

STRIP FOOTINGS - FOR SINGLES & SEMIS UP TO 2 STOREYS

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.
FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16" SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING.
BELOW PARTY WALLS.
(REFER TO ENGINEER FILL FOOTING DETAIL.)

ASSUME THE LARGER FOOTING SIZE WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY FOR SINGLES OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL 90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART.)

VENEER CUT

WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

EXPOSED CONCRETE (FLATWORK)

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa, WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS (WL)

WL1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4" x 3-1/2" x 5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6" x 3-1/2" x 3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6" x 4" x 3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL8 = 5" x 3-1/2" x 5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL9 = 6" x 4" x 3/8" (150x100x10.0L) + 3-2"x10" SPR. No.2

WOOD LINTELS AND BEAMS (WB)

WB1 = 2-2"x8" (2-38x184) SPR. No.2
WB2 = 3-2"x8" (3-38x184) SPR. No.2
WB3 = 2-2"x10" (2-38x235) SPR. No.2
WB4 = 3-2"x10" (3-38x235) SPR. No.2
WB5 = 2-2"x12" (2-38x286) SPR. No.2
WB6 = 3-2"x12" (3-38x286) SPR. No.2
WB7 = 5-2"x12" (5-38x286) SPR. No.2
WB11 = 4-2"x10" (4-38x235) SPR. No.2
WB12 = 4-2"x12" (4-38x286) SPR. No.2

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

LOOSE STEEL LINTELS (L)

L1 = 3-1/2" x 3-1/2" x 1/4" (90x90x6.0L)
L2 = 4" x 3-1/2" x 5/16" (100x90x8.0L)
L3 = 5" x 3-1/2" x 5/16" (125x90x8.0L)
L4 = 6" x 3-1/2" x 3/8" (150x90x10.0L)
L5 = 6" x 4" x 3/8" (150x100x10.0L)
L6 = 7" x 4" x 3/8" (180x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
10	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

CERAMIC TILE FOR CONVENTIONAL LUMBER (OBC 9.30.6)

SPACE ALL CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-0" TO 7'-0".
2 ROWS FOR SPANS GREATER THAN 7'-0".

NOTE: ROOF FRAMING

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION UNLESS OTHERWISE NOTED.

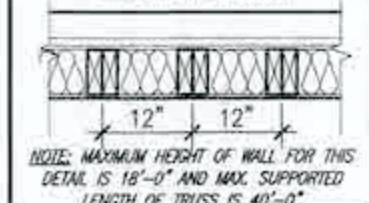
PLANS NOT DRAWN TO ACTUAL GRADE, REFER TO FINAL APPROVED GRADING PLAN.

NOTE: ENGINEERED FLOOR FRAMING

REFER TO ENGINEERED FLOOR LAYOUTS FOR ALL ENGINEERED FLOOR FRAMING INFORMATION AND DETAILS, UNLESS OTHERWISE NOTED.

TWO STOREY HEIGHT WALL DETAIL

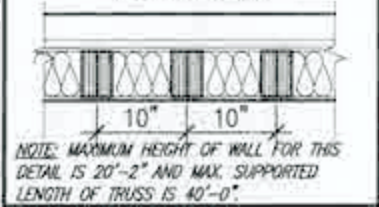
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 16'-0" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

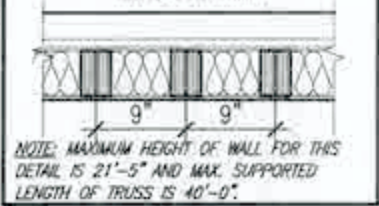
2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED & NAILED TOGETHER AND SPACED MAX. @ 9" O.C. FULL HEIGHT, C/W SOLID BLOCKING @ 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND MAX. SUPPORTED LENGTH OF TRUSS IS 40'-0".

THE MINIMAL THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING SB-12 COMPLIANCE PACKAGE AS PER OBC SUPPLEMENTARY STANDARD SB-12, SECTION 3.1.1.1.

