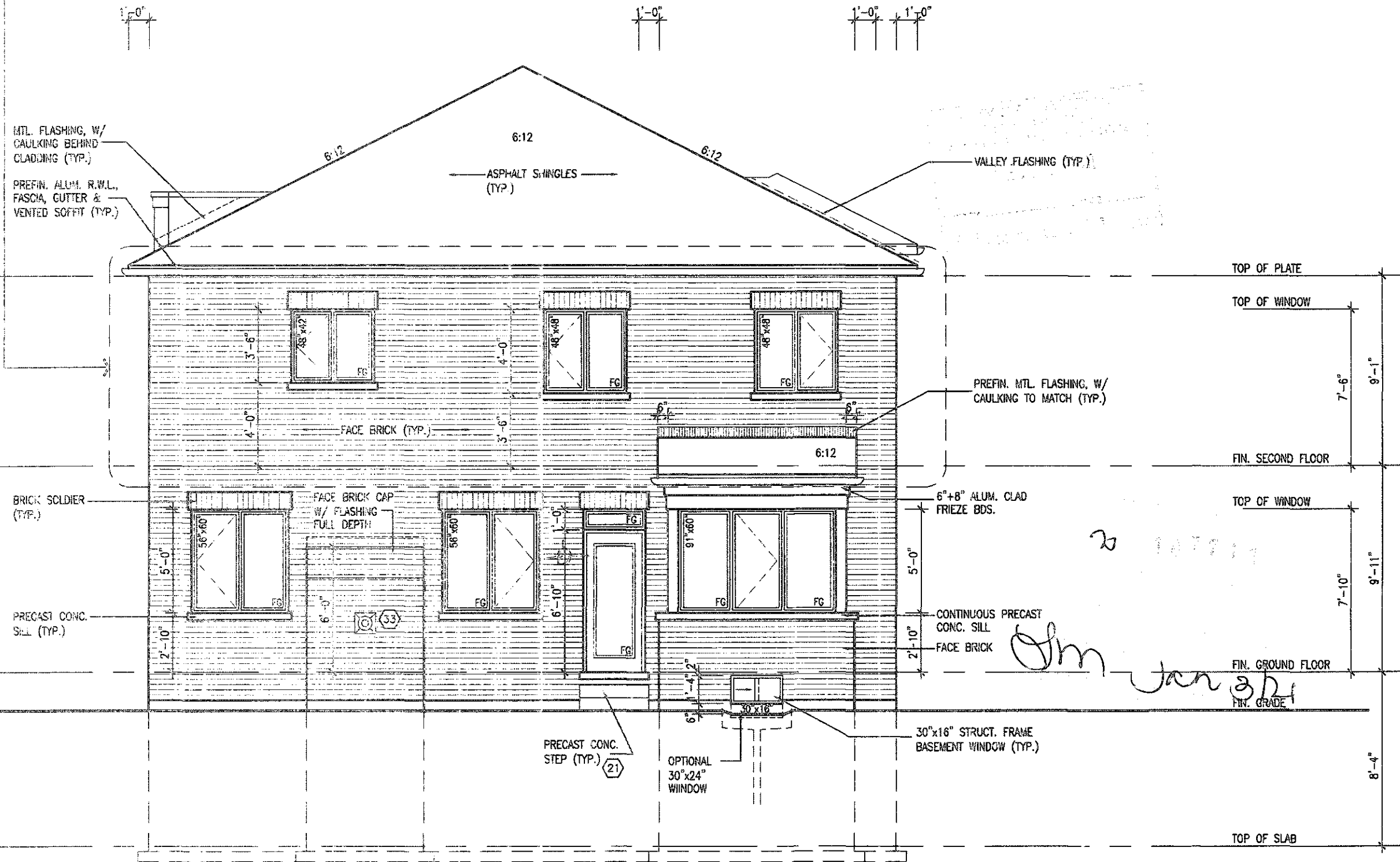
Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3	location HAMILTON, ONTARIO	project no. 19014	drawing no. A7b
date JAN 2020	designed by BD, BIM	checked by 3/16" = 1'-0"	RIGHT SIDE ELEVATION - ELEV '3' STD & OPT. 5 BED
18014-MOUNTAINASH-06			

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3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION - ELEV. '3'

MOUNTAINASH 6

COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Hamilton, Ontario
Architectural Design
City of Hamilton
100 King Street West
Hamilton, Ontario
L8N 3K5
Tel: 905.546.2255
Fax: 905.546.2256
www.hamilton.ca

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT	APR. 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENT'S	MAR. 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Richard Vink
signature
24488
BCN
42656

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer shall not be returned at the expiration of the work. Drawings are not to be copied.

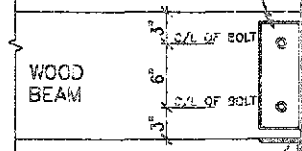
VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Project name	RUSSELL GARDENS PH. 3	Municipality	HAMILTON, ONTARIO	Project no.	19014
Date	JAN 2020	Drawn by	BU.BIM	Checked by	3/16" = 1'-0"
Scale	3/16" = 1'-0"	Project no.	19014-MOUNTAINASH-06	Drawing no.	A8b

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3409 SF.

