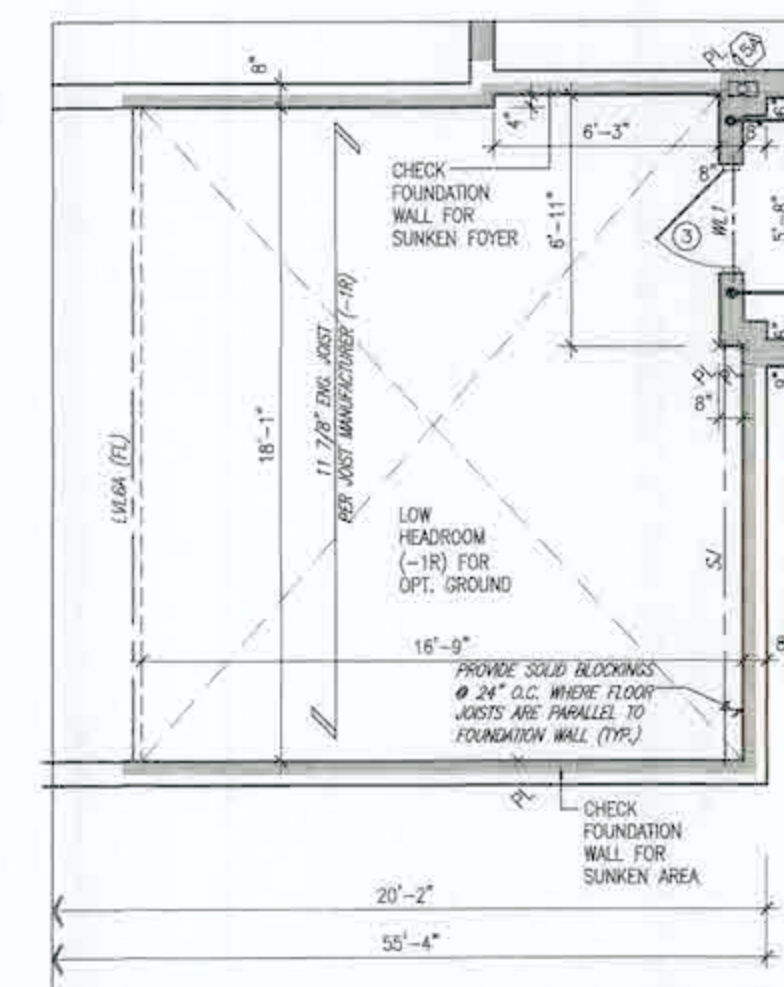
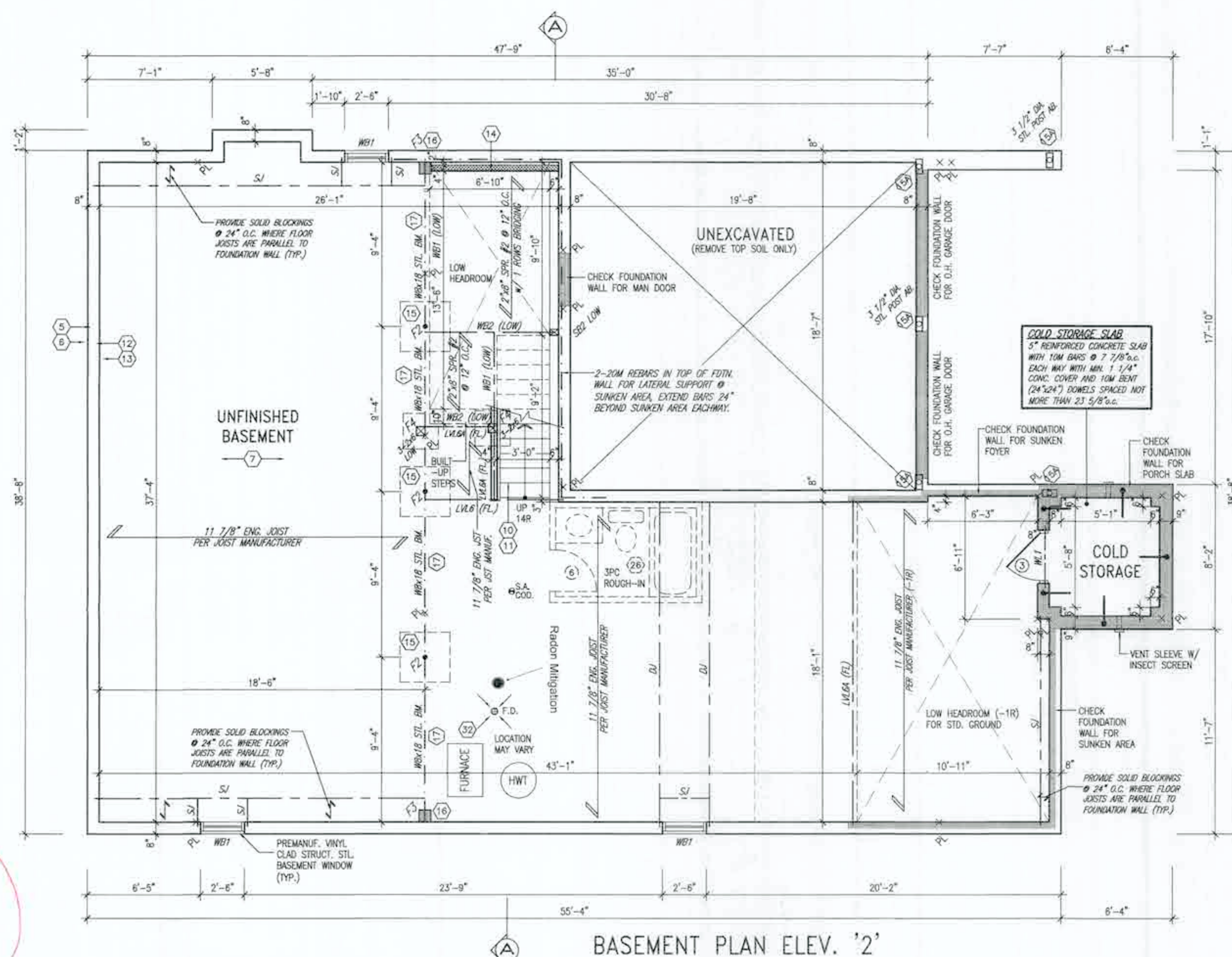




BASEMENT PLAN ELEV. '2'

PART. BASEMENT PLAN ELEV. '2'
FOR OPT. GUEST SUITE COND.

Diagram illustrating a radon mitigation option (Option 1) showing a central vent pipe through a floor slab. The diagram includes labels for dimensions and components:

- centre of floor slab
- 150 mm
- 100 mm
- 150 mm deep granular support for a radius of not less than 300 mm at the centre of floor slab
- Radon Mitigation Option 1

See Brochure

**BASEMENT INSULATION AT
STAIR/SUNKEN AREAS**
-2" (R10) CONTINUOUS INSULATION
(RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

Professional Engineer Seal for B. Marinkovic, Ontario, dated May 26, 2021.

STRUDET INC.
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18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT	MAY 21/21
11				2	REV. PER CLIENT/SOOF/FL/FNC. COMMENTS	APR 27/21
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21
no.	description	date	by	no.	description	date by

The undersigned has reviewed and assumes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
Registration Information	
Richard Vink	24488
name	signature
registration information	SCN
VAS Design Inc.	42655
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.	

VA3
DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t. 416.630.2255 f. 416.630.4782
va3design.com

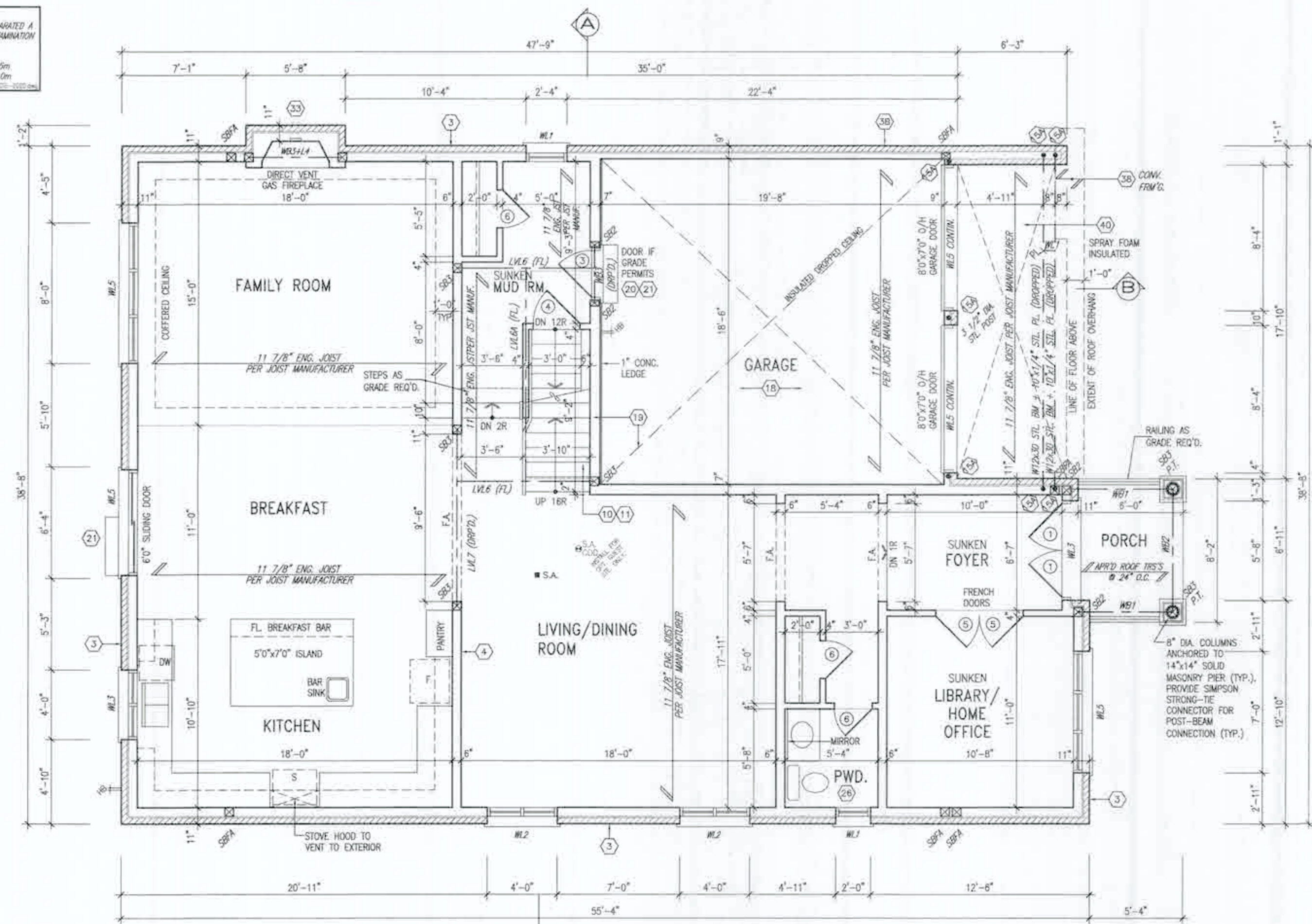
 Greenpark.		SPRINGFIELD 3 14.30m	
project name RUSSELL GARDENS PH.4		municipality HAMILTON, ON	
project no. 20027		drawing no. 20027	
date JANUARY, 2023		description BASEMENT PLAN - ELEV. 2	
drawn by CL		scale 3/16" = 1'-0"	
checked by CL		file name 20027-SPRINGFIELD 3	
issues 1. 1/14/2023, 1/16/2023, 1/17/2023, 1/18/2023, 1/19/2023, 1/20/2023, 1/21/2023, 1/22/2023, 1/23/2023, 1/24/2023, 1/25/2023, 1/26/2023, 1/27/2023, 1/28/2023, 1/29/2023, 1/30/2023, 1/31/2023, 2/1/2023, 2/2/2023, 2/3/2023, 2/4/2023, 2/5/2023, 2/6/2023, 2/7/2023, 2/8/2023, 2/9/2023, 2/10/2023, 2/11/2023, 2/12/2023, 2/13/2023, 2/14/2023, 2/15/2023, 2/16/2023, 2/17/2023, 2/18/2023, 2/19/2023, 2/20/2023, 2/21/2023, 2/22/2023, 2/23/2023, 2/24/2023, 2/25/2023, 2/26/2023, 2/27/2023, 2/28/2023, 2/29/2023, 3/1/2023, 3/2/2023, 3/3/2023, 3/4/2023, 3/5/2023, 3/6/2023, 3/7/2023, 3/8/2023, 3/9/2023, 3/10/2023, 3/11/2023, 3/12/2023, 3/13/2023, 3/14/2023, 3/15/2023, 3/16/2023, 3/17/2023, 3/18/2023, 3/19/2023, 3/20/2023, 3/21/2023, 3/22/2023, 3/23/2023, 3/24/2023, 3/25/2023, 3/26/2023, 3/27/2023, 3/28/2023, 3/29/2023, 3/30/2023, 3/31/2023, 4/1/2023, 4/2/2023, 4/3/2023, 4/4/2023, 4/5/2023, 4/6/2023, 4/7/2023, 4/8/2023, 4/9/2023, 4/10/2023, 4/11/2023, 4/12/2023, 4/13/2023, 4/14/2023, 4/15/2023, 4/16/2023, 4/17/2023, 4/18/2023, 4/19/2023, 4/20/2023, 4/21/2023, 4/22/2023, 4/23/2023, 4/24/2023, 4/25/2023, 4/26/2023, 4/27/2023, 4/28/2023, 4/29/2023, 4/30/2023, 5/1/2023, 5/2/2023, 5/3/2023, 5/4/2023, 5/5/2023, 5/6/2023, 5/7/2023, 5/8/2023, 5/9/2023, 5/10/2023, 5/11/2023, 5/12/2023, 5/13/2023, 5/14/2023, 5/15/2023, 5/16/2023, 5/17/2023, 5/18/2023, 5/19/2023, 5/20/2023, 5/21/2023, 5/22/2023, 5/23/2023, 5/24/2023, 5/25/2023, 5/26/2023, 5/27/2023, 5/28/2023, 5/29/2023, 5/30/2023, 5/31/2023, 6/1/2023, 6/2/2023, 6/3/2023, 6/4/2023, 6/5/2023, 6/6/2023, 6/7/2023, 6/8/2023, 6/9/2023, 6/10/2023, 6/11/2023, 6/12/2023, 6/13/2023, 6/14/2023, 6/15/2023, 6/16/2023, 6/17/2023, 6/18/2023, 6/19/2023, 6/20/2023, 6/21/2023, 6/22/2023, 6/23/2023, 6/24/2023, 6/25/2023, 6/26/2023, 6/27/2023, 6/28/2023, 6/29/2023, 6/30/2023, 7/1/2023, 7/2/2023, 7/3/2023, 7/4/2023, 7/5/2023, 7/6/2023, 7/7/2023, 7/8/2023, 7/9/2023, 7/10/2023, 7/11/2023, 7/12/2023, 7/13/2023, 7/14/2023, 7/15/2023, 7/16/2023, 7/17/2023, 7/18/2023, 7/19/2023, 7/20/2023, 7/21/2023, 7/22/2023, 7/23/2023, 7/24/2023, 7/25/2023, 7/26/2023, 7/27/2023, 7/28/2023, 7/29/2023, 7/30/2023, 7/31/2023, 8/1/2023, 8/2/2023, 8/3/2023, 8/4/2023, 8/5/2023, 8/6/2023, 8/7/2023, 8/8/2023, 8/9/2023, 8/10/2023, 8/11/2023, 8/12/2023, 8/13/2023, 8/14/2023, 8/15/2023, 8/16/2023, 8/17/2023, 8/18/2023, 8/19/2023, 8/20/2023, 8/21/2023, 8/22/2023, 8/23/2023, 8/24/2023, 8/25/2023, 8/26/2023, 8/27/2023, 8/28/2023, 8/29/2023, 8/30/2023, 8/31/2023, 9/1/2023, 9/2/2023, 9/3/2023, 9/4/2023, 9/5/2023, 9/6/2023, 9/7/2023, 9/8/2023, 9/9/2023, 9/10/2023, 9/11/2023, 9/12/2023, 9/13/2023, 9/14/2023, 9/15/2023, 9/16/2023, 9/17/2023, 9/18/2023, 9/19/2023, 9/20/2023, 9/21/2023, 9/22/2023, 9/23/2023, 9/24/2023, 9/25/2023, 9/26/2023, 9/27/2023, 9/28/2023, 9/29/2023, 9/30/2023, 10/1/2023, 10/2/2023, 10/3/2023, 10/4/2023, 10/5/2023, 10/6/2023, 10/7/2023, 10/8/2023, 10/9/2023, 10/10/2023, 10/11/2023, 10/12/2023, 10/13/2023, 10/14/2023, 10/15/2023, 10/16/2023, 10/17/2023, 10/18/2023, 10/19/2023, 10/20/2023, 10/21/2023, 10/22/2023, 10/23/2023, 10/24/2023, 10/25/2023, 10/26/2023, 10/27/2023, 10/28/2023, 10/29/2023, 10/30/2023, 10/31/2023, 11/1/2023, 11/2/2023, 11/3/2023, 11/4/2023, 11/5/2023, 11/6/2023, 11/7/2023, 11/8/2023, 11/9/2023, 11/10/2023, 11/11/2023, 11/12/2023, 11/13/2023, 11/14/2023, 11/15/2023, 11/16/2023, 11/17/2023, 11/18/2023, 11/19/2023, 11/20/2023, 11/21/2023, 11/22/2023, 11/23/2023, 11/24/2023, 11/25/2023, 11/26/2023, 11/27/2023, 11/28/2023, 11/29/2023, 11/30/2023, 12/1/2023, 12/2/2023, 12/3/2023, 12/4/2023, 12/5/2023, 12/6/2023, 12/7/2023, 12/8/2023, 12/9/2023, 12/10/2023, 12/11/2023, 12/12/2023, 12/13/2023, 12/14/2023, 12/1			

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

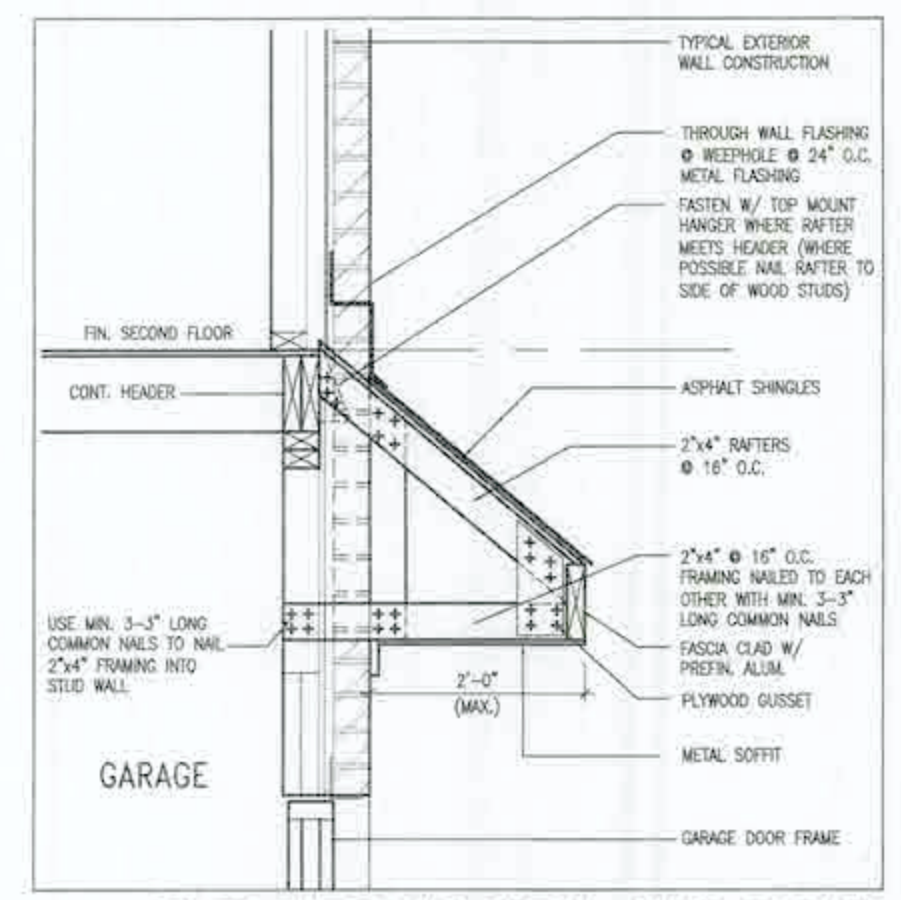
CITY OF HAMILTON
 Building Division
 21-15073
 Permit No.
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
 These drawings and/or specifications have been reviewed for
 compliance with the Ontario Building Code
 6/18

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC DIV. 9 - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m

FIREBLOCK BULKHEADS



GROUND FLOOR PLAN ELEV. '1'



ROOF OVERHANG DETAIL OVER GARAGE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL OFFICE
HAMILTON, ONTARIO

APPROVED BY: [Signature]
DATE: MAY 26, 2021



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FOR STRUCTURE ONLY

CITY OF HAMILTON
Building Division

Permit No. **21-150623**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.

