

PROVIDE SOLID BLOCKINGS
@ 24" O.C. WHERE FLOOR
JOISTS ARE PARALLEL TO
FOUNDATION WALL (TYP.)

WHEN SUNKEN MORE THAN 1R
ADD 2-20M REBARS IN TOP OF FDN. WALL FOR
LATERAL SUPPORT @ SUNKEN AREA, EXTEND
BARS 24" BEYOND SUNKEN AREA EACHWAY.

ADD BEARING WALL
IF SUNKEN ENTRY
MORE THAN 1R 14 13

UNEXCAVATED
(REMOVE TOP SOIL ONLY)

~~Right~~ OPTION 1

BASEMENT WALL INSULATION
(13)
-6" (R20) CONTINUOUS BLANKET
INSULATION, INSULATION
UNINTERRUPTED BY FRAMING

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY 
DATE AUG 17, 2021

This stamp certifies compliance with the Sustainable
Design Guidelines only and does not confer
professional responsibility.

CITY OF HAMILTON
Building Division

Permit No. 21

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

AB

OCT 27 2021

DATE

FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12A
12.5m


 REGISTERED PROFESSIONAL ENGINEER
 B. MARINKOVIC
 june 3, 2024
 PROVINCE OF ONTARIO
 STRUDEE INC.
 FOR STRUCTURE ONLY

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	.	.	.	Qualification Information	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink	24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW		
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name	ICB
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information	
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VAS Design Inc.	42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

**VA3
DESIGN**

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

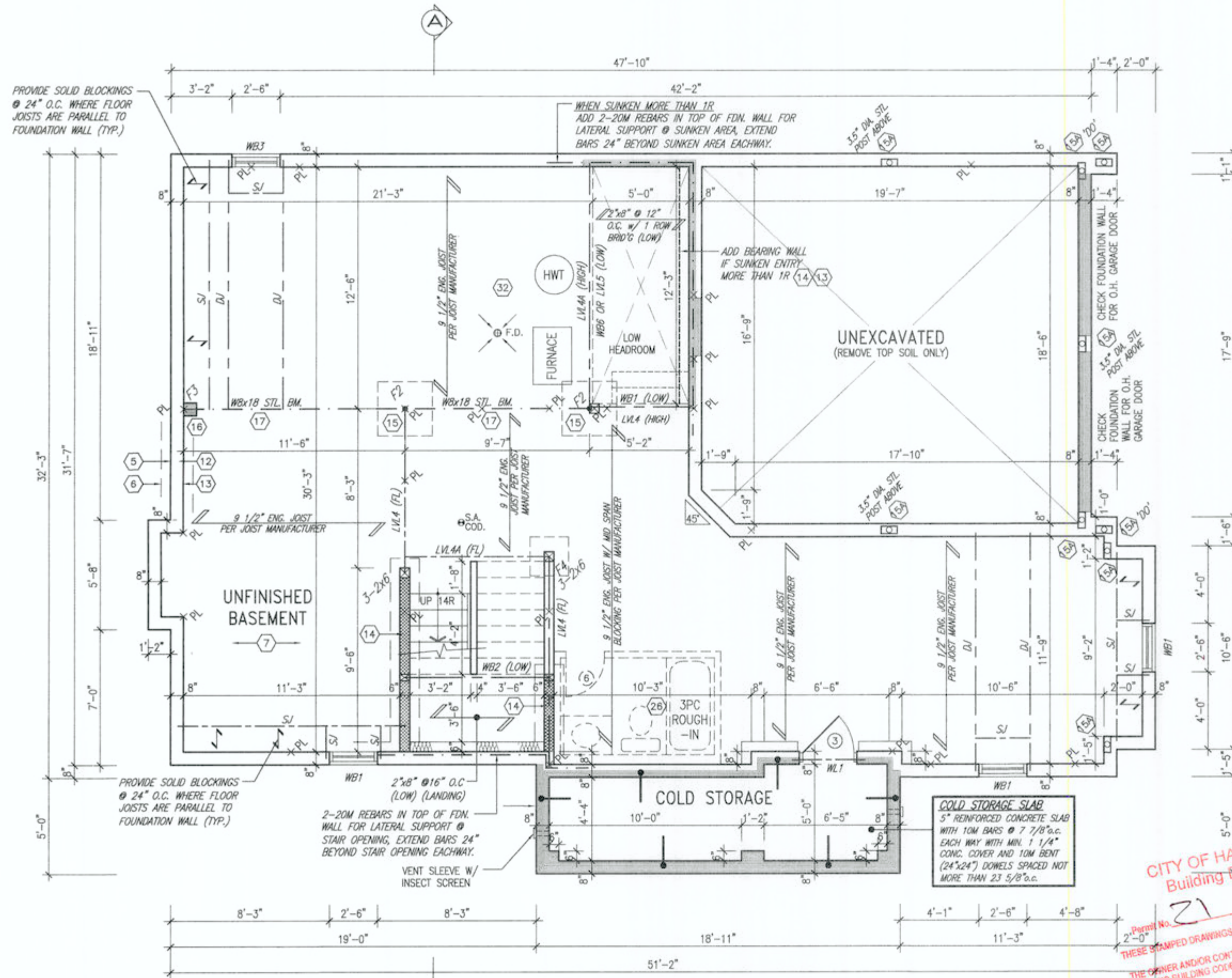


Greenpark™

project name	project no.
RUSSELL GARDENS PH. 4	20027
city	project no.
HAMILTON, ON	20027
date	drawing no.
JANUARY 2020	A1
drawn by	checked by
CL	3/16" = 1'-0"
scale	file name
20027-VALLEYCREEK-12A	20027-VALLEYCREEK-12A
G:\2012 - H1\ARCHIVE\WORKING\2020\20027\20027-VALLEYCREEK\20027-VALLEYCREEK-12A.dwg -- Plot - Jun 2, 2021 - 12:43 PM	

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2742 SF.



RADON OPTION 1

- BASEMENT WALL INSULATION**
(TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING.
- BASEMENT INSULATION AT STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 12, 2021
This stamp certifies compliance with the applicable Design Guidelines only and does not constitute professional responsibility.

CITY OF HAMILTON
Building Division
Permit No. 21 134499
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by [Signature]
FOR CHIEF BUILDING OFFICIAL
OCT 27 2021
DATE

BASEMENT PLAN ELEV. 2

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROJ. 1202
june 3/2021
STRUDET INC.
FOR STRUCTURE ONLY

9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8			qualification information	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	
4	ISSUED FOR PERMIT.	APR 07/20	GW	42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

Greenpark.

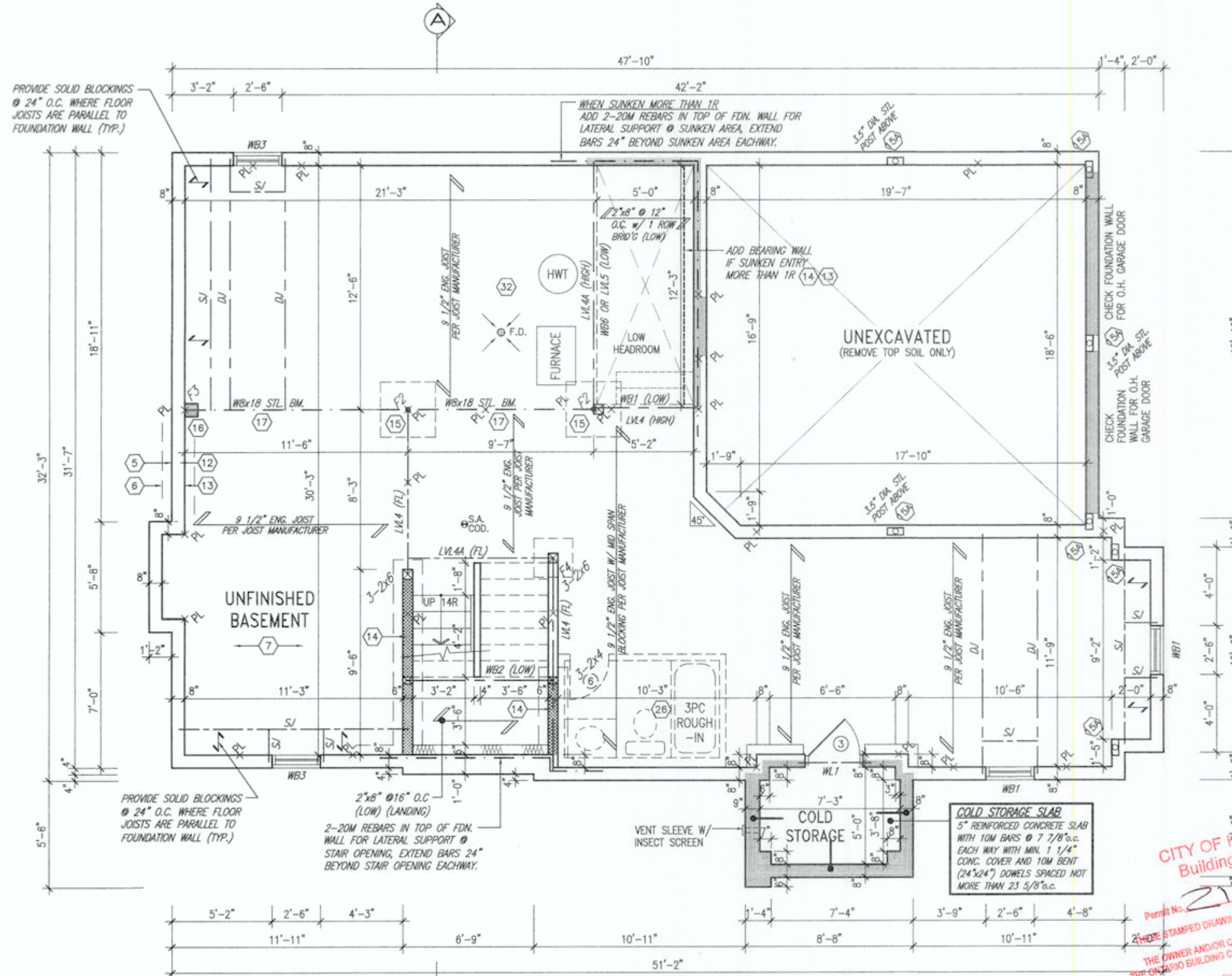
VALLEYCREEK 12A
12.5m

project name: **RUSSELL GARDENS PH. 4**
municipality: **HAMILTON, ON**
project no.: **20027**
drawing no.: **A1a**

date: **JANUARY 2020**
checked by: **CL**
scale: **3/16" = 1'-0"**
drawing no.: **20027-VALLEYCREEK-12A**

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2742 SF.



RADON! OPTION 1

BASEMENT WALL INSULATION
(TYP) 13
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-2" (R10) CONTINUOUS INSULATION (RIGID or SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 12, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON Building Division
Permit No. 21-154499
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by [Signature]
FOR CHIEF BUILDING OFFICIAL
OCT 27 2021

BASEMENT PLAN ELEV. 3

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
june 3/2021
STRUDET INC.
FOR STRUCTURE ONLY

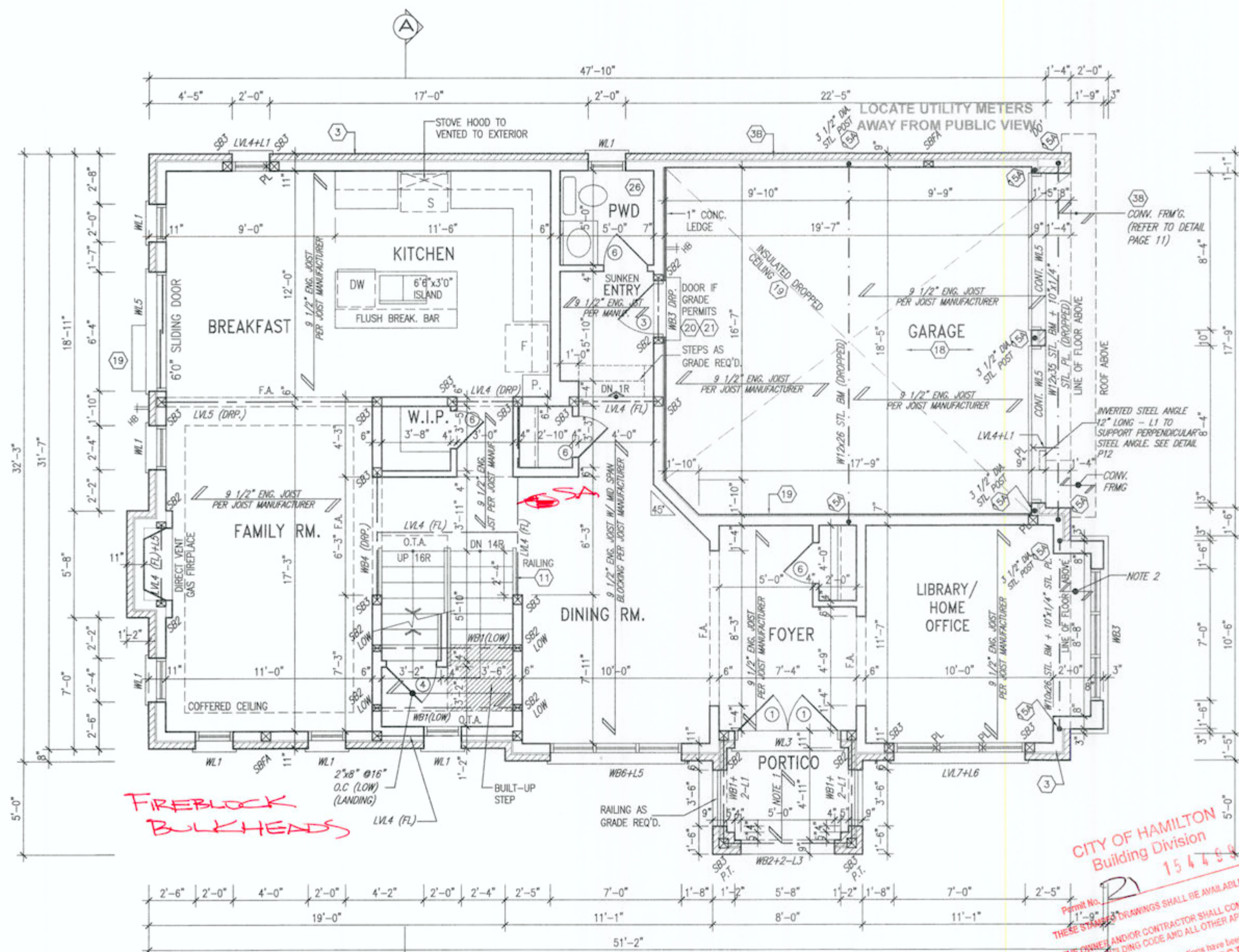
9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.				qualification information	
7.	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink	24488
6.	TRANSFER INTO PHASE 4.	MAY 07/21	GW		
5.	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW		
4.	ISSUED FOR PERMIT.	APR 07/20	GW	name registration information	42558
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VA3 Design Inc.	
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no.	description	date	by		

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.	VALLEYCREEK 12A
project name RUSSELL GARDENS PH. 4	12.5m
drawn by JANUARY 2020	project no. 20027
checked by CL	scale 3/16" = 1'-0"
date JANUARY 2020	file name 20027-VALLEYCREEK-12A
drawing no. A1b	

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2742 SF.