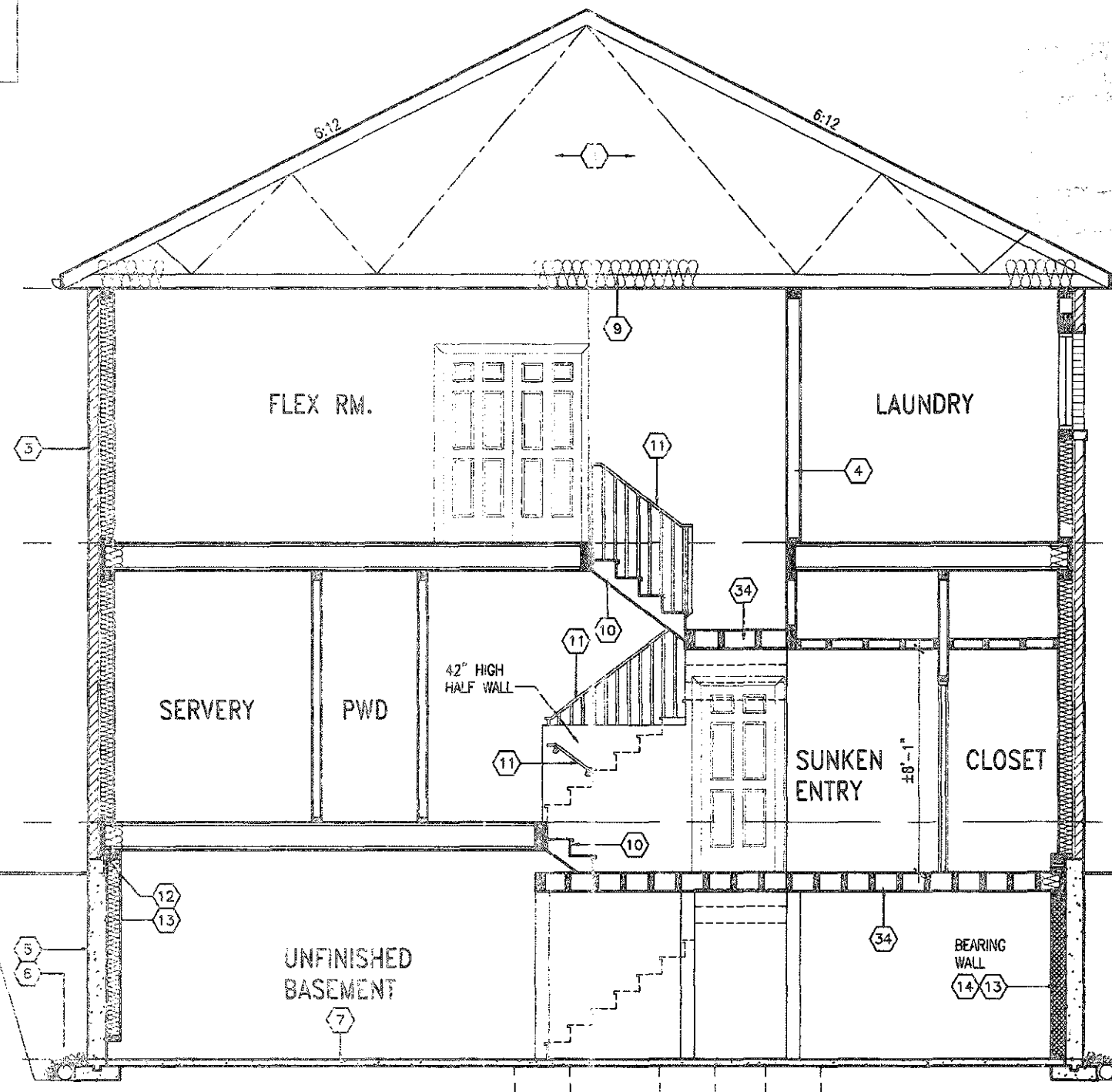
10" HIGH x 1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN. BEAM
BOLTED TO PLATE WITH
2-1/2" DIA. BOLTS.



HSS 4"x4"x 1/4" STEEL
COLUMN (FULL HEIGHT)

4"x4"x 1/4" STEEL
ANGLE WELDED TO
STEEL COLUMN FOR
BEAM SUPPORT

ELEV.
WOOD LINTEL AT STEEL COLUMN
SCALE: NOT TO SCALE



CROSS SECTION 'A-A'
(ELEV. '3')

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the engineer's complete responsibility to ensure that all designs submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Engineer/Architect is not responsible in any way for approving or disapproving site (plotting) plans or working drawings in reference to any zoning or building code or permit matter or that any house can be properly built or located on site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18			9			
17			8			
16			7			
15			6			
14			5	REAR DOOR BAY REVISED PER CLIENT.	DEC. 11/2019	GW
13			4	STAIRWAY WIDTH CORRECTED.	AUG. 05/2019	GW
12			3	ISSUED FOR PERMIT.	APR. 13/2019	GW
11			2	UPDATED PER ENG & CLIENT COMMENTS.	MAR. 24/2019	GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 25/2019	GW
9	description	date	by	description	date	by