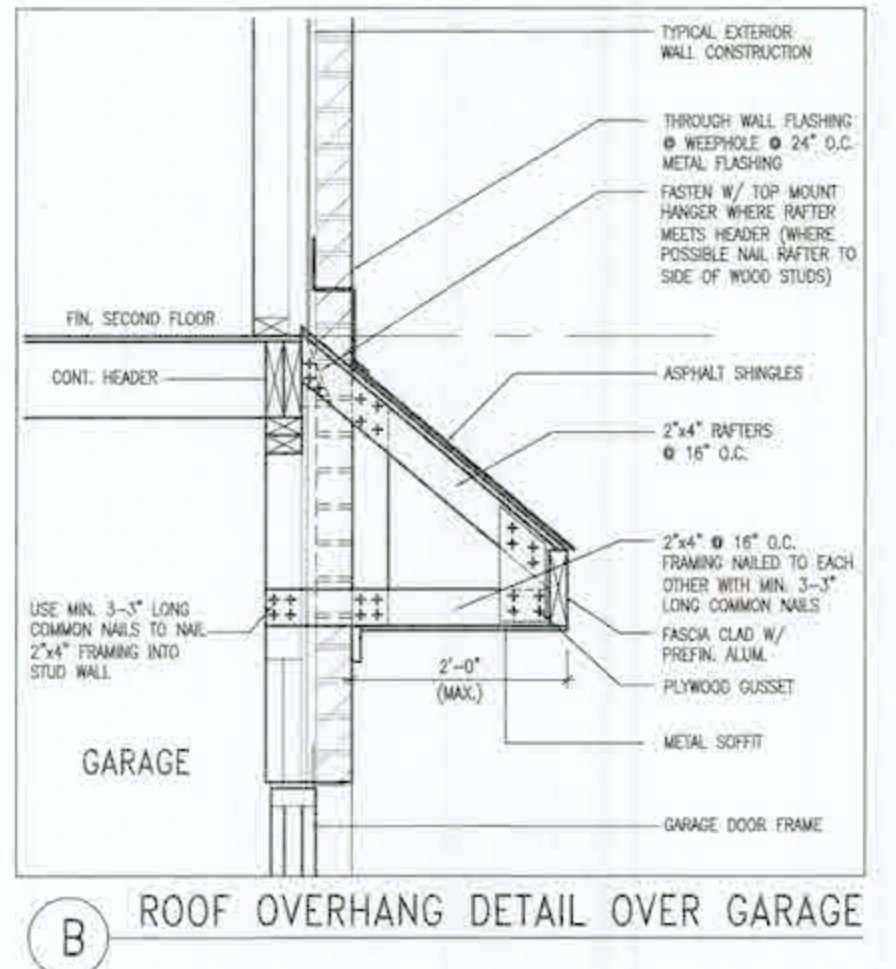
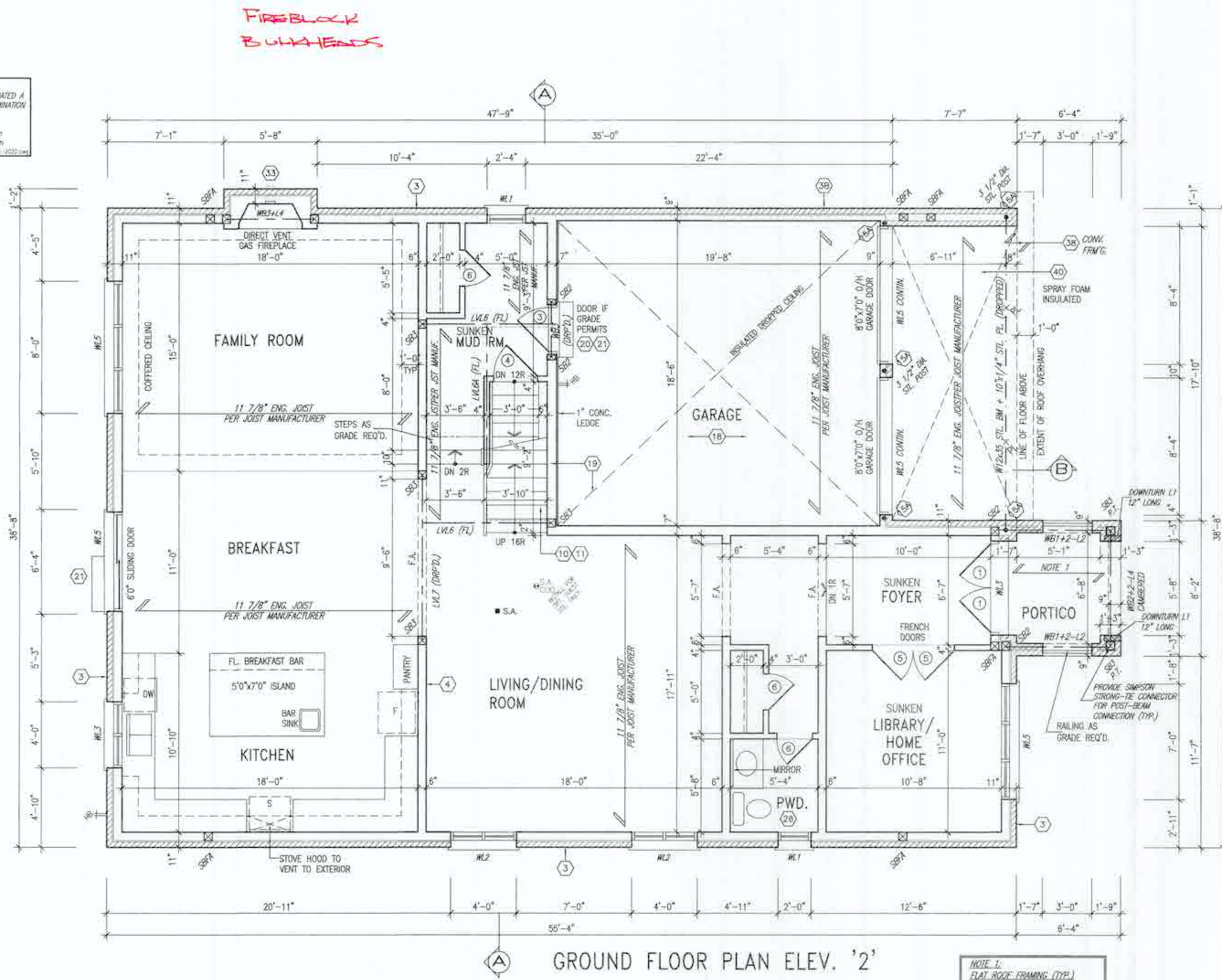
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CITY'S BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and/or specifications have been submitted by:
[Signature]
DATE: OCT 04 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

VA3 DESIGN 250 Conestoga Rd. Suite 120 Toronto, ON M5J 1B4 416.630.2255 / 416.630.4782 va3design.com		Greenpark. project name: RUSSELL GARDENS PH.4 location: HAMILTON, ON drawing no: 20027	
date: JANUARY, 2021 drawn by: CL checked by: [Signature] scale: 3/16" = 1'-0"		title: GROUND FLOOR PLAN - ELEV. 1 date: 2022-SPRINGFIELD-3 drawing no: A2	

OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER OBC, DIV. 6 - TABLE 6.2.3.12.
• KITCHEN EXHAUST: 3.0m
• DRIVEWAY, PARKING SPACE, ROAD: 1.5m
• SOLID FUEL APPLIANCE EXHAUST: 3.0m
621-63-4621/1-2532



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JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
NO ARCHITECT
DATE: AUG 22, 2021
Resubmits submitted in compliance with the applicable Design Guidelines and that plans for construction are complete (no amendments).



STRUDET INC.
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Rev.	Description	Date	By
1	ISSUED FOR PERMIT	MAY 21/21	CW
2	REV. PER CLIENT/PROF./FL/ENG. COMMENTS	APR 27/21	CW
3	PRELIMINARY: ISSUED FOR CLIENT REVIEW	FEB 19/21	CW



Greenpark. **SPRINGFIELD 3**
14.30m

project name: RUSSELL GARDENS PH.4
location: HAMILTON, ON
drawing no: 20027

date: JANUARY, 2021
drawn by: CL
checked by: 3/16" = 1'-0"

255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
T 416.630.2255 F 416.630.4782
va3design.com

GROUND FLOOR PLAN - ELEV. 2
20027-SPRINGFIELD-3
A2a

CITY OF HAMILTON
Building Division
Permit No. 21-150623
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings meet specifications have been reviewed by
OCT 04, 2021
FOR GROUP BUILDING PERMIT

FAMILY ROOM

- DIRECT VENT GAS FIREPLACE 18'-0"
- OFFERED CEILING
- 11 7/8" ENG. JOIST PER JOIST MANUFACTURER
- STEPS AS GRADE REQ'D.

BREAKFAST

- 6'0" SLIDING DOOR
- 11 7/8" ENG. JOIST PER JOIST MANUFACTURER

KITCHEN

- FL. BREAKFAST BAR 5'0"x7'0" ISLAND
- BAR SINK
- PANTRY
- STOVE HOOD TO VENT TO EXTERIOR

LIVING/DINING ROOM

- SUNKEN MUD RM.
- UP 16R
- DN 12R
- 1" CONC. LEDGE
- SA. AREA UNDER STAIRS SHALL BE FINISHED WITH 1/2" PL.

GARAGE

- INSULATED DROPPED CEILING
- 8'0"x7'0" O/H GARAGE DOOR
- 11 7/8" ENG. JOIST PER JOIST MANUFACTURER
- WALLS CONT'L.
- SPRAY FOAM INSULATED
- LINE OF FLOOR ABOVE LVG

PORCH

- SEE DETAIL PACKAGE
- EXTENT OF CANOPY

LIBRARY/HOME OFFICE

- SUNKEN FOYER
- FRENCH DOORS
- MIRROR 5'-4"
- P.W.D.

STRUCTURAL DETAILS:

- WL.1, WL.2, WL.3, WL.4, WL.5, WL.6, WL.7
- MB.1, MB.2, MB.3, MB.4
- C-2
- NOTE 1: PROVIDE SIMPSON STRONG-TIE CONNECTOR FOR POST-BEAM CONNECTION (TYP.) RAILING AS GRADE REQ'D. (3) BELOW SILL

GROUND FLOOR PLAN ELEV. '3'

NOTES:

- FLAT ROOF FROM 2"x8" @ 12" O.C. w/ 2"x4" @ 12" DIAGONALLY CUT w/ 3/8" EXTERIOR SHEATHING + SS MEMBRANE (SLD)

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JST.
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINS
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTS, ENGINEERS, INTERIORS
AND APPROVAL

DATE: AUG 27, 2015

By [Signature]
[Name]
[Title]

16		-	9			The undersigned has assumed full direct responsibility for this project and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17		-	8			certification information:	
18		-	7			Richard Vink	20
19		-	6			signature	
20		-	5			registration information	
21		-	4			VAS Design Inc.	42
22		-	3		MAY 21/21	CW	
23		-	2		REV. PER CLIENT/PROF./FLA/ENG COMMENTS	APR 27/21	CW
24		-	1		PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21	CW
no.	description	date	by	description	date	by	



VA2
DESIGN

255 Consumers Rd. Suite 101
Toronto, ON M2J 1P9
t 416.630.2255 f 416.630.2256
va3design.com

lated documents and design are the



Greenpark.

SPRINGFIELD 3
14.30m

project no.
20027

AN - ELEV. 3	drawing no. 101
--------------	--------------------

0027-SPRINGFIELD-3 A2b

DESIGN's written permission.

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[illegible]

CITY OF HAMILTON
Building Division
Permit No. **21-150623**
THESE STAMPED DRAWINGS SHALL BE APPROVED BY THE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and/or specifications to be have submitted by

DATE **OCT 04 2021**

18		9	The undersigned has assumed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17		8	signature information
16		7	Richard Vink signature 2448
15		6	name registration information 20
14		5	VAS Design Inc. 4265
13		4	
12		3	ISSUED FOR PERMIT MAY 21/21 ON
11		2	REV. PER CLIENT/ROOF/F/L/ENG. COMMENTS APR. 27/21 ON
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW FEB 19/21 ON
9	no. description date by no. description date by		

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.830.2255 f 416.830.47
va3design.com

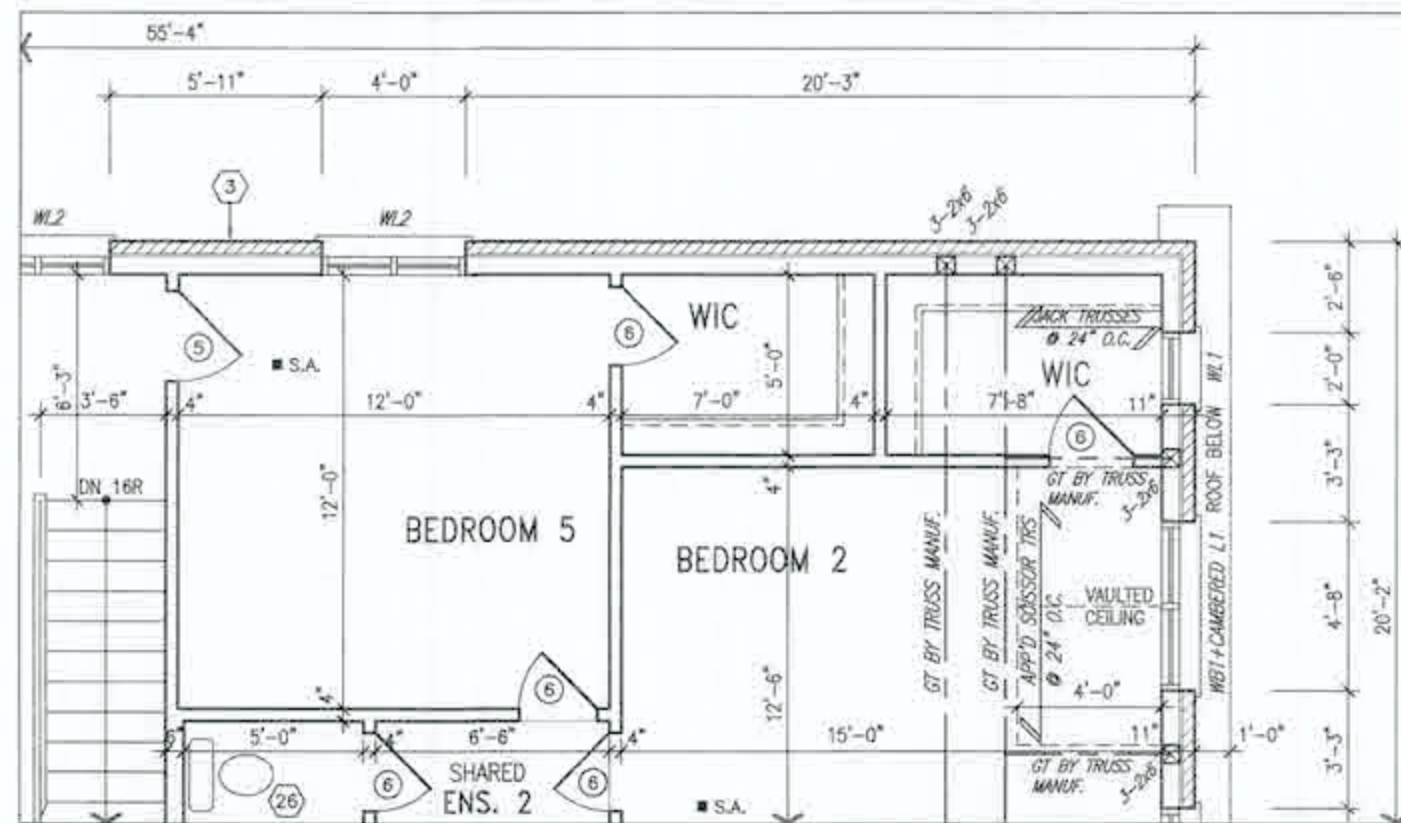
		SPRINGFIELD 3 14.30m	
project name RUSSELL GARDENS PH.4		municipality HAMILTON, ON	
drawing no. 20027		drawing no. A4	
date JANUARY, 2021		PART. PLANS – ELEV. 1	
drawn by CL		file name 20027-SPRINGFIELD-3	
checked by CL		scale 3/16" = 1'-0"	
date 1/14/2021		date 1/14/2021	

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving the (owner's) plans or working drawings with respect to any zoning or building code or permit matter and that any house can be properly built or located on its lot.

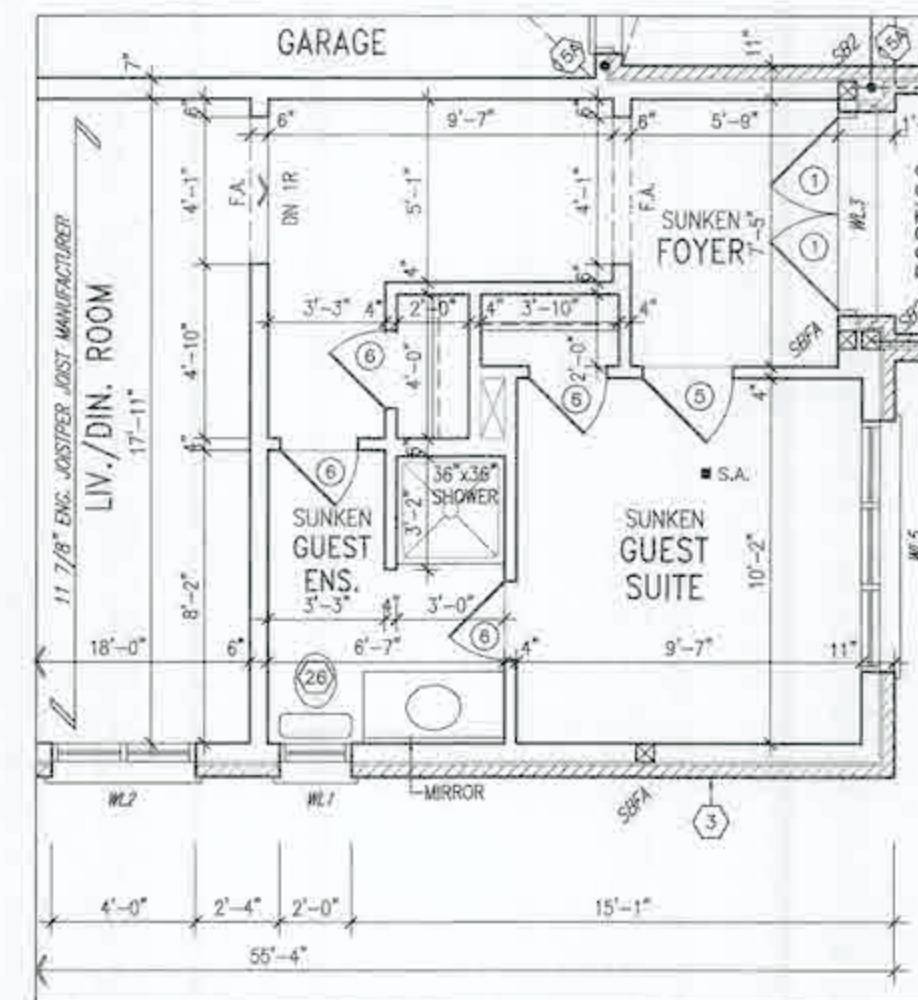
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMMILTON

ROFFA G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL OFFICE
440-442
COMMUNITY DEV.
CITY OF HAMMILTON
DATE: AUG 27, 2017

It is hereby acknowledged that the applicant has been advised of the provisions of the applicable zoning and building codes and that any house can be properly built or located on its lot.