GROUND FLOOR PLAN- ELEV. 1

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

NOTE 2: FLAT ROOF OVER LIVING SPACE
2"x4" @ 12" O.C. DIAGONALLY CUT CROSS
PURLINS ON SINGLE PLY WATERPROOFING
MEMBRANE ON 5/8" EXTERIOR GRADE SHEATHING
ON 2"x4" CROSS PURLINS (CUT DIAGONALLY)
@ 12" O.C. ON 2"x8" JOISTS @ 12" O.C. W/
BATT INSULATION (RSI 5.40 R31)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 12, 2021
This site plan complies with the applicable Design Guidelines and has no further professional responsibility.

CITY OF HAMILTON
Building Division
154458
Permit No. 1-9
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
OCT 27 2021
DATE

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A
MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION
PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST 3.0m
• DRIVEWAY, PARKING SPACE, ROAD 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
K15-EX-NOTE-2020-044

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROJ. NO. 2021-001
june 3, 2021

STRUDET INC.
FOR STRUCTURE ONLY

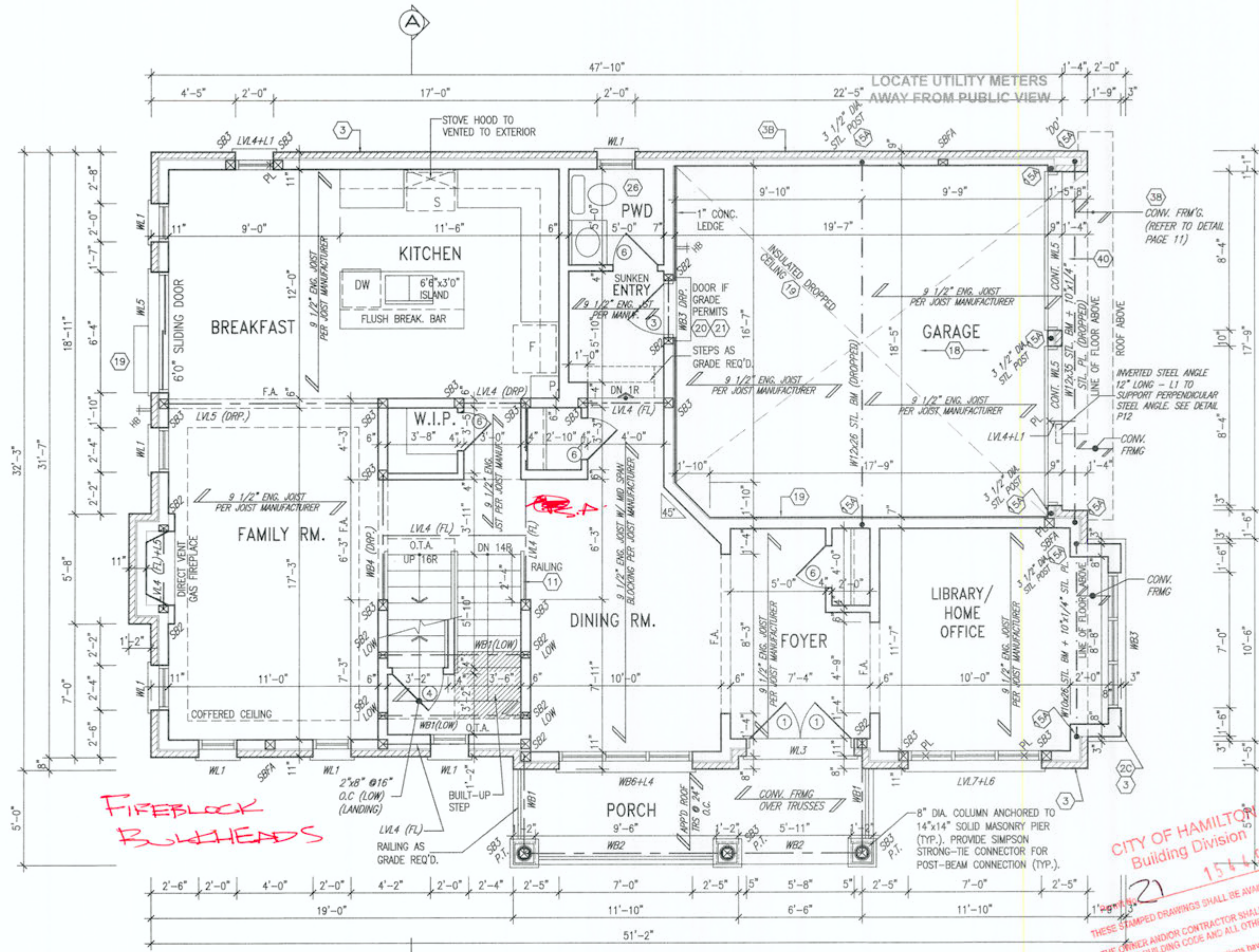
9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.				qualification information	
7.	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink	24488
6.	TRANSFER INTO PHASE 4.	MAY 07/21	GW		
5.	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW		
4.	ISSUED FOR PERMIT.	APR 07/20	GW	some registration information	42658
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW		
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no.	description	date	by		

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

project name	RUSSELL GARDENS PH. 4	municipality	HAMILTON, ON	project no.	20027
date	JANUARY 2020	checked by	scale	3/16" = 1'-0"	
drawn by	CL	checked by	scale	3/16" = 1'-0"	
DATE	JUN 2 2021	FILE NAME	20027-VALLEYCREEK-12A	DRAWING NO.	A2

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GROUND FLOOR PLAN- ELEV. 2

NOTE 1:
 FLAT ROOF FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. CLG. JST.
 w/ 2"x4" @ 12" O.C. P.T.
 DIAGONALLY CUT CROSS PURLINS
 w/ 5/8" EXTERIOR GRADE
 SHEATHING + SINGLE PLY ROOF
 MEMBRANE (SLOPE TO DRAIN)

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JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY: [Signature]
 DATE: OCT 27 2021
 This stamp certifies compliance with the applicable Design Guidelines only and does not confer professional responsibility.

CITY OF HAMILTON
 Building Division
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
 [Signature]
 FOR CHIEF BUILDING OFFICIAL
 DATE: OCT 27 2021

REGISTERED PROFESSIONAL ENGINEER
 B. MARINKOVIC
 june 30 2021
 STRUDET INC.
 FOR STRUCTURE ONLY

OUTDOOR AIR INTAKE SEPARATION
 ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.3.12.
 • KITCHEN EXHAUST, 3.0m
 • DRIVEWAY, PARKING SPACE, ROAD, 1.5m
 • SOLID FUEL APPLIANCE EXHAUST, 3.0m
 KSI-EX-NOTE-2020-001

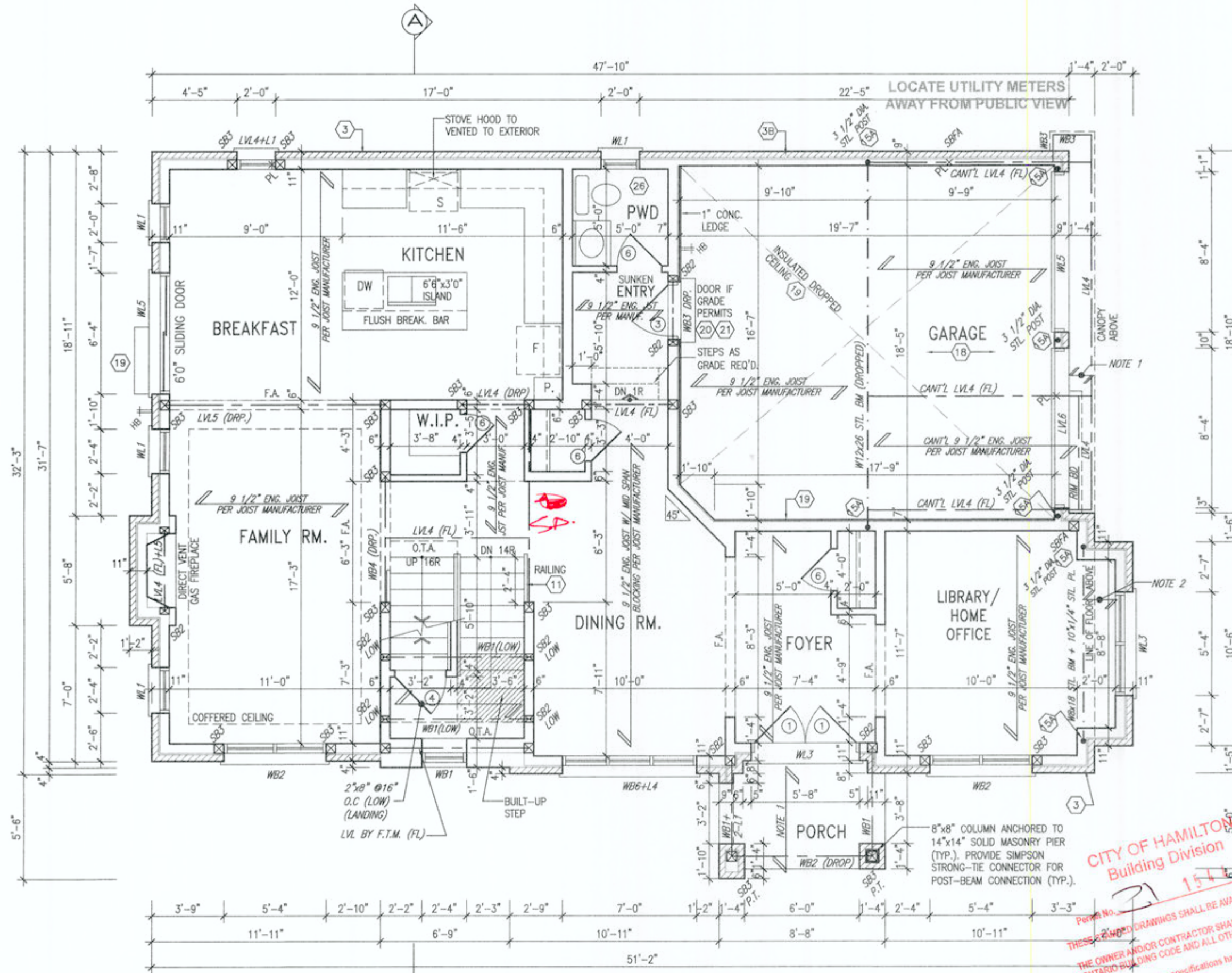
9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	same registration information
4	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc. 42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS3 DESIGN
 255 Consumers Rd Suite 120
 Toronto ON M2J 1R4
 t 416.630.2255 f 416.630.4782
 vas3design.com

Greenpark.
 project name: RUSSELL GARDENS PH. 4
 date: JANUARY 2020
 checked by: [Signature]
 scale: 3/16" = 1'-0"
 drawing no.: A2a
 VALLEYCREEK 12A
 12.5m
 municipality: HAMILTON, ON
 project no.: 20027
 drawing no.: A2a
 GROUND FLOOR PLAN - ELEV. 2
 20027-VALLEYCREEK-12A

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2742 SF.



NOTE 1:
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2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

NOTE 2: FLAT ROOF OVER LIVING SPACE
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@ 12" O/C ON 2"x8" JOISTS @ 12" O/C. W/
BATT INSULATION (RSI 5.40 R31)

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: 08/11/2021
This stamp certifies compliance with the applicable Design Guidelines and does not constitute professional responsibility.

CITY OF HAMILTON
Building Division
Permit No. 15-1-18-9
THESE DRAWINGS SHALL BE AVAILABLE ON SITE
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
DATE: OCT 27 2021
FOR CHIEF BUILDING OFFICIAL

GROUND FLOOR PLAN- ELEV. 3

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. B- TABLE 6.2.3.12.
• KITCHEN EXHAUST. 3.0m
• DRIVENWAY, PARKING SPACE, ROAD. 1.5m
• SOLID FUEL APPLIANCE EXHAUST 3.0m
VST-EX-NOTE-2020.dwg

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
JUNE 3/2021
PROFESSIONAL ENGINEER
OF ONTARIO

STRUDET INC.
FOR STRUCTURE ONLY

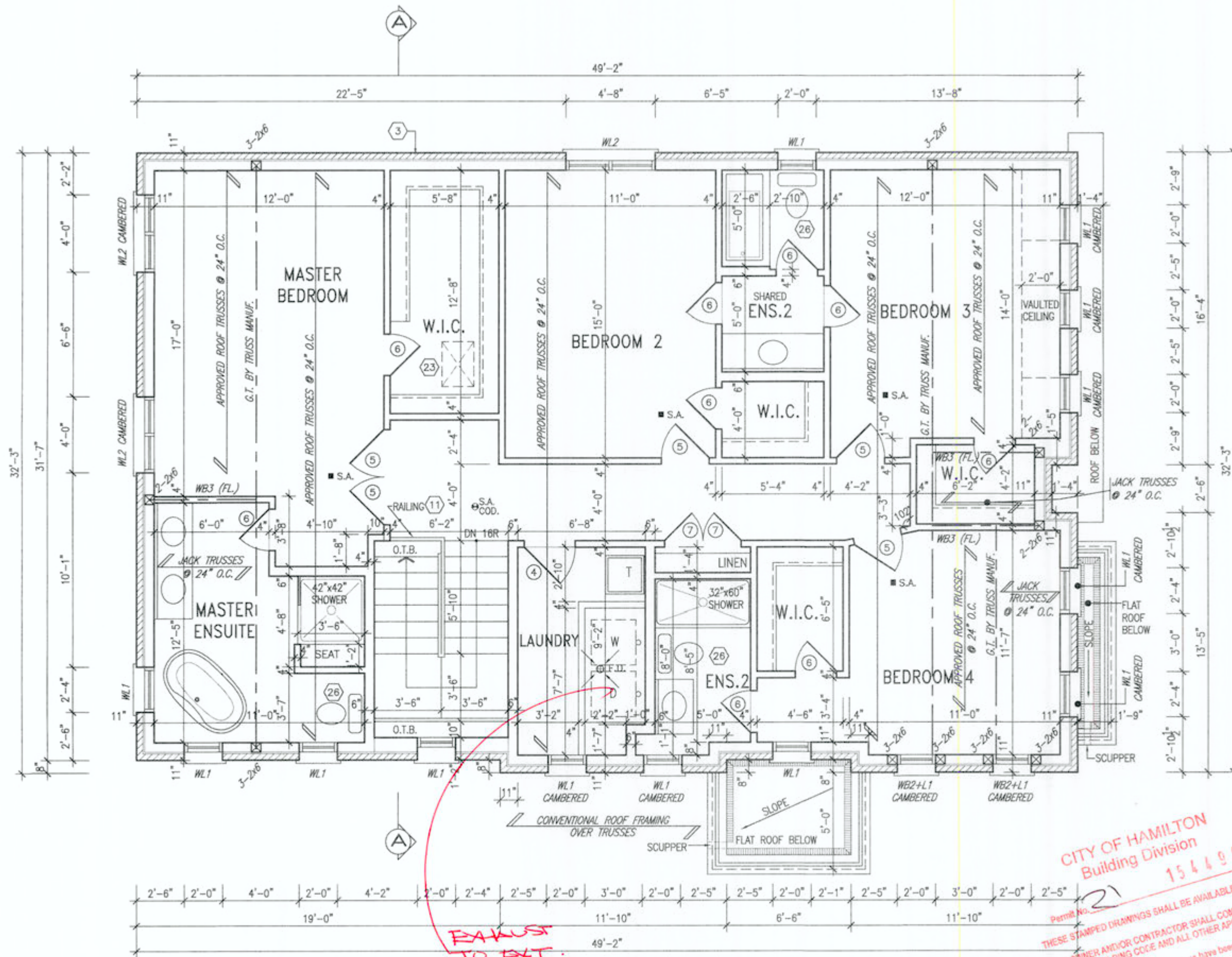
9	ISSUED FOR PERMIT.	JUN. 02/21	GW	24488
8	TRANSFER INTO PHASE 4.	MAY 07/21	GW	24488
7	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	24488
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5	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	24488
4	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	24488
3	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	24488
2				
1				
0				

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
416.630.2255 / 416.630.4782
va3design.com

project name	RUSSELL GARDENS PH. 4	municipality	HAMILTON, ON	project no.	20027
date	JANUARY 2020	checked by	3/16" = 1'-0"	drawing no.	A2b
drawn by	CL	scale		file name	20027-VALLEYCREEK-12A
drawn by	CL	scale		date	2021-01-27 12:02 PM

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2742 SF.



