

# STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

## FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.

30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

# PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD

F2 = 36"x36"x16" CONCRETE PAD

F3 = 30"x30"x12" CONCRETE PAD

F4 = 24"x24"x12" CONCRETE PAD

F5 = 16"x16"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD

F2 = 40"x40"x16" CONCRETE PAD

F3 = 34"x34"x14" CONCRETE PAD

F4 = 28"x28"x12" CONCRETE PAD

F5 = 18"x18"x8" CONCRETE PAD

# BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" (190x90x6.0L) + 2-2"x8" SFR. No.2  
WL2 = 4"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SFR. No.2  
WL3 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SFR. No.2  
WL4 = 6"x3-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SFR. No.2  
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SFR. No.2  
WL6 = 5"x3-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SFR. No.2  
WL7 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SFR. No.2  
WL8 = 5"x3-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SFR. No.2  
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SFR. No.2

## LINTELS AND BEAMS

WB1 = 2-2"x8" SFR. No.2 (2-38x184 SFR. No.2)  
WB2 = 3-2"x8" SFR. No.2 (3-38x184 SFR. No.2)  
WB3 = 2-2"x10" SFR. No.2 (2-38x235 SFR. No.2)  
WB4 = 3-2"x10" SFR. No.2 (3-38x235 SFR. No.2)  
WB5 = 2-2"x12" SFR. No.2 (2-38x286 SFR. No.2)  
WB6 = 3-2"x12" SFR. No.2 (3-38x286 SFR. No.2)  
WB7 = 5-2"x12" SFR. No.2 (5-38x286 SFR. No.2)  
WB8 = 4-2"x10" SFR. No.2 (4-38x235 SFR. No.2)  
WB9 = 4-2"x12" SFR. No.2 (4-38x286 SFR. No.2)

## LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL8A = 1-1 3/4" x 14" (1-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL9A = 4-1 3/4" x 14" (4-45x356)  
LVL10 = 3-1 3/4" x 16" (3-45x406)  
LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR  
EQUIVALENT.

## LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" (190x90x6.0L)  
L2 = 4"x3-1/2"x5/16" (125x90x8.0L)  
L3 = 5"x3-1/2"x5/16" (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8" (150x90x10.0L)  
L5 = 6"x4"x3/8" (150x100x10.0L)  
L6 = 7"x4"x3/8" (175x100x10.0L)

# DOOR SCHEDULE

NOS.	WIDTH	HEIGHT	HEIGHT	TYPE
		8'-0"	10' OR MORE	
		CEILING	CEILING	
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

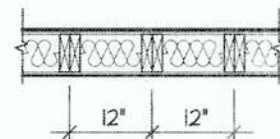
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

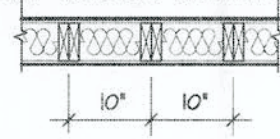
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

## TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

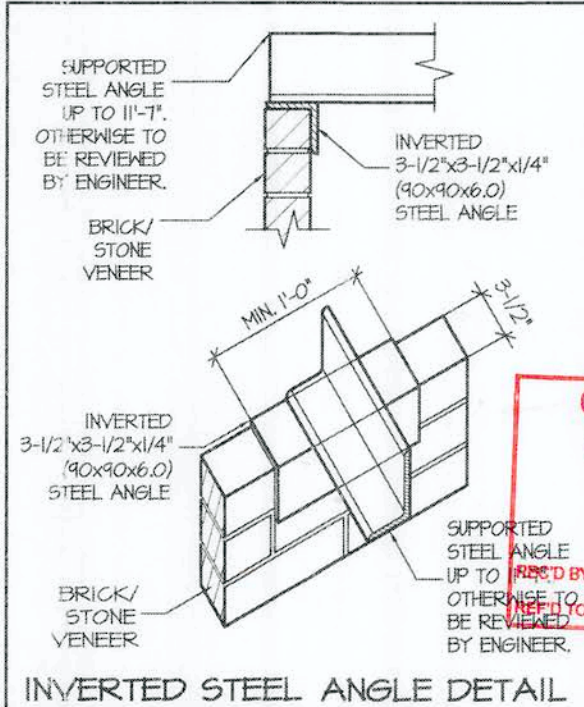
## TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND  
EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE  
PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.11.1.