PART. SECOND FLOOR PLAN- ELEV. 2
W/ OPT. BEDROOM 5



PART. GROUND FLOOR PLAN -ELEV. 2
W/ OPT. GUEST SUITE

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN J. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, SUITE 202
4100
MAY 21, 2021



STRUDET INC.
FOR STRUCTURE ONLY

10	description	date	by	11	description	date	by
12	1. PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21	GW	13	2. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW
14	3. ISSUED FOR PERMIT	MAY 21/21	GW	15	4. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW
16	5. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW	17	6. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW
18	7. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW	19	8. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW
20	9. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW	21	10. REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW



PROJECT NAME	RUSSELL GARDENS PH.4	CITY	HAMILTON, ON	PROJECT NO.	20027
DATE	JANUARY, 2021	SCALE	PART. PLANS - ELEV. 2	DRAWING NO.	A4a
DRAWN BY	CL	CHECKED BY	3/16" = 1'-0"	DATE	20027-SPRINGFIELD-3

CITY OF HAMILTON
Building Division

21-150623

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.

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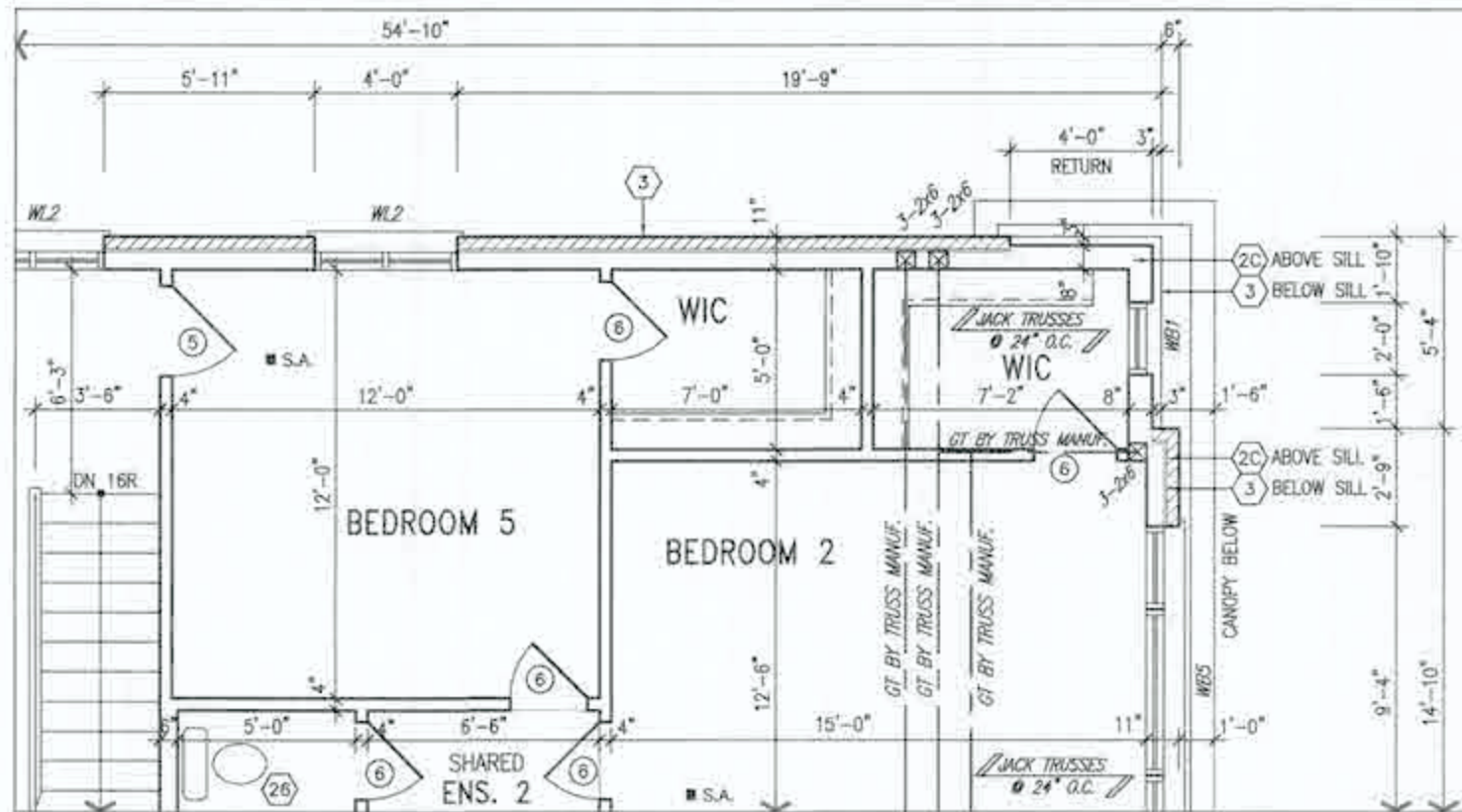
THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.

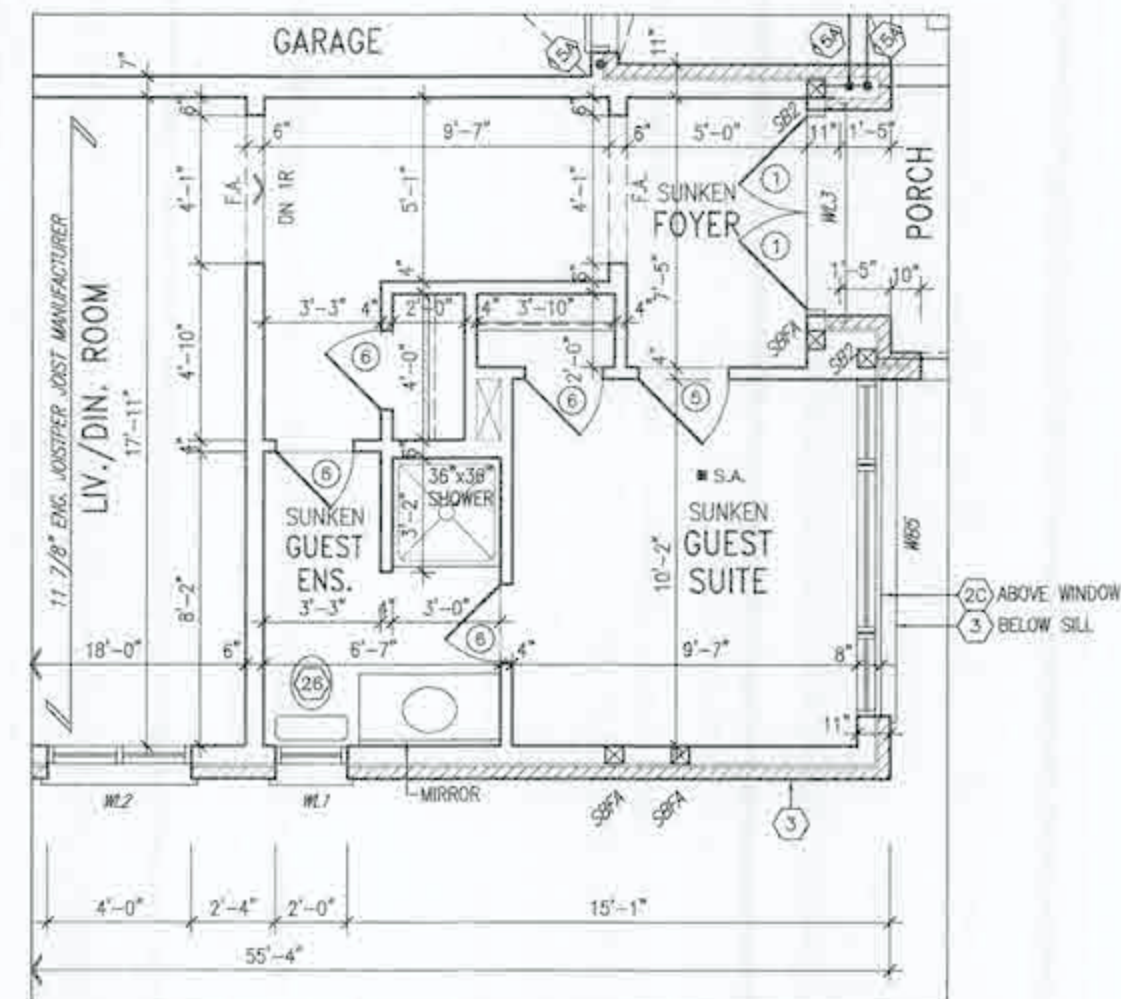
THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.

THESE PLANS ARE NOT TO BE USED FOR CONSTRUCTION UNLESS THEY ARE APPROVED BY THE CITY OF HAMILTON.



PART. SECOND FLOOR PLAN- ELEV. 3
W/ OPT. BEDROOM 5



PART. GROUND FLOOR PLAN -ELEV. 3
W/ OPT. GUEST SUITE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURE, INTERIOR DESIGN
340 EPPINGHAM
10000 160th St.
DATE: AUG 22 2001

This is a contract for a specific project and is not to be used for any other purpose.
Design is the property of J.C. Williams Ltd. and is not to be reproduced without written permission.

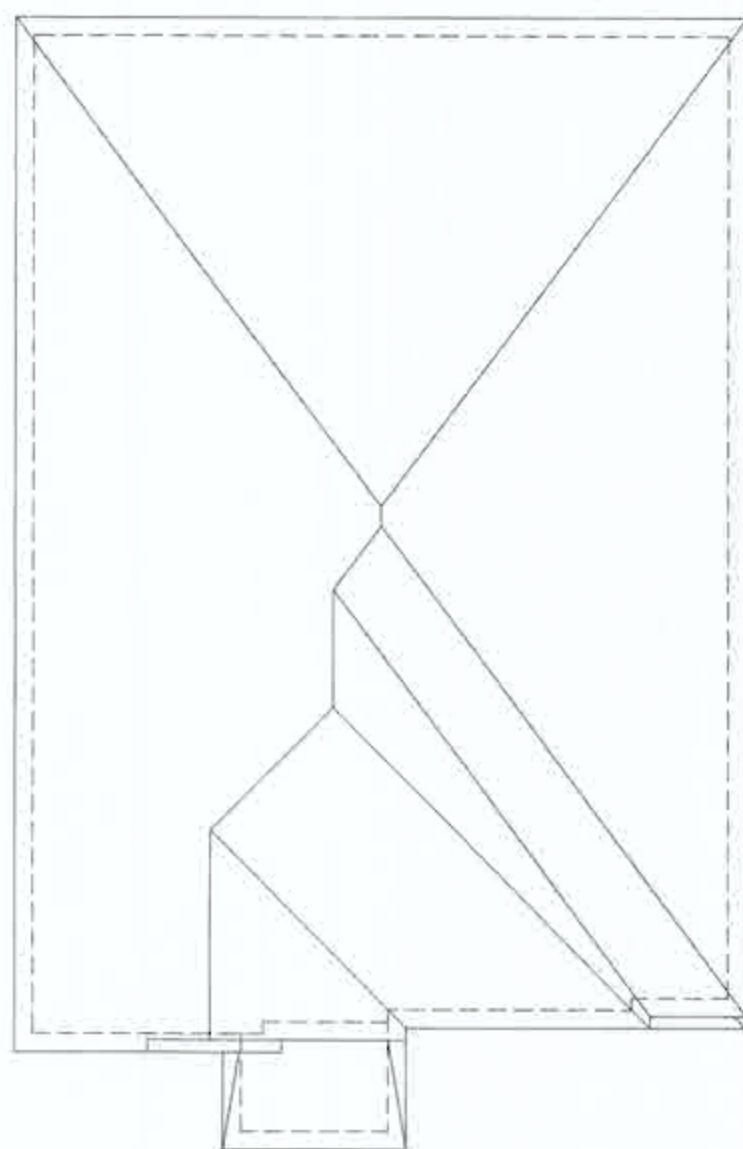


STRUDET INC.
FOR STRUCTURE ONLY

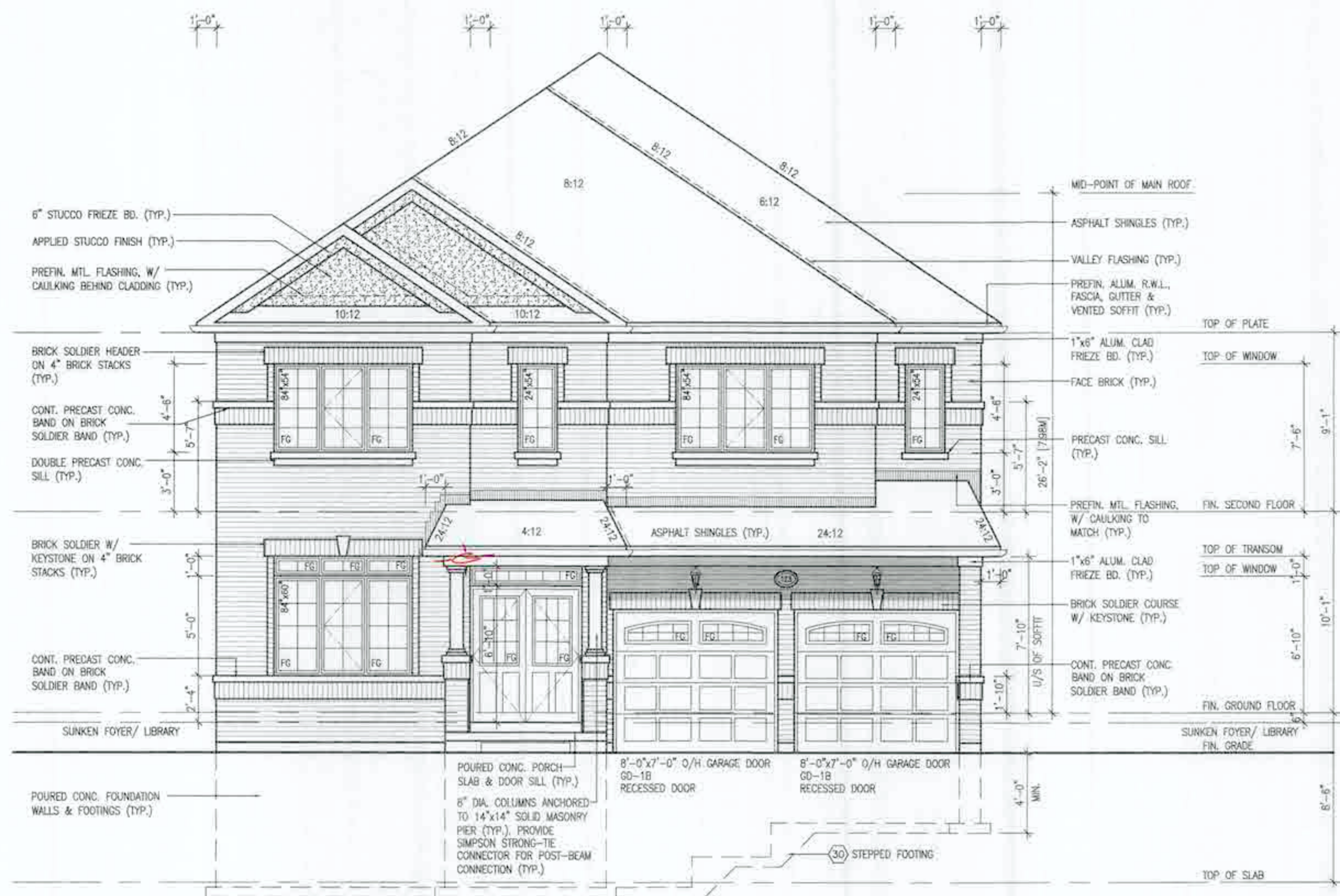
[illegible]

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3705 SF.



ROOF PLAN - ELEV. '1'



FRONT ELEVATION — ELEV. '1'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
W/ MASONRY INSERTS WHERE
GRADE REQUIRES.

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THESE STAMPS ARE AVAILABLE ON SITE

THE ASSHUR AND SONS SYSTEMS, INC. COMPLY WITH
THE ONTARIO CHILD CARE ACT AND ALL OTHER APPLICABLE LAW

Types drawings and/or illustrations must be provided by

FOR CHIEF BUILDING OFFICER DATE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

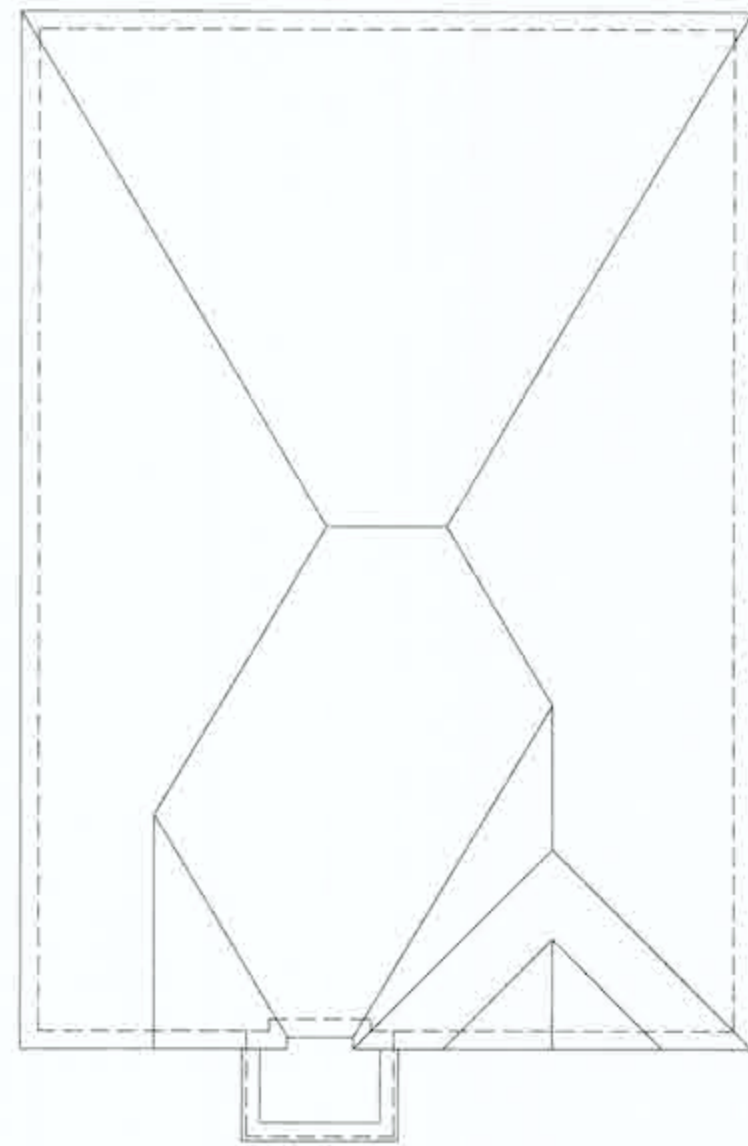
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

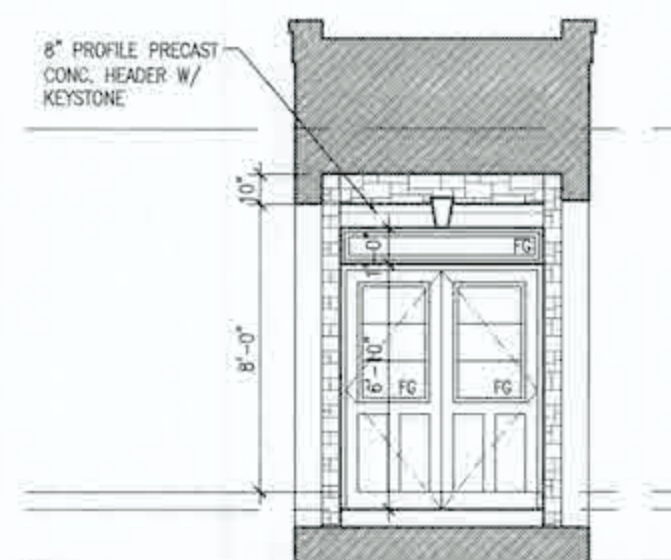
JEROM C. WILLIAMS LTD., ARCHITECTS
 ARCHITECTURAL, CONCRETE, RESIN
 AND STONEWORK
 Architects of
 (Date) April 25, 1973
 The plans, drawings, documents and the approvals
 shown hereon are hereby submitted
 professional seal and stamp

18			19	The undersigned has reviewed and takes responsibility for this design and has taken the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.		The undersigned has reviewed and takes responsibility for this design and has taken the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.						SPRINGFIELD 3 14.30m	
17			18	 Richard Yink name registration information VAS Design Inc. 24485 42655		project name RUSSELL GARDENS PH.4 Russell Gardens location HAMILTON, ON		project no. 2002		sheet no. 1		drawing no. A5	
16			17	MAY 21/21 ON APR 27/21 ON FEB 19/21 ON		255 Consumers Rd Suite 120 Toronto ON M2N 1A4 (416) 633-2255 / (416) 633-4782 vasdesign.com		date JANUARY, 2021		sheet no. 1		drawing no. A5	
15			16	3 ISSUED FOR PERMIT. 2 REV. FOR CLIENT/BOO/F/L/ENG. COMMENTS 1 PRELIMINARY. ISSUED FOR CLIENT REVIEW.		Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. Drawings and specifications are instruments of service and the properly of the Designer which will be returned at the completion of the work. Drawings not to be scaled.		checked by CL		scale 3/16" = 1'-0"		20027-SPRINGFIELD-3	
14			15	date by description by				date by description by		date by description by		date by description by	

All drawings, specifications, related documents and design are the copyright property of V&J DESIGN. Reproduction of this property in whole or in part is strictly prohibited without V&J DESIGN's written permission.