SECOND FLOOR PLAN - ELEV. 1

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JUL 17, 2021
These drawings and specifications have been reviewed by the design professional and are in accordance with the applicable design guidelines and all other applicable laws.

CITY OF HAMILTON
Building Division
154499
Permit No. 21
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
DATE OCT 27 2021
FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12A
12.5m

project no. 20027

HAMILTON, ON

SECOND FLOOR PLAN - ELEV. 1

2027-VALLEYCREEK-12A

drawing no.

A3

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 9-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED: WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(a). BATHTUB 3.8.3.13.(4)(a). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. (08-NOTE-2020.dwg)



STRUDET INC.
FOR STRUCTURE ONLY

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	qualification information
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	some registration information
4	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc.
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vo3design.com

Greenpark
project name
RUSSELL GARDENS PH. 4
date
JANUARY 2020
checked by
scale
3/16" = 1'-0"
drawing no.
A3

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 17, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and does not further
constitute an endorsement.

3
CITY OF HAMILTON
Building Division
154

1544

3' 4" 2

THESE STAMPS AND DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Drawings and/or specifications have been reviewed by

OCT 7 2021

FOR CHIEF BUILDING OFFICER

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12A
12.5m

locality	project no.
ON	20027

SECOND FLOOR PLAN - ELEV. 2

file name	A3a
20027-VALLEYCREEK-12A	

drawing no.
A3g

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO MAIN CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. 8-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOS. 3.8.3.8.(3)/a) & 3.8.3.8.(3)/c). SHOWER 3.8.3.13.(2)/g) BATHTUB 3.8.3.13.(4)/g). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. (B)-NOTE -2020.

June 8, 2021

STRUDET INC.
FOR STRUCTURE ONLY

9					The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					qualification information	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW		Richard Vink	2448
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW		signature	DC
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW		qualification information	
4	ISSUED FOR PERMIT.	APR. 07/20	GW		VAS3 Design Inc.	4265
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR. 27/20	GW			
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM			
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW			
no	description	date	by		Contractor must verify all dimensions on the job and report any discrepancies to the designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4788
v3design.com

 **Greenpark**

project name
RUSSELL GARDENS PH. 4

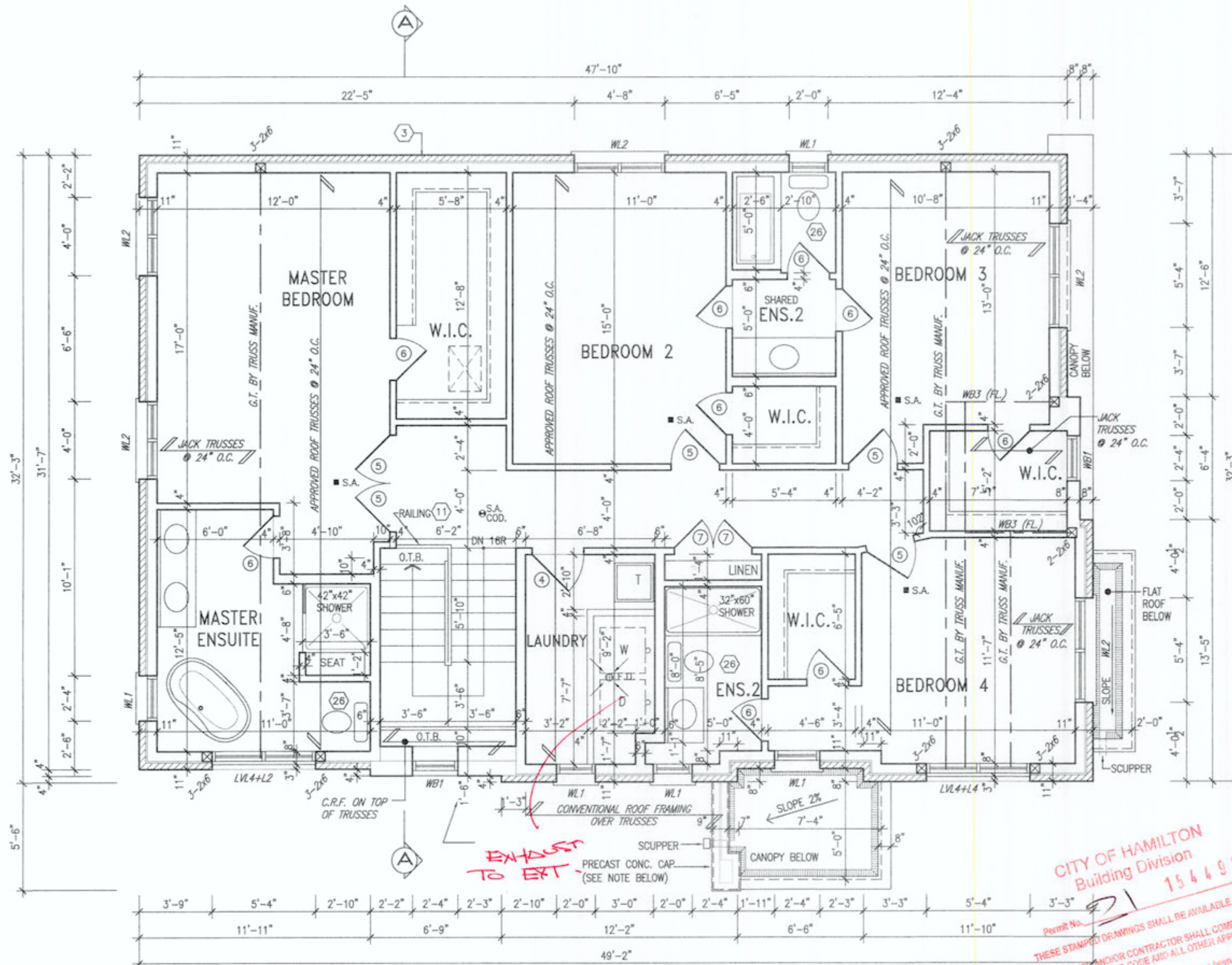
date
JANUARY 2020

drawn by _____ checked by _____ scale
CL - - 3/16" = 1'-0"

DESIGN - 363 ADELAIDE STREET WEST, SUITE 500, TORONTO, ONTARIO M5T 1A5 TEL: 416-593-1111 FAX: 416-593-1112
 WWW.GREENPARKCANADA.COM

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2742 SF.



SECOND FLOOR PLAN - ELEV. 3

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines and all applicable regulations and requirements.

CITY OF HAMILTON
Building Division
154499

PERMIT NO. [Redacted]
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DATE: OCT 27 2021

SLOPED PRECAST CONC. CAP/COPING w/ SAWTOOTH DRIP EDGE EACH SIDE. PROVIDE 1.5" MIN OVERHANG ON NON-SHRINK GROUT BED ADHERED TO BLUESKIN MEMBRANE. ALL TOP JOINTS TO BE WATERPROOFED.

GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM PER OBC, DIV. B-9.5.2.3. REFER TO FOLLOWING SECTIONS FOR THE FIXTURES LISTED. WATER CLOSET: 3.8.3.8.(3)(a) & 3.8.3.8.(3)(c). SHOWER 3.8.3.13.(2)(g). BATHTUB 3.8.3.13.(4)(e). FREE STANDING BATHTUB EXCLUDED. SEE DETAILS PROVIDED. (CB-NOTE-2020.dwg)



STRUDET INC.
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8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2ND FLR STAIR LOCATION	FEB 09/21	GW	BCN
4	ISSUED FOR PERMIT.	APR 07/20	GW	24488
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

VA3 DESIGN

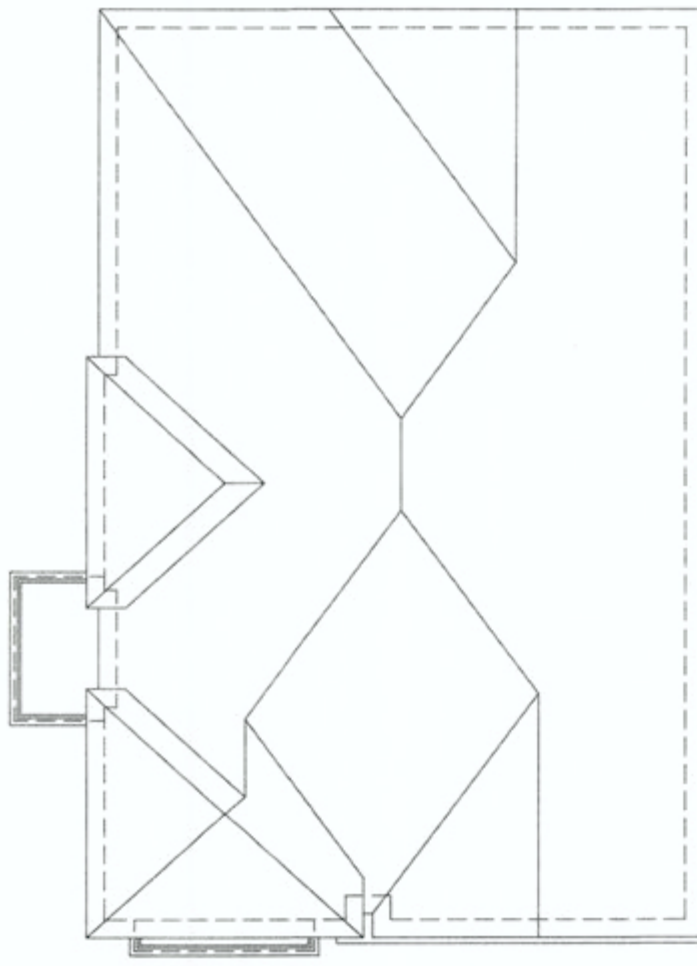
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

project name: **RUSSELL GARDENS PH. 4**
date: JANUARY 2020
drawn by: [Redacted]
checked by: [Redacted]
scale: 3/16" = 1'-0"
municipality: HAMILTON, ON
project no.: 20027
drawing no.: A3b
SECOND FLOOR PLAN - ELEV. 3
20027-VALLEYCREEK-12A

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2742 SF.



ROOF PLAN-1



FRONT ELEVATION '1'

CITY OF HAMILTON
Building Division
 Permit No. **21**
154499
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
 THESE DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN REVIEWED BY
OCT 27 2021
 DATE
 FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
 ARCHITECTURAL CONTROL REVIEW
 AND APPROVAL
 APPROVED BY *[Signature]*
 DATE: **AUG 17, 2021**
 This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

PORCH STEPS (TYP.)
 PRECAST CONCRETE STEPS
 W/ MASONRY INSERTS WHERE
 GRADE REQUIRES.

EXTERIOR RAILINGS:
 3'-6" HIGH RAILING IF LANDING IS MORE
 THAN 5'-11" ABOVE FINISHED GRADE
 AND 3'-0" HIGH RAILING WHEN LANDING
 IS LESS THAN 5'-11" ABOVE ADJACENT
 FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
 REFER TO FINAL GRADING PLAN.

