

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APPROVED BY: \_\_\_\_\_  
DATE: SEP 10, 2021

**This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.**

NOV 16 2021

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

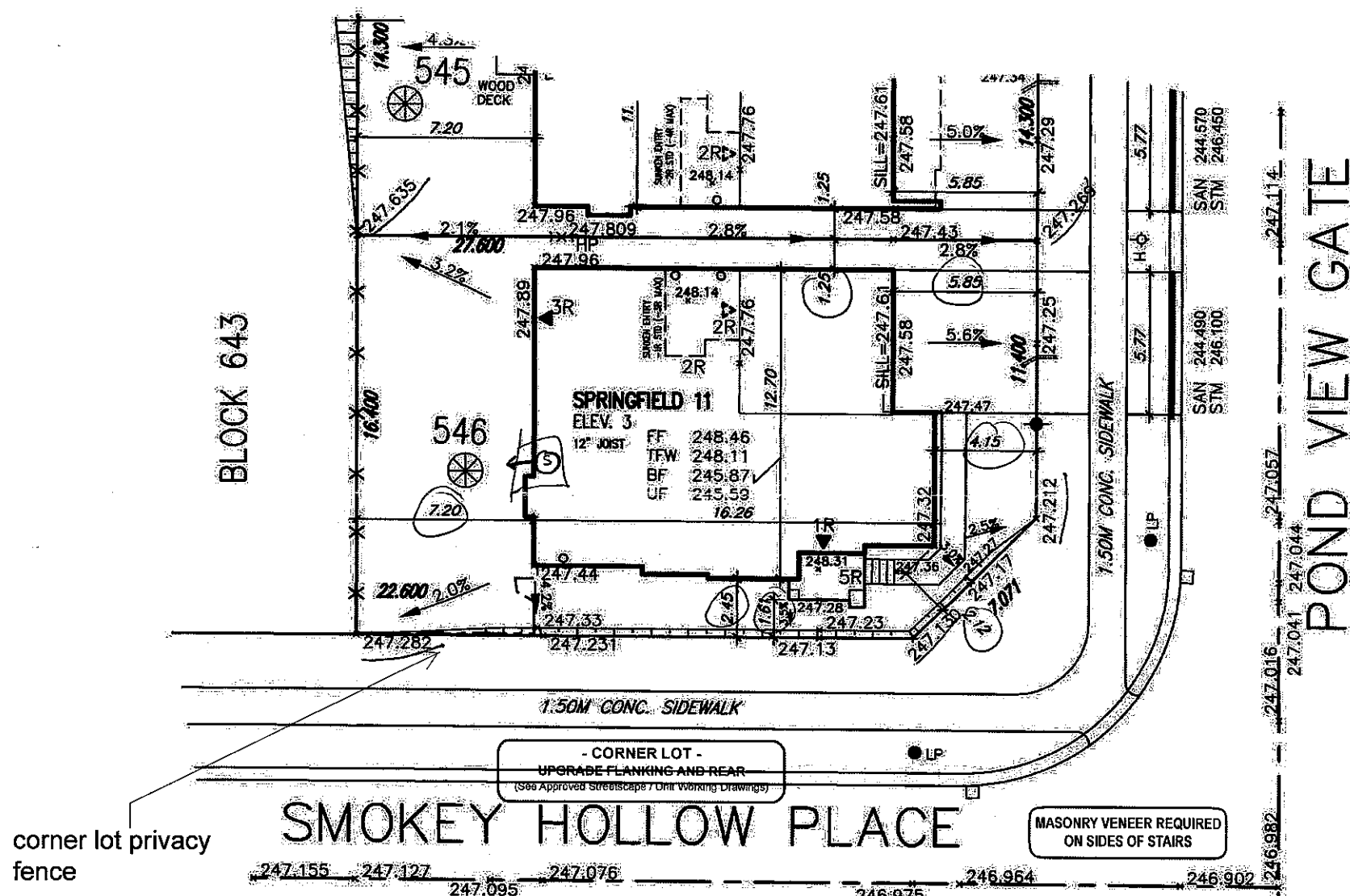
Permit No. 21-161628

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL DATE



*It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.*

*V43 Design Inc. is to be notified promptly of any discrepancies of at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to V43 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.*