ROOF PLAN - ELEV. '2'



INTERIOR PORTICO



FRONT ELEVATION - ELEV. '2'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD. ARCHITECT
 1000 UNIVERSITY AVENUE, SUITE 100
 VANCOUVER, BC V6T 1A1
 TEL: 604-681-1111
 FAX: 604-681-1112
 E-MAIL: JCW@JCW.LTD
 WWW: JCW.LTD
 DATE: AUG 27, 2004
 THE COMPANY REPRESENTS THE ARCHITECT'S AGREEMENT
 TO THE COMPANY'S POLICY AND TERMS OF SERVICE
 AND TO THE COMPANY'S POLICY AND TERMS OF SERVICE

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THE OWNER, MINERAL CONFRACTION SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

Time recording and/or specific stops have been reviewed by
 OCT 04 2021
 SUPERVISOR'S SIGNATURE DATE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

SPRINGFIELD 3
14.30m

project no.	20027
drawing no.	

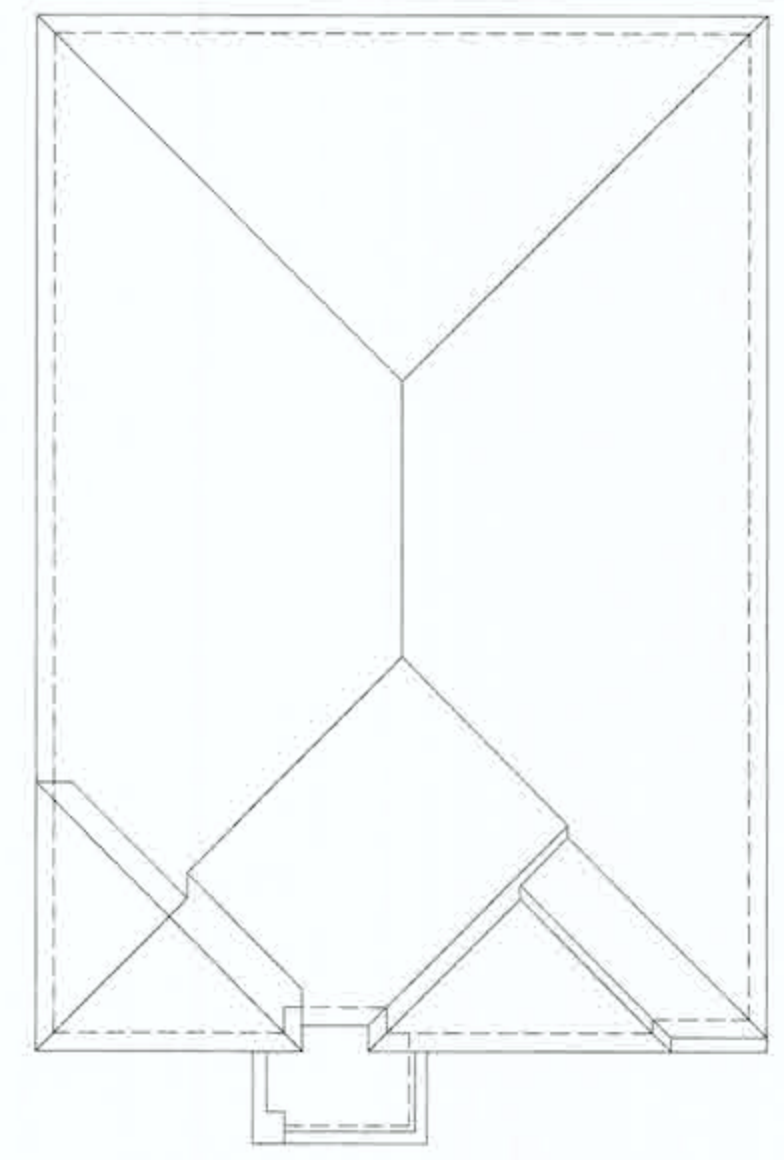
A5a

18		9	The undersigned has reviewed and assumes responsibility for this design and has the modifications and meets the requirements set forth in the Ontario Building Code to be a Designer.	
17		8		
16		7	qualification information:	
15		6	Richard Viik	24
14		5	name	
13		4	signature	
12		3	VAS Design Inc.	43
11		2	MAY 21/21 ON	
10		1	APR 22/21 ON	
9		0	FEB 19/21 ON	
8	Association:	date:	description:	by:
7			ISSUED FOR PERMIT	
6			REV. PER CLIENT/PROF./TEL/ENG. COMMENTS	
5			PRELIMINARY ISSUED FOR CLIENT REVIEW	

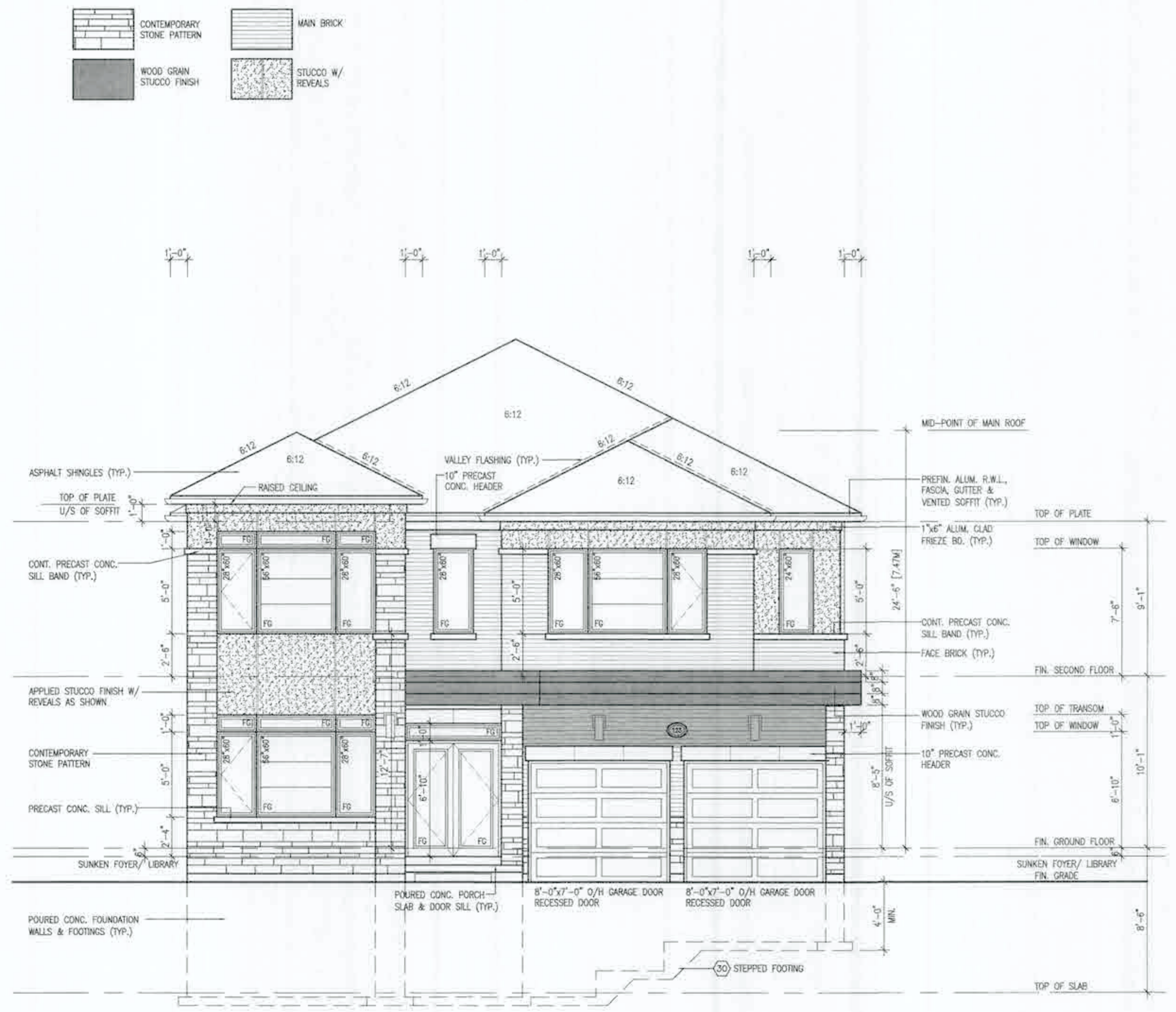
VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
(416) 630-2255 / (416) 630-
va3design.com

 Greenpark.		SPRINGFIELD 3 14.30m	
project name	RUSSELL GARDENS PH.4	municipality	HAMILTON, ON
date	JANUARY, 2021	project no.	200277
title FRONT ELEVATION - ELEV. 2		sheeting no. A5a	
scale	1"=1'-0"	date	20027-SPRINGFIELD-3
drawn by	3/16/2021	checked by	3/16/2021

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ROOF PLAN - ELEV. '3'



FRONT ELEVATION - ELEV. '3'

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

CITY OF HAMILTON
Building Division
Permit No. **21-150623**
THREE (3) WORKING DAYS SHALL BE MAINTAINED ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON'S ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS
These drawings and specifications have been reviewed by
OCT 04 2021
DATE

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS VTEL ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: **AUG 17 2021**
THIS CERTIFICATE CONFORMS WITH THE REQUIREMENTS OF THE CITY OF HAMILTON ZONING BY-LAW AND ALL OTHER APPLICABLE LAWS.

VA3 DESIGN 256 Concession Rd. Suite 120 Toronto, ON M2J 1R4 1-416-530-2255 / 416-530-4782 va3design.com		Greenpark. SPRINGFIELD 3 14,30m ²	
Project Name: RUSSELL GARDENS PH.4 City: HAMILTON, ON Date: JANUARY, 2021 Drawn by: VA3 Scale: 3/16" = 1'-0"		Project No: 20027 Drawing No: A5b Front Elevation - ELEV. 3 2022-SPRINGFIELD-3	
1. PRELIMINARY ISSUED FOR CLIENT REVIEW 2. REV. PER CLIENT/ROOF/FL/ENG. COMMENTS 3. ISSUED FOR PERMIT		MAY 21/21 APR 27/21 MAY 21/21	

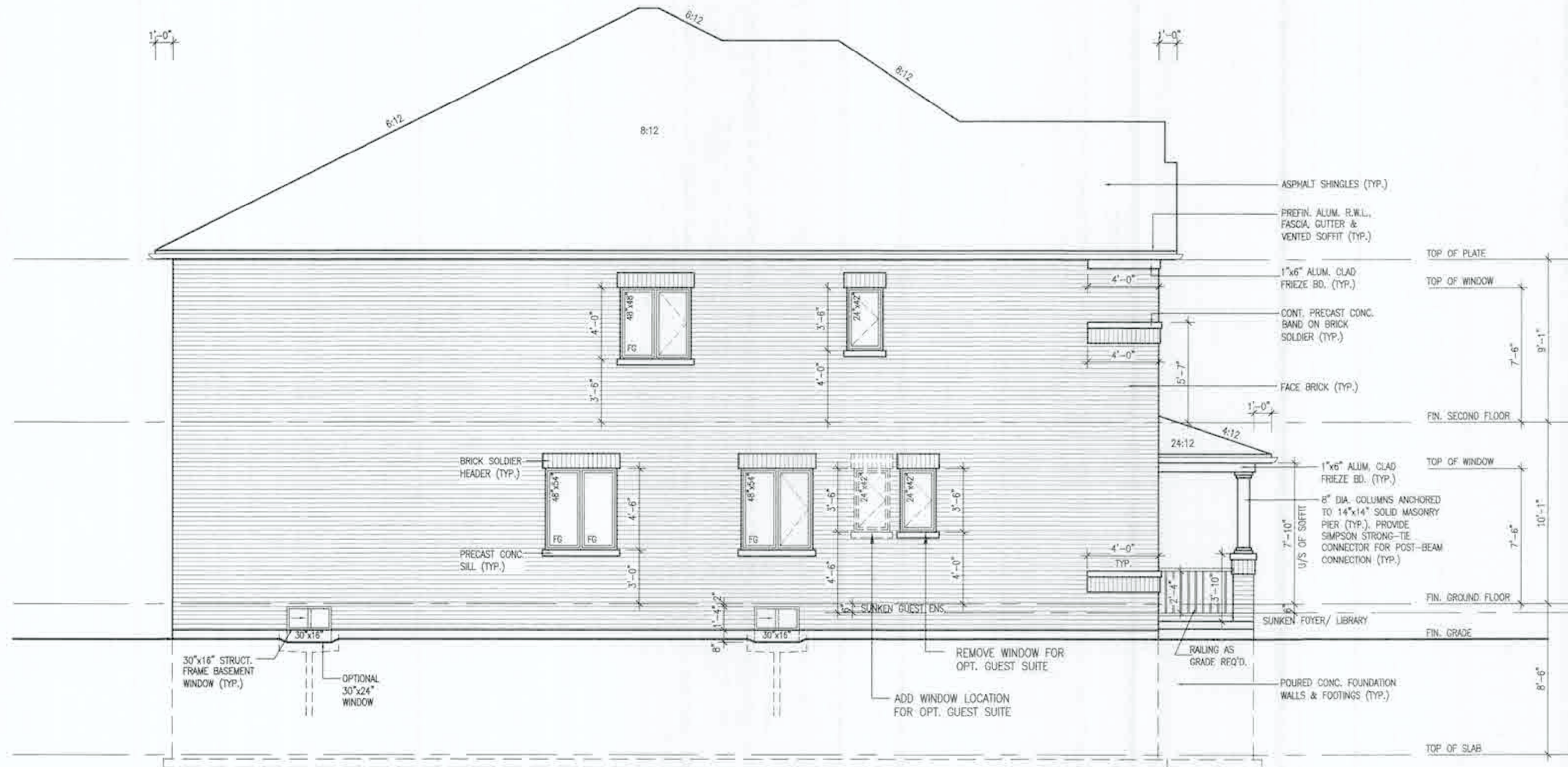
18 description date by no. description date by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

Qualification Information:
Richard Vink 24488
Name: registration number: 24488
VA3 Design Inc. 42655

Contractor must verify all dimensions on the job and report any differences to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be scaled.

All drawings, specifications, related documents and design are the copyright property of VA3 DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VA3 DESIGN's written permission.



LEFT SIDE ELEVATION - ELEV. '1'

ALLOWABLE GLAZED OPENINGS
 WALL AREA =1171.22 SQ. FT.
 LIMITING DISTANCE 1.2 M (7X)
 GLAZING ALLOWED =81.99 SQ. FT.
 GLAZING PROVIDED =62.20 SQ. FT.
 WITH OPTIONAL 30"x24" BASEMENT WINDOWS
 GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS =65.20 SQ. FT.

OK

CITY OF HAMILTON
 Building Division

Permit No. 21-150623

THESE SHAMPOON DRAWINGS SHALL BE AVAILABLE ON SITE
 THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE INTERNATIONAL CODE BOOK ALL OTHER APPLICABLE LAW

THIS DRAWING AND ANY MODIFICATIONS HAVE BEEN REVIEWED BY
 OCT 04 2021
 FOR CHIEF ENGINEER OFFICIAL

SPRINGFIELD 3
 COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving the (noting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN J. WILLIAMS LTD., ARCHITECT
 1400 DUNDAS ST. W. SUITE 200
 MISSISSAUGA, ONTARIO L4V 1L3
 (905) 276-1111
 Date: 2021-08-27

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT	MAY 21/21	GW
11		2	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 27/21	GW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					
no. description	date	by	no. description	date	by

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
 verification information
 Richard Vink 24480
 name
 registration information
 VAS Design Inc. 42656

255 Consumers Rd. Suite 120
 Toronto ON M2H 1R4
 (416) 630-2255 / (416) 630-4782
 vasdesign.com

Greenpark. Project name RUSSELL GARDENS PH.4 Date JANUARY, 2021 Drawn by Checked by 5/16" = 1'-0" Scale 20027-SPRINGFIELD-3 Drawing No. A6	Municipality HAMILTON, ON Project No. 20027	Springfield 3 14.30m LEFT SIDE ELEVATION - ELEV. 1
		Drawing No. A6

Architectural elevation drawing of the exterior of a building. The drawing includes the following details:

- Roof:** Asphalt shingles (TYP.), 6:12 pitch, 14'-10" width.
- Walls:** Face brick (TYP.), Contemporary stone pattern.
- Windows:**
 - 48"x48" FG (Front Glass) windows.
 - 48"x48" FG windows.
 - 24"x42" FG windows.
 - 30"x16" Struct. Frame Basement Window (TYP.).
 - Optional 30"x24" window.
- Doors:** 8'-2" door, 4" precast cap w/ drip edge.
- Other Features:**
 - 1"x6" Alum. clad Frieze Bd. (TYP.).
 - Top of Plate U/S of Soffit.
 - Applied Stucco Finish w/ Reveals as Shown.
 - Cont. Precast Conc. Sill Band (TYP.).
 - Brick Soldier Header (TYP.).
 - Precast Conc. Sill (TYP.).
 - Sunken Guest Ens.
 - Remove window for Opt. Guest Suite.
 - Add window location for Opt. Guest Suite.
 - Railing as grade req'd.
 - Poured Conc. Foundation Walls & Footings (TYP.).
- Dimensions:**
 - Overall width: 14'-10".
 - Overall height: 9'-1" (from Top of Plate to Top of Window).
 - Overall height: 10'-1" (from Top of Window to Top of Slab).
 - Overall height: 8'-6" (from Top of Slab to Top of Plate).