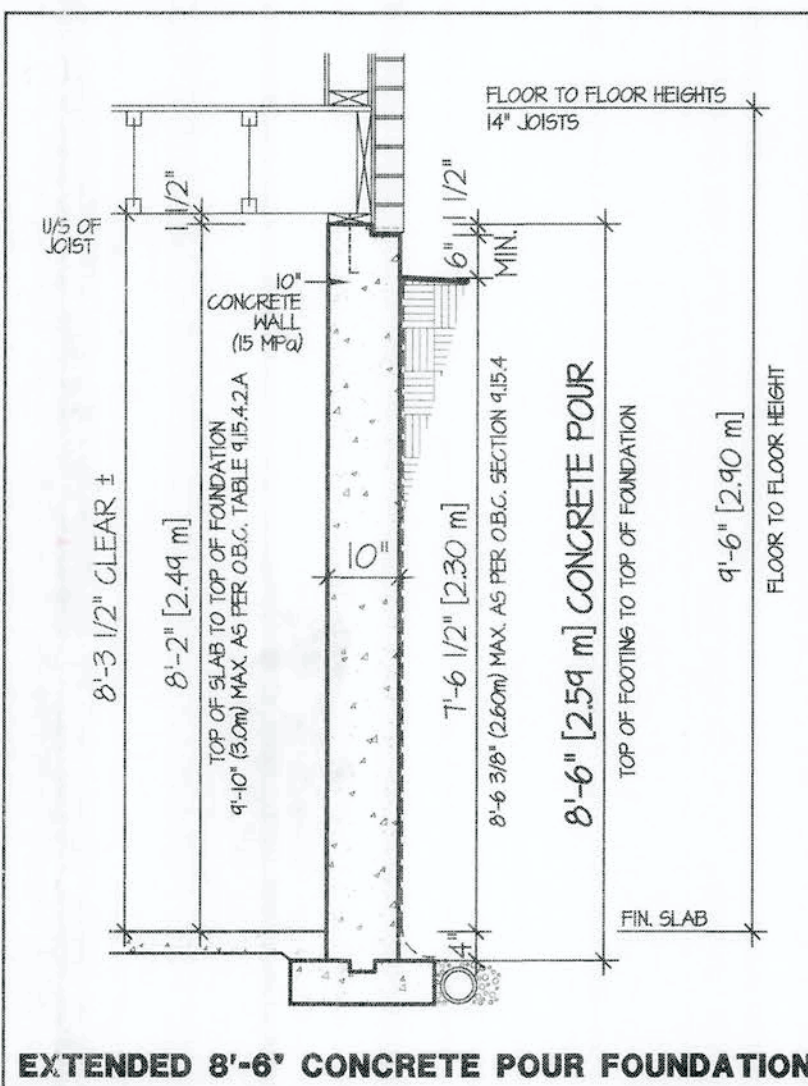
## SB-12 COMPLIANCE PACKAGE "A1"

COMPONENT	A1	NOTES
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)	R20 AT INNER FACE OF EXTERIOR WALLS.
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)	BATT OR SPRAY
EXPOSED FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)	BATT OR SPRAY
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)	6" R22 BATT
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20c)	OPTION TO USE R12+R10c
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)	RIGID INSULATION
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	0.28	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFE	96%	NATURAL GAS
HOT WATER HEATER MINIMUM EF	0.8	NATURAL GAS
HRV MINIMUM EFFICIENCY	75%	
DRAIN WATER HEAT RECOVERY UNIT (DWHR)		MINIMUM 1 OR MAXIMUM 2 REQUIRED, DEPENDENT ON NUMBER OF SHOWERS INSTALLED. REFER TO SB12-3.11.12 FOR INFORMATION

cl - DENOTES CONTINUOUS INSULATION WITHOUT FRAMING INTERRUPTION



## INVERTED STEEL ANGLE DETAIL



## EXTENDED 8'-6" CONCRETE POUR FOUNDATION

AREA CALCULATIONS		RH-574	
GROUND FLOOR AREA	=	1735	Sq. Ft.
SECOND FLOOR AREA	=	1155	Sq. Ft.
TOTAL FLOOR AREA	=	2890	Sq. Ft.
		268.49	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	325	Sq. Ft.
ADD TOTAL OPEN AREAS	=	325	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	3215	Sq. Ft.
		298.68	Sq. M.
GROUND FLOOR COVERAGE	=	1735	Sq. Ft.
GARAGE COVERAGE / AREA	=	411	Sq. Ft.
PORCH COVERAGE / AREA	=	58	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	2204	Sq. Ft.
		204.76	Sq. m.
TOTAL COVERAGE W/O PORCH	=	2146	Sq. Ft.
		199.37	Sq. m.