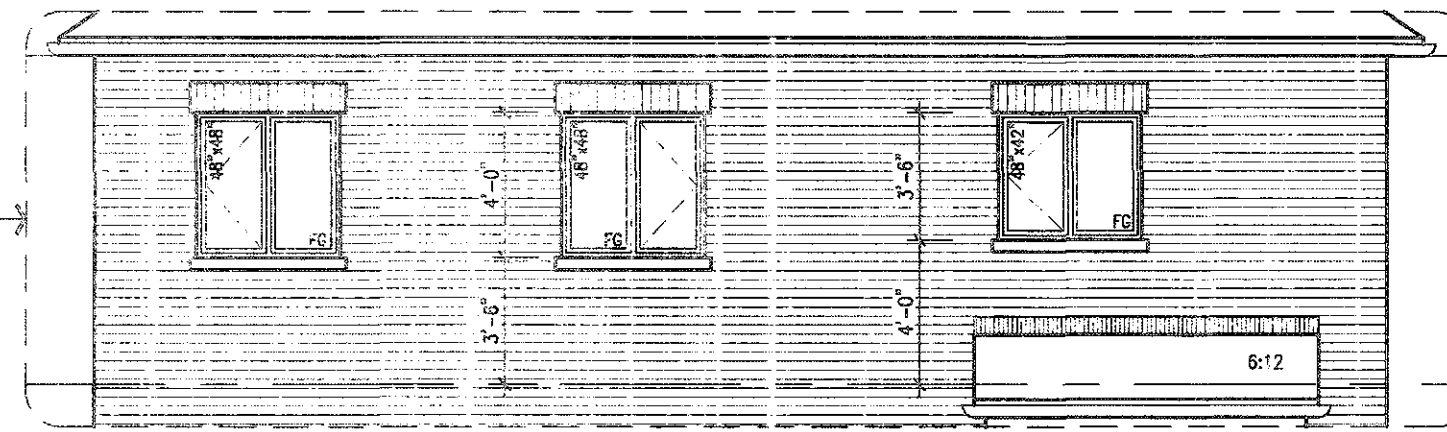
The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658
The undersigned has prepared and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information
Richard Vink 24488
signature
name
registration information
VA3 Design Inc. 42658

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.
project name
RUSSELL GARDENS PH. 3
date
JAN 2020
checked by
scale
3/16" = 1'-0"
drawn by
B2.BIM
C:\Users\B2.BIM\AppData\Local\Temp\1\101110011\PROJECTS\MOUNTAINASH\19014-MOUNTAINASH-06.dwg - P1 - Jan 11, 2020 - 1:56 AM

MOUNTAINASH 6
13.5m
project no.
19014
drawing no.
A9b
19014-MOUNTAINASH-06

3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION '3' - DECK CONDITION

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

I, the undersigned, accept responsibility to ensure that all plans submitted for approval fully comply with the Agriculture, Guidelines and applicable regulations and requirements in the subject of agreement. The Control Authority is not responsible in any way for examining or approving any plans or drawings or for any zoning or building code or permit matter or that any house can be properly built or occupied on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6			
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/2018	
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/2019	
12				3	ISSUED FOR PERMIT.	APR 13/2019	
11				2	UPDATED PER ENG & CLIENT COMMENTS.	MAR 24/2019	
10				1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	JAN. 28/2019	

The undersigned has retained and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Richard Vink 24488
signature
VA3 Design Inc. 42658
name registration information

Contractor must verify all dimensions on the job and report any discrepancy to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vc3design.com