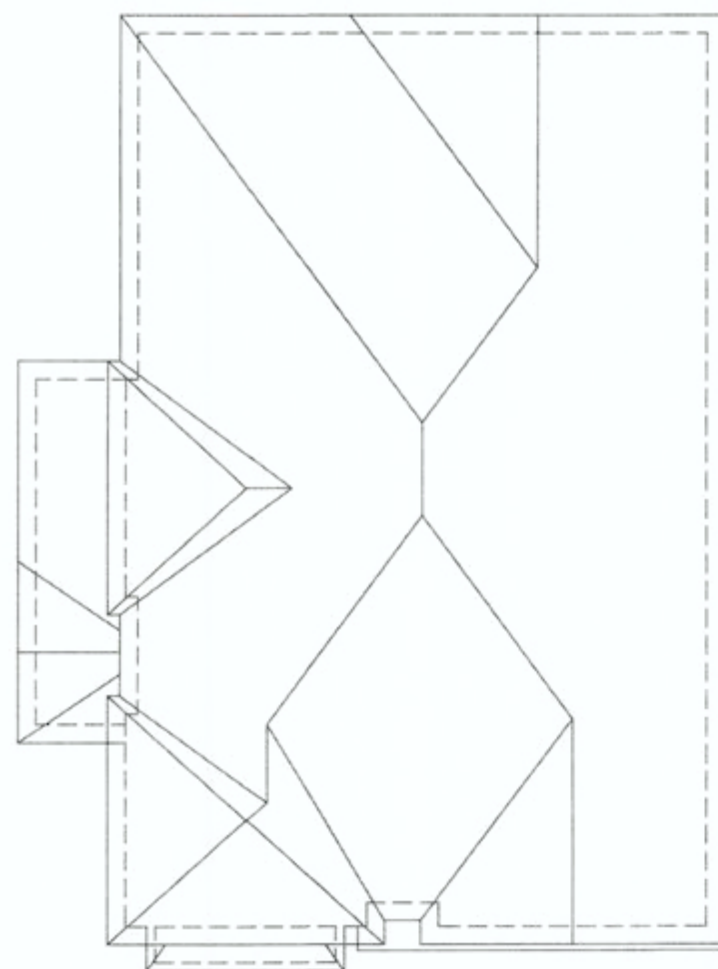
9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8				qualification information	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink	24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature	SCN
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name	
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information	42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VA3 Design Inc.	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

VA3
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 va3design.com

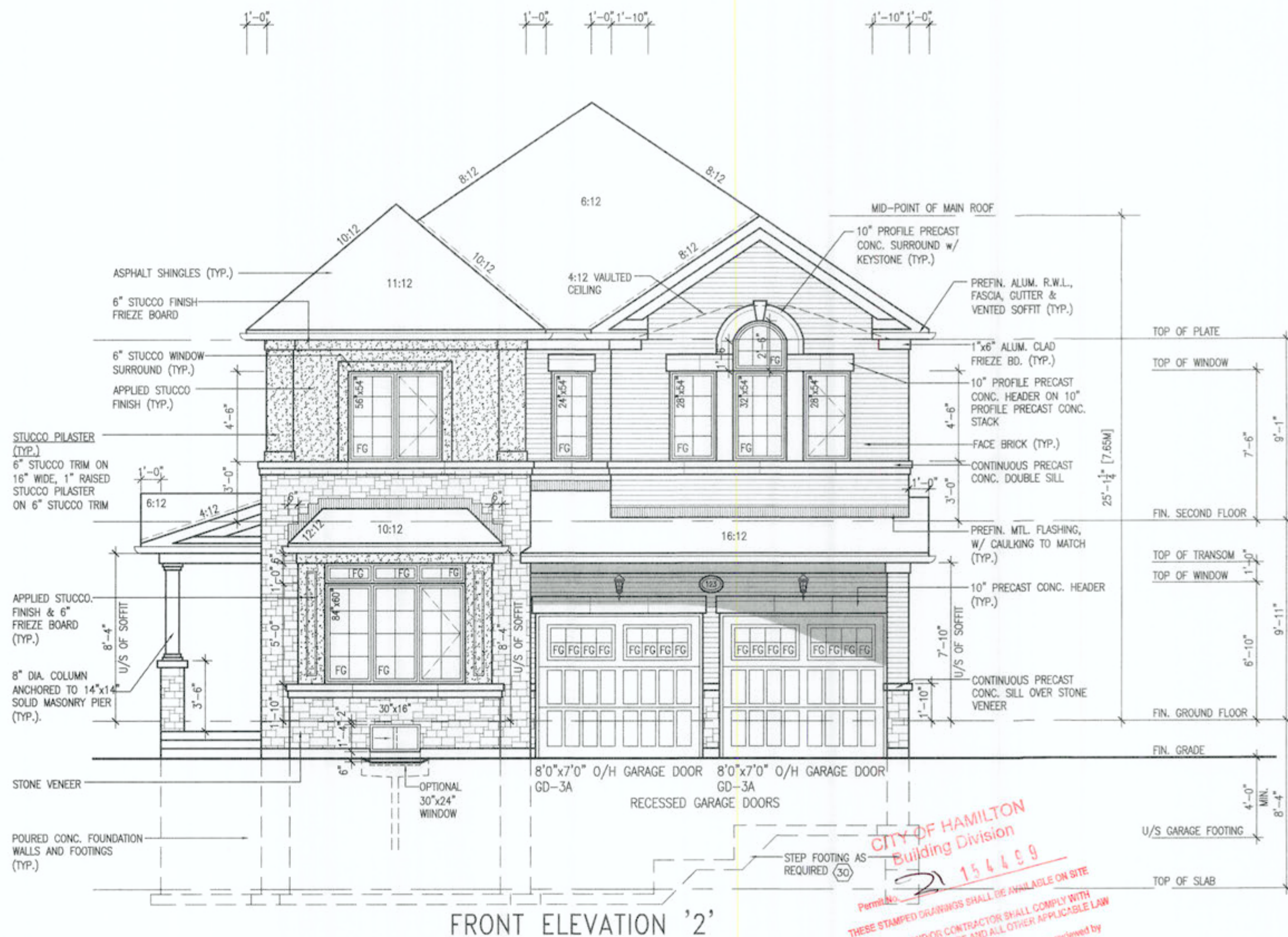
Greenpark.	VALLEYCREEK 12A 12.5m
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON
date JANUARY 2020	project no. 20027
drawn by CL	drawing no. A4
checked by 3/16" = 1'-0"	scale
DATE: H:\ARCHIVE\WORKING\2020\20027\002\UNITS\SHEDS\VALLEYCREEK\20027-VALLEYCREEK-12A.dwg - Mod - Jun 2 2021 - 12:51 PM	

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2742 SF.



ROOF PLAN-2



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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: AUG 17, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bests to further
professional responsibility.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9		-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	qualification information	
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	Richard Vink	2448
5	REVISED 2ND FLR STAIR LOCATION	FEB 09/21	GW	some registration information signature VAS Design Inc.	BCB
4	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc.	42655
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW		
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

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255 Consumers Rd Suite 12
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t 416.630.2255 f 416.630.47
va3design.com

 **Greenpark.**

VALLEYCREEK 12A
12.5m

project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON	20027
date	FRONT ELEVATION - ELEV. 2	
JANUARY 2020		
drawn by	checked by	scale
CL	-	3/16" = 1'-0"
file name	drawing no.	
20027 - VALLEYCREEK - 12A	A4a	

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2742 SF.

INSIDE PORTICO
ELEVATION '1'

FLANKAGE ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines only and there is no further professional responsibility.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name registration information
4	ISSUED FOR PERMIT.	APR 07/20	GW	VA3 Design Inc. 42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

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Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name: **RUSSELL GARDENS PH. 4**
date: JANUARY 2020
drawn by: CL
checked by: 3/16" = 1'-0"
scale: 3/16" = 1'-0"
municipality: HAMILTON, ON
project no.: 20027
drawing no.: A5
file name: 20027-VALLEYCREEK-12A
DATE: OCT 27 2021
FOR OWNER'S OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division
154499
Permit No. 2
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
DATE: OCT 27 2021
FOR OWNER'S OFFICIAL

[illegible]

30"x24"
WINDOW

CITY OF HAMILTON
Building Division

154409

Permit No. 2

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

OCT 27 2021

CITY OF HAMILTON BUILDING DIVISION OFFICIAL

GATE

VALLEYCREEK 12A
12.5m

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CONTEMPORARY
STONE PATTERN

MAIN BRICK

STUCCO W/
REVEALS

WOOD GRAIN
STUCCO FINISH

Architectural elevation drawing of a two-story house. The drawing includes various materials and dimensions. Key features and labels include:

- Roof:** Asphalt shingles (typ.), Prefin. metal coping over 6" stucco frieze board.
- Exterior Materials:** Face brick (typ.), Applied stucco finish w/ decorative reveals (typ.), Precast conc. sill (typ.), Contemporary stone pattern (typ.), Stucco finish w/ decorative reveals (typ.), Poured conc. foundation walls and footings (typ.).
- Windows:** 64"x48" FG, 28"x72" FG, 24"x48" FG, 28"x48" FG, 84"x54" FG, 30"x16" struct. frame basement window (typ.), Optional 30"x24" window.
- Doors:** 6'-10" x 7'-0" FG, 6'-10" x 7'-0" FG, 10'-7" x 7'-0" FG, 10'-11" x 7'-0" FG.
- Other Details:** 10" precast conc. header, Wood grain stucco finish (typ.), Continuous precast conc. sill on stone veneer.

Dimensions are provided for various elements, including window heights (e.g., 1'-6", 4'-0", 2'-0", 1'-6", 4'-6", 1'-10"), window widths (e.g., 3'-0", 3'-6", 3'-0", 3'-6", 3'-0", 3'-6"), and overall heights (e.g., 10'-11").

CITY OF HAMILTON
Building Division

FLANKAGE ELEVATION '3'

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JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: AUG 17, 2021

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WINDOW

CITY OF HAMILTON
Building Division

Permit No. 154499

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THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by

OCT 27 2015

DATE

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

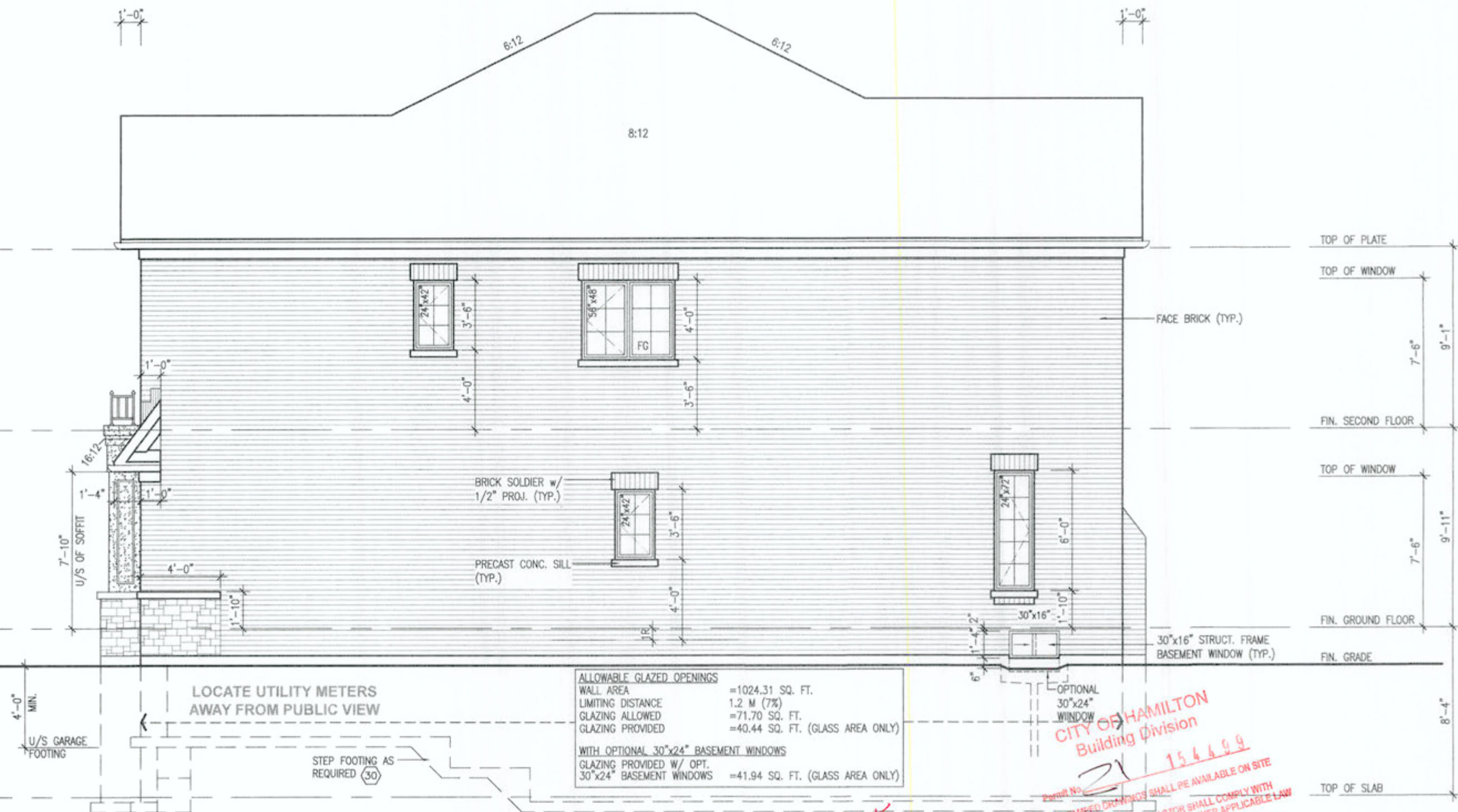
9		-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8					
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	qualification information	
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	Richard Vink	24488
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name signature VAS Design Inc.	BCB
4	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc.	42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW		
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		
1	PRELIMINARY ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no	description	date	by		

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

 Greenpark.		VALLEYCREEK 12 12.5m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON	
date JANUARY 2020		project no. 20027	
drawn by CL		FLANKAGE ELEVATION - ELEV. 3	
checked by -		scale 3/16" = 1'-0"	
drawing no. A5b		file name 20027-VALLEYCREEK-12A	

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2742 SF.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9	.	.	.	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	.	.	.	qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VAS Design Inc. 42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

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va3design.com

Greenpark

VALLEYCREEK 12A
12.5m

project name
RUSSELL GARDENS PH. 4

municipality
HAMILTON, ON

project no.
20027

date
JANUARY 2020
drawn by
CL

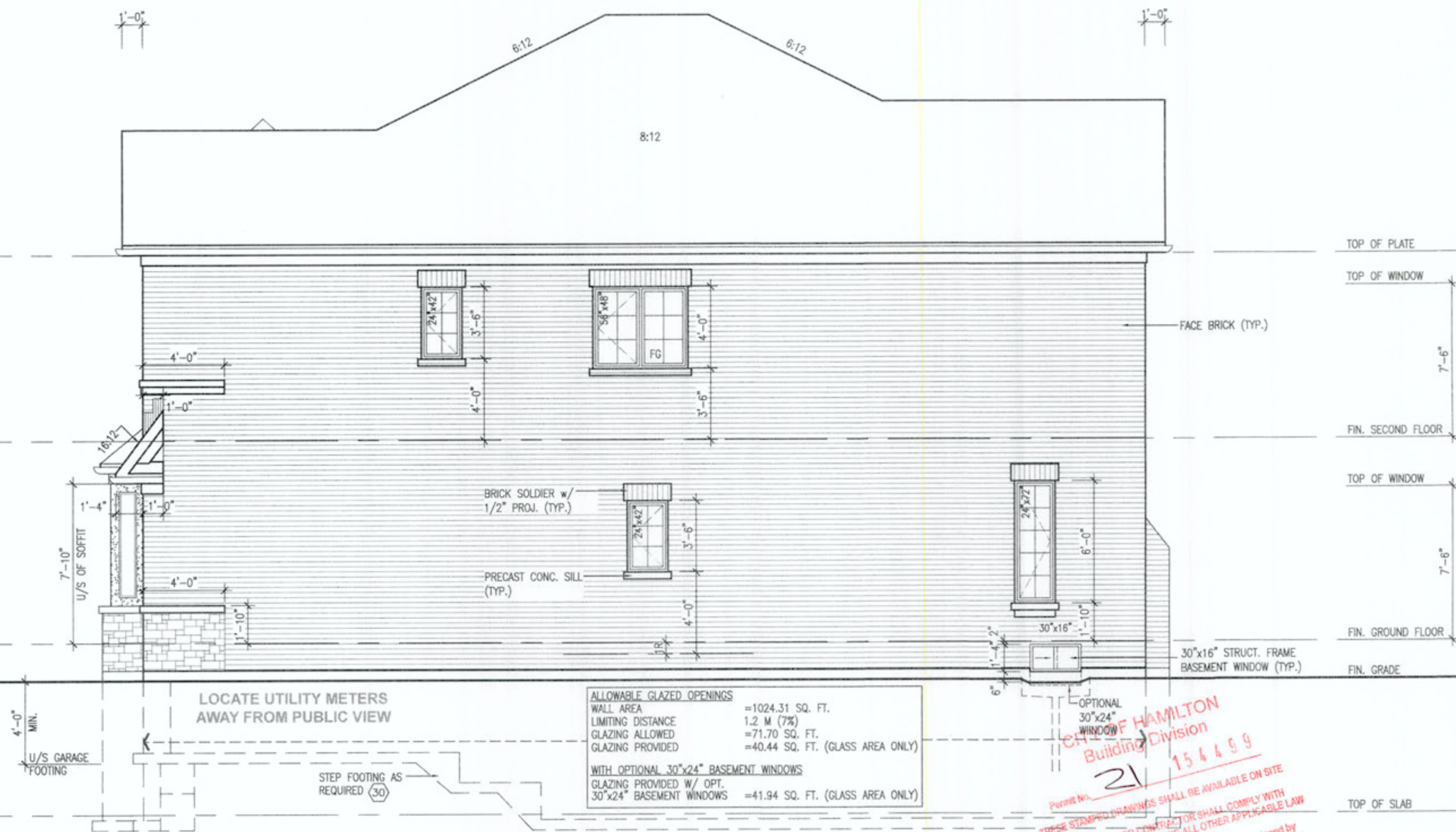
checked by
3/16" = 1'-0"
scale

RIGHT SIDE ELEVATION - ELEV. 1

file name
20027-VALLEYCREEK-12A

drawing no.
A6

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RIGHT SIDE ELEVATION '2'