RH-574		ELEV. COMPLIANCE PACKAGE 'A1'			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	875.13	81.30	106.28	9.87	12.14 %
LEFT SIDE	1216.30	113.00	52.58	4.88	4.32 %
RIGHT SIDE	1247.48	120.54	75.92	7.05	5.85 %
REAR	821.82	76.35	167.89	15.60	20.43 %
TOTAL	4210.73	391.19	402.67	37.41	9.56 %

CITY OF HAMILTON  
Building Division  
Permit No. 21-101912  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
FOR CHIEF BUILDING OFFICIAL

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
SEP 10 2021  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

RH-574  
COMPLIANCE PACKAGE "A1"

Greenpark

PROJECT NAME  
RUSSEL GARDENS IV

5.		
4.		
3.	ISSUED FINAL REFERENCE	AUG 2021
2.	ISSUED FOR REVIEW	JUL 2021
1.	ISSUED FOR DESIGN	JUN 2021
REVISIONS		

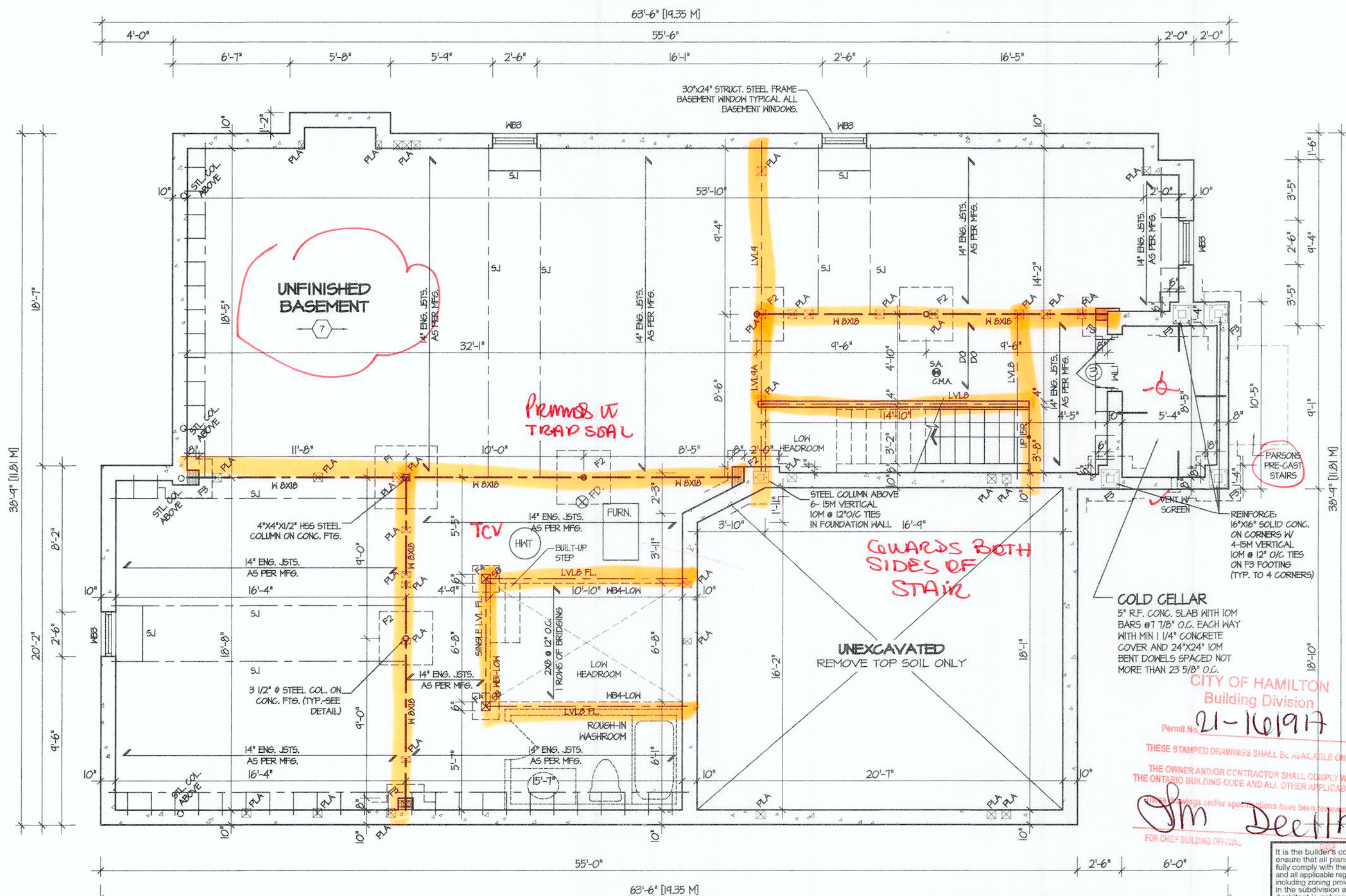
The undersigned has reviewed and takes responsibility for this  
design, and has the qualifications and meets the requirements set  
out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