USE SB-12 COMPLIANCE PACKAGE (A1):

COMPONENT	A1	Notes:
Ceiling with Attic Space	10.56 (R60)	R20 at inner face of exterior walls
Minimum RSI (R) value		
Ceiling without Attic Space	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Exposed Floor	5.46 (R31)	BATT or SPRAY
Minimum RSI (R) value		
Walls Above Grade	3.87 (R22)	6" R22 BATT
Minimum RSI (R) value		
Basement Walls	3.52ci (R20ci)	OPTION TO USE R12+R10ci
Minimum RSI (R) value		
Edge of Below Grade Slab <600mm below grade	1.76 (R10)	RIGID INSUL
Minimum RSI (R) value		
Windows & Sliding glass Doors	0.28	
Maximum U-value		
Skylights	0.49	
Maximum U-value		
Space Heating Equipment Minimum AFUE	96% Min.	NATURAL GAS
Hot Water Heater Minimum EF	0.8	NATURAL GAS
HRV Minimum Efficiency	75%	
Drain Water Heat Recovery Unit (DWHR)	Minimum 1 OR Maximum 2 Required	Dependent on number of showers installed. Refer to SB12-3.1.1.12 for information.

ci - Denotes Continuous Insulation without framing interruption.



ALL ELECTRICAL INSTALLATIONS MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY SEPARATE INSPECTION APPLICATIONS MUST BE FILED FOR MORE INFORMATION PLEASE CALL: ELECTRICAL SAFETY AUTHORITY 1-877-ESA-SAFE (372-7233) PLUG IN SAFELY. HIRE A LICENSED ELECTRICAL CONTRACTOR FIND A CONTRACTOR AT www.plugin safely.ca

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	889.82 S.F.	190.45 S.F.	21.40 %
LEFT SIDE	1347.61 S.F.	87.68 S.F.	6.50 %
RIGHT SIDE	1347.61 S.F.	87.49 S.F.	6.50 %
REAR	883.71 S.F.	170.11 S.F.	19.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.8(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4468.75 S.F.	515.71 S.F.	11.54 %
TOTAL SQ. M.	415.16 S.M.	47.91 S.M.	11.54 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	928.99 S.F.	192.23 S.F.	20.67 %
LEFT SIDE	1351.34 S.F.	87.68 S.F.	6.49 %
RIGHT SIDE	1358.84 S.F.	87.49 S.F.	6.46 %
REAR	883.71 S.F.	170.11 S.F.	19.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.8(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4524.85 S.F.	517.49 S.F.	11.44 %
TOTAL SQ. M.	420.37 S.M.	48.08 S.M.	11.44 %

UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	912.21 S.F.	254.18 S.F.	27.86 %
LEFT SIDE	1358.36 S.F.	87.68 S.F.	6.45 %
RIGHT SIDE	1358.84 S.F.	87.49 S.F.	6.46 %
REAR	883.71 S.F.	170.11 S.F.	19.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.8(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4514.12 S.F.	519.44 S.F.	12.64 %
TOTAL SQ. M.	419.37 S.M.	53.83 S.M.	12.64 %