OK

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 12, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by
9			
8			
7	ISSUED FOR PERMIT.	JUN. 02/21	GW
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW
4	ISSUED FOR PERMIT.	APR 07/20	GW
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1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
qualification information
Richard Vink
signature
24488
name
registration information
VA3 Design Inc.
42658
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN

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Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

VALLEYCREEK
12.5m

project name
RUSSELL GARDENS PH. 4
date
JANUARY 2020
drawn by
CL
checked by
3/16" = 1'-0"
scale
RIGHT SIDE ELEVATION - ELEV. 2
file name
20027-VALLEYCREEK-12A
municipality
HAMILTON, ON
DATE
OCT 27 2021



WOOD GRAIN
STUCCO FINISH

Architectural elevation drawing of a building facade. The drawing includes the following details:

- Roof:** Pitched roof with sections labeled 6.5:12, 8:12, and 6:12. Eave overhang is 1'-0".
- Materials:** FACE BRICK (TYP.), WOOD GRAIN STUCCO FINISH (TYP.), CONTEMPORARY STONE PATTERN (TYP.), PRECAST CONC. SILL (TYP.), BRICK SOLDIER w/ 1/2" PROJ. (TYP.).
- Windows:**
 - Top left: 24"x42" window, 3'-6" wide, 4'-0" high.
 - Top center: 56"x48" window, 4'-0" wide, 3'-6" high.
 - Bottom left: 24"x42" window, 3'-6" wide, 4'-0" high.
 - Bottom right: 24"x72" window, 6'-0" wide, 1'-10" high.
 - Bottom right: 30"x16" window, 1'-10" wide, 6" high.
- Dimensions:**
 - Overall height: 10'-11" (from ground to top of plate).
 - Ground floor height: 7'-6" (from ground to top of second floor).
 - Second floor height: 9'-1" (from top of second floor to top of plate).
 - Foundation: 4'-0" MIN. U/S GARAGE FOOTING.
- Notes:**
 - LOCATE UTILITY METERS AWAY FROM PUBLIC VIEW
 - STEP FOOTING AS REQUIRED (30)
 - 30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)
 - OPTIONAL 30"x24" WINDOW
- Table:**

ALLOWABLE GLAZED OPENINGS	
WALL AREA	=1024.31 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=71.70 SQ. FT.
GLAZING PROVIDED	=40.44 SQ. FT. (GLASS AREA ONLY)
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=41.94 SQ. FT. (GLASS AREA ONLY)
- City of Hamilton Building Division Stamp:**

21
 156499
 PERMIT NO. 156499
 ALL DRAWINGS SHALL BE AVAILABLE ON SITE
 ALL SHALL COMPLY WITH
 ALL APPLICABLE LAW

RIGHT SIDE ELEVATION '3'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW

APPROVED BY: [Signature]
DATE: AUG 17, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9	-	-	-	The undersigned has reviewed and takes responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	-	-	-	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	qualification information
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	Richard Vink 24481
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	same signature 003
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information VAS Design Inc. 42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no	description	date	by	



VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
va3design.com

 Greenpark.	
project name	RUSSELL GARDENS PH. 4
date	JANUARY 2020
drawn by	checked by
CL	3/16" = 1'-0"

VALLEYCREEK 12A
12.5m

polity	project no.
ON	20027

LOCATION	ELEV	Z	drawing no.
----------	------	---	-------------

20027-VALLEYCREEK-12A

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2742 SF.



REAR ELEVATION '1'

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VAS Design Inc.
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	42658
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
vasdesign.com

Greenpark.

project name: RUSSELL GARDENS PH. 4
date: JANUARY 2020
drawn by: CL
checked by: *[Signature]*
scale: 3/16" = 1'-0"
municipality: HAMILTON, ON
project no.: 20027
drawing no.: A7
REAR ELEVATION - ELEV. 1
20027-VALLEYCREEK-12A

CITY OF HAMILTON
Building Division
154499

Permit No. *[Signature]*
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
OCT 27 2021
DATE

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

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Designers
are not

rights and design are the copyright property of the author(s).

ed without VAS DESIGN's writt

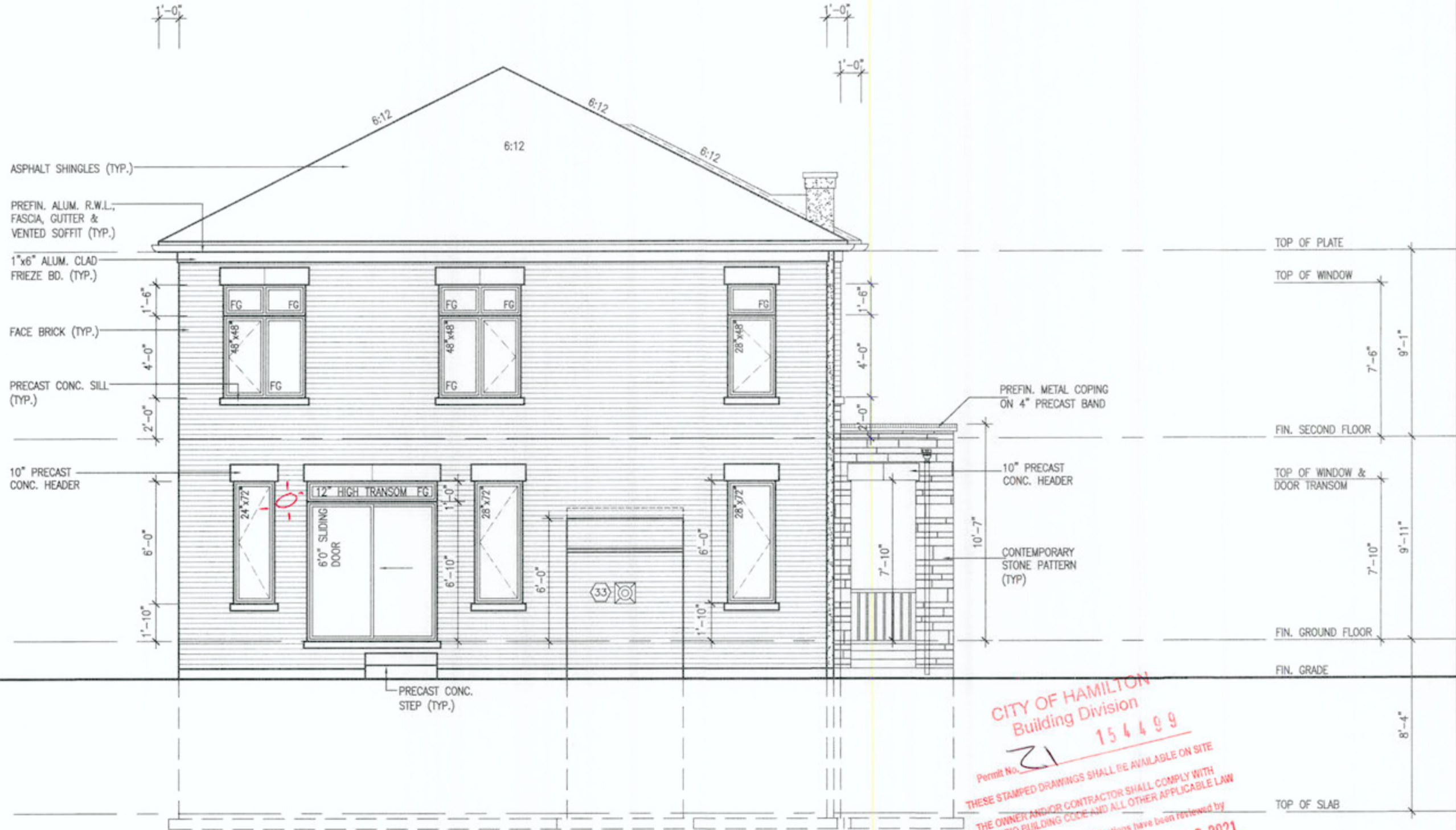
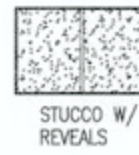
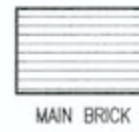
3/16" = 1'-0"

A70

 Greenpark.		VALLEYCREEK 12 12.5m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON	
date JANUARY 2020		project no. 20027	
drawn by checked by scale 3/16" = 1'-0"		REAR ELEVATION - ELEV. 2 file name 20027-VALLEYCREEK-12A	
drawing no. A7a			

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2742 SF.



REAR ELEVATION '3'

CITY OF HAMILTON
Building Division
Permit No. **21 154499**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
OCT 27 2021
DATE
FOR CHIEF BUILDING OFFICIAL

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: **AUG 17, 2021**
This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VAS Design Inc. 42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

VAS DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark.

project name: **RUSSELL GARDENS PH. 4**

date: **JANUARY 2020**

drawn by: **CL**

checked by: **3/16" = 1'-0"**

scale: **3/16" = 1'-0"**

location: **HAMILTON, ON**

project no.: **20027**

drawing no.: **A7b**

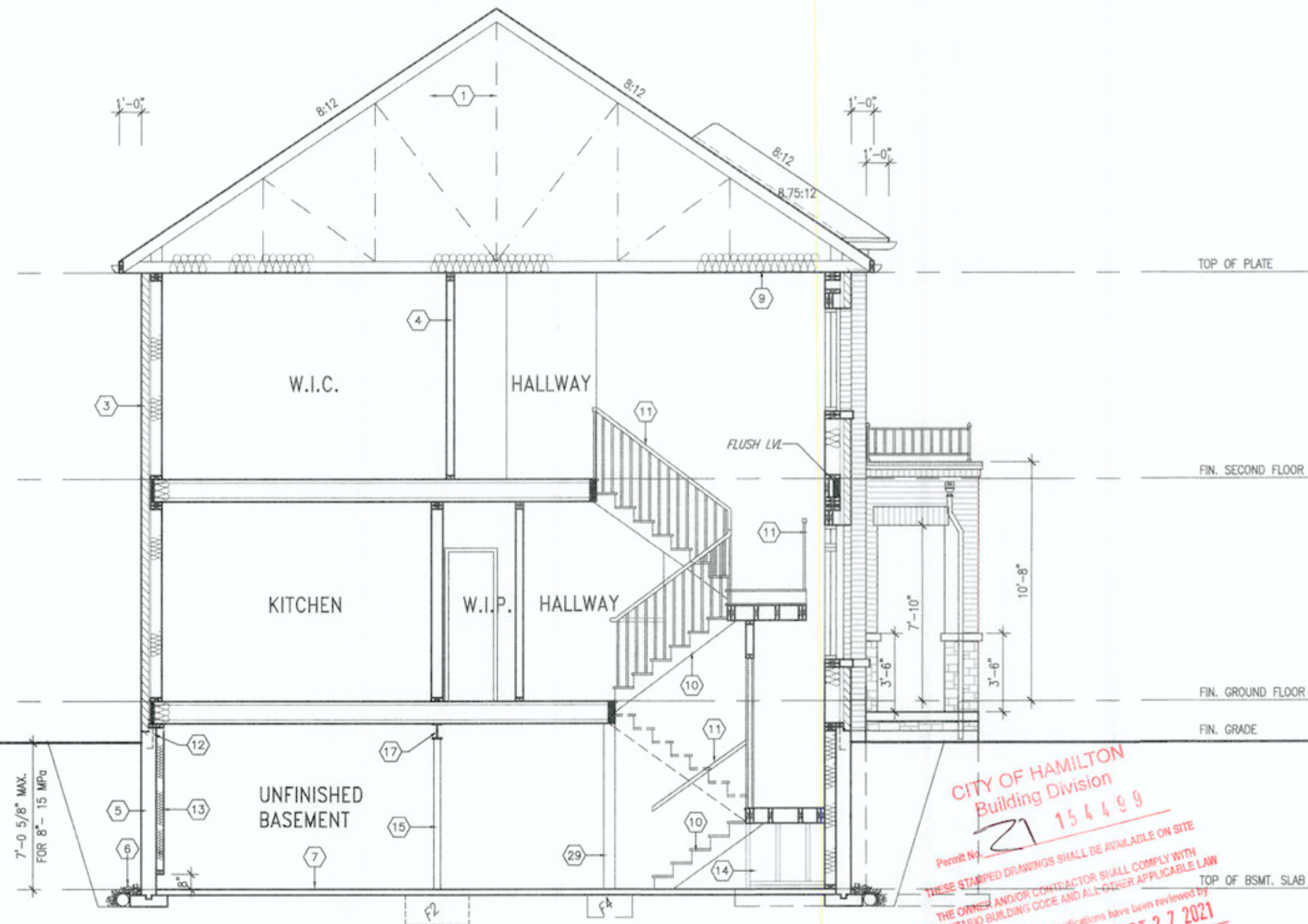
VALLEYCREEK 12A
12.5m

REAR ELEVATION - ELEV. 3

20027-VALLEYCREEK-12A

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2742 SF.