SHEET TITLE  
AREA CHARTS  
NOTES & DETAILS  
SCALE  
3/16"=1'-0"  
DATE  
MAR 2021  
BY  
V.G.  
TYPE  
SFD  
PROJECT  
RG4

CONTRACTOR SHALL CHECK ALL  
DIMENSIONS AND ELEVATIONS BEFORE  
COMMENCING WITH WORK AND REPORT  
ANY DISCREPANCIES TO THE DESIGNER.  
PRINTS ARE NOT TO BE SCALED.  
AREA  
3,215  
PAGE No.  
0





**BASEMENT FLOOR PLAN 'I'**  
[ 8'6" POUR CONC. FOUNDATION ]

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

**CITY OF HAMILTON  
BUILDING DIVISION**  
Planning & Development Department

NOV 16 2021

REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY \_\_\_\_\_  
DATE SEP 21 2021  
This stamp certifies compliance with the applicable Design Guidelines and all other applicable law.

**RH-574**

COMPLIANCE PACKAGE "A1"

5.	
4.	
3.	ISSUED FINAL REFERENCE
2.	ISSUED FOR REVIEW
1.	ISSUED FOR DESIGN
REVISIONS	

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME  
SIGNATURE  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**BASEMENT PLAN  
ELEV. 1**

SCALE 3/16"=1'-0"  
DATE MAR 2021

BY V.G.  
TYPE SFD

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA 3,215  
PAGE No. 1  
PROJECT RG4

**Greenpark.**

PROJECT NAME  
**RUSSEL GARDENS IV**









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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY [Signature]  
DATE SEP 21, 2021  
This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

