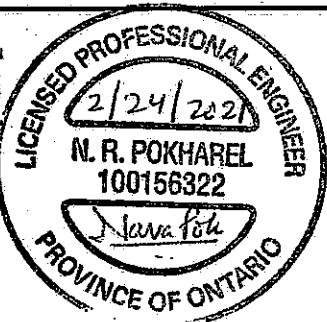


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMANCE WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY:
DATE: FEB 24, 2021

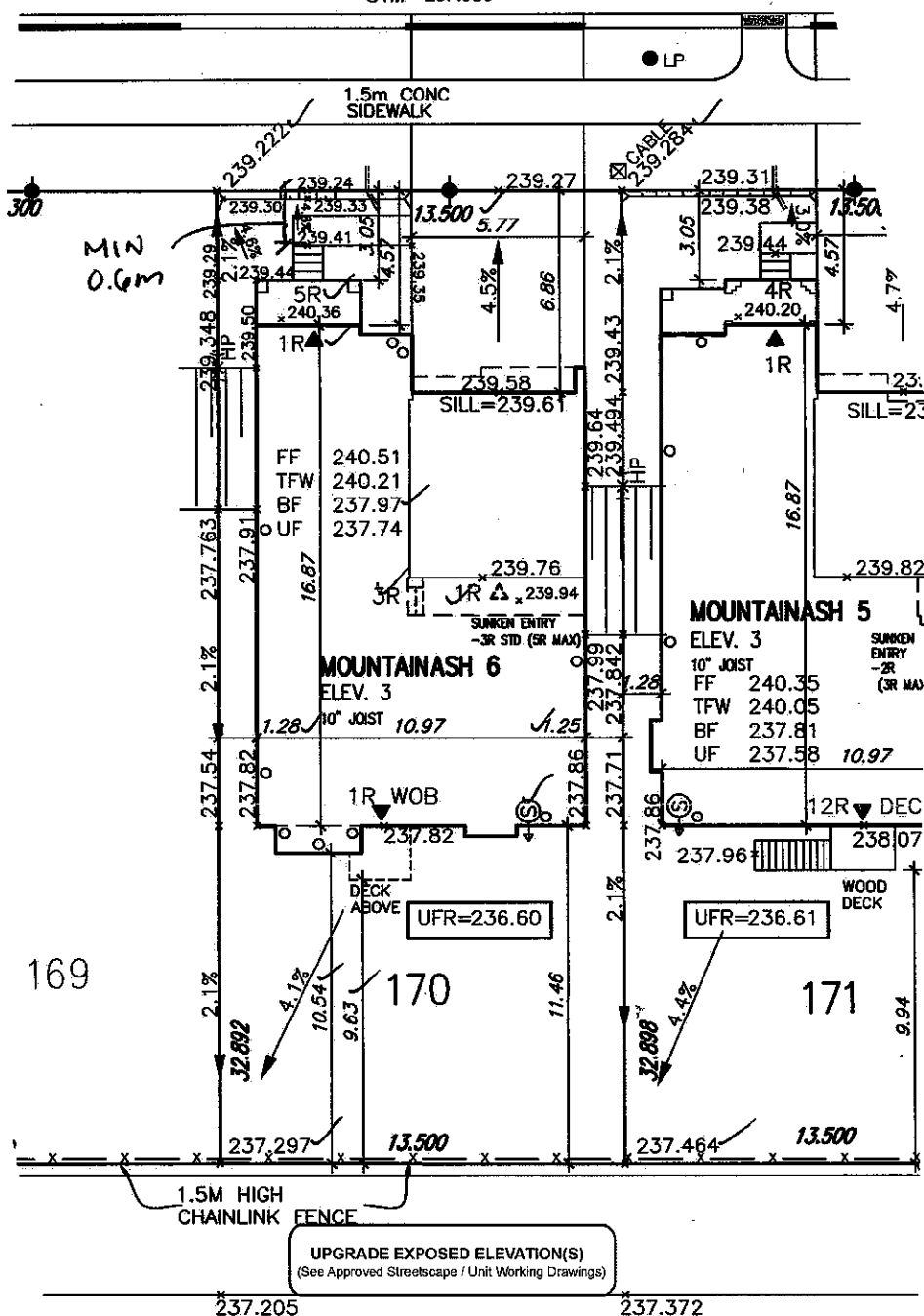
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

ELSTONE PLACE

239.062 239.072 239.113 239.129
239.122

MASONRY VENEER REQUIRED
ON SIDES OF STAIRS

SAN 236.886
STM 237.580



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

MAR 05 2021

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-111569

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE

Grading Notes:

It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

LOT 170		
LOT No.	LOT WIDTH (M) (@ 6.0m)	LOT AREA (M ²)
170	13.50	440.09

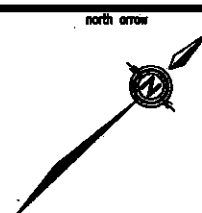
NOTE: SUMP PUMP REQUIRED
SUMP PUMPS CONNECTED TO STORM SEWER
ARE REQUIRED AS PER THE APPROVED SITE
ENGINEERING DRAWINGS. REFER TO DRAWINGS
PREPARED BY METROPOLITAN CONSULTING INC.
SHEET W14017-N1.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.
CONTRACTOR TO VERIFY PRIOR TO
INSTALLATION.

PROPOSED VALVE	NO. OF RISERS
LP LIGHT POLE	FF FINISHED FLOOR ELEVATION
WATER SERVICE	ML FINISHED MAIN LEVEL ELEVATION
DOUBLE SIM/SAN. CONNECTION	UF UNDERSIDE FOOTING ELEVATION
SINGLE SIM/SAN. CONNECTION	BF FIN. BASEMENT FLOOR SLAB
CATCH BASIN	UFR TOP OF FOUNDATION WALL
CABLE TELEVISION PEDestal	UFR UNDERSIDE FOOTING AT REAR
BELL PEDestal	UFF UNDERSIDE FOOTING AT FRONT
	UFS UNDERSIDE FOOTING AT SIDE
	W.O.D. WALK OUT DECK
	W.O.B. WALK OUT BASEMENT
	REV REVERSE PLAN

STREET SIGN	PROMOTE 3/4" DIA. CLEAR STONE IN THIS AREA
MAIL BOX	THIS LOT CONTAINS ENGINEERED FILL
RETAINING WALL	AC AIR CONDITIONER REQUIRED
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)	SIDE WINDOW LOCATION
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	OPT. DOOR LOCATION
HYDRO SERVICE LATERAL	EXTERIOR DOOR LOCATION
HYDRO METER	
GAS METER	
EMBANKMENT (3:1 SLOPE UNLESS OTHERWISE NOTED)	REDUCE SIDE YARD

REDUCE SIDE YARD



no.	description	date	by
9			
8			
7			
6			
5			
4			
3			
2	UFR RAISED, RE-ISSUED	FEB 16/21	GW
1	ISSUED FOR PERMIT.	NOV 20/20	GW

signature	24488
name	Richard Vink
registration information	42658
VA3 Design Inc.	

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.4782
va3design.com

project name	RUSSELL GARDENS PHASE 3
date	SEPT. 2020
drawn by	GW
checked by	
scale	1:250
file name	19014-RG3-SITE-LAYOUTS

lot/block no.	170
registered plan no.	62M-1266
project no.	19014
drawing no.	1