SECTION A-A ELEVATION '1'

STRUDET INC
FOR STRUCTURAL ONLY



June3/2021

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	BCN
4	ISSUED FOR PERMIT.	APR 07/20	GW	24488
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	42658
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

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Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark™ VALLEYCREEK 12A
12.5m

project name: **RUSSELL GARDENS PH. 4** municipality: **HAMILTON, ON** project no.: **20027**

date: **JANUARY 2020** checked by: **3/16" = 1'-0"** scale: **3/16" = 1'-0"**

drawn by: **CL** drawing no.: **A8**

SECTION A-A - ELEV. 1

20027-VALLEYCREEK-12A

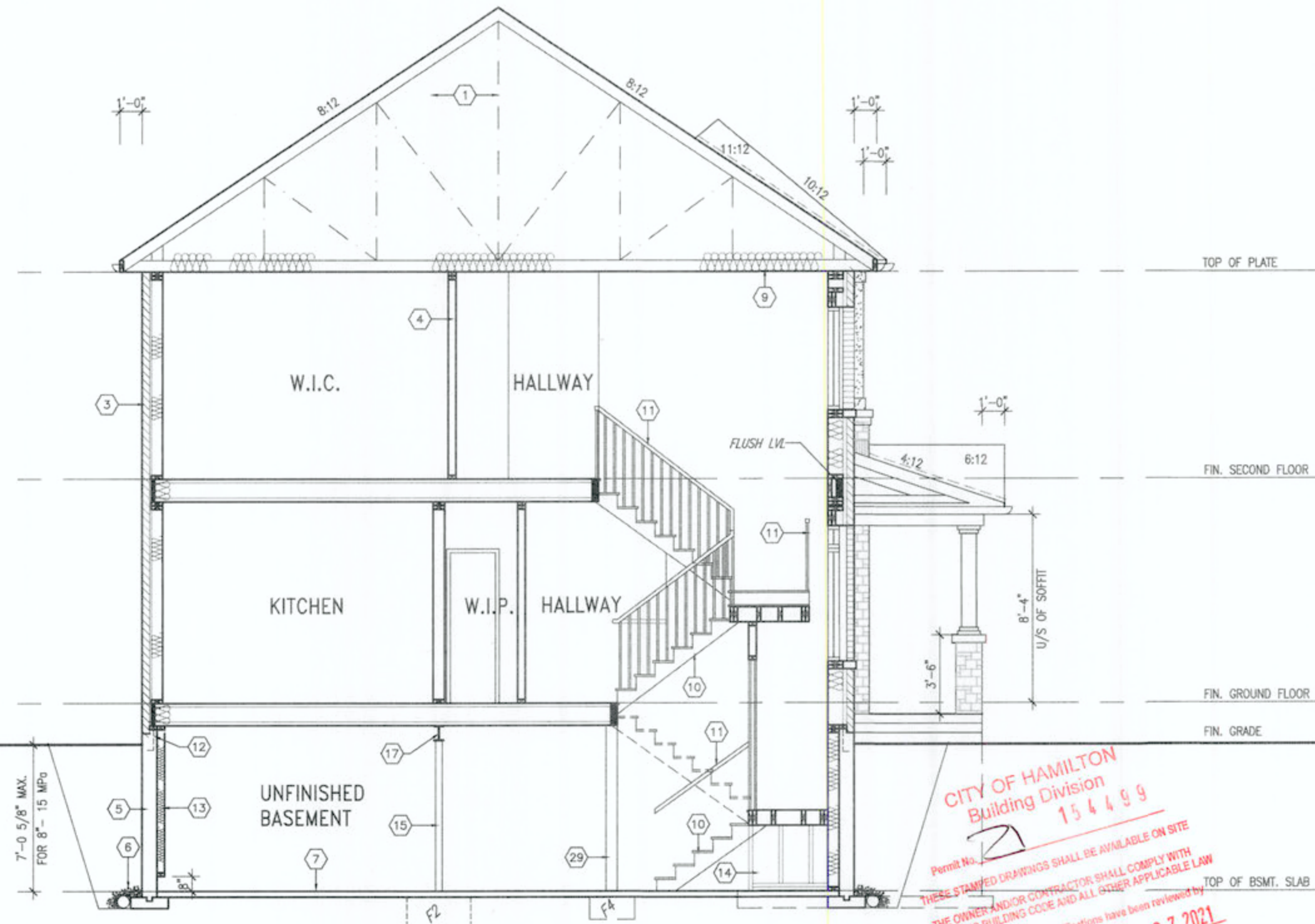
DATE: **OCT 27 2021**

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

CITY OF HAMILTON
Building Division
Permit No. **Z1 154499**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
DATE

2742 SF.



SECTION A-A ELEVATION '2'

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



June 3/2021

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

STRUDET INC
FOR STRUCTURAL ONLY

9	ISSUED FOR PERMIT.	JUN. 02/21	GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8	TRANSFER INTO PHASE 4.	MAY 07/21	GW	qualification information
7	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	Richard Vink 24488
6	ISSUED FOR PERMIT.	APR 07/20	GW	signature
5	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	some registration information
4	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	VA3 Design Inc. 42658
3	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
2				
1				

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Toronto ON M2J 1R4
1 416.630.2255 f 416.630.4782
vo3design.com

Greenpark

project name
RUSSELL GARDENS PH. 4

date
JANUARY 2020

drawn by
CL

checked by
3/16" = 1'-0"

scale
3/16" = 1'-0"

SECTION A-A - ELEV. 2

20027-VALLEYCREEK-12A

drawing no.
A8a

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12A
12.5m

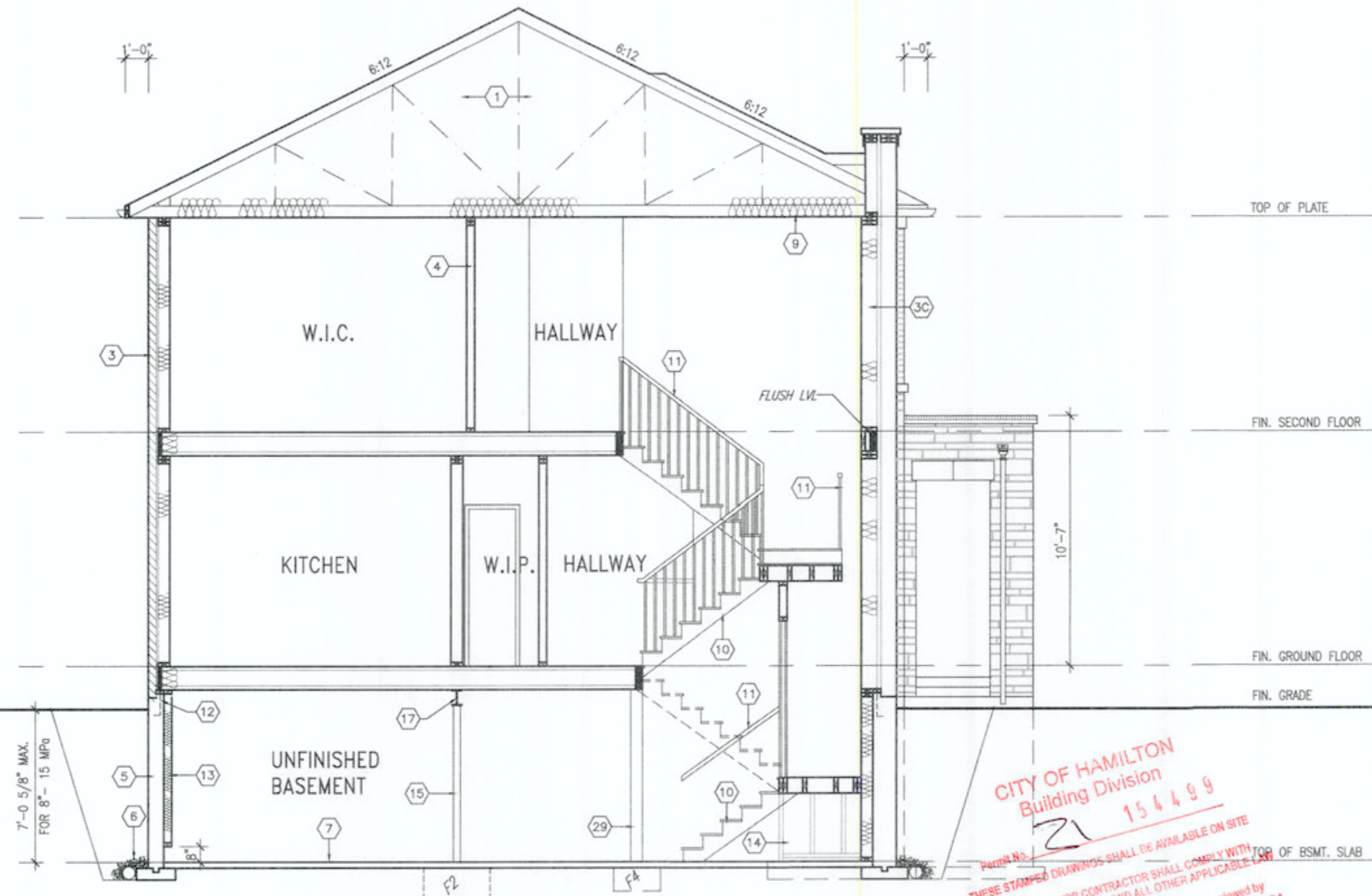
municipality
HAMILTON, ON

project no.
20027

CITY OF HAMILTON
Building Division
154499
Permit No. 2
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
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These drawings and/or specifications have been reviewed by
FOR CHIEF BUILDING OFFICIAL
OCT 27 2021
DATE

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2742 SF.



SECTION A-A ELEVATION '3'

STRUDET INC
FOR STRUCTURAL ONLY

June3/2021

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

no.	description	date	by
9			
8			
7	ISSUED FOR PERMIT.	JUN. 02/21	GW
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW
4	ISSUED FOR PERMIT.	APR 07/20	GW
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW

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1 416.630.2255 / 416.630.4782
va3design.com

project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON	project no. 20027
date JANUARY 2020	checked by CL	scale 3/16" = 1'-0"
SECTION A-A - ELEV. 3		drawing no. A8b
20027-VALLEYCREEK-12A		

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division
Permit No. **21 154499**
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
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These drawings and/or specifications have been reviewed by
OCT 27 2021
DATE
FOR CHIEF BUILDING OFFICIAL

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: *[Signature]*
DATE: AUG 17, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

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7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
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1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

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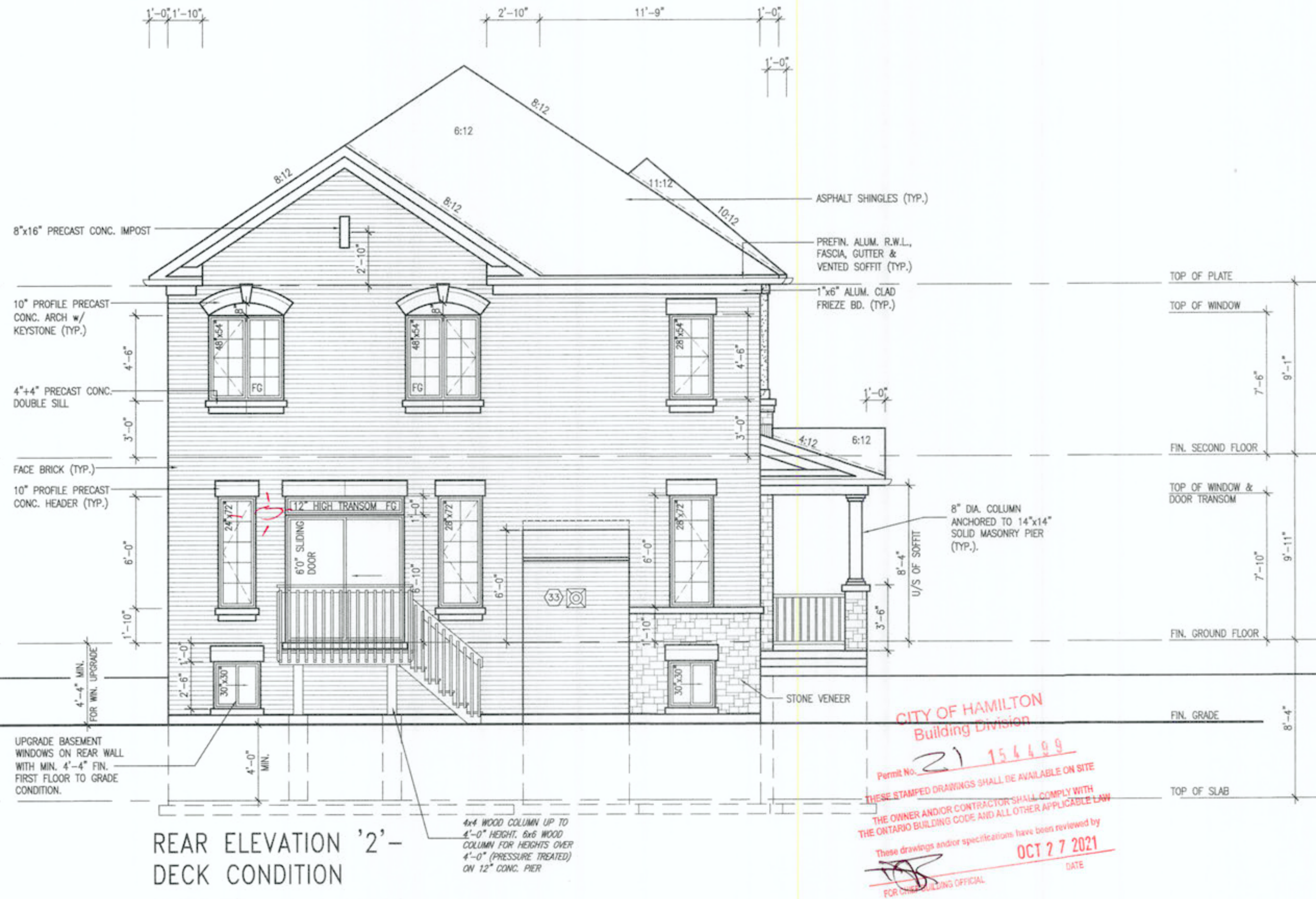
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

Greenpark.