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1171.22 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=81.99 SQ. FT.
GLAZING PROVIDED	=62.20 SQ. FT.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=65.20 SQ. FT.

21-150623

Form No: 21-130820

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE CONTAINED REGULATIONS AND ALL OTHER APPLICABLE



1000

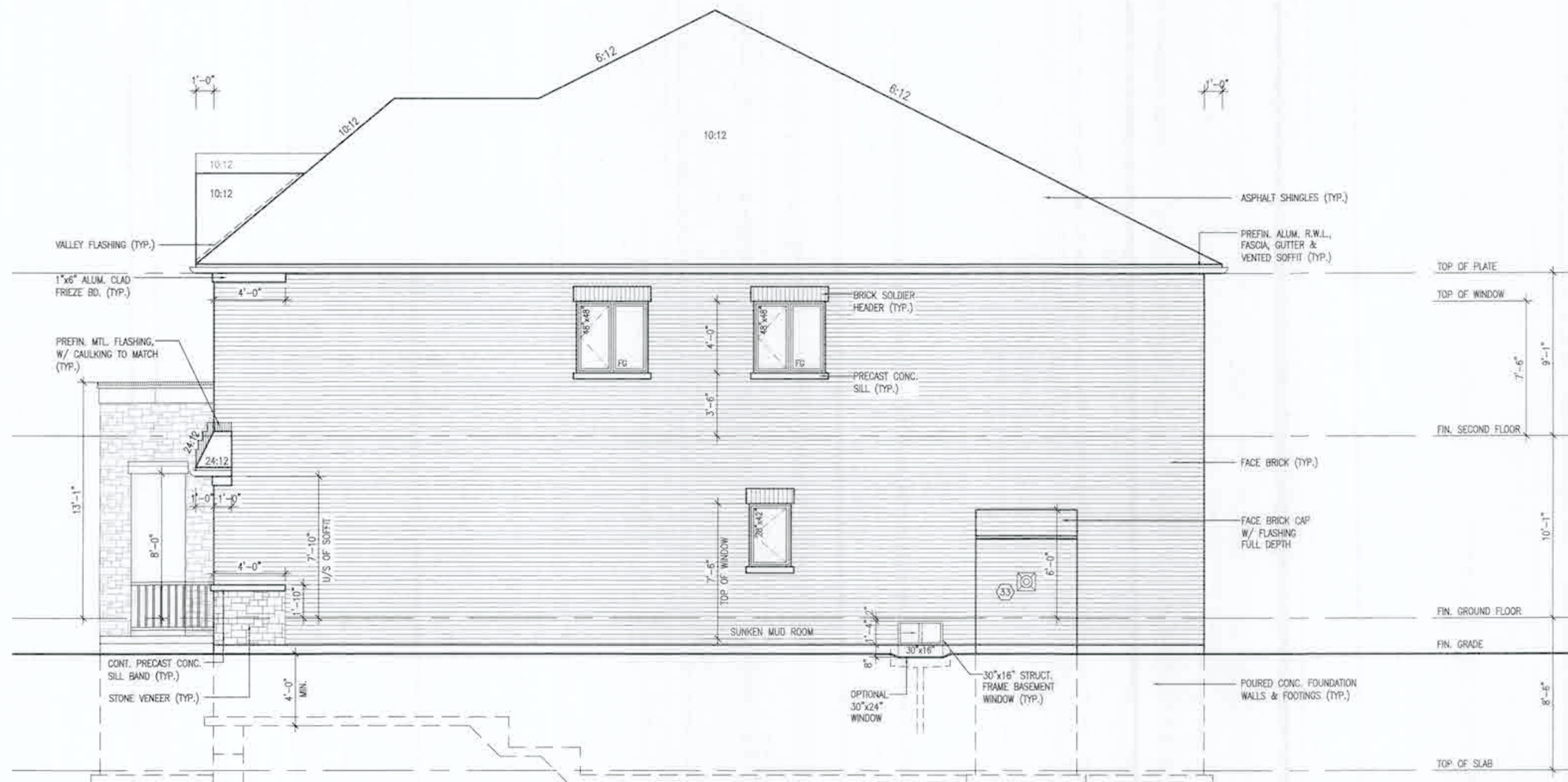
[illegible]

JOHN F. WILLIAMS LTD., ARCHITECT
INTERNATIONAL CONTROL BUILDING
ARCHITECTS INC.

AUGUST 12, 1973
P/O JOHN WILLIAMS LTD., ARCHITECT
SUITE 1000, 1000 BAYVIEW AVE., SUITE 1000
SCARBOROUGH, ONTARIO M1B 3K1

[illegible]

ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE



RIGHT SIDE ELEVATION - ELEV. '2'

ALLOWABLE GLAZED OPENINGS
 WALL AREA = 1079.78 SQ. FT.
 LIMITING DISTANCE 1.2 M (7'6")
 GLAZING ALLOWED = 75.58 SQ. FT.
 GLAZING PROVIDED = 37.33 SQ. FT.
 WITH OPTIONAL 30"x24" BASEMENT WINDOWS
 GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 38.83 SQ. FT.

CITY OF HAMILTON
 Building Division

Permit No. 21-150623

THESE SYMBOLS/PROVISIONS SHALL BE AVAILABLE ON SITE

THE OWNER AGREES TO HAVE THEIR BUILDING COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Three (3) copies of these specifications shall be provided to the City of Hamilton

DATE OCT 6, 2021

SPRINGFIELD 3
 COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	9 8 7 6 5 4 3 2 1 no. description	10 9 8 7 6 5 4 3 2 1 no. description	11 10 9 8 7 6 5 4 3 2 1 no. description	12 11 10 9 8 7 6 5 4 3 2 1 no. description	13 12 11 10 9 8 7 6 5 4 3 2 1 no. description
---	---	---	---	---	---

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site layout plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton

JOHN C. WILLIAMS LTD., ARCHITECT
 1000 SHEPPARD AVE. E. SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T5
 TEL: (416) 291-1111
 FAX: (416) 291-1112
 www.jcwlliams.com

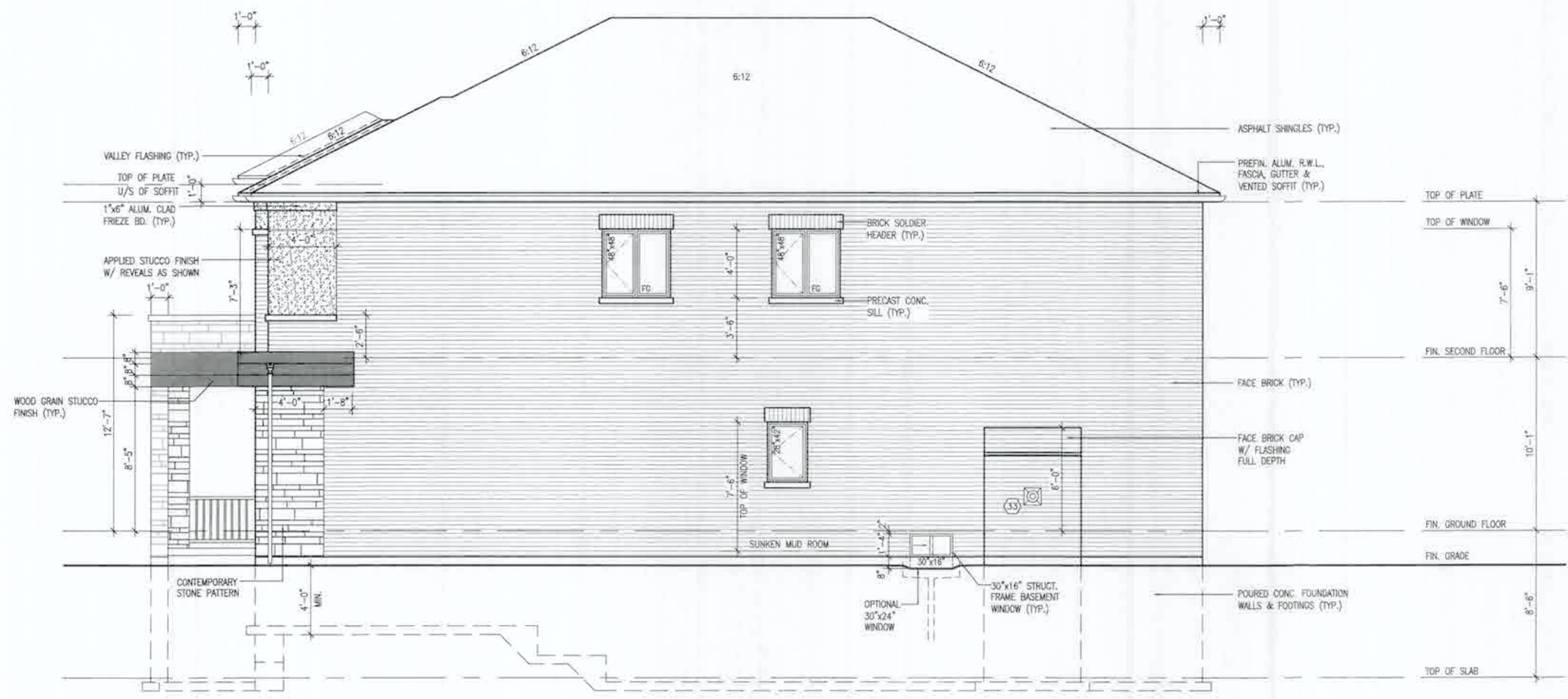
VA3
 DESIGN

Greenpark.

SPRINGFIELD 3
 14.30m

Project Name: RUSSELL GARDENS PH.4
 Location: HAMILTON, ON
 Date: JANUARY, 2021
 Drawn by: CL
 Checked by: 3/16" = 1'-0"
 Scale: 3/16" = 1'-0"
 Drawing No: 20027-SPRINGFIELD-3
 Drawing Title: RIGHT SIDE ELEVATION - ELEV. 2
 Drawing Scale: 3/16" = 1'-0"

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RIGHT SIDE ELEVATION - ELEV. '3'

ALLOWABLE GLAZED OPENINGS
WALL AREA = 1074.74 SQ. FT.
LIMITING DISTANCE 1.2 M (7%)
GLAZING ALLOWED = 75.23 SQ. FT.
GLAZING PROVIDED = 37.33 SQ. FT.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS
GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS = 38.83 SQ. FT.

CITY OF HAMILTON
Building Division
21-150623
Permit No.
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER/OWNER'S CONTRACTOR SHALL COMPLY WITH
THE CITY OF HAMILTON BUILDING CODE AND ALL OTHER APPLICABLE LAWS
OCT 16 2021
DATE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (offering) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ERIN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: AUG 11, 2021
This stamp is to be used in conjunction with the 2021 Building Code and all other applicable laws.

101		9		The undersigned has reviewed and taken responsibility for this design and has the qualifications and assets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2N 1R4 (416) 630-2255 (416) 630-4782 va3design.com	Greenpark project name RUSSELL GARDENS PH.4 municipality HAMILTON, ON	SPRINGFIELD 3 14.30m project no. 20027
102		8		qualification information Richard Vink signature VA3 Design Inc. 42658				
103		7		3 ISSUED FOR PERMIT MAY 21/21 GW		Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be used.	DATE JANUARY, 2021 checked by 3/16" = 1'-0"	RIGHT SIDE ELEVATION - ELEV. 3 20027-SPRINGFIELD-3 drawing no. A7b
104		6		2 REV. PER CLIENT/ROOF/FL/ENG. COMMENTS APR 27/21 GW				
105		5		1 PRELIMINARY ISSUED FOR CLIENT REVIEW FEB 19/21 GW				
106		4						
107		3						
108		2						
109		1						
110		0						
111		0						
112		0						
113		0						
114		0						
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129		0						
130		0						



REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and ordinances, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any project can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECTS
STRUCTURAL, CIVIL, MECHANICAL
AND ELECTRICAL

DATE: AUG 17 2011

This is to certify that the above named person
has been employed by the firm for the period
indicated on the certificate.

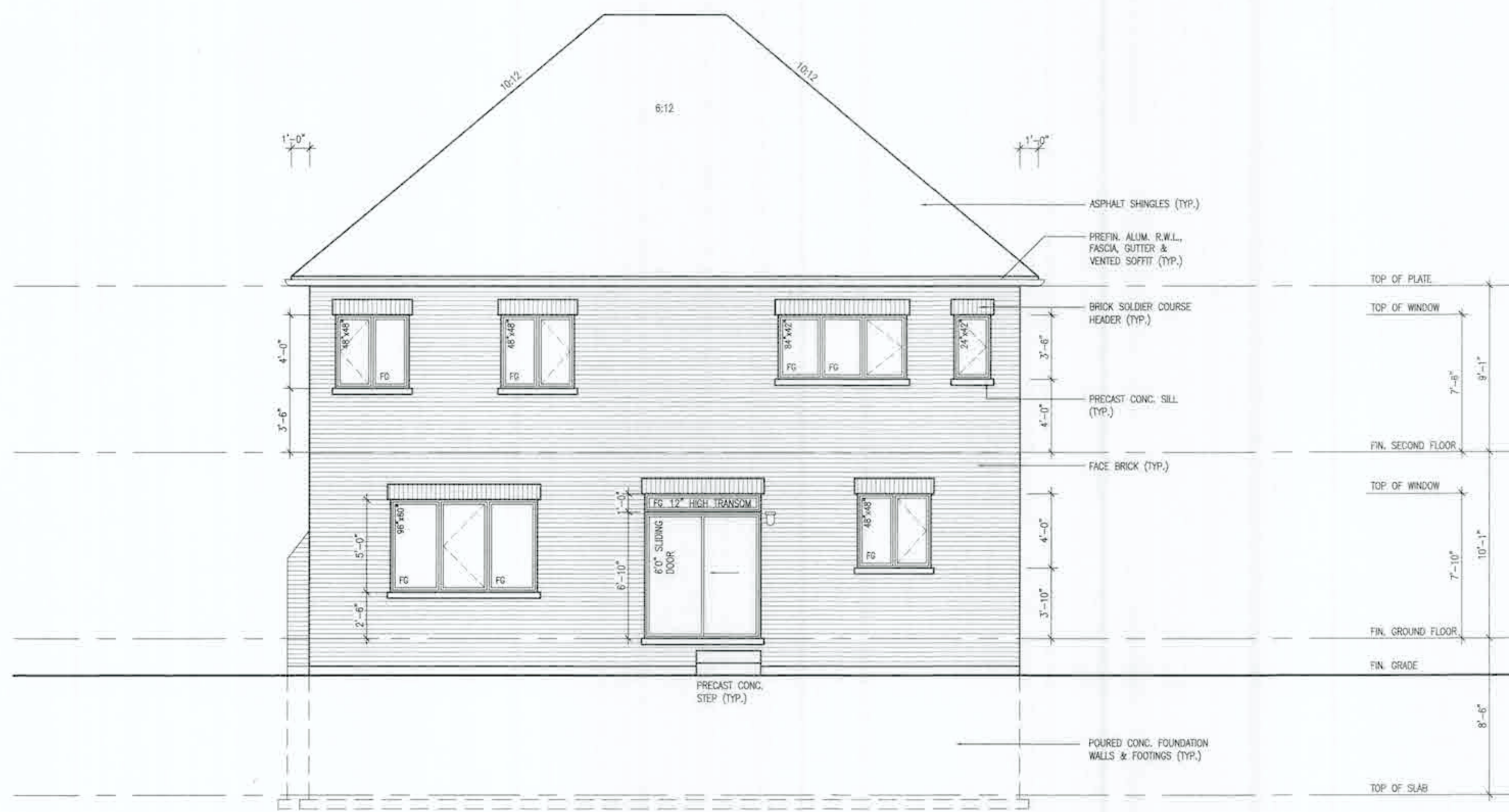
CITY OF HAMILTON
Building Division
22-150623
Permit No.
THESE CHANGES TO THE PERMIT SHALL BE AVAILABLE ON SITE
THE OWNER APPROVES THIS WORK SHALL BE AVAILABLE TO THE
THE CHANGES TO THE PERMIT SHALL BE AVAILABLE TO THE
Name of permit holder (print name) _____
DATE OCT 4 2021
Signature of official _____
DATE _____

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

[illegible]

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3705 SF.



REAR ELEVATION - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL SYSTEM
AND ESTIMATING
DATE: 10/27/2023
The quality of the work is the responsibility of the architect.
Detailed calculations and design of the structure
are the responsibility of the engineer.

CITY OF HAMILTON
Building Division

Σ 1 = 150623

...AVAILABLE ON SITE

THE OWNER AND THE LESSEE SHALL COMPLY WITH THE APPLICABLE BUILDING CODE AND ALL OTHER APPLICABLE LAW.

COPIES OF THIS DOCUMENT ARE AVAILABLE FROM THE NATIONAL ARCHIVES AT COLLEGE PARK, MARYLAND

1000

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'



Greenpark

SPRINGFIELD 3
14.30m



project name	municipality	project
RUSSELL GARDENS PH.4	HAMILTON, ON	2002
date	DEVELOPMENTAL PLAN	drawn by

drawn by _____ checked by _____ scale _____ by name _____
 20027 - CSD/CE/ED - 3

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Architectural elevation drawing of a building facade. The drawing includes the following elements and callouts:

- Roof:** Gabled roof with a pitch of 6:12. Callouts include "ASPHALT SHINGLES (TYP.)", "VALLEY FLASHING (TYP.)", and "PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)".
- Windows:**
 - Top row: Four windows. From left to right: two 48"x48" FG windows, a 84"x42" FG window, and a 24"x42" FG window.
 - Bottom row: A 96"x60" FG window on the left, a 60" SLIDING DOOR with a 12" HIGH TRANSOM in the center, and a 48"x48" FG window on the right.
- Materials and Finishes:**
 - "BRICK SOLDIER COURSE HEADER (TYP.)" for the upper portion of the wall.
 - "PRECAST CONC. SILL (TYP.)" for the window and door sills.
 - "FACE BRICK (TYP.)" for the lower portion of the wall.
 - "POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)" at the base.
- Dimensions and Levels:**
 - Vertical dimensions on the left: 4'-0" (from top of plate to top of window), 3'-6" (from top of window to fin. second floor), 15'-0" (from fin. second floor to top of window), and 2'-6" (from top of window to fin. ground floor).
 - Vertical dimensions on the right: 9'-1" (from top of plate to top of window), 7'-8" (from top of window to fin. second floor), 7'-10" (from fin. second floor to top of window), and 10'-1" (from top of window to fin. ground floor).
 - Vertical dimensions on the far right: 8'-6" (from fin. ground floor to top of slab).
 - Horizontal dimensions: 1'-0" at the top corners.
 - Door dimensions: 6'-10" wide and 1'-0" high for the transom.
 - Foundation step: "PRECAST CONC. STEP (TYP.)" below the door.
 - Levels: "TOP OF PLATE", "TOP OF WINDOW", "FIN. SECOND FLOOR", "FIN. GROUND FLOOR", "FIN. GRADE", and "TOP OF SLAB".