Greenpark

project name: **RUSSELL GARDENS PH. 3**

date: **JAN 2020**

drawn by: **BD.BIM**

checked by: **3/16" = 1'-0"**

scale: **3/16" = 1'-0"**

MOUNTAINASH 6
13.5m

project no. **19014**

drawing no. **A11b**

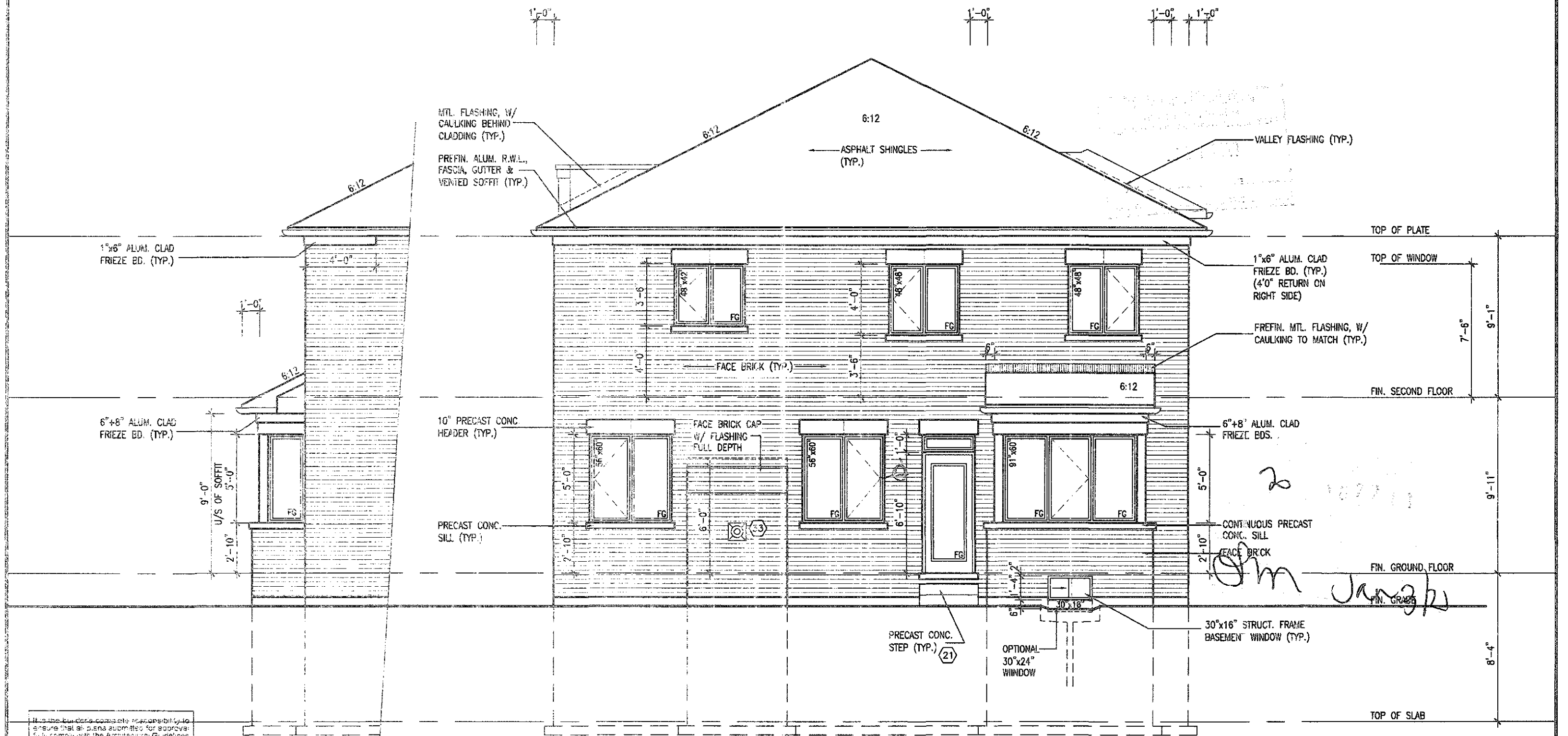
location: **HAMILTON, ONTARIO**

description: **REAR ELEV '3' & OPT. 5 BED- DECK COND.**

file name: **19014-MOUNTAINASH-06**

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3409 SF.



PARTIAL SIDE
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'
(4 BEDROOMS)

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the Engineer's responsibility to ensure that all plans submitted for approval comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site, zoning plans or zoning drawings with respect to any zoning or building code or zoning matter or that any house can be properly built on the site.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

18			9		
17			8		
16			7		
15			6	REAR BOX BAY REVISED PER CITY	DEC. 04/20 GW
14			5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20 GW
13			4	STAIRWAY WIDTH CORRECTED	AUG. 05/20 GW
12			3	ISSUED FOR PERMIT	APR. 13/20 GW
11			2	UPDATED PER ENG. & CLIENT COMMENTS	MAR. 24/20 GW
10			1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 25/20 GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

Richard Vink
signature
24488
BOC
42658

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS3 DESIGN
255 Consumers Rd Suite 120
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416.630.2255 f 416.630.4782
vas3design.com

Greenpark.

project name: RUSSELL GARDENS PH. 3
date: JAN 2020
drawn by: BD.BHM
checked by: 3/16" = 1'-0"

HAMILTON, ONTARIO

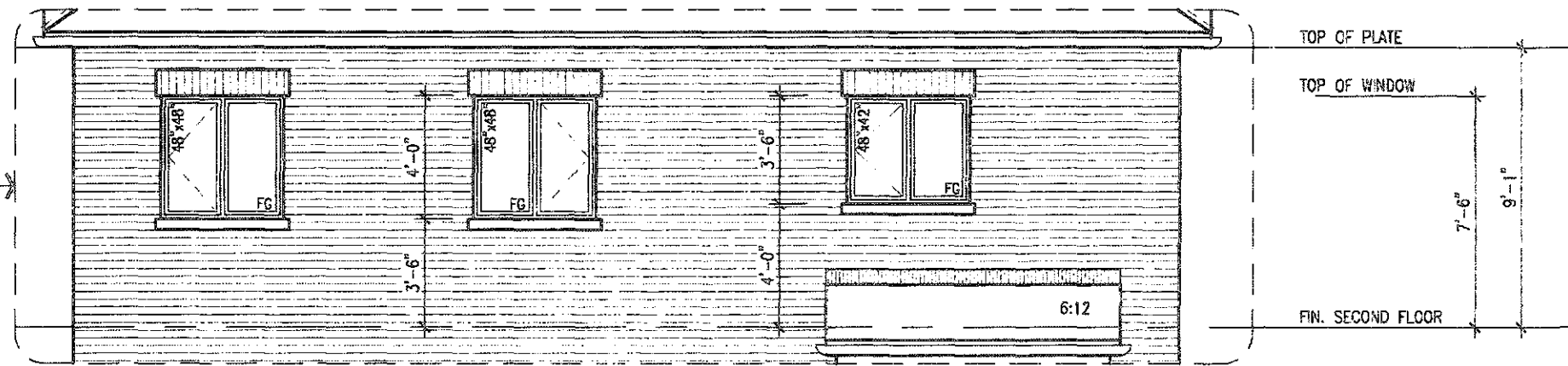
UPGRADED REAR ELEVATION - ELEV '3' (4 BED)