VALLEYCREEK 12A
12.5m

project name	RUSSELL GARDENS PH. 4	municipality	HAMILTON, ON	project no.	20027
date	JANUARY 2020	checked by	code	REAR ELEV. 1 - DECK CONDITION	drawing no.
drawn by	CL	3/16" = 1'-0"		20027-VALLEYCREEK-12A	A10
CREATED: H:\ARCHIVE\WORKING\2020\20027\GREENPARK\VALLEYCREEK\20027-VALLEYCREEK-12A.dwg -- Wed -- Jun 2 2021 -- 12:51 PM					

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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: AUG 12, 2021

This stamp certifies compliance with the applicable Design Guidelines only and does not further professional responsibility.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE THAN 5'-11" ABOVE FINISHED GRADE AND 3'-0" HIGH RAILING WHEN LANDING IS LESS THAN 5'-11" ABOVE ADJACENT FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

9				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	signature
4	ISSUED FOR PERMIT.	APR 07/20	GW	signature
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	signature
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	signature
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	signature
no.	description	date	by	signature

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

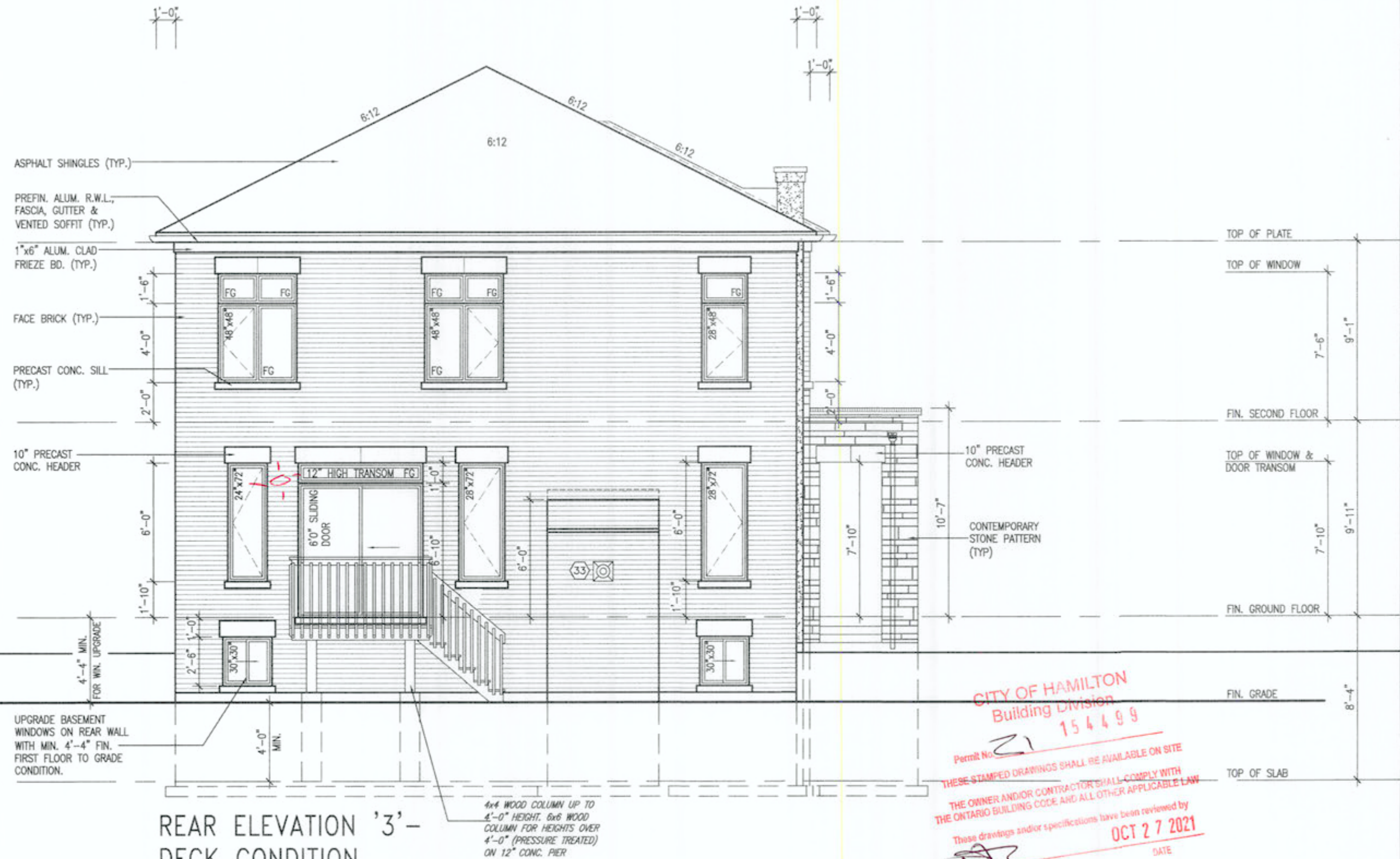
Greenpark.

VALLEYCREEK 12A
12.5m

project name	RUSSELL GARDENS PH. 4	municipality	HAMILTON, ON	project	200
date	JANUARY 2020	checked by	scale	3/16" = 1'-0"	
drawn by	CL	checked by	scale	3/16" = 1'-0"	
FILED	H:\ARCHIVE\WORKING\2007\2007\GREENPARK\VALLEYCREEK\2007-VALLEYCREEK-12A.dwg	Rev	Jun 2, 2021	12:51 PM	

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2742 SF.



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JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 17, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.

REAR ELEVATION '3'-
DECK CONDITION

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

4x4 WOOD COLUMN UP TO
4'-0" HEIGHT. 6x6 WOOD
COLUMN FOR HEIGHTS OVER
4'-0" (PRESSURE TREATED)
ON 12" CONC. PIER

CITY OF HAMILTON
Building Division
Permit No. 21 154499
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications have been reviewed by
[Signature] OCT 27 2021
DATE
FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

VALLEYCREEK 12A
12.5m

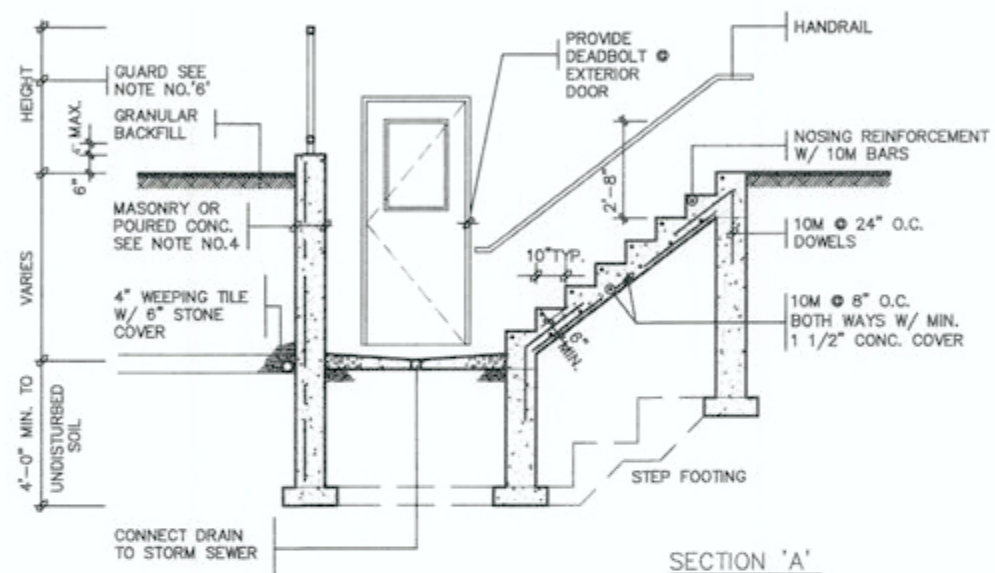
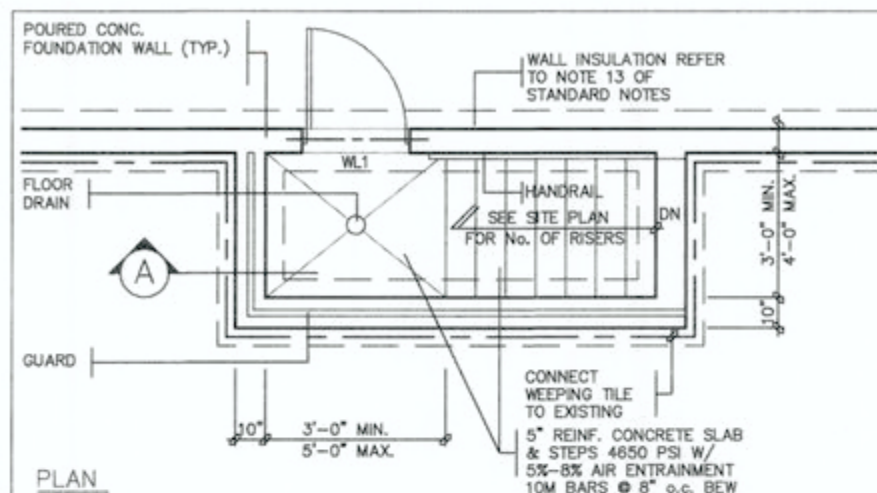
project name	municipality	project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON	20027

date JANUARY 2020 REAR ELEV. 3 - DECK CONDITION drawing no. A10b
 drawn by CL checked by - scale 3/16" = 1'-0" file name 20027-VALLEYCREEK-12A

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2742 SF.



GENERAL NOTES

1. FOOTINGS

24"x8" POURED CONCRETE FOOTING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL.

2. CONCRETE

MINIMUM COMPRESSIVE STRENGTH OF (32MPa) 4650 PSI @ 28 DAYS W/ 5% TO 8% AIR ENTRAINMENT

3. EXTERIOR STAIRS

7 7/8" RISE MAXIMUM 4 7/8" MINIMUM
8 1/4" RUN MINIMUM 14" MAXIMUM
9 1/4" TREAD MINIMUM 14" MAXIMUM

4. INSULATION

FOR INSULATION VALUE & VAPOUR BARRIER LOCATION, REFER TO NOTE 13 OF STANDARD NOTES.

5. RETAINING WALL

10" POURED CONCRETE W/ NO REINFORCING REQUIRED FOR WALL HEIGHTS TO A MAX. OF 4'-7". PROVIDE 15M VERTICAL REINFORCEMENT @ 16" O.C. & 15M HORIZONTAL REINFORCEMENT @ 24" O.C. FOR WALL HEIGHTS FROM 4'-8" TO 7'-0". 15M HORIZONTAL EACH FACE @ 16" O.C. & 15M VERTICAL EACH FACE @ 12" O.C. FOR WALL HEIGHTS FROM 7'-0" TO 8'-6". WALL TO RESIST LATERAL DESIGN LOADS AS PER OBC DIVISION B SECTION 4.1.5.16.

6. GUARDS

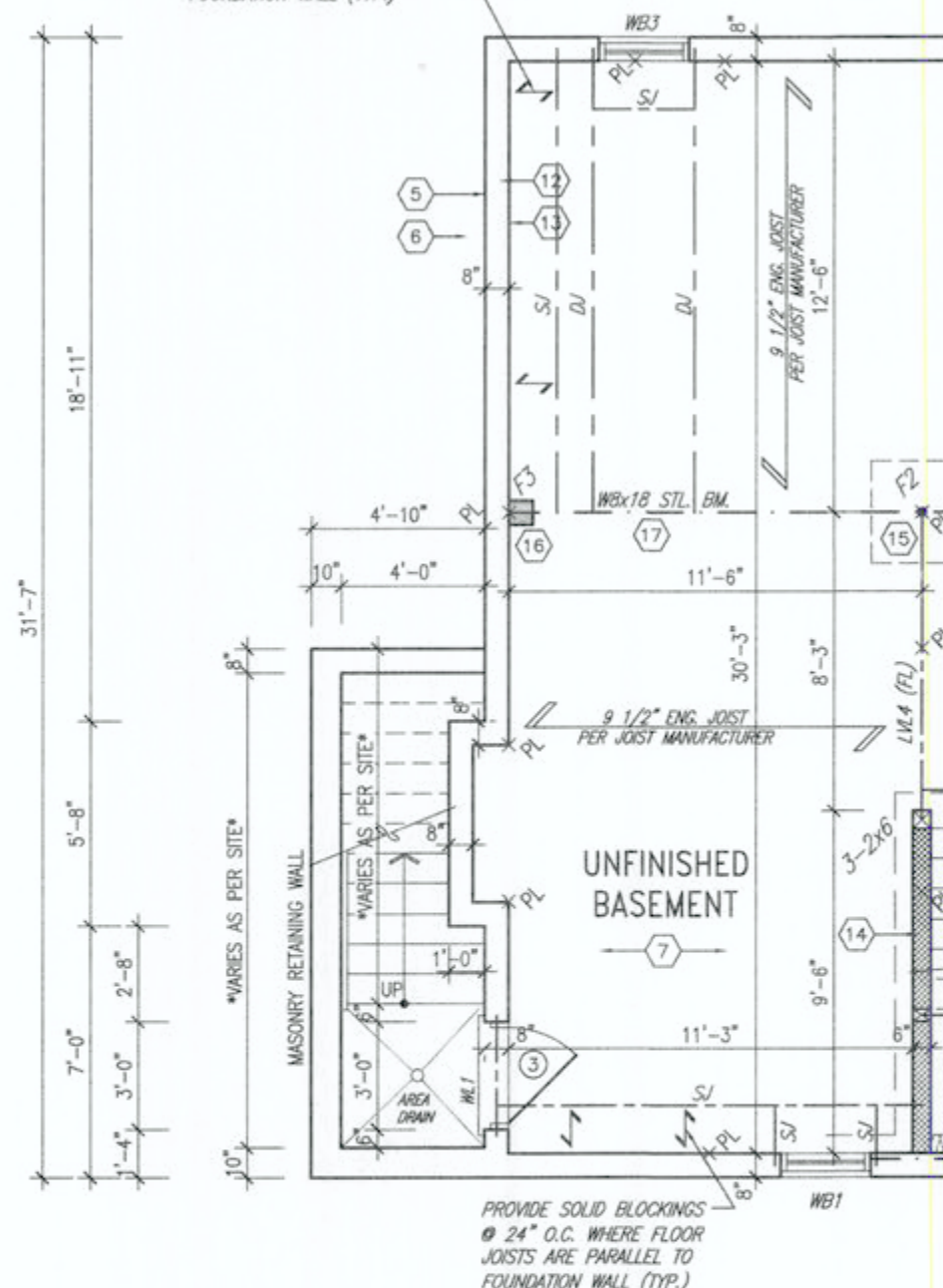
3'-6" HIGH WHERE DISTANCE FROM GRADE TO BOTTOM OF WALKOUT EXCEEDS 5'-11"; 2'-11" FOR LESSER HEIGHTS. MAXIMUM 4" BETWEEN VERTICAL PICKETS