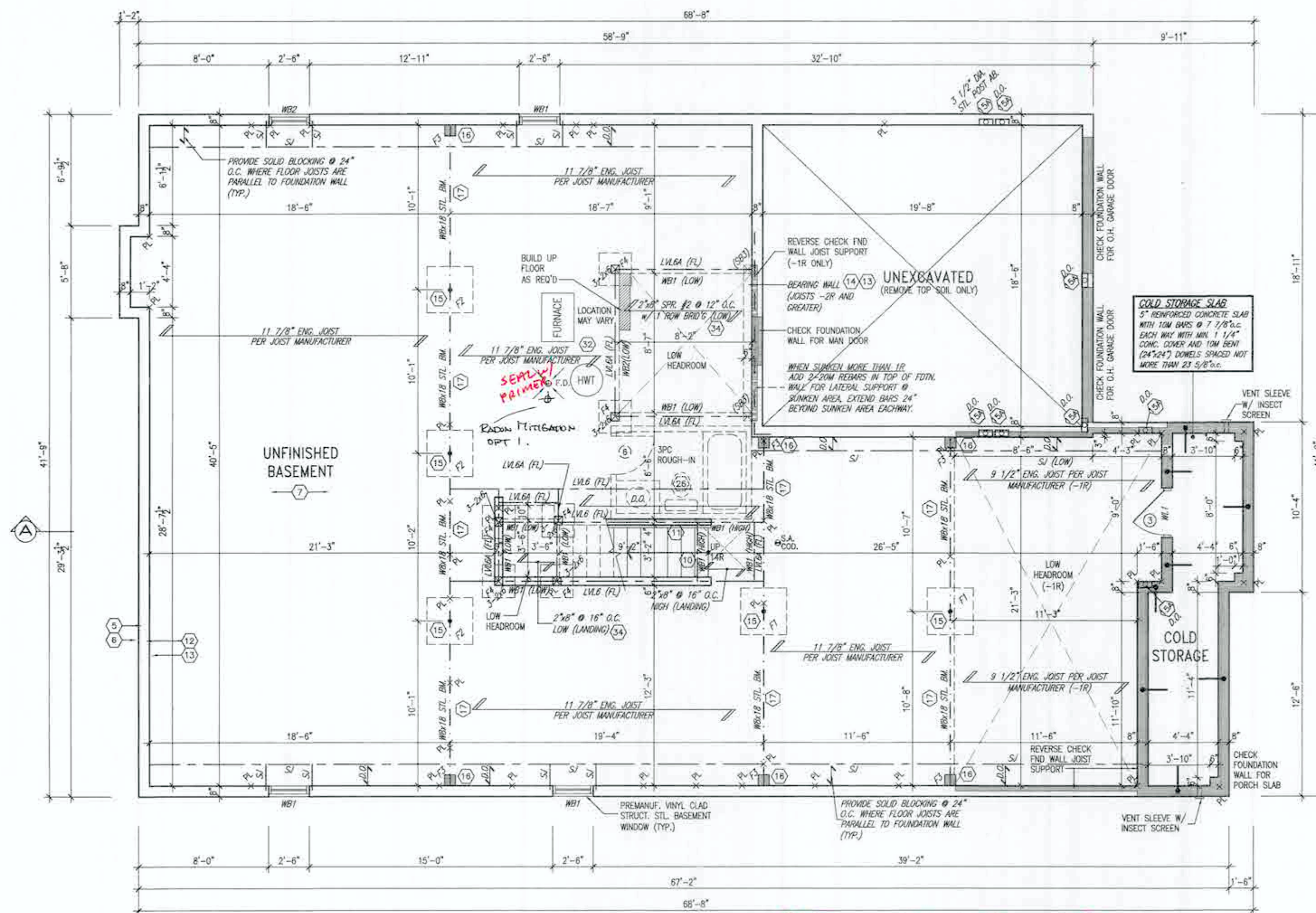
UNINSULATED OPENINGS (PER OBC, SB-12.3.1.1(7))			
ENERGY EFFICIENCY - OBC SB12			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	883.71 S.F.	188.58 S.F.	21.34 %
LEFT SIDE	1347.61 S.F.	87.68 S.F.	6.50 %
RIGHT SIDE	1347.61 S.F.	87.49 S.F.	6.50 %
REAR	883.71 S.F.	170.11 S.F.	19.25 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.8(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
		0.00 S.F.	
TOTAL SQ. FT.	4462.64 S.F.	513.82 S.F.	11.51 %
TOTAL SQ. M.	414.59 S.M.	47.74 S.M.	11.51 %

AREA CALCULATIONS	ELEV '1'
GROUND FLOOR AREA	2154 SF
SECOND FLOOR AREA	2427 SF
TOTAL FLOOR AREA	4581 SF
	(425.6 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	17 SF
ADD TOTAL OPEN AREAS	+17 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	4598 SF
	(427.2 m2)
GROUND FLOOR COVERAGE	2161 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	114 SF
COVERAGE W/ PORCH	2668 SF
	(247.86 m2)
COVERAGE W/O PORCH	2554 SF
	(237.3 m2)

AREA CALCULATIONS	ELEV '2'
GROUND FLOOR AREA	2163 SF
SECOND FLOOR AREA	2425 SF
TOTAL FLOOR AREA	4588 SF
	(426.2 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	17 SF
ADD TOTAL OPEN AREAS	+17 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	4605 SF
	(427.8 m2)
GROUND FLOOR COVERAGE	2170 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	52 SF
COVERAGE W/ PORCH	2615 SF
	(242.94 m2)
COVERAGE W/O PORCH	2563 SF
	(238.11 m2)