19014-MOUNTAINASH-06

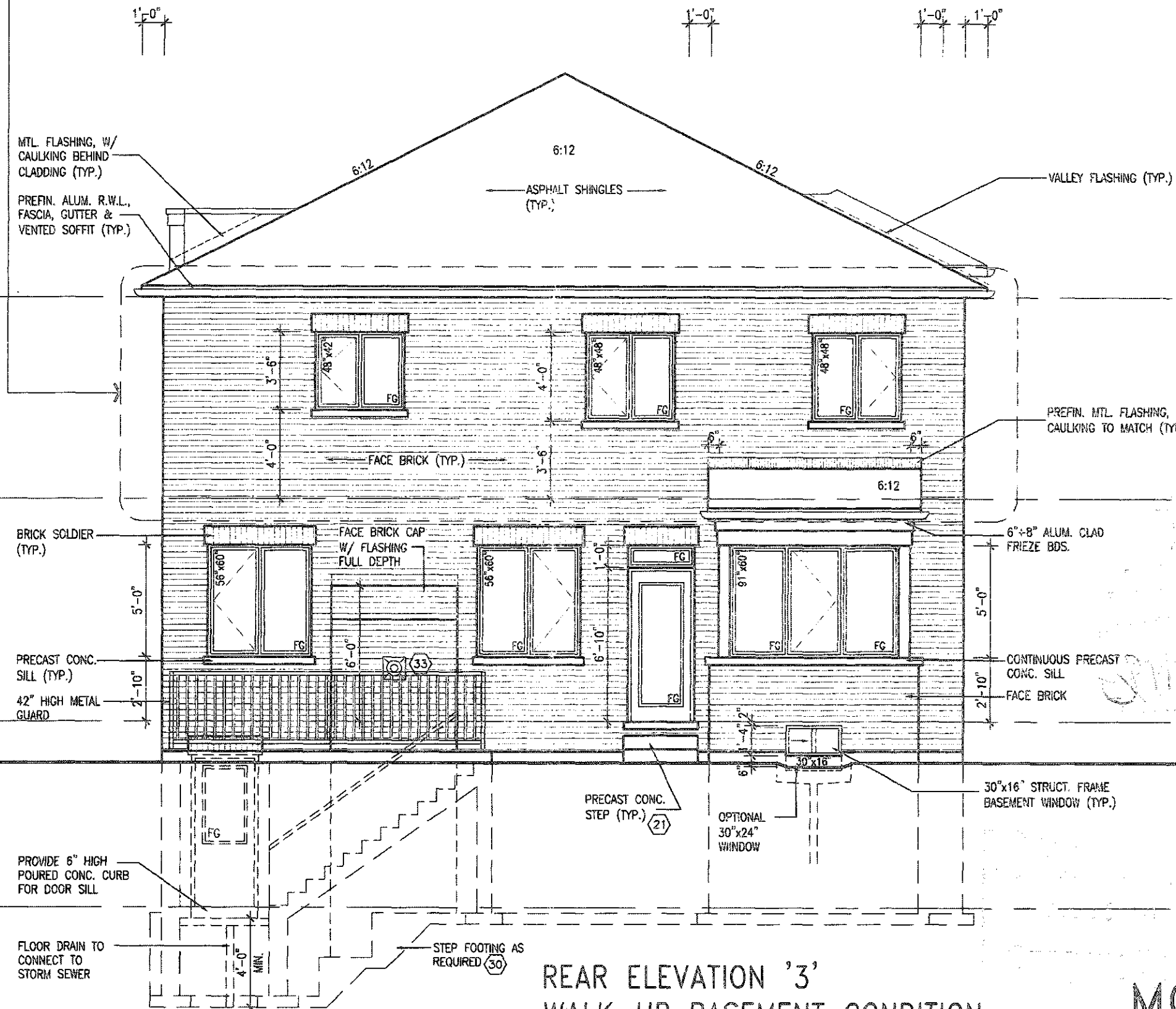
MOUNTAINASH 6
13.5m
project no. 19014
drawing no. A12b

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3409 SF.



PART REAR ELEVATION - ELEV '3' (5 BED)



REAR ELEVATION '3'
WALK-UP BASEMENT CONDITION

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site existing plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONSULTANTS
1000 SHEPPARD AVENUE EAST
SUITE 100
SCARBOROUGH, ONTARIO M1S 1T5
TEL: (416) 291-1111
FAX: (416) 291-1112
WWW.JCWILLIAMS.COM

no.	description	date	by	no.	description	date	by
18				3			
17				8			
16				7			
15				6	ADD WUB CONDITION	JUN 02/21	WT
14				5	REAR BOX BAY REVISED PER CLIENT	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT	APR 13/20	GW
11				2	UPDATED PER ENG & CLIENT COMMENTS	MAR 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN. 28/20	GW

The undersigned has entered into a contract with the client for the design and here the undersigned and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
name
registration information
VA3 Design Inc.
42658
The undersigned has entered into a contract with the client for the design and here the undersigned and made the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
BCO
name
registration information
VA3 Design Inc.
42658
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qualification information
Richard Vink
signature
24488
BCO
name
registration information
VA3 Design Inc.
42658

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Toronto ON M2J 1R4
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va3design.com

Greenpark.
MOUNTAINASH 6
13.5m
project name
RUSSELL GARDENS PH. 3
HAMILTON, ONTARIO
19014
date
JAN 2020
drawn by
BD.BHM
checked by
3/16" = 1'-0"
19014-MOUNTAINASH-06
A13b

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3409 SF.



