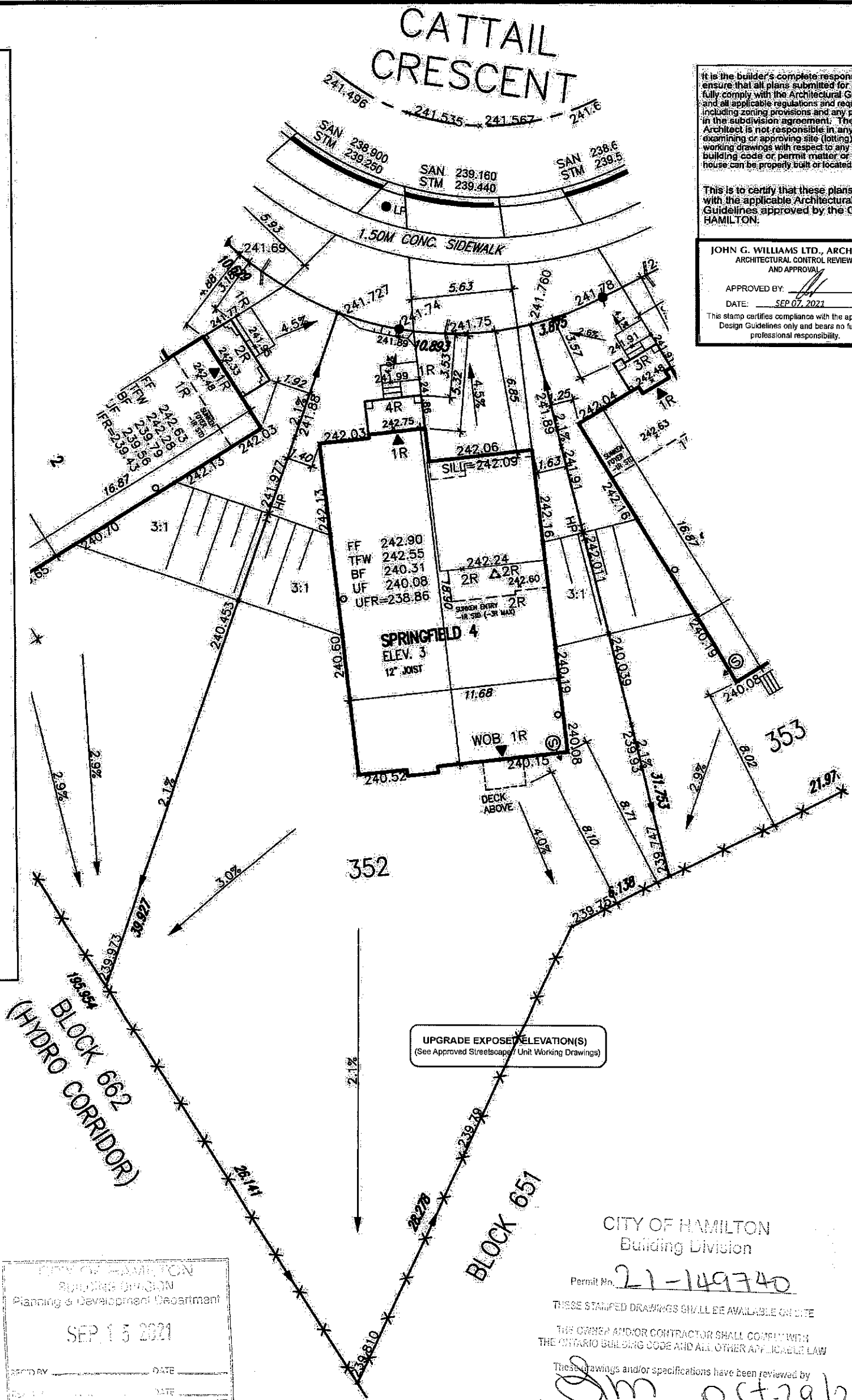


THIS LOT GRADING PLAN HAS BEEN REVIEWED BY METROPOLITAN CONSULTING INC. FOR CONFORMANCE WITH THE APPROVED SUBDIVISION GRADING DESIGN. THE PROPOSED GRADES ON THIS PLAN ARE IN GENERAL CONFORMITY WITH THE APPROVED GRADING PLAN AS IT RELATES TO THIS LOT AND ADJACENT LOTS. WHERE THE BASEMENT FLOOR OR OTHER FOUNDATION ELEVATIONS ARE PROPOSED AT A DIFFERENT ELEVATION THAN THAT SHOWN ON THE APPROVED SUBDIVISION PLANS THE SEWER LATERALS HAVE BEEN REVIEWED AND WE ARE SATISFIED THAT THE MINIMUM GRADES FOR THESE LATERALS CAN BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE O.B.C. AND CITY DESIGN CRITERIA. NOTE: THIS CERTIFICATION DOES NOT REPLACE THE BUILDER'S RESPONSIBILITY TO EXPOSE THE SEWER LATERALS AND CONFIRM ELEVATIONS PRIOR TO EXCAVATING FOR THE FOUNDATION. BY USE OF THIS PLAN THE BUILDER AGREES THAT THEY SHALL BE RESPONSIBLE FOR IMMEDIATELY REPORTING TO METROPOLITAN CONSULTING ANY DISCREPANCY OR VARIATION BETWEEN THE LATERAL INFORMATION AND GRADES DEPICTED ON THIS PLAN AND THE CONDITIONS FOUND IN THE FIELD.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: _____
DATE: SEP 07, 2021

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
SEP 15 2021
RECORD BY: _____ DATE: _____
REV: _____ DATE: _____






LOT 352		
LOT NO.	LOT WIDTH (M) (± 5.8m)	LOT AREA (M ²)
352	14.158	1044.53

ROCK LOT

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

PROPOSED VALUE	NO. OF RISERS
UP: LIGHT POLE	FF: FINISHED FLOOR ELEVATION
WATER SERVICE	ML: FINISHED MAIN LEVEL ELEVATION
DOUBLE STM/SAN. CONNECTION	UF: UNDERSIDE FOOTING ELEVATION
SINGLE STM/SAN. CONNECTION	BF: FIN. BASEMENT FLOOR SLAB
CATCH BASIN	TFW: TOP OF FOUNDATION WALL
CABLE TELEVISION PEDESTAL	UFF: UNDERSIDE FOOTING AT REAR
BELL PEDESTAL	UFF: UNDERSIDE FOOTING AT FRONT