AREA CALCULATIONS	ELEV '3'
GROUND FLOOR AREA	2154 SF
SECOND FLOOR AREA	2425 SF
TOTAL FLOOR AREA	4579 SF
	(425.4 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	17 SF
ADD TOTAL OPEN AREAS	+17 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	4596 SF
	(427.0 m2)
GROUND FLOOR COVERAGE	2161 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	52 SF
COVERAGE W/ PORCH	2606 SF
	(242.10 m2)
COVERAGE W/O PORCH	2554 SF
	(237.27 m2)

AREA CALCULATIONS	ELEV '4'
GROUND FLOOR AREA	2154 SF
SECOND FLOOR AREA	2450 SF
TOTAL FLOOR AREA	4604 SF
	(427.7 m2)
FIRST FLOOR OPEN AREA	0 SF
SECOND FLOOR OPEN AREA	17 SF
ADD TOTAL OPEN AREAS	+17 SF
ADD FINISHED BSMT AREA	+0 SF
GROSS FLOOR AREA	4621 SF
	(429.3 m2)
GROUND FLOOR COVERAGE	2161 SF
GARAGE COVERAGE/AREA	393 SF
PORCH COVERAGE/AREA	52 SF
COVERAGE W/ PORCH	2606 SF
	(242.10 m2)
COVERAGE W/O PORCH	2554 SF
	(237.3 m2)



BASEMENT PLAN - ELEV. '1'

* A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT

**Electrical Contractor
Registration Agency**

**of the
Electrical Safety
Authority**

**ALL ELECTRICAL INSTALLATIONS
MUST BE INSPECTED BY THE
ELECTRICAL SAFETY AUTHORITY
SEPARATE INSPECTION
APPLICATIONS MUST BE FILED
FOR MORE INFORMATION PLEASE CALL:
ELECTRICAL SAFETY AUTHORITY
1-877-ESA-SAFE (372-7233)**

**PLUG IN SAFELY. HIRE A LICENSED
ELECTRICAL CONTRACTOR.
FIND A CONTRACTOR AT
www.electrical.org**

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 29 2021
REC BY _____ DATE _____
REF TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER AGREES CONTINUING SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

These drawings and/or modifications are in conformity with
Mark Smith Jan. 21, 2022

FOR CODE AND PERMITS OFFICIAL

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements adopted by the City of Hamilton, and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for reviewing or approving site control plans or working drawings with respect to any zoning or building code or permit matter; or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS, LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY
DATE: NOV 18 2021

This is to certify compliance with the applicable Design Guidelines only and does not constitute a warranty of any kind.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. Marinkovic