# RH-574

## COMPLIANCE PACKAGE "A1"

STUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

PROVINCE OF ONTARIO

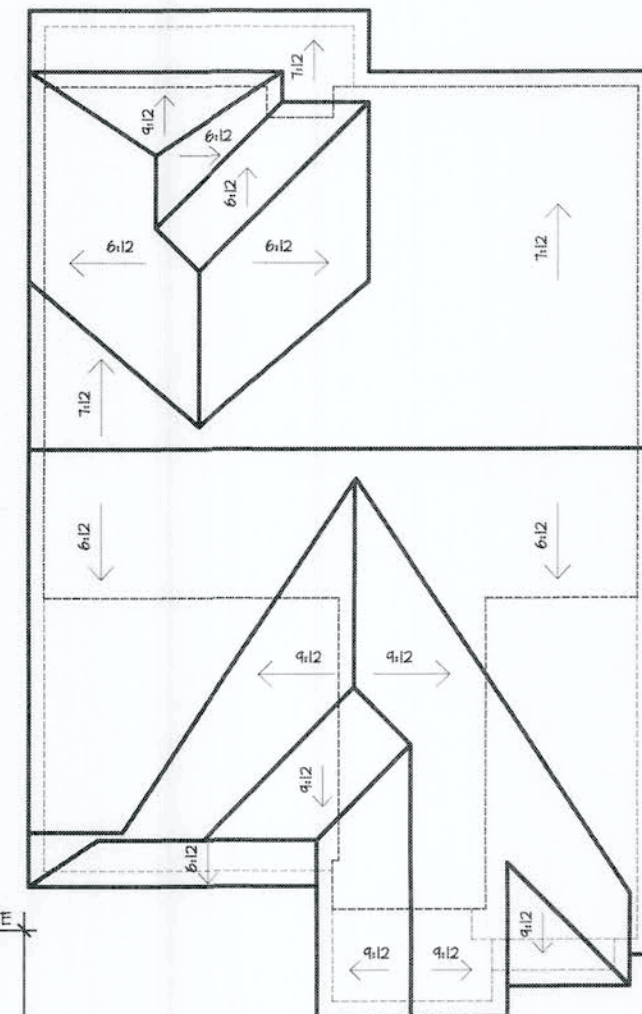
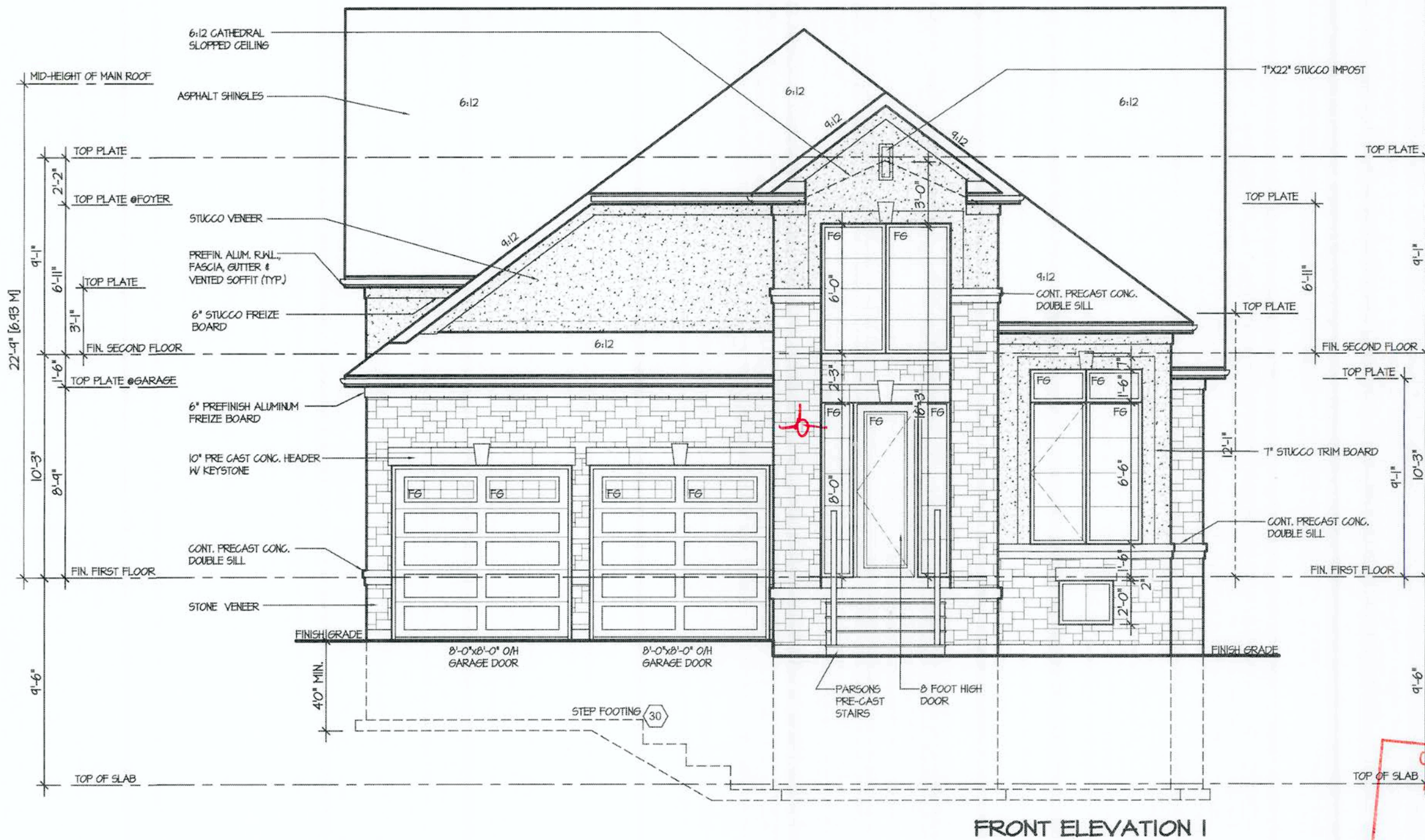
FOR STRUCTURE ONLY

sept 8/2024

 **Greenpark**

PROJECT NAME  
RUSSEL GARDENS IV





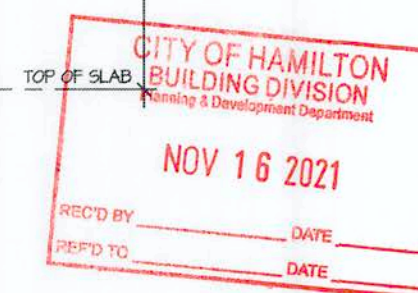
ROOF PLAN I  
Scale: N.T.S.