CITY OF HAMILTON
Building Division

21-150623

100% CEMENT PORTLAND CEMENT CONCRETE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING ACT, MINIMUM (OTHER APPLICABLE LAW)

These answers are followed by the text followed by

DATE: OCT 04 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

[illegible]

16	1	9	No stamp/signature required and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		 255 Consumers Rd Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2222 / 416.630.4782 www.va3design.com	 project name: RUSSELL GARDENS PH.4 municipality: HAMILTON, ON project no.: 2002-	drawing no.: A8b
17	2	6	Greenpark Information	Richard Yink <i>R. Yink</i> 24485 Name: Signature: SCB Registration Information: VAS Design Inc. 42658			
18	3	7					
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20	5	9					
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REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

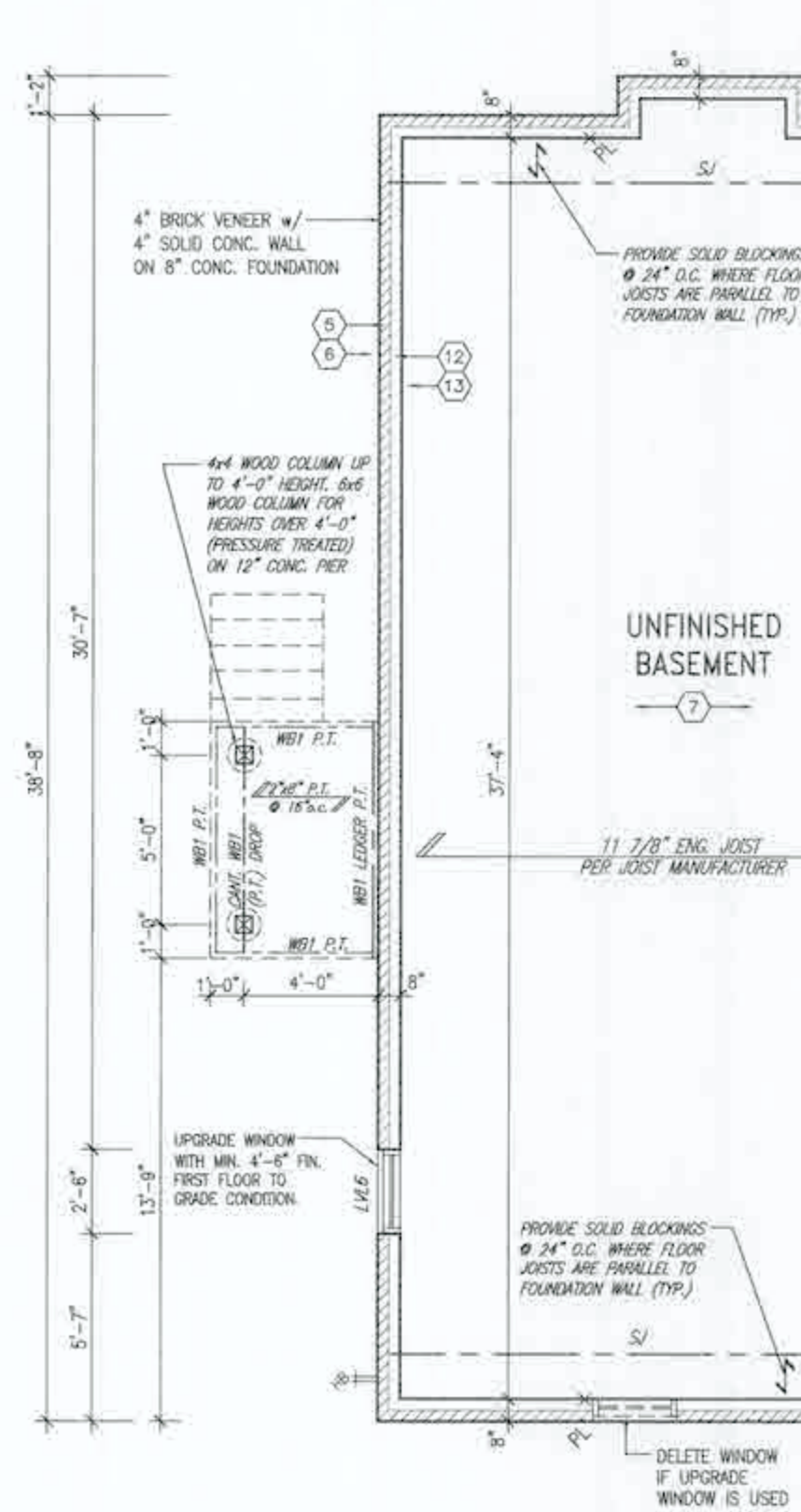
PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

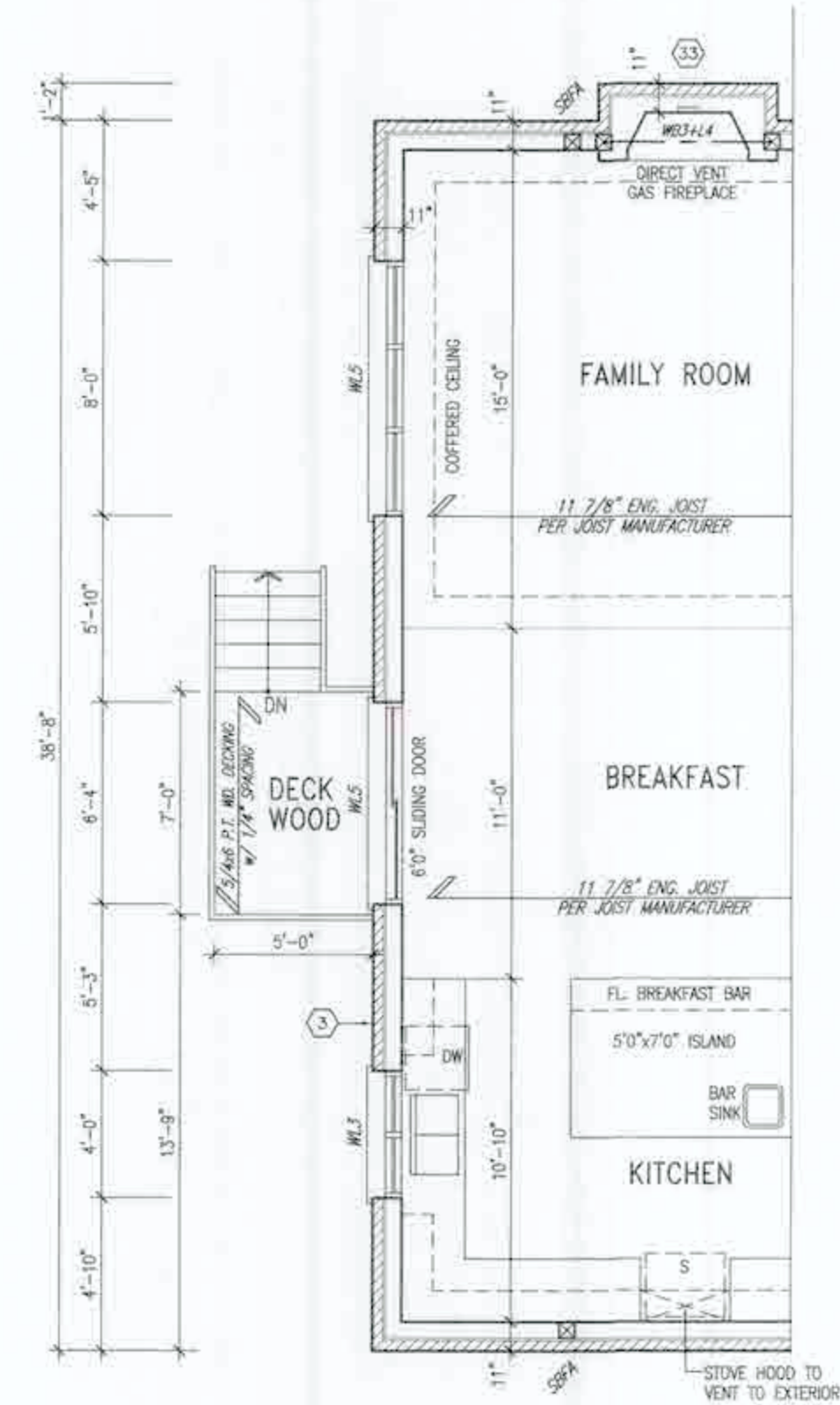
WOOD DECK DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 5) FOR ADDITIONAL WOOD DECK INFORMATION.

BASEMENT WALL INSULATION (TYP) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION, INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM)
-2"x4" @ 16" O.C. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.



PARTIAL BASEMENT PLAN
DECK CONDITION



PARTIAL GROUND FLOOR PLAN
DECK CONDITION

CITY OF HAMILTON
Building Division

Form No. 21-150623

THESE PLANS AND SPECIFICATIONS SHALL BE AVAILABLE ON SITE
THE OWNER/ARCHITECT/ENGINEER SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

THIS DRAWING AND ALL INFORMATION HEREON SHALL BE PROVIDED TO
THE CITY OF HAMILTON
DATE: OCT 04, 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1
--	--	--	--	--

It is the builder's complete responsibility to ensure that all plans, submitted for approval, fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULTING SERVICE
HAMILTON, ONTARIO

DATE: AUG 17, 2021



STRUDET INC.
FOR STRUCTURE ONLY

VAS
DESIGN

Greenpark.

SPRINGFIELD 3
14.30m

project name: RUSSELL GARDENS PH.4
location: HAMILTON, ON
date: JANUARY, 2021
drawn by: CL
checked by: 3/16" = 1'-0"

PART, PLANS W.O.D. CONDITION
20027-SPRINGFIELD-3
drawing no. A10

Architectural elevation drawing of a two-story house with a gabled roof. The drawing includes dimensions for the roof (8:12 pitch), walls, windows, and doors. Key features include a central front door with a transom, a small front window, and several windows on the second floor. Annotations specify materials like asphalt shingles, brick soldier course header, and precast concrete sills. Vertical dimensions on the right indicate levels from the top of the slab to the top of the plate, with a total height of 9'-1".

Roof: 8:12 pitch, 6:12 pitch.

Vertical dimensions (left side): 4'-0", 3'-6", 5'-10", 2'-6", 6'-10", 2'-6", 1'-2".

Vertical dimensions (right side): 3'-8", 4'-0", 4'-0", 3'-10", 4'-8" MIN. FOR WIN. UPGRADE, 8'-6".

Annotations:

- ASPHALT SHINGLES (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- BRICK SOLDIER COURSE HEADER (TYP.)
- PRECAST CONC. SILL (TYP.)
- FACE BRICK (TYP.)
- 4x4 WOOD COLUMN UP TO 4'-0" HEIGHT; 8x6 WOOD COLUMN FOR HEIGHTS OVER 4'-0" (PRESSURE TREATED) ON 12" CONC. PIER
- UPGRADE BASEMENT WINDOWS ON REAR WALL WITH MIN. 4'-6" FIN. FIRST FLOOR TO GRADE CONDITION.
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)

Window and Door Details:

- 48" x 48" FG (Front Glass) windows on second floor.
- 96" x 48" FG (Front Glass) window on first floor.
- 6'0" SLIDING DOOR with 12" HIGH TRANSOM.
- 48" x 48" FG (Front Glass) window on first floor.
- 30" x 30" window on first floor.

Levels:

- TOP OF SLAB
- FIN. GRADE
- FIN. GROUND FLOOR
- FIN. SECOND FLOOR
- TOP OF WINDOW
- TOP OF PLATE

18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1										
										The undersigned for reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer: signature information: Richard Vink <i>R. Vink</i> 34488 signature DON name registration information: VAS Design Inc. 42855		VAS DESIGN 255 Consumers Rd. Suite 120 Toronto, ON M2H 1R4 CL 1 416 630-2262 • 1 416 630-4782 vasdesign.com								Greenpark. 14.30m				SPRINGFIELD 3 14.30m			
										project name: RUSSELL GARDENS PH.4		municipality: HAMILTON, ON		project no.: 20027													
										date: JANUARY, 2021		sheet: REAR ELEVATION W.O.D. - ELEV. 1		drawing no.: A111													
										drawn by: 3/16" = 1'-0"		scale: 20027-SPRINGFIELD-3															
										notes: 1. ALL DIMENSIONS SHOWN ON THIS DRAWING SHALL BE TAKEN FROM THE FINISHED GRADE UNLESS OTHERWISE NOTED.		date: 1/27/21															
										description: ISSUED FOR PERMIT.		date: MAY 21/21															
										description: REV. PER CLIENT/PROF./L./ENG. COMMENTS.		date: APR 27/21															
										description: 1. PRELIMINARY ISSUED FOR CLIENT REVIEW.		date: FEB 23/21															

Architectural elevation drawing of a house. The drawing includes the following details:

- Roof:** Gabled roof with a 6:12 pitch. Asphalt shingles (TYP.). Prefin. alum. r.will., fascia, gutter & vented soffit (TYP.).
- Exterior Walls:** Face brick (TYP.).
- Windows:**
 - Top row: Four windows. From left to right: 48" x 48" FG, 48" x 48" FG, 84" x 42" FG, and 24" x 42" FG.
 - Second row: 96" x 60" FG and 48" x 48" FG.
 - Bottom row: 30" x 20" window.
- Door:** 60" sliding door with a 12" high transom.
- Porch:** 60" wide porch with a railing.
- Foundation:** Poured conc. foundation walls & footings (TYP.).
- Dimensions:**
 - Overall height: 10'-1" (from top of plate to top of window).
 - Overall width: 24'-0" (from left edge to right edge).
 - Roof pitch: 6:12.
 - Window heights: 7'-6" (from top of window to fin. second floor), 7'-10" (from top of window to fin. ground floor).
 - Door height: 6'-10" (from fin. ground floor to top of door).
 - Transom height: 1'-0" (from top of door to top of transom).
 - Foundation height: 4'-0" (from top of slab to top of foundation walls).
- Notes:**
 - 4x4 wood column up to 4'-0" height, 6x6 wood column for heights over 4'-0" (pressure treated) on 12" conc. pier.
 - Upgrade basement windows on rear wall with min. 4'-6" fin. first floor to grade condition.

It is the builder's complete responsibility to insure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (refining) plans or working drawings with respect to zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines applicable to the City of HAMILTON.

JOHN F. WILLIAMS LTD., ARCHITECTS
ARCHITECTS
220 LINDEN BLVD.
HAMILTON, ONT. L8N 3K1
TEL: 461-1111 FAX: 461-1112

3705 SF.



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

REAR ELEVATION - ELEV. '3' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Forma no. 31-150623

THE OWNERS AND/OR OCCUPANTS SHALL COMPLY WITH THE CANADIAN BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and specifications are to be used by

 OCT 04 2021
 FBI NEW ENGLAND OFFICE DATE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

Greenpark

SPRINGFIELD 3
14.30m

project name	municipality	project no.
RUSSELL GARDENS PH.4	HAMILTON, ON	20027

JANUARY, 2021
 drawn by
 CL

REAR ELEVATION W.O.D. - ELEV. 3
 checked by
 3/16" = 1"=0"

drawing no.
 20027-SPRINGFIELD-3
 A11b

18				3		
17				2		
16				7		
15				6		
14				5		
13				4		
12				5	ISSUED FOR PERMIT	MAY 21/21
11				2	REV. PER CLIENT/PROF./L/ENG. COMMENTS	APR 27/21
10				1	PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink  24

some registration information: signature

VAS Design Inc. 42

Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are statements of service and the responsibility of the Designer which must be obtained at the completion of the work. Drawings are not to be scaled.

VA3
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1T1
T: 416.630.2255 F: 416.630.2256
va3design.com

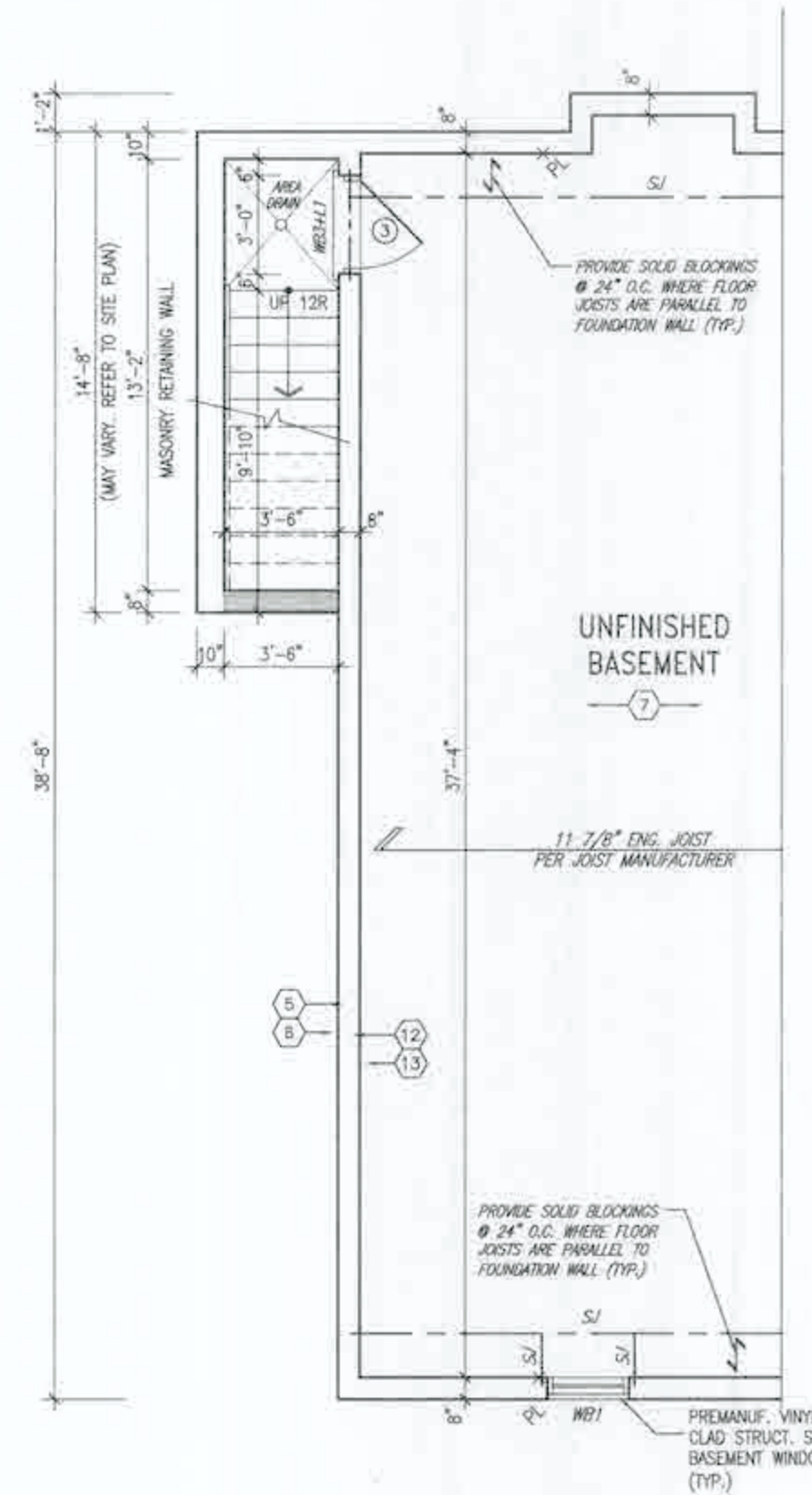
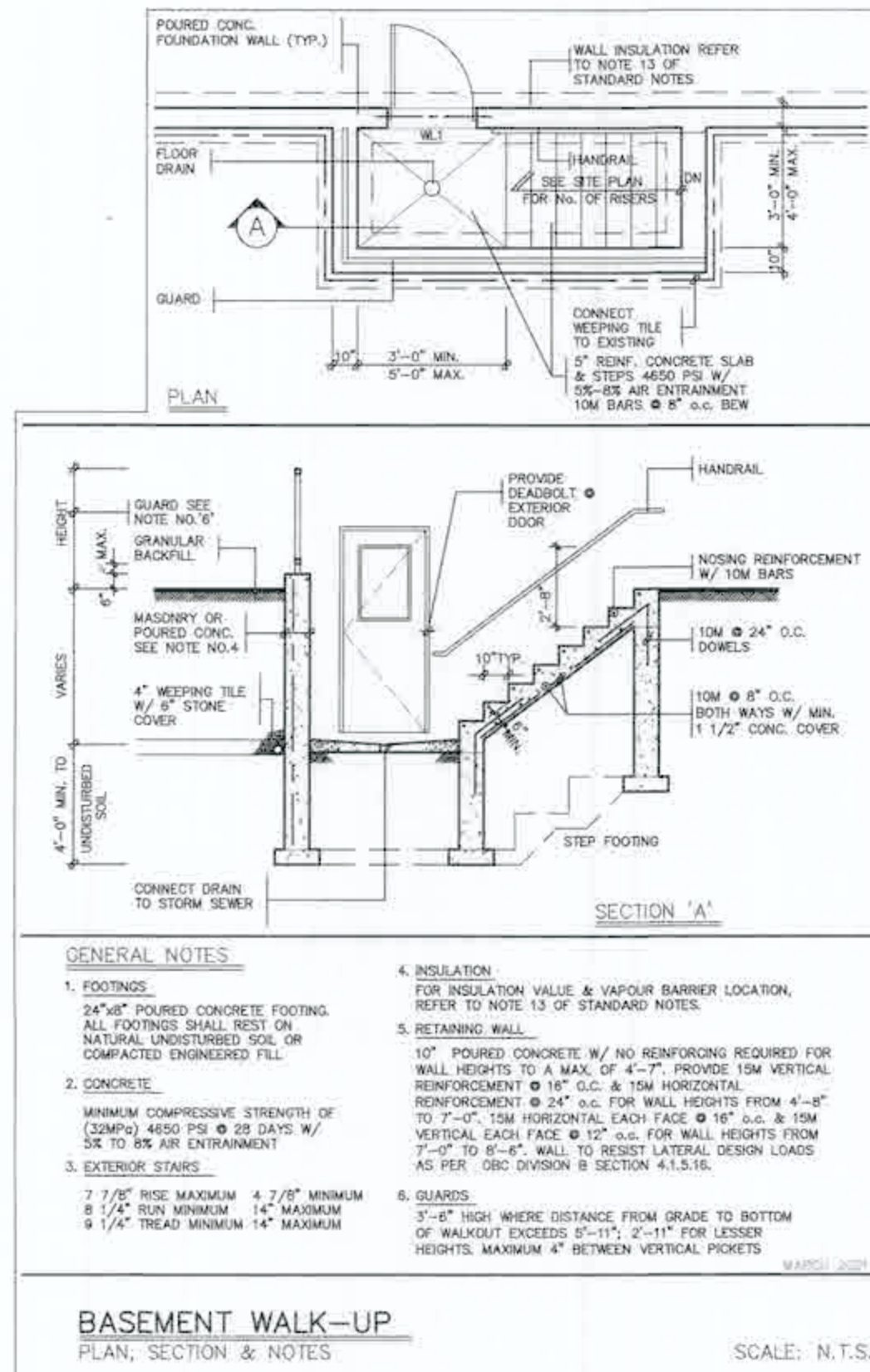
 Greenpark.		SPRINGFIELD 3 14.30m	
project name	RUSSELL GARDENS PH.4	municipality	HAMILTON, ON
date	JANUARY, 2021	project no.	20027
REAR ELEVATION W.O.D. - ELEV. 3		drawing no.	
CL	3/16" = 1'-0" 20027-SPRINGFIELD-3	A11b	