MARCH 2021

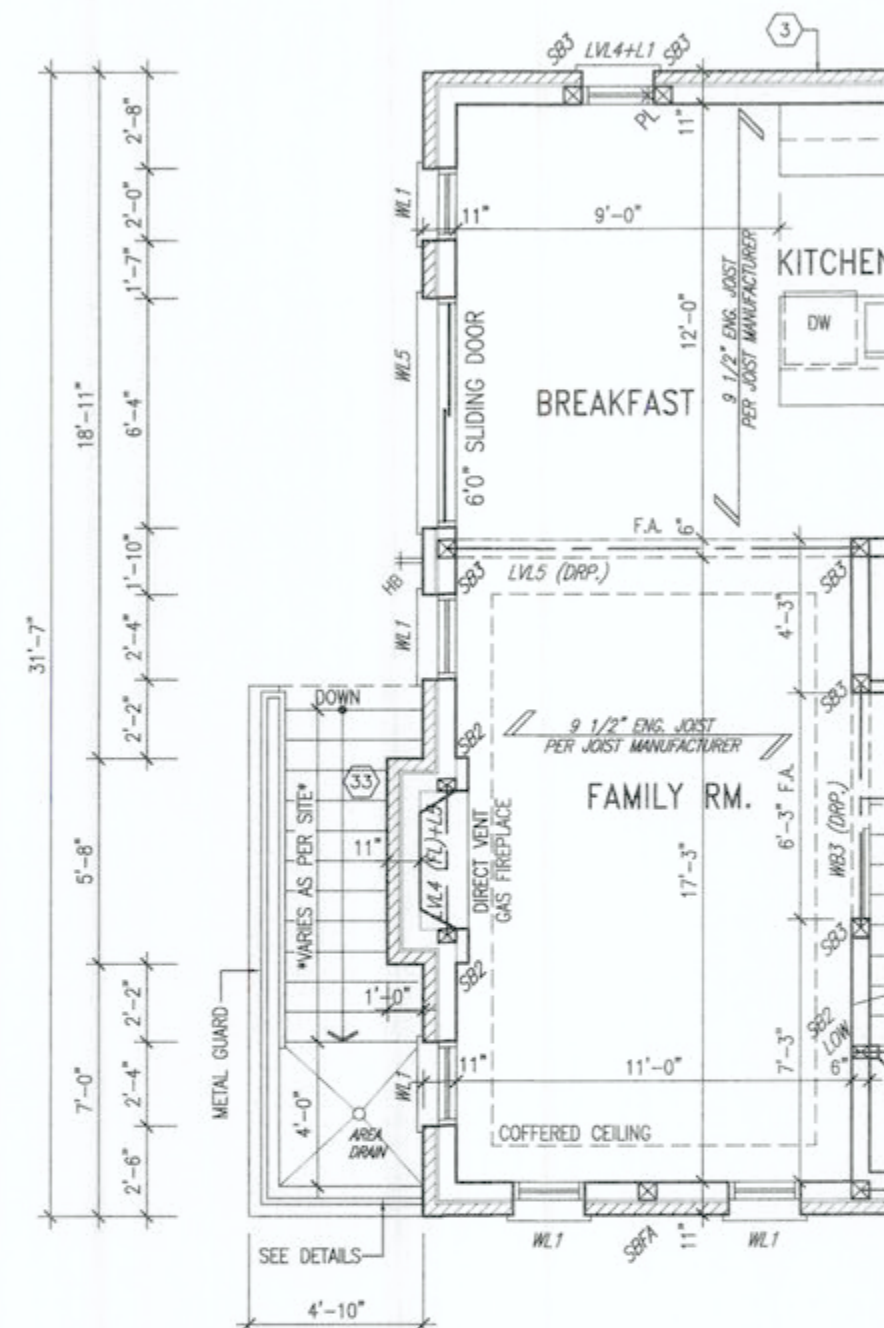
BASEMENT WALK-UP
PLAN, SECTION & NOTES

SCALE: N.T.S.

PROVIDE SOLID BLOCKINGS @ 24" O.C. WHERE FLOOR JOISTS ARE PARALLEL TO FOUNDATION WALL (TYP.)

PARTIAL BASEMENT PLAN
w/ OPT. WALK-UP STAIRS

NOTE: FIREPLACE PROJECTION REDUCED TO 12" FOR WALK-UP CONDITION ONLY

PARTIAL GROUND FLOOR PLAN
w/ OPT. WALK-UP STAIRS

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

OCT 27 2021

DATE

FOR CHIEF BUILDING OFFICIAL

VALLEYCREEK 12A
COMPLIANCE PACKAGE 'A1'

NOTE: REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

BASEMENT WALL INSULATION (TYP) 13
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" O.C. W/ R12 BATT INSULATION & 1/2" DRYWALL FINISH -EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility



STRUDET INC.
FOR STRUCTURE ONLY

9.				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
8.				qualification information
7.	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink 24488
6.	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5.	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name registration information
4.	ISSUED FOR PERMIT.	APR 07/20	GW	VA3 Design Inc. 42658
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.
1.	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

VA3
DESIGN

255 Consumers Rd Suite 120
Toronto ON M2J 1R4
416.630.2255 f 416.630.4782
va3design.com

Greenpark

project name
RUSSELL GARDENS PH. 4

date
JANUARY 2020

drawn by
CL

checked by

scale
3/16" = 1'-0"

DATE
JUN 2 2021 12:07 PM

PARTIAL PLANS - WALK-UP CONDITION

file name
20027-VALLEYCREEK-12A

drawing no.
A11

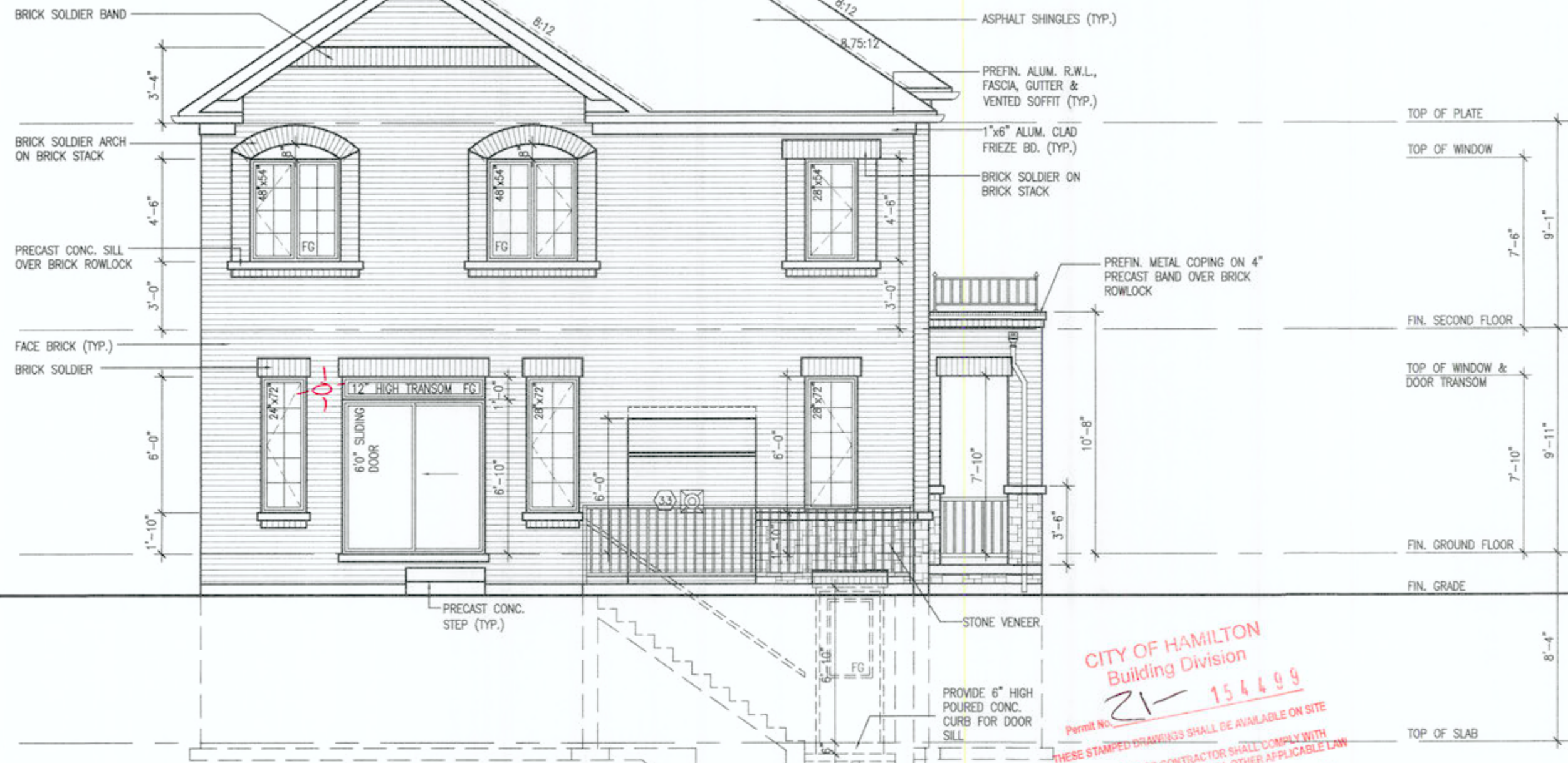
project no.
20027

municipality
HAMILTON, ON

project name
VALLEYCREEK 12A

12.5m

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REAR ELEVATION '1'
-WALK-UP CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: AUG 17 2021

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

9.					The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8.					qualification information	
7.	ISSUED FOR PERMIT.	JUN. 02/21	GW			
6.	TRANSFER INTO PHASE 4.	MAY 07/21	GW		Richard Vink	2448
5.	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW		name	80
4.	ISSUED FOR PERMIT.	APR 07/20	GW		signature	
3.	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW		registration information	
2.	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM		VAS Design Inc.	4265
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Greenpark™

project name
RUSSELL GARDENS PH. 4

date	JANUARY 2020
drawn by	CL

REAR ELEVATION '1' - WALK-UP CONDITION

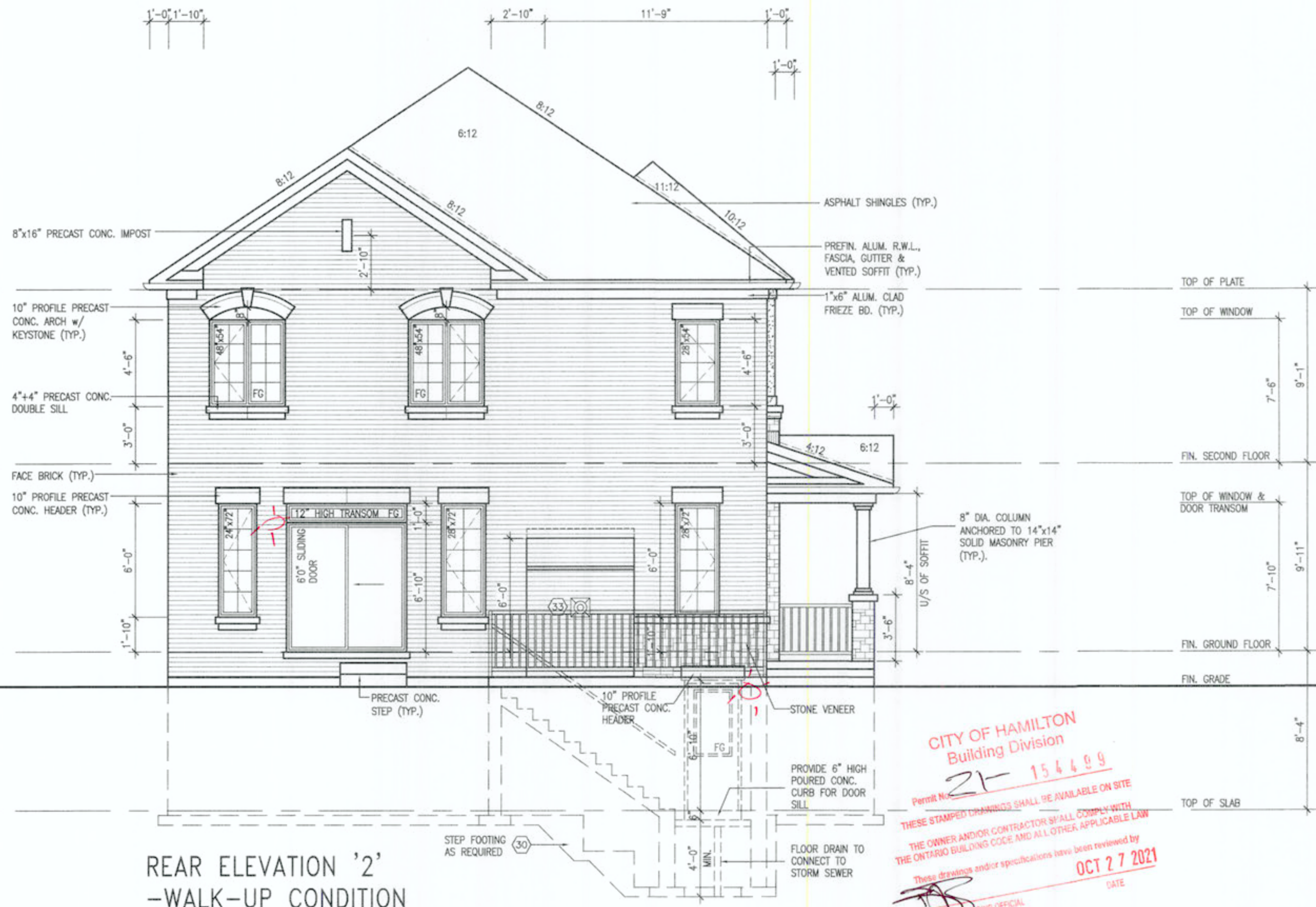
VALLEYCREEK 12A
12.5m

project no.
20027

drawing no.
A12

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2742 SF.



REAR ELEVATION '2'
-WALK-UP CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: *[Signature]*
DATE: AUG 17, 2021
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

19				The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
18				qualification information
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	signature
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	name
4	ISSUED FOR PERMIT.	APR 07/20	GW	registration information
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW	VA3 Design Inc.
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	42658
1	PRELIMINARY, ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW	
no.	description	date	by	

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255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
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va3design.com

Greenpark.

project name: **RUSSELL GARDENS PH. 4**

date: **JANUARY 2020**

drawn by: **CL**

checked by: **-**

scale: **3/16" = 1'-0"**

project no.: **20027**

municipality: **HAMILTON, ON**

drawing no.: **A12a**

file name: **20027-VALLEYCREEK-12A**

DATE: **OCT 27 2021**

FOR THE BUILDING OFFICIAL

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9	-	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
8	-	-	-	qualification information	
7	ISSUED FOR PERMIT.	JUN. 02/21	GW	Richard Vink	24488
6	TRANSFER INTO PHASE 4.	MAY 07/21	GW	name	BCR
5	REVISED 2nd FLR STAIR LOCATION	FEB 09/21	GW	registration information	
4	ISSUED FOR PERMIT.	APR 07/20	GW	VAS Design Inc.	42658
3	UPDATED PER ENG & CLIENT COMMENTS.	MAR 27/20	GW		
2	REVISED AS PER ROOF AND FLOOR MANUF.	MAR. 9/20	JM	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	
1	PRELIMINARY. ISSUED FOR CLIENT REVIEW.	FEB. 05/20	GW		
no.	description	date			

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VALLEYCREEK 12A
12.5m

project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON		project no. 20027	
date JANUARY 2020		drawing no. REAR ELEVATION '3'- WALK-UP CONDITION			A12b
drawn by CL	checked by -	scale 3/16" = 1'-0"	file name 20027-VALLEYCREEK-12A		
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