CITY OF HAMILTON  
Building Division

Permit No. **21-161917**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by  
*[Signature]* *[Signature]*  
FOR CHIEF BUILDING OFFICIAL  
DATE



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY *[Signature]*  
DATE **SEP 21, 2021**  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**RH-574**  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	ISSUED FINAL REFERENCE	AUG 2021
2.	ISSUED FOR REVIEW	JUL 2021
1.	ISSUED FOR DESIGN	JUN 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.  
QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code  
VIKAS GAJJAR *[Signature]* **28770**  
NAME SIGNATURE BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

**REGION  
DESIGN  
INC.**

SHEET TITLE  
**FRONT ELEVATION  
ELEV. 1**  
SCALE **3/16"=1'-0"**  
DATE **MAR 2021**  
BY **V.G.**  
TYPE **SFD**

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA **3,215**  
PROJECT **RG4**  
PAGE No. **4**

**Greenpark™**  
PROJECT NAME  
**RUSSEL GARDENS IV**





CITY OF HAMILTON  
Building Division  
Permit No. 21-16197  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
Jim Decilm  
FOR CHIEF BUILDING OFFICIAL DATE

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY   
DATE SEP 27 2022

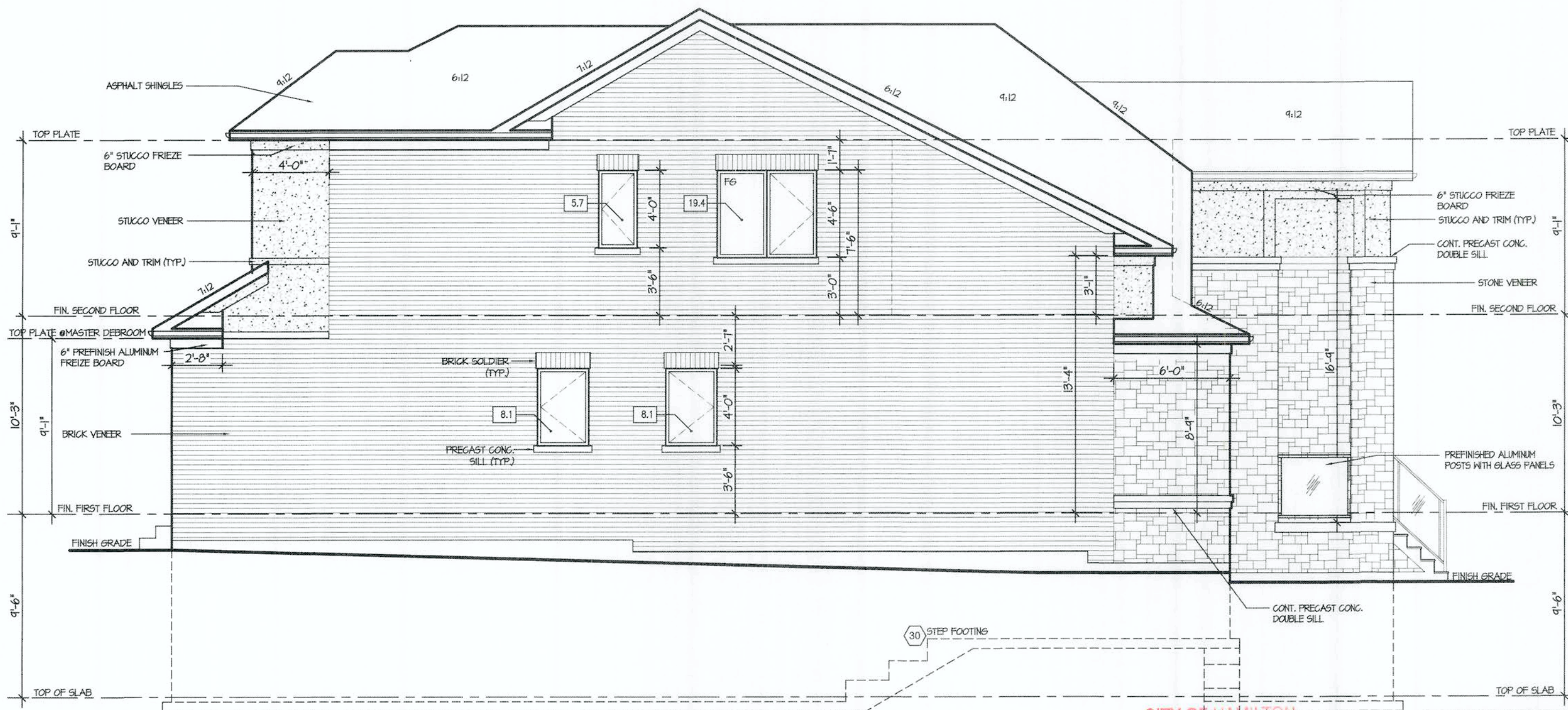
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RH-574