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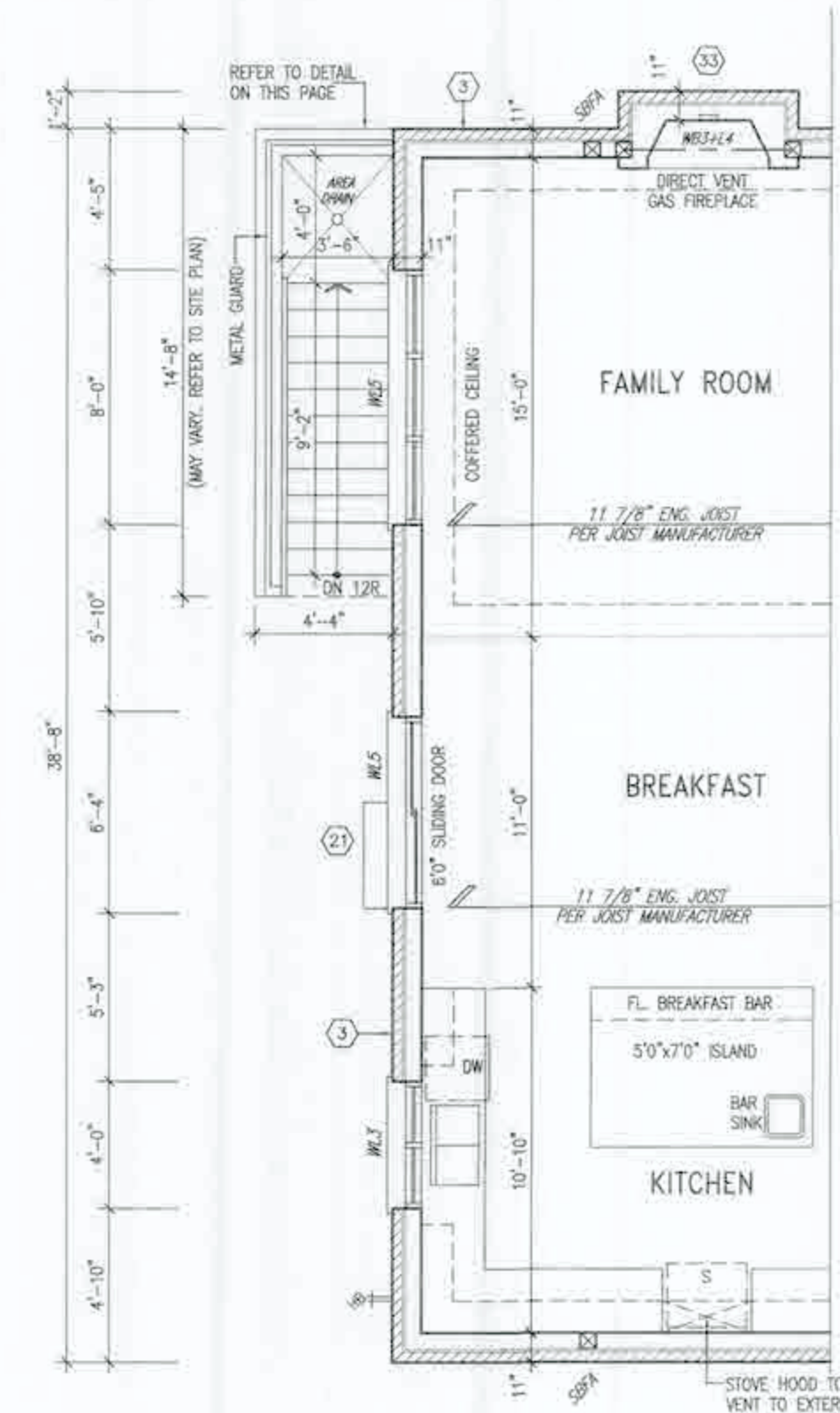
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS & SONS, ARCHITECTS
ARCHITECTURAL CONSULTING GROUP
AND INTERIORS
DESIGNED BY
JULY 17, 2011
This document is the property of the Architect
Client: [Redacted] and shall not be
reproduced without written permission.

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PARTIAL BASEMENT PLAN
w/ OPT. WALK-UP STAIRS



PARTIAL GROUND FLOOR PLAN
w/ OPT. WALK-UP STAIRS

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

VENEER CUT:
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

BASEMENT WALL INSULATION (TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" O.C. W/ R12 BATT INSULATION & 1/2" DRYWALL FINISH - EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARINGS.

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 no. description
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CITY OF HAMILTON
Building Division

Permit No. 27-150823

THREE STAMPED COPIES SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings shall be produced from plans prepared by

FOR OWNER'S RECORD

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

VAS DESIGN

255 Consumers Rd Suite 120
Scarborough, ON M2J 1S4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark

SPRINGFIELD 3
14.30m

PROJECT NAME: RUSSELL GARDENS PH.4
MUNICIPALITY: HAMILTON, ON
PROJECT NO: 20027
DRAWING NO: A12

DATE: JANUARY, 2021
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: 3/16" = 1'-0"
20027-SPRINGFIELD-3

3705 SF.



REAR ELEVATION - ELEV. '1
WALK-UP STAIRS

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THESE STAMPED INQUIRIES SHALL BE AVAILABLE ON SITE

THE CORNERSTONE CONTRACTORS SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

[Signature] OCT 04 202

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

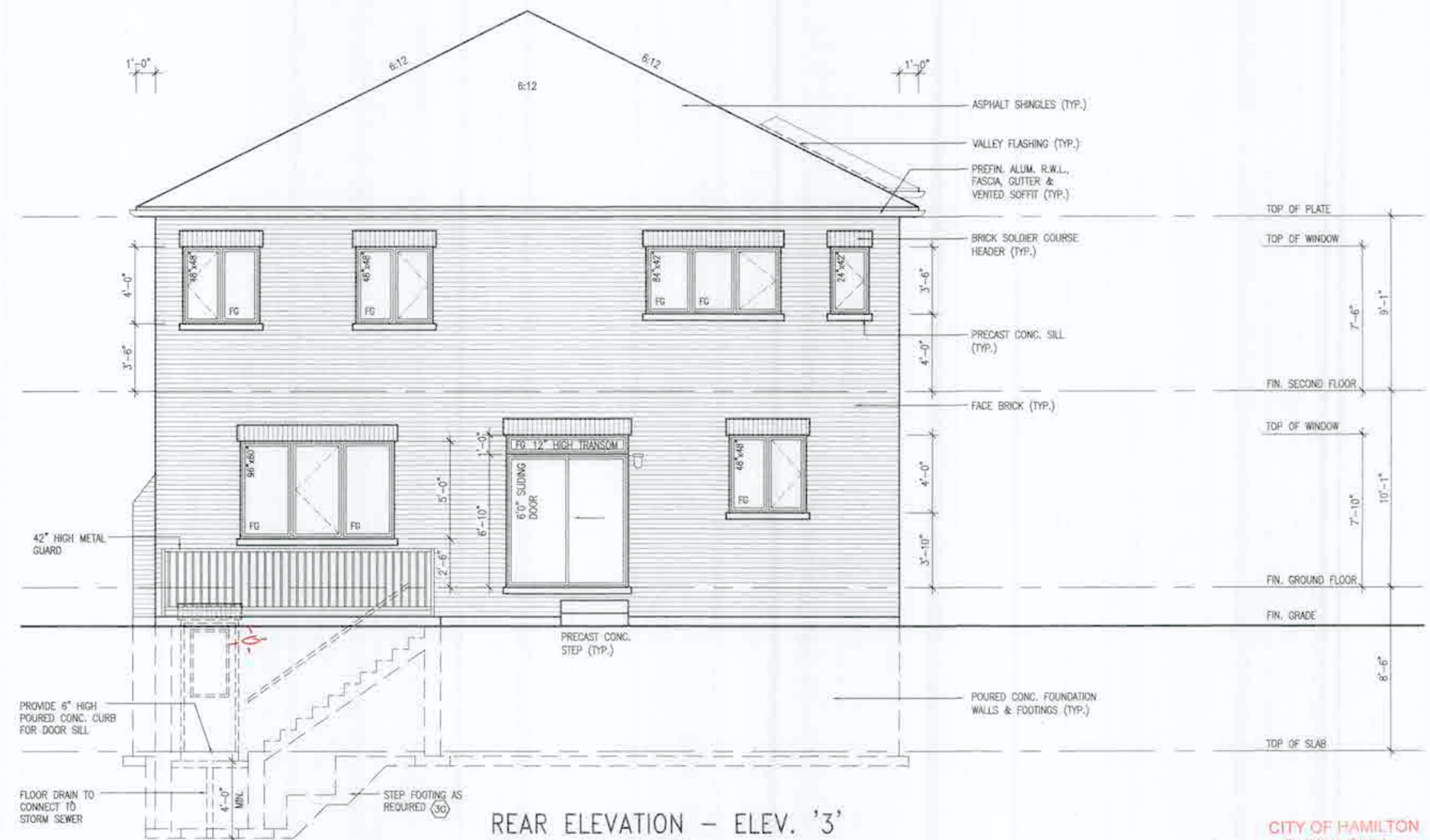
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. This Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ROBIN C. WILLIAMS LTD., 480 PULLEY
BROADWAY, NEW YORK, NY 10038
JULY 17, 1991

16			5	I/we understand this reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		VA3 DESIGN		 GREENPARK. 14.30m		project name RUSSELL GARDENS PH.4		municipality HAMILTON, ON		project number 2002	
17			6							date JANUARY, 2002		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
18			7	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
19			8	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
20			9	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
21			10	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
22			11	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
23			12	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
24			13	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
25			14	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
26			15	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
27			16	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
28			17	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
29			18	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
30			19	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
31			20	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
32			21	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
33			22	signature 		name Richard Vink		title 24455 DCM		project name REAR ELEVATION WALK-UP CONDITION - ELEV. 1		drawing no. 20027-SPRINGFIELD-3		drawing scale 1/4" = 1'-0"	
34			23	signature 		name 									

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REAR ELEVATION - ELEV. '3'
WALK-UP STAIRS

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division
150 623

Print No. 21

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AGREES TO INDEMNIFY AND HOLD HARMLESS THE CITY OF HAMILTON FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST THE CITY OF HAMILTON OR ITS OFFICIALS, EMPLOYEES OR AGENTS, IN CONNECTION WITH THE DESIGN, CONSTRUCTION, MAINTENANCE OR USE OF THE PROJECT.

These drawings and specifications have been reviewed by

FOR THE CITY OF HAMILTON

DATE: OCT 04 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0	18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1 0
---	---	---	---	---

It is the holder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (setting) plans or working drawings with respect to any zoning or building code or current matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL & DESIGN SERVICES
100 WILSON AVENUE
SUITE 100
MISSISSAUGA, ONTARIO L4X 1L7
416.670.1111
www.jcwlliams.com

VAS
DESIGN

255 Centerville Rd Suite 120
Toronto, ON M2J 1R4
416.530.2255 | 416.630.4782
vasdesign.com

Greenpark.

RUSSELL GARDENS PH.4 HAMILTON, ON

REAR ELEVATION WALK-UP CONDITION - ELEV. 3

3/16" = 1'-0"

SPRINGFIELD 3
14.30m

20027

A13b

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

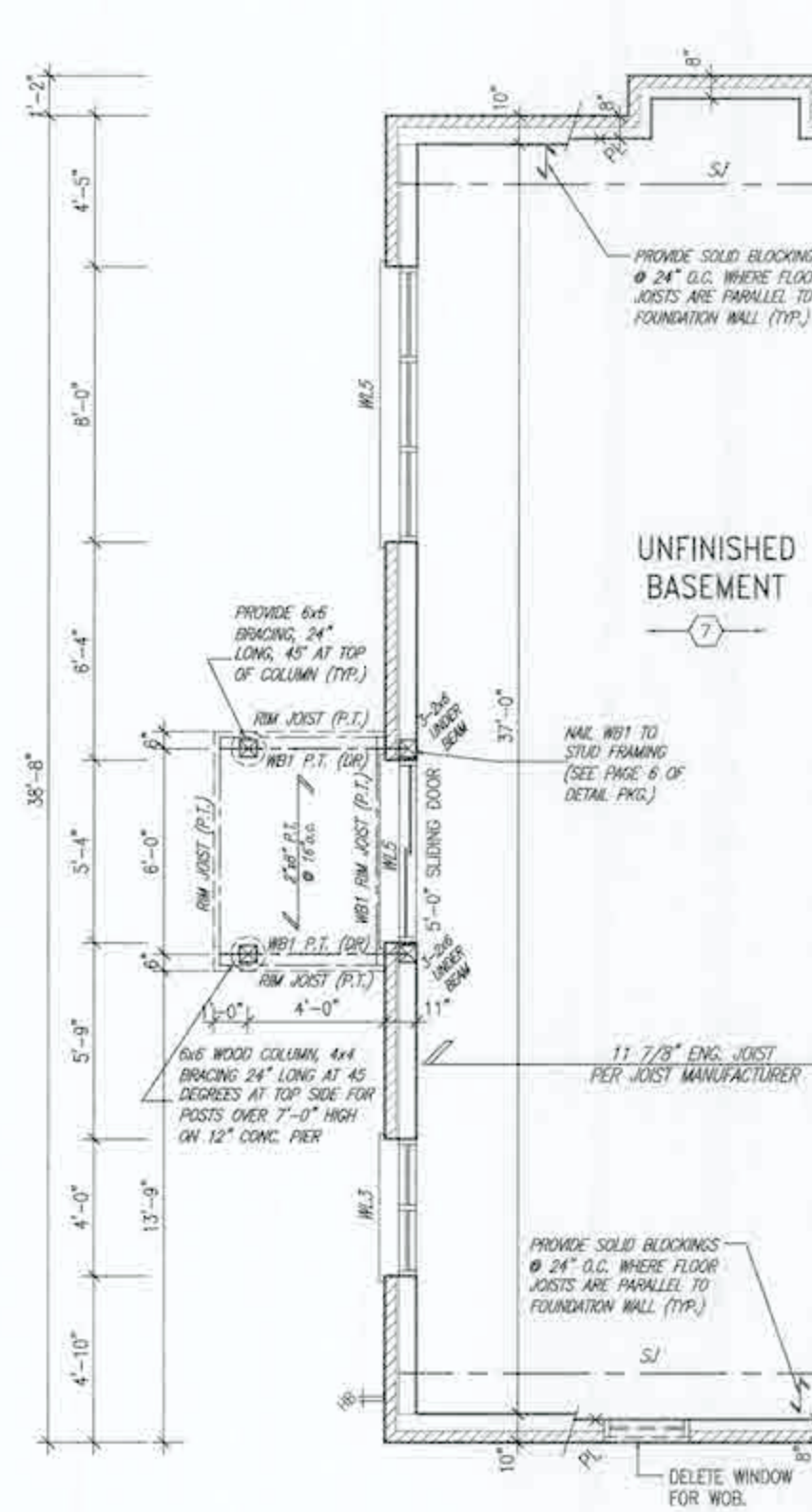
NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

VENEER CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

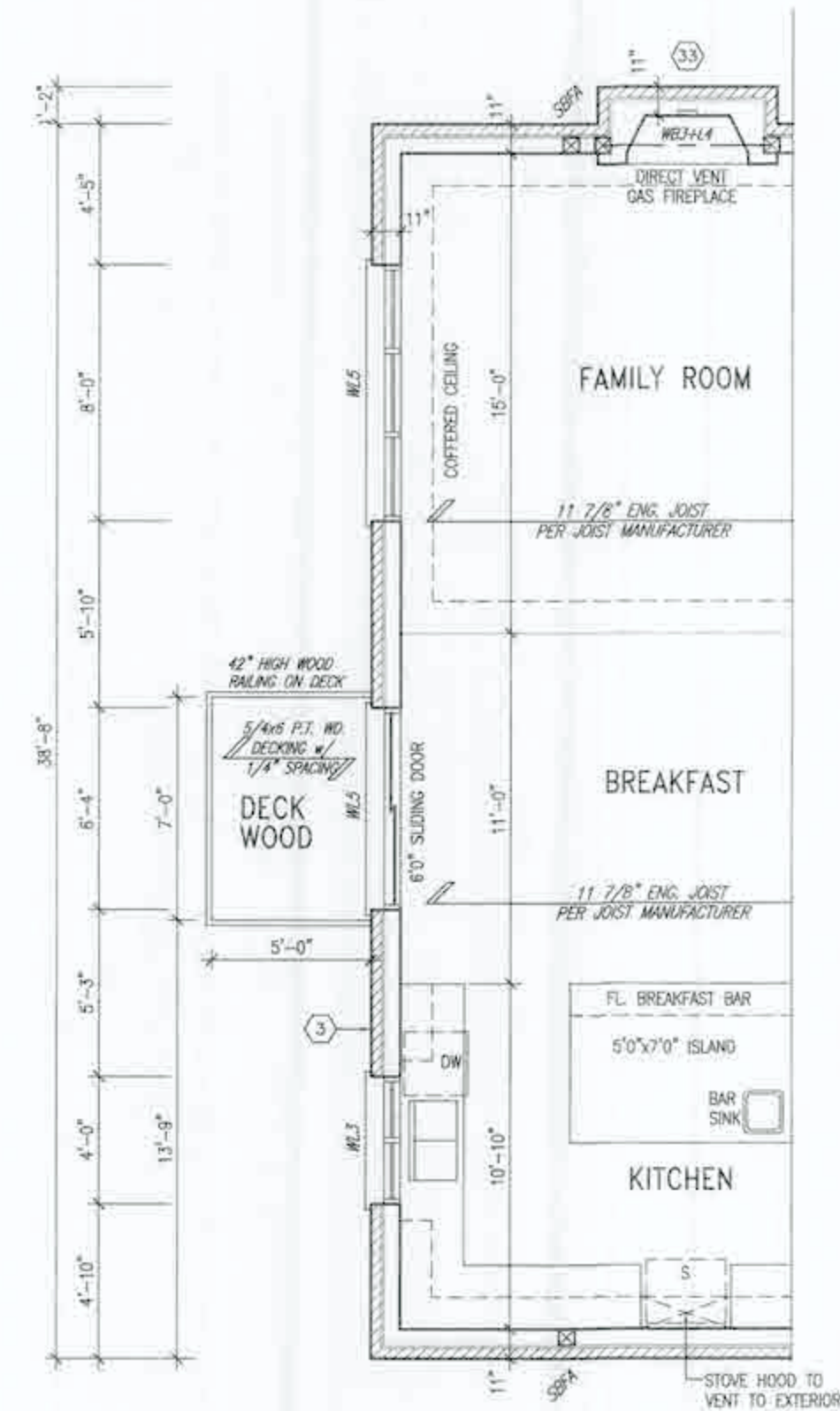
WOOD DECK AT WALK-OUT DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL INFORMATION.

