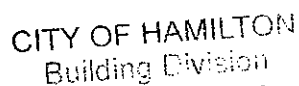


A circular professional engineer seal for the Province of Ontario. The outer ring contains the text "LICENSED PROFESSIONAL ENGINEER" at the top and "PROVINCE OF ONTARIO" at the bottom. The center of the seal features the name "N. R. POKHAREL" and the license number "100156322". A date stamp "2021-09-07" is visible over the top part of the name. A signature, "Nava Pokh", is written in cursive across the bottom of the seal.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

APPROVED BY: [Signature]
DATE: SEP 08, 2021

This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.



Permit No. 21-152319

THESE STAMPED GRADING SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or specifications have been reviewed by

FOR CHIEF BUILDING OFFICIAL

DATE _____

LOT 492		
LOT No.	LOT WIDTH (M) (@ 5.8m)	LOT AREA (M ²)
492	12.50	410.69

Greeting Notes:











Grading notes:
It shall be the responsibility of the builder to have all grades and services verified and checked before construction by an approved grading engineer. These grades and the placement of storm and sanitary services off the street are to meet the requirements of the municipality having jurisdiction.

VJ3 Design Inc. is to be notified promptly of any discrepancies at least 1 (one) week prior to excavation commences in order that the building can be re-sited. Failure to observe these conditions may require expensive remedial action that will not be the responsibility of or cost to VJ3 Design Inc. Foundation wall shall be poured to a minimum of 6" above approved grades.

Finished grade lines as indicated on the house prototype are for reference only and do not necessarily depict finish grading conditions of any particular lot.

These drawings are to be read in conjunction with municipal approved site engineering drawings prepared by Metropolitan Consulting Inc.

NOTE: REFER TO LANDSCAPE DRAWINGS FOR ALL FENCING TYPES, HEIGHTS AND LOCATIONS. CONTRACTOR TO VERIFY PRIOR TO INSTALLATION.

-  PROPOSED VALVE
 LIGHT POLE
 HYDRANT
 WATER SERVICE
 TRANSFORMER
 DOUBLE STM/SAM CONNECTION
 SINGLE STM/SAM CONNECTION
 CATCH BASIN
 CABLE TELEVISION PEDESTAL
 BELL PEDESTAL

- | | |
|--------|-------------------------------|
| JR | No. OF RISERS |
| FF | FINISHED FLOOR ELEVATION |
| MF | FINISHED MAIN LEVEL ELEVATION |
| UF | UNDERSIDE FOOTING ELEVATION |
| BF | FIN. BASEMENT FLOOR SLAB |
| TF | TOP OF FOUNDATION WALL |
| WR | UNDERSIDE FOOTING AT REAR |
| WF | UNDERSIDE FOOTING AT FRONT |
| US | UNDERSIDE FOOTING AT SIDE |
| W.O.D. | WALK OUT DECK |
| W.O.B. | WALK OUT BASEMENT |
| REV | REVERSE PLAN |

-
- STREET SIGN
- MAIL BOX
- RETAINING WALL
- CHAIN LINK FENCE (SEE LANDSCAPE PLAN)
- ACOUSTICAL FENCE (SEE LANDSCAPE PLAN)
- WOOD SCREEN FENCE (SEE LANDSCAPE PLAN)
- HYDRO SOURCE LATERAL
- HYDRO METER
- GAS METER
- SCALE DIRECTION
- BENCHMARK
- 1:1 SLOPE

-  PROVIDE 3/4" DIA. CLEAR STONE IN THIS AREA
 OR  THIS LOT CONTAINS ENGINEERED FILL
 AIR CONDITIONER REQUIRED
 OR  RAIN WATER DOWNSPOUT LOCATION (DISCHARGE INTO SPLASHPAD)
 SIDE WINDOW LOCATION
 OPT. DOOR LOCATION
 EXTERIOR DOOR LOCATION
 REDUCE SIDE YARD

north arrow

[illegible]

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