COMPLIANCE PACKAGE "A1"







LEFT ELEVATION I

ALLOWABLE GLAZING (STANDARD PLAN)			
WALL AREA	=	1208	Sq. Ft.
ALLOWABLE GLAZED AREA @ 7% 1.2 M SIDE YARD	=	84.56	Sq. Ft.
ACTUAL GLAZED AREA	=	41.3	Sq. Ft.

OK

CITY OF HAMILTON  
Building Division  
Permit No. 21-1461917  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
Jm Dec 1/21  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 16 2021  
REC'D BY DATE  
REC'D TO DATE

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY  
DATE SEP 21, 2021  
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RH-574

COMPLIANCE PACKAGE "A1"

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1.	ISSUED FOR DESIGN	JUN 2021
REVISIONS		

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QUALIFICATION INFORMATION  
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VIKAS GAJJAR  
NAME SIGNATURE BCIN 28770

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
LEFT SIDE ELEV.  
ELEV. 1  
SCALE 3/16"=1'-0"  
DATE MAR 2021  
BY V.G.  
TYPE SFD

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA 3,215  
PAGE No. 6  
PROJECT RG4

Greenpark

PROJECT NAME  
RUSSEL GARDENS IV





REAR ELEVATION I

CITY OF HAMILTON  
Building Division  
Permit No. **2601917**  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
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THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
**Jm** **Dec 1/21**  
FOR CHIEF BUILDING OFFICIAL DATE

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
NOV 16 2021  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_

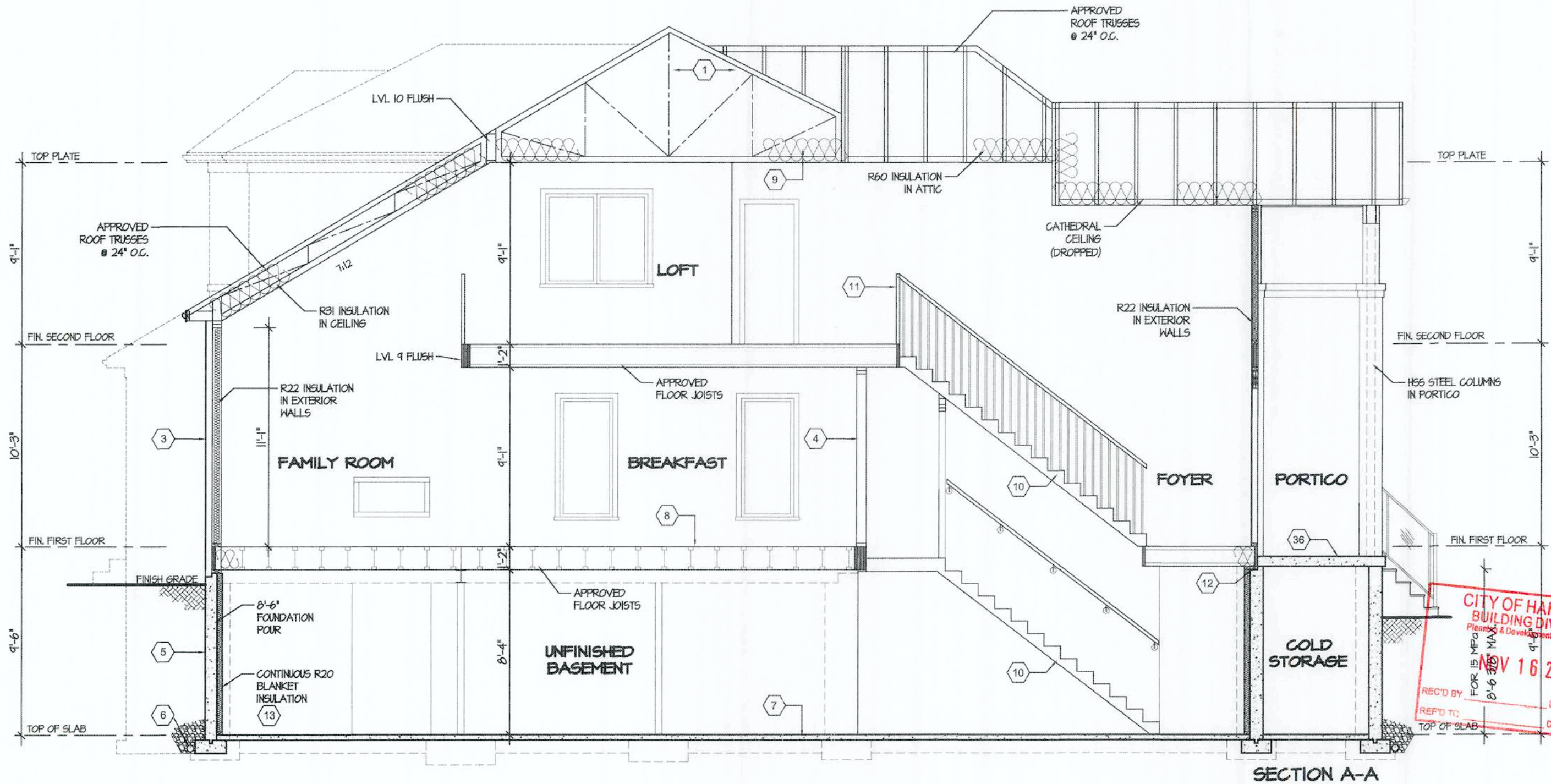
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: **[Signature]**  
DATE: **SEP 21, 2021**  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