BASEMENT WALL INSULATION
(TYP) (13)
- 6" (R20) CONTINUOUS BLANKET
INSULATION, INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT
STAIR/SUNKEN AREAS
- 2" (R10) CONTINUOUS INSULATION
(RIGID or SPRAY FOAM).
- 2"x4" @ 16" o.c. w/ R12 BATT
INSULATION & 1/2" DRYWALL FINISH
- EXTEND EXTERIOR WALL FOOTING TO
SUPPORT 2"x4" WALL WHERE LOAD
BEARING.



PARTIAL BASEMENT PLAN
WALK-OUT CONDITION



PARTIAL GROUND FLOOR PLAN
WALK-OUT CONDITION

It is the builder's complete responsibility to ensure that all claims submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for a claimant or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house not be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

WILLIAM C. WILKINSON LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
DATE: 10/10/2021



STRUDET INC.
FOR STRUCTURE ONLY

18		9			
17		8			
16		7			
15		6			
14		5			
13		4	ADD WALK-OUT CONDITION	JUN 03/21	WT
12		3	ISSUED FOR PERMIT	MAY 21/21	GW
11		2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 27/21	GW
10		1	PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21	GW
9					
8					
7					
6					
5					
4					
3					
2					
1					
0					
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
Qualification Information:
Richard Vink
Registration Number: 24428
Signature: [Signature]
V3 Design Inc.
42650

V3 DESIGN
255 Consumers Rd. Suite 120
Toronto, ON M2J 1G4
416.630.2255 / 416.630.4762
v3design.com

Greenpark.		SPRINGFIELD 3	
PROJECT NAME: RUSSELL GARDENS PH.4		HAMILTON, ON	
DATE: JANUARY, 2021		PROJECT NO: 20027	
DRAWN BY: [Signature]		CHECKED BY: [Signature]	
SCALE: 3/16" = 1'-0"		DATE: OCT 4, 2021	
DRAWING NO: A14		PART. PLANS WALK-OUT CONDITION	

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THESE AMENDMENTS SHALL BE AVAILABLE ON SITE

THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS

These drawings shall be submitted for review and approval by the City of Hamilton

FOR CITY REVIEW ONLY

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

3705 SF.



REAR ELEVATION - ELEV. '1'
WALK-OUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THINK XTREME! AVAILABLE ON SITE

THE PHONES AREN'T YOUR ACTUAL CALL COMPANY WITH
THE ONTARIO TELEPHONE BOARD AND OTHER APPLICABLE LAW

These findings suggest a possible role for the hippocampus in the processing of information followed by

OCT 04 202

17/11/2019

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving sites (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECTS
10000 Wilshire Blvd., Suite 1000, Los Angeles, CA 90024

DATE: Aug 18 2015

The party system is unique in its structure. Each party is a separate entity, with its own internal rules and procedures. The parties are not affiliated with each other, and they do not have a common platform or agenda. This makes the party system a unique and interesting political system.

16	19	The undersigned has reviewed and taken responsibility for this design and for the specifications and notes that requirements set out in the Ontario Building Code for a Designer.		 250 Consumers Rd Suite 120 Toronto, ON M2J 1R4 Tel: 416.630.2255 / 416.630.4707 va3design.com	 project name: RUSSELL GARDENS PH.4 municipality: HAMILTON, ON project location: 3/16" = 1'-0" 20227-SPRINGFIELD-3	14.30m project no: 20227-SPRINGFIELD-3 drawing no: A15
17	20	specification information:				
18	21	Richard Vink	24485			
19	22	signature	24485			
20	23	Registration information	24485			
21	24	ADD WALK-OUT CONDITION	JUN 03/21	WT		
22	25	ISSUED FOR PERMIT	MAY 27/21	OW		
23	26	REV. PER CLIENT/ROOF/LV/ENC. COMMENTS	APR 27/21	OW		
24	27	1. PRELIMINARY ISSUED FOR CLIENT REVIEW	FEB 19/21	OW		
25	28	description	date	by	description	date

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REAR ELEVATION - ELEV. '2'
WALK-OUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

21-150623

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THESE STAMPED DRAWINGS SHALL COMPLY WITH
THE CANADIAN BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

These drawings and specifications have been reviewed by
DATE: OCT 04 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1	ADD WALK-OUT CONDITION ISSUED FOR PERMIT REV. PER CLIENT/ROOF/PL/ENG. COMMENTS PRELIMINARY, ISSUED FOR CLIENT REVIEW	JUN 03/21 MAY 21/21 APR 27/21 FEB 19/21	Richard Vink signature 24455 42658	VAS DESIGN 225 Consumers Rd Suite 120 Toronto, ON M2J 1R4 1 416.630.2255 1 416.630.4782 vasdesign.com
--	--	---	--	---

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (topographic) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECTS
1000 Highway 10 East, Unit 101
Hamilton, ON L8N 3K1
DATE: AUG 27, 2021

Greenpark.

SPRINGFIELD 3
14.30m

RUSSELL GARDENS PH.4
HAMILTON, ON

REAR ELEV. '2' - WALK-OUT CONDITION

3/16" = 1'-0"

20027-SPRINGFIELD-3

A15a

3705 SF.



REAR ELEVATION - ELEV. '3'
WALK-OUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

21-150623

THESE STAYS IN [HOTELS](#) WILL BE AVAILABLE ON SITE

THE COMPANY AND ITS DIRECTORS SHALL COMPLY WITH THE ONTARIO PRIVACY ACT AND ALL OTHER APPLICABLE LAW


 OCT 6 2021

DATE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

SPRINGFIELD 3
14.30m

Greenpark

project name	municipality	project n
RUSSELL GARDENS PH.4	HAMILTON, ON	2002

REAR ELEV. '3' - WALK-OUT CONDITION

CL: 3/16" = 1'-0" 20027--SPRINGFIELD-5

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VA3
DESIGN
255 Consumers Rd. Suite
Toronto, ON M1S 4T6

The undersigned has reviewed and taken responsibility for this design and how the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information

Richard Vink 244

name signature

registration information:

VAS Design Inc. 426

Contractor must verify all dimensions on the job and report any

GN drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.
by Drawings are not to be copied.

All drawings specificities, n

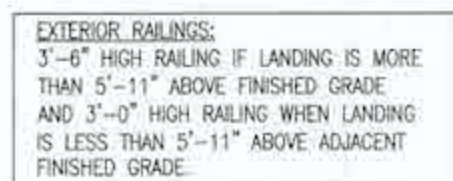
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS & CO., ARCHITECTS
ARCHITECTURAL CENTER BLDG.

7

DATE Aug 7th 2012
 This report contains information with the potential
 to compromise the security of the United States.



UPGRADED REAR ELEVATION -
ELEV. '2' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Permit No. 21-150623

THESE STANDARDS ~~SHALL BE~~ AVAILABLE ON SITE.
THE OWNER AND/OR SUBMITTAL SHALL COMPLY WITH
THE CONTRACT DOCUMENTS AND ALL OTHER APPLICABLE LAW.

FOR CHIEF OF POLICE OFFICE

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466	467	468	469	470	471	472	473	474	475	476	477	478	479	480	481	482	483	484	485	486	487	488	489	490	491	492	493	494	495	496	497	498	499	500	501	502	503	504	505	506	507	508	509	510	511	512	513	514	515	516	517	518	519	520	521	522	523	524	525	526	527	528	529	530	531	532	533	534	535	536	537	538	539	540	541	542	543	544	545	546	547	548	549	550	551	552	553	554	555	556	557	558	559	560	561	562	563	564	565	566	567	568	569	570	571	572	573	574	575	576	577	578	579	580	581	582	583	584	585	586	587	588	589	590	591	592	593	594	595	596	597	598	599	600	601	602	603	604	605	606	607	608	609	610	611	612	613	614	615	616	617	618	619	620	621	622	623	624	625	626	627	628	629	630	631	632	633	634	635	636	637	638	639	640	641	642	643	644	645	646	647	648	649	650	651	652	653	654	655	656	657	658	659	660	661	662	663	664	665	666	667	668	669	670	671	672	673	674	675	676	677	678	679	680	681	682	683	684	685	686	687	688	689	690	691	692	693	694	695	696	697	698	699	700	701	702	703	704	705	706	707	708	709	710	711	712	713	714	715	716	717	718	719	720	721	722	723	724	725	726	727	728	729	730	731	732	733	734	735	736	737	738	739	740	741	742	743	744	745	746	747	748	749	750	751	752	753	754	755	756	757	758	759	760	761	762	763	764	765	766	767	768	769	770	771	772	773	774	775	776	777	778	779	780	781	782	783	784	785	786	787	788	789	790	791	792	793	794	795	796	797	798	799	800	801	802	803	804	805	806	807	808	809	810	811	812	813	814	815	816	817	818	819	820	821	822	823	824	825	826	827	828	829	830	831	832	833	834	835	836	837	838	839	840	841	842	843	844	845	846	847	848	849	850	851	852	853	854	855	856	857	858	859	860	861	862	863	864	865	866	867	868	869	870	871	872	873	874	875	876	877	878	879	880	881	882	883	884	885	886	887	888	889	890	891	892	893	894	895	896	897	898	899	900	901	902	903	904	905	906	907	908	909	910	911	912	913	914	915	916	917	918	919	920	921	922	923	924	925	926	927	928	929	930	931	932	933	934	935	936	937	938	939	940	941	942	943	944	945	946	947	948	949	950	951	952	953	954	955	956	957	958	959	960	961	962	963	964	965	966	967	968	969	970	971	972	973	974	975	976	977	978	979	980	981	982	983	984	985	986	987	988	989	990	991	992	993	994	995	996	997	998	999	1000
			The undersigned has reviewed and takes responsibility for the design and construction of the building and meets the requirements set out in the Ontario Building Code to be a Designer.			qualifications information Richard Yink signature 24488 RCA 42658			project name RUSSELL GARDENS PH.4			HAMILTON, ON			project no. 20027																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									
			4 ADD WALK-OUT CONDITION JUN 03/21 WT			ISSUED FOR PERMIT MAY 21/01 GW			2 REV. PER CLIENT/PROG./FL/END. COMMENTS APR 27/21 GW			1 PRELIMINARY ISSUED FOR CLIENT REVIEW FEB 19/21 GW			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by			no. description			date			by</																																																																																																																																																																																																																																																																																							

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3705 SF.



EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

UPGRADED REAR ELEVATION -
ELEV. '3' W.O.D

ELEVATIONS NOT DRAWN TO ACTUAL GRADE,
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

Form No. 21-150623

THE CANINE AND THE ONTARIO HUNTING CODE AND REGULATIONS APPLY TO ALL

These drawings and/or specifications have been reviewed by

 BOB COOPER, Director, Planning
 DATE: OCT 04 2021

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site lotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD. ARCHITECTS
ARCHITECTURAL CONTROL DESIGN
AND APPROVAL

DATE: Aug 12, 2011

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18			19	The undersigned has reviewed and taken responsibility for this design and plan for jurisdiction and meets the requirements set out in the Ontario Building Code for its Design.		20		21		22		23		24		25		26		27		28		29		30		31		32		33		34		35		36		37		38		39		40		41		42		43		44		45		46		47		48		49		50		51		52		53		54		55		56		57		58		59		60		61		62		63		64		65		66		67		68		69		70		71		72		73		74		75		76		77		78		79		80		81		82		83		84		85		86		87		88		89		90		91		92		93		94		95		96		97		98		99		100		101		102		103		104		105		106		107		108		109		110		111		112		113		114		115		116		117		118		119		120		121		122		123		124		125		126		127		128		129		130		131		132		133		134		135		136		137		138		139		140		141		142		143		144		145		146		147		148		149		150		151		152		153		154		155		156		157		158		159		160		161		162		163		164		165		166		167		168		169		170		171		172		173		174		175		176		177		178		179		180		181		182		183		184		185		186		187		188		189		190		191		192		193		194		195		196		197		198		199		200		201		202		203		204		205		206		207		208		209		210		211		212		213		214		215		216		217		218		219		220		221		222		223		224		225		226		227		228		229		230		231		232		233		234		235		236		237		238		239		240		241		242		243		244		245		246		247		248		249		250		251		252		253		254		255		256		257		258		259		260		261		262		263		264		265		266		267		268		269		270		271		272		273		274		275		276		277		278		279		280		281		282		283		284		285		286		287		288		289		290		291		292		293		294		295		296		297		298		299		300		301		302		303		304		305		306		307		308		309		310		311		312		313		314		315		316		317		318		319		320		321		322		323		324		325		326		327		328		329		330		331		332		333		334		335		336		337		338		339		340		341		342		343		344		345		346		347		348		349		350		351		352		353		354		355		356		357		358		359		360		361		362		363		364		365		366		367		368		369		370		371		372		373		374		375		376		377		378		379		380		381		382		383		384		385		386		387		388		389		390		391		392		3	
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3705 SF.



UPGRADED REAR ELEVATION - ELEV. '1'
WALKOUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division

21-150623

THESE STADIUMS WILL BE AVAILABLE ON SITE

THE OFFER AND SALE OF THIS SECURITY WILL COMPLY WITH
THE ONTARIO SECURITIES ACT AND ALL OTHER APPLICABLE LAW

These charges have also been reviewed by

 DATE OCT 04 2002

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

SPRINGFIELD 3
14.30m



Greenpark.

VA3
DESIGN

project name	principality	project #
RUSSELL GARDENS PH.4	HAMILTON, ON	2002

255 Consumers Rd Suite
Toronto ON M2J 1R9
1-416.630.2255 f 416.630.2256

2008 JANUARY, 2021

UPGRADED REAR ELEV. 1' - WOB

Drawn by: CL

Checked by: 3/16" = 1'-0"

File name: 20027-SPRINGFIELD-3

A17

A17

15		0	
17		8	
18		7	
19		6	
20		5	
21		4	ADD WALK-OUT CONDITION JUN 03/2
22		3	ISSUED FOR PERMIT MAY 21/2
23		2	REV. PER CLIENT/ROOF/F/L/ENG. COMMENTS APR 27/2
24		1	PRELIMINARY. ISSUED FOR CLIENT REVIEW FEB 19/2

		The undersigned has reviewed and taken responsibility for this design and has the qualifications and assets the requirements set out in Ontario Building Code to be a Designer	
		qualification information:	
		Richard Vink	2
		name	
		telephone information:	
		VAS Design Inc.	4
WT		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the project shall proceed as shown unless otherwise noted.	
CW			
CW			
CW			

no.	description	date	by	no.	description	date	by	no.	description	date	by
1	...	...	...	2	...	...	...	3	...	...	...

Architectural elevation drawing of a two-story house with a gabled roof. The drawing includes dimensions for roof pitch (10:12), window sizes (e.g., 48" x 48", 96" x 48"), door sizes (5'0" x 6'0"), and overall height (8'-6"). It also shows material specifications like "1" x 6" ALUM. CLAD FRIEZE BD. (TYP.)", "FACE BRICK (TYP.)", and "POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)". The drawing is oriented with "FIN. GRADE @ REAR" indicated.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

Report No. **21-150623**
 THESE SIGHTINGS OCCURRED AT 10:11 PM IN HAWAIIAN ISLANDS
 THE OFFICER WAS IN A POLICE VEHICLE SMALL COMPLY WITH
 THE OFFICER'S INSTRUCTIONS TO STOP AND WAIT AT THE OFFICER'S
 (THE OFFICER'S NAME AND ADDRESS) (THE OFFICER'S ADDRESS)
 (THE OFFICER'S PHONE NUMBER) (THE OFFICER'S PHONE NUMBER)
 (THE OFFICER'S SIGNATURE) (THE OFFICER'S SIGNATURE)
 (THE OFFICER'S DATE) (THE OFFICER'S DATE)

[illegible]

3705 SF.



UPGRADED REAR ELEVATION - ELEV. '3'
WALKOUT CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division
21-150623
Permit No. _____
THIS E-MAIL AND ATTACHED FILES ARE AVAILABLE ON FILE
THE OWNER/OWNER'S REPRESENTATIVE MUST COMPLY WITH
THE OBTAINING THE FILE COULD BE SUBJECT TO APPLICABLE LAW
These documents contain information that has been reviewed by
JTB
For Court Report Only
DATE OCT 14 2021

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JERRY C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL #0789
AND ENGINEER
[Signature]
APPROVED _____
DATE 2-2-1992
This work complies with the requirements
of the applicable code provisions.
[Seal]

[illegible]

¹ All findings in this abstract, unless otherwise indicated, are the property of V&T DESIGN. Dissemination of this research in whole or in part is strictly prohibited without V&T DESIGN's written consent.



UPGRADED REAR ELEVATION - ELEV. '3'
WALKOUT w/ DECK CONDITION

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Building Division
Permit No. 2115012301
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
THE OWNER/OWNER CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
These drawings and specifications have been reviewed by
FOR OWNER'S REVIEW

SPRINGFIELD 3
COMPLIANCE PACKAGE 'A1'

18. description 17. date 16. by 15. description 14. date 13. by 12. description 11. date 10. by 9. description 8. date 7. by 6. description 5. date 4. by 3. description 2. date 1. by	18. description 17. date 16. by 15. description 14. date 13. by 12. description 11. date 10. by 9. description 8. date 7. by 6. description 5. date 4. by 3. description 2. date 1. by	18. description 17. date 16. by 15. description 14. date 13. by 12. description 11. date 10. by 9. description 8. date 7. by 6. description 5. date 4. by 3. description 2. date 1. by	18. description 17. date 16. by 15. description 14. date 13. by 12. description 11. date 10. by 9. description 8. date 7. by 6. description 5. date 4. by 3. description 2. date 1. by	18. description 17. date 16. by 15. description 14. date 13. by 12. description 11. date 10. by 9. description 8. date 7. by 6. description 5. date 4. by 3. description 2. date 1. by
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for (examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JEFFREY G. WATKINS LTD., ARCHITECT
ARCHITECTURAL/CONTROL ADDRESS
1000 SHEPPARD AVE. E. SUITE 100
SCARBOROUGH, ONTARIO M1S 1T6
DATE: OCT 15, 2021
SIGNATURE: [Signature]

VAS
DESIGN

Greenpark.

SPRINGFIELD 3
14.30m

project name: RUSSELL GARDENS PH.4
location: HAMILTON, ON
project no.: 20027

date: JANUARY, 2021
checked by: [Signature]
scale: 3/16" = 1'-0"
drawing no.: A19b