PARTIAL SIDE
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'
(5 BEDROOMS) (FOR LOTS 334 & 340)

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

Architect's Seal and Stamp: A professional seal and stamp for the architect, including the name and registration number.

18		9	
17		8	
16		7	
15		6	REAR BOX RAY REVISED PER CITY
14		5	REAR BOX RAY REVISED PER CLIENT
13		4	STAIRWAY WIDTH CORRECTED
12		3	ISSUED FOR PERMIT
11		2	UPGRADED PER ENG & CLIENT COMMENTS
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW
9			
8			
7			
6			
5			
4			
3			
2			
1			

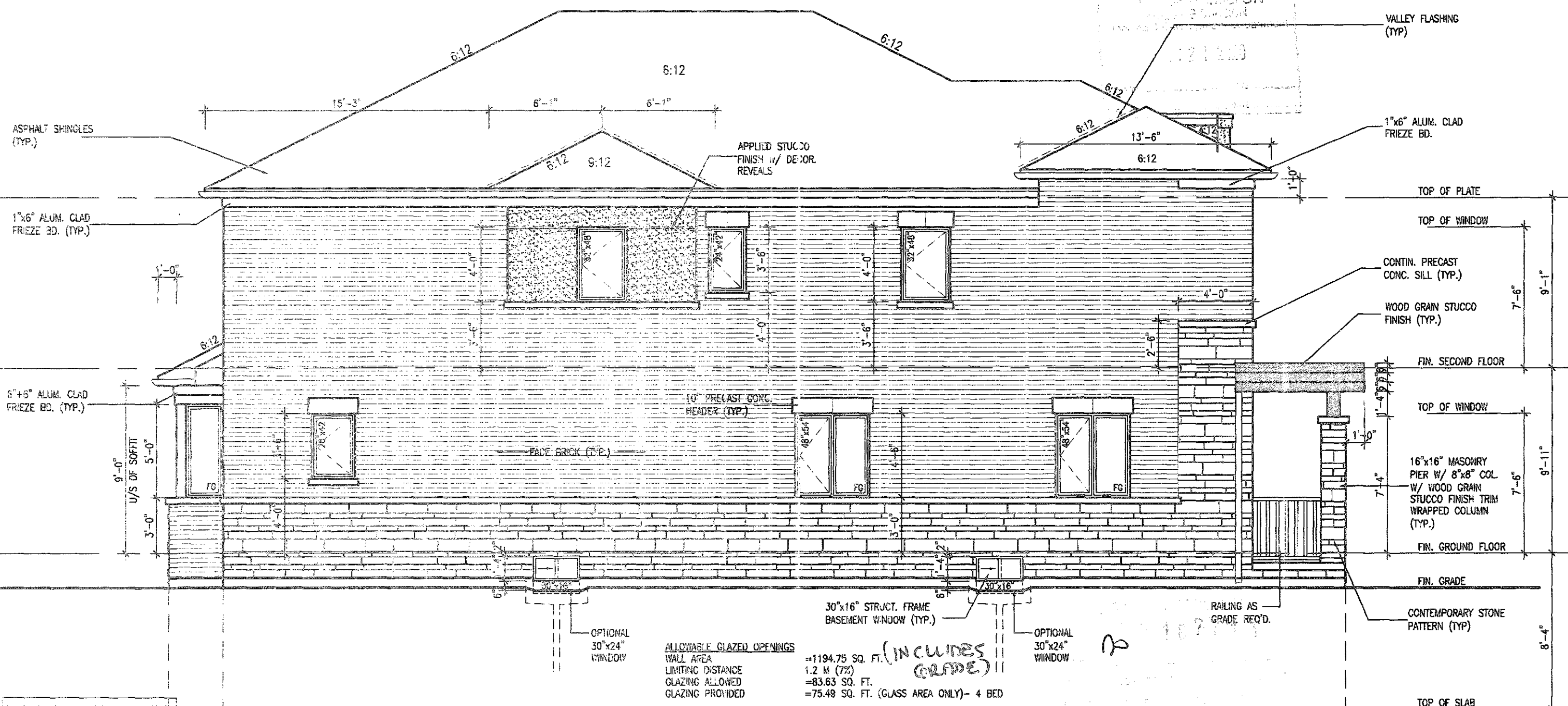
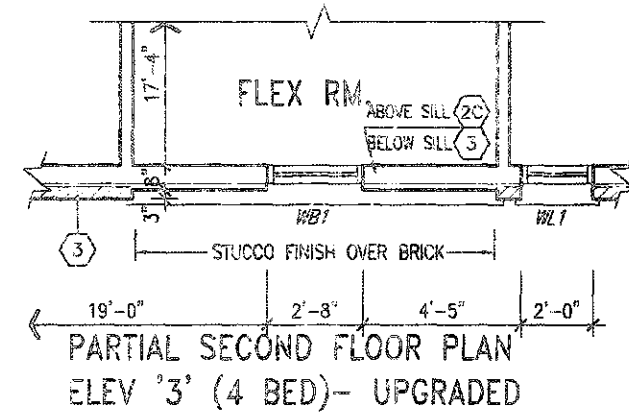
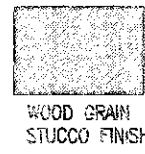
Richard Vink
24488
42658
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va3design.com

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Toronto ON M2J 1R4
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va3design.com

Greenpark.		MOUNTAINASH 6 13.5m	
project name RUSSELL GARDENS PH. 3		project no. 19014	
date JAN 2020		drawing no. A13b	
drawn by BD, BIM		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		file name 19014-MOUNTAINASH-06	
date JAN 2020		time 11:46 AM	

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3409 SF.