**RH-574**  
COMPLIANCE PACKAGE "A1"

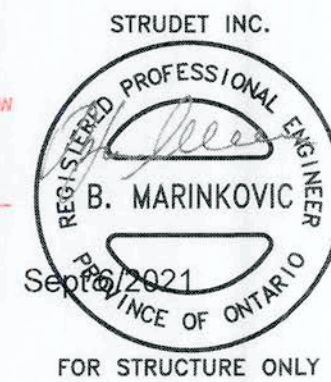
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	<b>REGION DESIGN INC.</b>	SHEET TITLE <b>REAR ELEVATION ELEV 1</b>	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 3,215	PAGE No. <b>7</b>	PROJECT NAME <b>RUSSEL GARDENS IV</b>
4.		QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY V.G.	AREA 3,215	PAGE No. <b>7</b>	
3.	ISSUED FINAL REFERENCE	AUG 2021			DATE MAR 2021	TYPE SFD	PROJECT RG4		
2.	ISSUED FOR REVIEW	JUL 2021							
1.	ISSUED FOR DESIGN	JUN 2021							
REVISIONS			VIKAS GAJJAR NAME	<b>[Signature]</b> SIGNATURE	<b>28770</b> BCIN				





SECTION A-A

CITY OF HAMILTON  
Building Division  
Permit No. 21-161917  
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE  
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW  
These drawings and/or specifications have been reviewed by  
*[Signature]* DATE Dec 17  
FOR CHIEF BUILDING OFFICIAL



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

RH-574  
COMPLIANCE PACKAGE "A1"

<p>5. _____</p> <p>4. _____</p> <p>3. ISSUED FINAL REFERENCE AUG 2021</p> <p>2. ISSUED FOR REVIEW JUL 2021</p> <p>1. ISSUED FOR DESIGN JUN 2021</p> <p>REVISIONS</p>	<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR 28770</p> <p>NAME SIGNATURE BCIN</p>	<p>REGION DESIGN INC.</p> <p>8700 DUFFERIN ST.</p> <p>CONCORD, ONTARIO</p> <p>L4K 4S6</p> <p>P (416) 736-4096</p> <p>F (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	<p>SHEET TITLE</p> <p>CROSS SECTION</p> <p>SCALE 3/16"=1'-0"</p> <p>DATE MAR 2021</p> <p>BY V.G.</p> <p>TYPE SFD</p>	<p>CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.</p> <p>AREA 3,215</p> <p>PAGE No. 8</p> <p>PROJECT RG4</p>	<p><b>Greenpark.</b></p> <p>PROJECT NAME</p> <p>RUSSEL GARDENS IV</p>
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