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

*These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.*

LOT 546		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M <sup>2</sup> )
546	16.40	440.14

NOTE: REFER TO LANDSCAPE DRAWINGS FOR:  
ALL FENCING TYPES, HEIGHTS AND LOCATIONS.  
CONTRACTOR TO VERIFY PRIOR TO  
INSTALLATION.


- |                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| PROPOSED VALVE<br>LIGHT POLE<br>HYDRANT<br>WATER SERVICE<br>TRANSFORMER<br>DOUBLE STA./SAL. CONNECTION<br>SINGLE STA./SAL. CONNECTION<br>CATCH BASIN<br>CABLE TELEVISION PEDESTAL<br>BELL PEDESTAL | NO. OF RISERS<br>FINISHED FLOOR ELEVATION<br>FINISHED MAIN LEVEL ELEVATION<br>UNDERSIDE FOOTING ELEVATION<br>F.N. BASEMENT FLOOR SLAB<br>TOP OF FOUNDATION WALL<br>UNDERSIDE FOOTING AT REAR<br>UNDERSIDE FOOTING AT FRONT<br>UNDERSIDE FOOTING AT SIDE<br>WALK OUT DECK<br>WALK OUT BASEMENT<br>REVERSE PLAN | MAIL BOX<br>RETAINING WALL<br>CHAIN LINK FENCE (SEE LANDSCAPE PLAN)<br>ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)<br>WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)<br>HYDRO SERVICE LATERAL<br>HYDRO METER<br>GAS METER<br>ELEVATION / FIN. FLOOR<br>SHINGLE DIRECTION | STREET SIGN<br>PROVIDE 3/4" DIA. CLEAR SPACE IN THIS AREA<br>THIS LOT CONTAINS ENGINEERED FILL<br>AIR CONDITIONER REQUIRED<br>RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)<br>SIDE WINDOW<br>OPT. DOOR LOCATION<br>EXTERIOR DOOR LOCATION<br>REDUCE SIZE YARD |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**north arrow**



9					The undersigned has reviewed and takes responsibility for this data and has the qualifications and means for performing the work set out in the Statement of Work to be a Designer.
8					qualification information:
7					Richard Vink
6					name: <i>R. Vink</i> 2448
5					signature: <i>R. Vink</i> 2448
4					registration information:
3					VA3 Design, Inc. 4263
2					Builder to verify location of all hydrants, street lights, transformers and other services if minimum dimensions are not established, (builder is responsible for any repairs).
1					Builder to verify service connection elevations prior to constructing foundations. ** Drawings NOT to be scaled. **
no.	ISSUED FOR PERMIT.	AUG-27/21	GW		
	description	date	by		

**VA3  
DESIGN**  
255 Consumers Rd Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

 <b>Greenpark.</b>		
project name	municipality	
<b>RUSSELL GARDENS PHASE 4</b>	<b>HAMILTON</b>	
date	lot	
<b>JUL 2021</b>	<b>LOT 21</b>	
drawn by	checked by	scale
<b>GW</b>		<b>1:250</b>
REG - H: (ARCHIVE) (WORKING) 2020/2027 GRE SITE PLAN/2027-RC4-SITE-LAYOUTS.dwg		

lot/block no.  
**546**  
registered plan no.  
**2M-1260**  
project no.  
**2002**

**LOT SITING/GRADING**

drawing on

1

All designs, specifications, related documents and designs are the copyright property of VLSI SYSTEMS. Reproduction of this property in whole or in part is strictly prohibited without VLSI SYSTEMS' written permission.