ALLOWABLE GLAZED OPENINGS
WALL AREA = 1194.75 SQ. FT. (INCLUDES GRADE)
LIMITING DISTANCE = 1.2 M (7%)
GLAZING ALLOWED = 83.63 SQ. FT.
GLAZING PROVIDED = 75.48 SQ. FT. (GLASS AREA ONLY) - 4 BED

WITH OPTIONAL 30\"/>

UPGRADED LEFT SIDE ELEVATION
ELEV '3' (4 BED)
(FOR LOT 152)

These plans were submitted for approval to the City of Hamilton, Ontario, and are subject to the City's Building Code and any applicable zoning bylaws. The City of Hamilton is not responsible for any errors or omissions in these plans.

This is to certify that these plans comply with the applicable Building Code and any applicable zoning bylaws of the City of Hamilton.

Signature of Designer
Date: Jan 3/24

no.	description	date	by
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW	JAN 23/2018	GM
2	UPGRADED PER ENG & CLIENT COMMENTS	MAR 24/2018	GM
3	ISSUED FOR PERMIT	APR 13/2018	GM
4	SHARROW WIDTH CORRECTED	AUG 05/2018	GM
5	REAR BOX BAY REVISED PER CLIENT	DEC 11/2018	GM

The undersigned has assumed all design responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Signature: Richard Vink
Registration Number: 24488
Firm: VAS DESIGN
Address: 255 Consumers Rd Suite 120, Toronto ON M2J 1R4
Phone: 416.630.2255 / 416.630.4782
Website: vasdesign.com

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

MOUNTAINASH 6
13.5m

project name: RUSSELL GARDENS PH. 3
location: HAMILTON, ONTARIO
date: JAN 2020
drawn by: BO.BH
checked by: 3/16" = 1'-0"

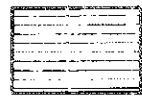
UPGRADED LEFT SIDE ELEVATION - ELEV '3' (4 BED)
drawing no: 19014
19014-MOUNTAINASH-08

A13b

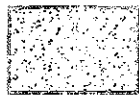
3409 SF.



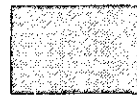
CONTEMPORARY
STONE PATTERN



MAIN BRICK



STUCCO W/
REVEALS



WOOD GRAIN
STUCCO FINISH

PREFIN. ALUM. R.W.L.,
FASCIA, GUTTER &
VENTED SOFFIT (TYP.)

ASPHALT SHINGLES
(TYP.)

VALLEY FLASHING (TYP.)

1"x6" ALUM. CLAD
FRIEZE BD. (TYP.)
(3'-0" RETURN ON
RIGHT SIDE)

PREFIN. MTL. FLASHING W/
CAULKING TO MATCH (TYP.)

10" PRECAST CONC.
HEADER (TYP.)

6"x8" ALUM. CLAD
FRIEZE BDS.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

PRECAST CONC.
SILL (TYP.)

CONTINUOUS PRECAST
CONC. SILL
CONTEMPORARY STONE
PATTERN (TYP.)

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

UPGRADE BASEMENT WINDOWS
ON REAR WALL WITH MIN.
4'-4" FIN. FIRST FLOOR TO
GRADE CONDITION.

UPGRADED REAR ELEVATION '3'-
DECK CONDITION (4 BED)
(FOR LOT 152)

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT, 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		9	
17		8	
16		7	
15		6	
14		5	FOR BOX WAY REVISED PER CLIENT DEC. 11/20 SW
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 SW
12		3	ISSUED FOR PERMIT APR. 15/20 SW
11		2	UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW
no	description	date	by

19		10	
18		9	
17		8	
16		7	
15		6	
14		5	FOR BOX WAY REVISED PER CLIENT DEC. 11/20 SW
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 SW
12		3	ISSUED FOR PERMIT APR. 15/20 SW
11		2	UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW
no	description	date	by

19		10	
18		9	
17		8	
16		7	
15		6	
14		5	FOR BOX WAY REVISED PER CLIENT DEC. 11/20 SW
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 SW
12		3	ISSUED FOR PERMIT APR. 15/20 SW
11		2	UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW
no	description	date	by

19		10	
18		9	
17		8	
16		7	
15		6	
14		5	FOR BOX WAY REVISED PER CLIENT DEC. 11/20 SW
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 SW
12		3	ISSUED FOR PERMIT APR. 15/20 SW
11		2	UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW
no	description	date	by

19		10	
18		9	
17		8	
16		7	
15		6	
14		5	FOR BOX WAY REVISED PER CLIENT DEC. 11/20 SW
13		4	STAIRWAY WIDTH CORRECTED AUG. 05/20 SW
12		3	ISSUED FOR PERMIT APR. 15/20 SW
11		2	UPGRADED PER ENG & CLIENT COMMENTS MAR. 24/20 SW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW JAN. 23/20 SW
no	description	date	by

VA3
DESIGN

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416.630.2255 / 416.630.4782
va3design.com

