

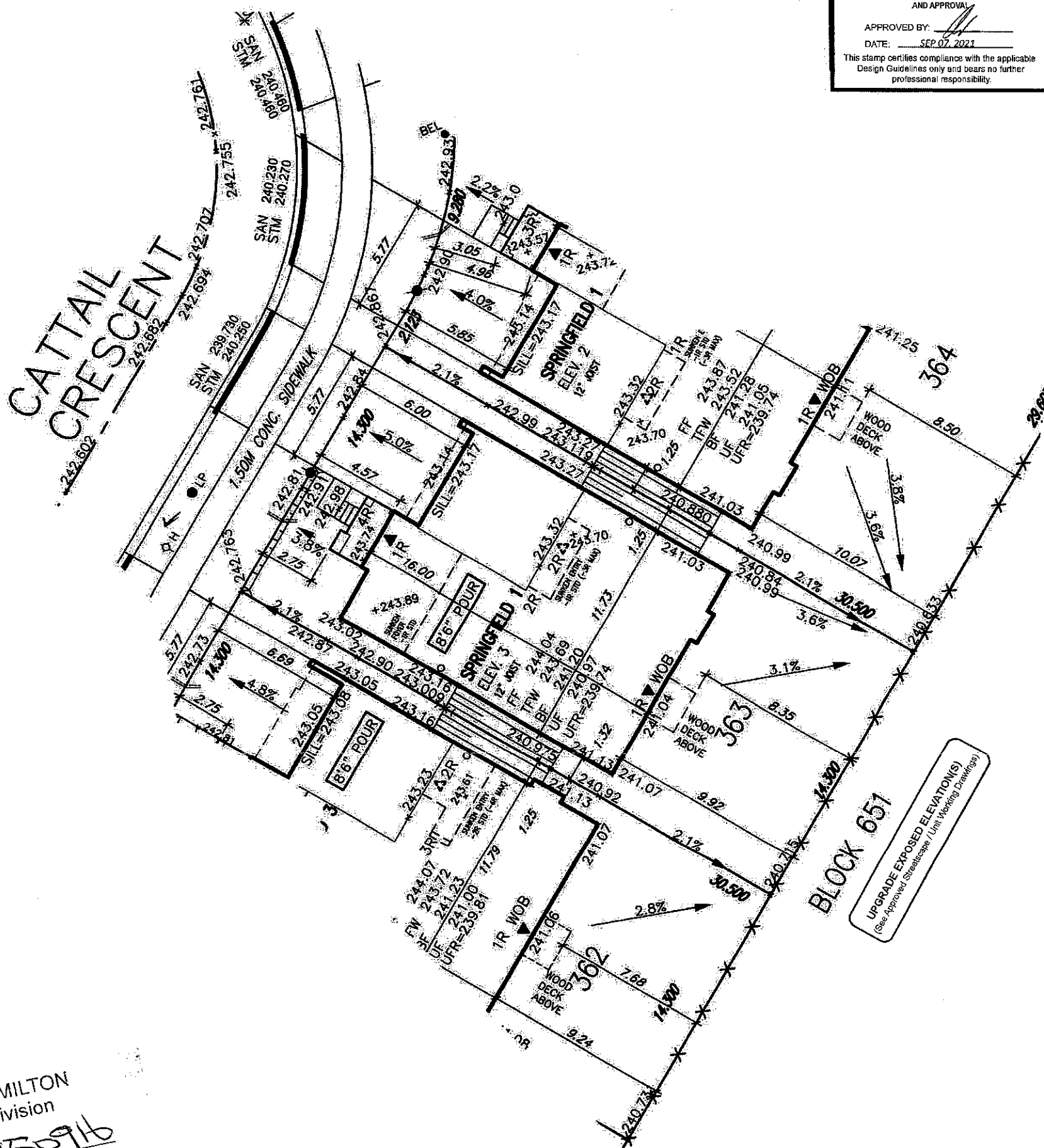
A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal contains the following information: the date "2021-09-02" in a horizontal oval, the name "N. R. POKHAREL" in bold capital letters, the license number "100156322" in bold capital letters, and the signature "N. R. Pokharel" in a cursive script within another horizontal oval.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APPROVED BY _____

DATE: SEP 07, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



Permit No. 21-1501

Permit No. _____

THESE STAMPED DRAWINGS SHALL BE AVAILABLE TO THE CONTRACTOR SHALL COMPLY WITH ALL OTHER APPLICABLE LAW

THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS SHALL BE REVIEWED BY THE ENGINEER.

FOR CHIEF BUILDING OFFICIAL

LOT 363		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M²)
363	14.30	436.15

Grading Notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VAJ Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of, or cost to VAJ Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.


Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

- | | | | | |
|--|--|---|--|--|
| PROPOSED VALVE
LIGHT POLE
HYDRANT
WATER SERVICE
TRANSFORMER
DOUBLE S/W/S/W CONNECTION
SINGLE S/W/S/W CONNECTION
CATCH BASIN
CABLE TELEVISION PEDESTAL
BELL PEDESTAL | NO. OF RISERS
FINISHED FLOOR ELEVATION
FINISHED WALK LEVEL ELEVATION
U.F. UNDERSIDE FOOTING ELEVATION
BE. BASEMENT FLOOR SLAB
TFV. TOP OF FOUNDATION WALL
UFR. UNDERSIDE FOOTING AT REAR
UFF. UNDERSIDE FOOTING AT FRONT
UFS. UNDERSIDE FOOTING AT SIDE
W.O.D. WALK OUT DECK
W.O.B. WALK OUT BASEMENT
REV. REVERSE PLAN | MAIL BOX
RETAINING WALL
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
HYDRO METER
GAS METER
ELEVATION
SLOPE (3:1 SLOPE, unless otherwise noted) | STREET SIGN
MAIL BOX
RETAINING WALL
CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
HYDRO SERVICE LATERAL
HYDRO METER
GAS METER
ELEVATION
SLOPE (3:1 SLOPE, unless otherwise noted) | PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
THIS LOT CONTAINS ENGINEERED FILL
AIR CONDITIONER REQUIRED
RAIN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)
SIDE WINDOW LOCATION
OPT. DOOR LOCATION
EXTERIOR FLOOR LOCATION
REDUCE SIDE YARD |
|--|--|---|--|--|

north arrow

A simple north arrow pointing towards the top right of the map. It consists of a circular head with a stylized 'N' and a long, thin arrow shaft extending from the head.[illegible]

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