

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

APPROVED BY: [Signature]  
DATE: SEP 08, 2021

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

Permit No. 21-153454

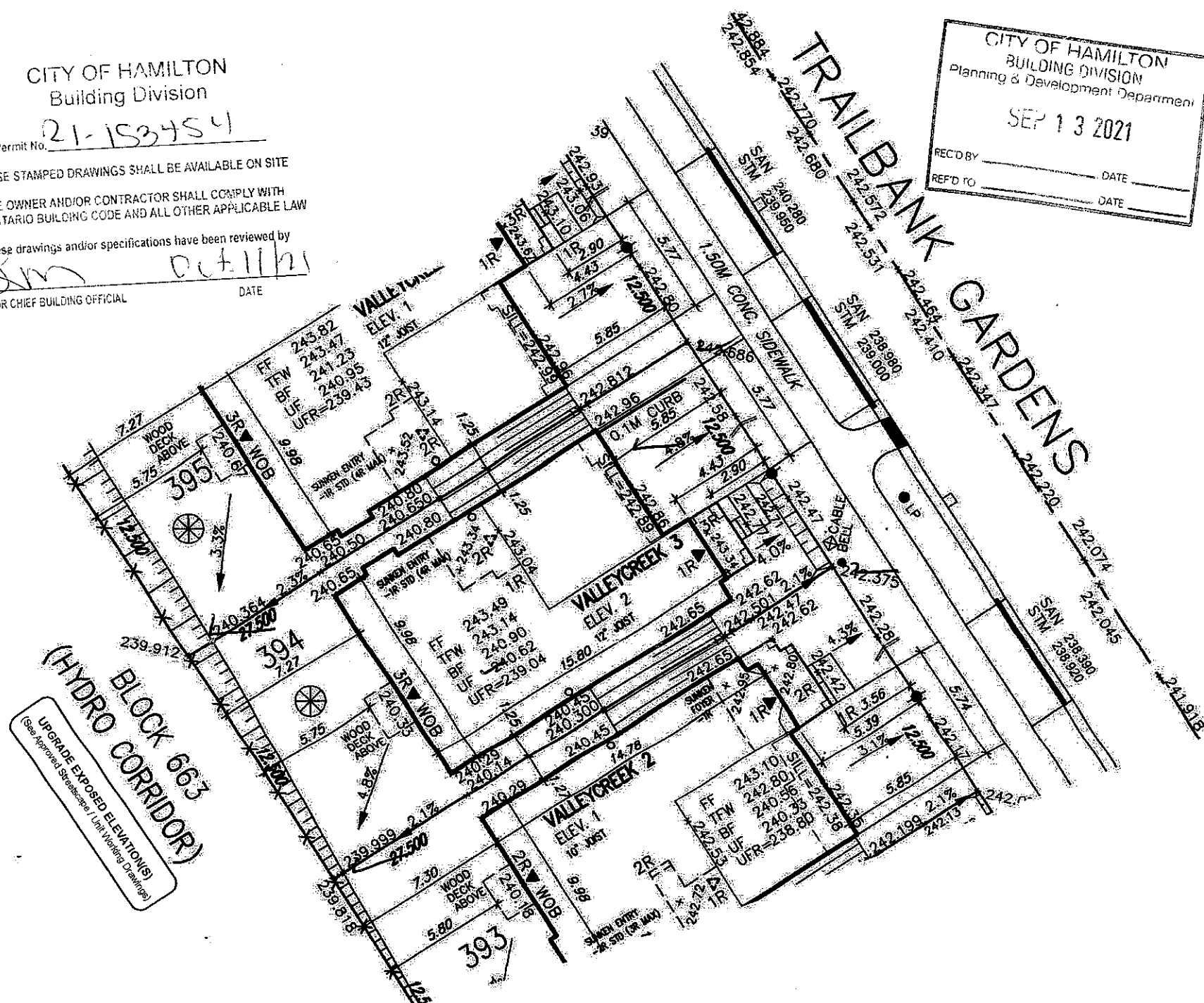
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH  
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE \_\_\_\_\_

CITY OF HAMILTON  
BUILDING DIVISION  
Planning & Development Department  
SEP 13 2021  
REC'D BY \_\_\_\_\_ DATE \_\_\_\_\_  
REF'D TO \_\_\_\_\_ DATE \_\_\_\_\_













Grading Notes:  
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

*VA3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VA3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.*

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

*These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.*

 PROPOSED VALVE  
 LIGHT POLE  
 HYDRANT  
 WATER SERVICE  
 TRANSFORMER  
 DOUBLE STL/SAL CONNECTION  
 SINGLE STL/SAL CONNECTION  
 CATCH BASIN  
 CABLE TELEVISION PEDESTAL  
 BELL PEDESTAL

J.R.	No. OF RISERS
FF	FINISHED FLOOR ELEVATION
MF	FINISHED MAIN LEVEL ELEVATION
UL	UNDERSIDE FOOTING ELEVATION
BF	FIN. BASEMENT FLOOR SLAB
T/W	TOP OF FOUNDATION WALL
UFR	UNDERSIDE FOOTING AT REAR
UFF	UNDERSIDE FOOTING AT FRONT
UPS	UNDERSIDE FOOTING AT SIDE
W.O.D.	WALK OUT DECK
W.O.B.	WALK OUT BASEMENT
REV	REVERSE PLAN

 STREET SIGN  
 MAIL BOX  
 RETAINING WALL  
 CHAIN LINK FENCE (SEE LANDSCAPE PLAN)  
 ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)  
 WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)  
 HYDRO SERVICE LATERAL  
 HYDRO METER  
 GAS METER  
 SHADE DIRECTION  
 EARMPRINT  
 (SLOPE values otherwise noted)

 PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA  
 OR  THIS LOT CONTAINS ENGINEERED FILL  
 AIR CONDITIONER REQUIRED  
 RUN WATER DOWNSPOUT LOCATION (DISCHARGE ONTO SPLASHPAD)  
 SIDE WINDOW LOCATION  
 OPT. DOOR LOCATION  
 EXTERIOR DOOR LOCATION  
 REDUCE SIDE YARD

**north arrow**



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

qualification information	<i>R Vink</i>	24488
Richard Vink		
name	signature	BCN

registration information	42658
VA3 Design Inc.	
Builder to verify location of all hydrants, street lights, transformers and	

Builder to verify service connection elevations prior to constructing foundations. <sup>44</sup> Drainsage NOT to be scaled <sup>45</sup>

**VA3  
DESIGN**  
255 Consumers Rd. Suite 120  
Toronto ON M2J 1R4  
416.630.2255 / 416.630.4782  
va3design.com

# Greenpark.

project name  
**RUSSELL GARDENS PHASE 4**

**municipality**  
**HAMILTON**

DATE: JUL 2021

drawn by GW checked by 1:250  
GREG - H:\ARCHIVE\WORKING\2020\20027\GRE\SITE PLAN\2

LOT SITING/GRADING

20027-RG4-SITE-LAYOUTS  
- Fri - Aug 27, 2021 - 8:46 AM

lot/block no.  
394  
registered plan no.  
62M-1266

project no.  
**20027**

drawing no.

100

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1	ISSUED FOR PERMIT	AUG 27/21	GR
no.	description	date	b

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