	UFF: UNDERSIDE FOOTING AT SIDE
	W.O.D.: WALK OUR DECK
	W.O.B.: WALK OUR BASEMENT
	REV: REVERSE PLAN

STREET SIGN	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
MAIL BOX	THIS LOT CONTAINS ENGINEERED FILL
RETAINING WALL	AC: AIR CONDITIONER REQUIRED
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)	RW: RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)	SW: SIDE WINDOW LOCATION
HYDRO SERVICE LATERAL	OD: OPT. DOOR LOCATION
HYDRO METER	ED: EXTERIOR DOOR LOCATION
GAS METER	REDUCE SIDE WARD
EMBANKMENT (3:1 SLOPE UNLESS OTHERWISE NOTED)	

	PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 OR 	THIS LOT CONTAINS ENGINEERED FILL
	A/C. CONDITIONER REQUIRED
	RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
	SIDE WINDOW LOCATION
	OPT. DOOR LOCATION
	EXTERIOR DOOR LOCATION
	REDUCE SIDE YARD



The undersigned has reviewed and taken responsibility for this design and has the qualifications and skills to prepare and seal it as a Professional Engineer in the Province of Ontario.

Qualification Information
Richard Vink 24488
name
registration information
VA3 Design Inc. 42658

Builder to verify location of all hydro, street lights, transformers and other services. If minimum dimensions are not maintained, builder is to relocate at his own expense.
Builder to verify service connection elevations prior to constructing foundations. Drawings NOT to be scaled.

VA3 DESIGN
255 Consumers Rd Suite 120
Toronto, ON M2J 1R4
T: 416.630.2255 F: 416.630.4782
va3design.com

Greenpark
project name
RUSSELL GARDENS PHASE 4
municipality
HAMILTON

date
JUL 2021
drawn by
GW
checked by
scale
1:250
date
AUG 27, 2021

LOT SITING/GRADING
file name
20027-RG4-SITE-LAYOUTS
drawing no.
1

lot/block no.
352
registered plan no.
62M-1266
project no.
20027
drawing no.
1