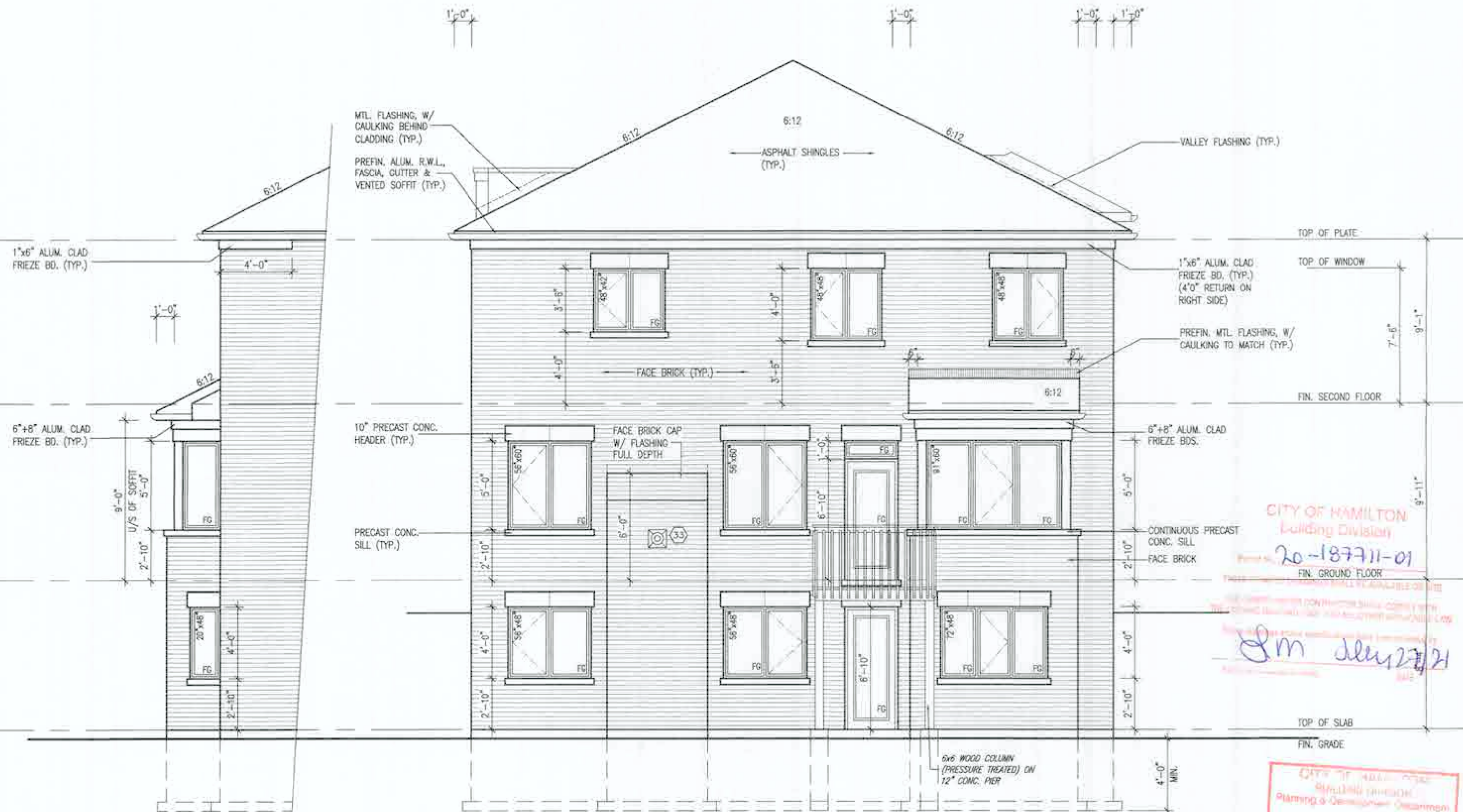
Greenpark.

MOUNTAINASH 6
13.5m

project name	RUSSELL GARDENS PH. 3	location	HAMILTON, ONTARIO	project no.	19014
date	JAN 2020	drawn by	BD.BIM	checked by	3/16" = 1'-0"
scale		scale		scale	
notes		notes		notes	

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3409 SF.



PARTIAL SIDE
ELEV. 3

UPGRADED REAR ELEVATION - ELEV. '3'
(WALKOUT CONDITION)
(4 BEDROOMS)

MOUNTAINASH 6
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

no.	description	date	by	no.	description	date	by
18				9			
17				8			
16				7			
15				6	REAR BOX BAY REVISED PER CITY.	DEC. 04/20	GW
14				5	REAR BOX BAY REVISED PER CLIENT.	DEC. 11/20	GW
13				4	STAIRWAY WIDTH CORRECTED.	AUG. 05/20	GW
12				3	ISSUED FOR PERMIT.	APR. 13/20	GW
11				2	UPDATED PER ENG. & CLIENT COMMENTS.	MAR. 24/20	GW
10				1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	JAN. 28/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: *R. Vink* 24488
name: Richard Vink
registration information: VAS Design Inc. 42658

Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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DESIGN

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t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: RUSSELL GARDENS PH. 3
location: HAMILTON, ONTARIO
drawing no.: 19014
drawing title: UPGRADED REAR ELEV '3' (4 BED)-WALKOUT
drawing scale: 3/16" = 1'-0"

MOUNTAINASH 6
13.5m

A15b

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