B. MARINKOVIC

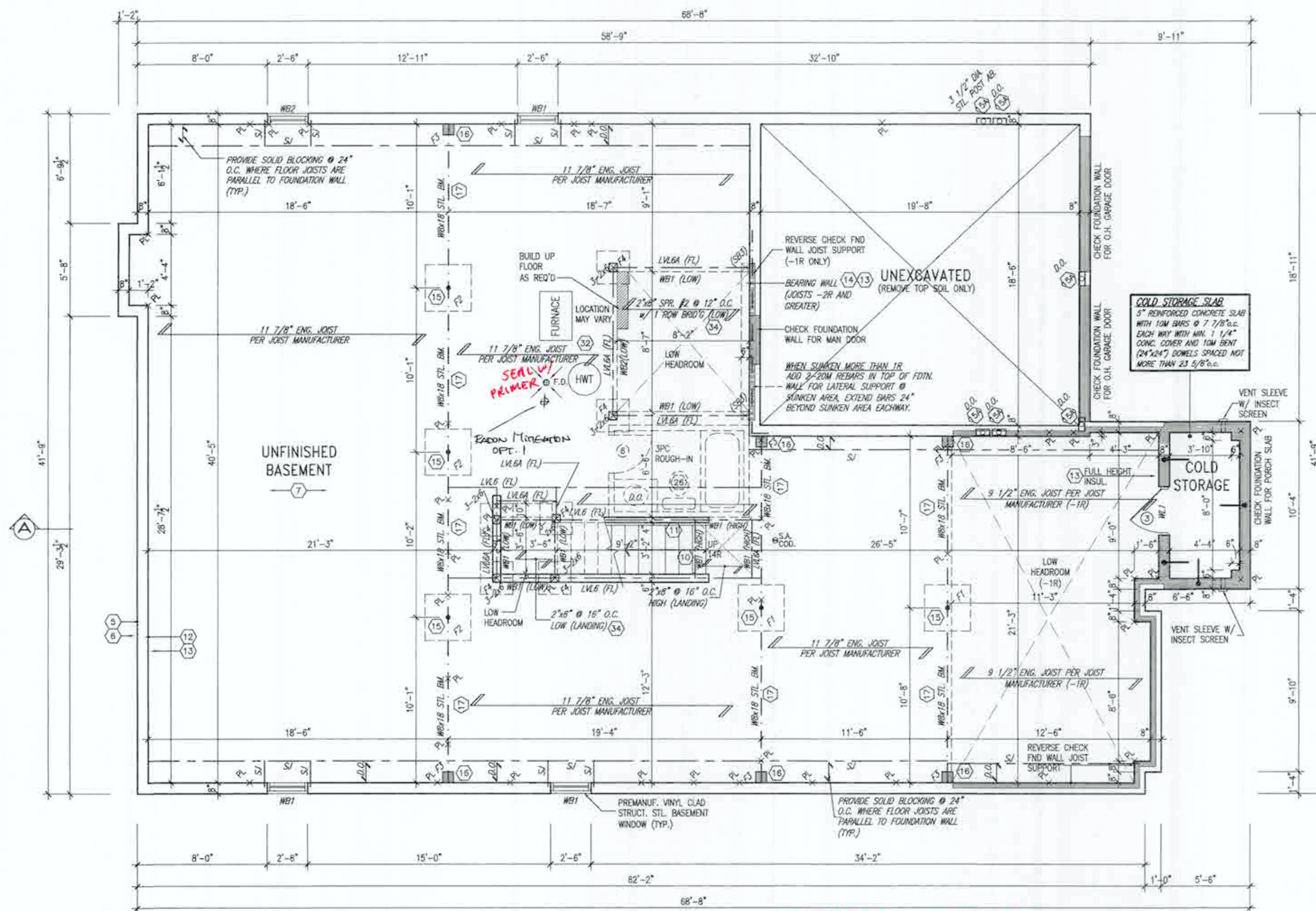
PROVINCE OF ONTARIO

Nov17/24

FOR STRUCTURE ONLY

16.			9.				The undersigned has reviewed and taken responsibility for this report and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 VA3 DESIGN 255 Consumers Rd Suite 120 Toronto, ON M2J 1B4 T 416.833.4782 F 416.833.4782 va3design.com	 Greenpark. 15.25m	project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project 2002	drawing no. A1
17.		8.			qualification information								
18.		7.			Richard Vink								
19.		6.			signature	24488							
20.		5.			name	JCR							
21.		4.			registration information	42658							
22.		3.			ISSUED FOR PERMIT.	MAY 28/21	GW						
23.		2.			REV. PER CLIENT/PROG./FL./ENG. COMMENTS	APR 26/21	MT						
24.		1.			PRELIMINARY, ISSUED FOR REVIEW.	FEB 09/21	GW						
25.		description	date	by	description	date	by						

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BASEMENT PLAN - ELEV. '2'

A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT

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Registration Agency

of the
Electrical
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Authority

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SEPARATE INSPECTION
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ELECTRICAL CONTRACTOR
FIND A CONTRACTOR AT
www.pluginsafely.ca

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Parent No. 21-163002

THESE STANDARD CONDITIONS SHALL BE APPLICABLE ON THE
THE OWNER AND ON CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These Standard Conditions shall apply to all work performed by
Ken Smith Jan. 21, 2022
FOR CHIEF BUILDING OFFICIAL DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 3
15.25m

Greenpark.

VA9

DESIGN
255 Consumers Rd. Suite 101
Toronto ON M2J 1P9
t: 416.630.2255 f: 416.630.2256
www.v3design.com

project name	municipality		project no.
RUSSELL GARDENS PH. 4	HAMILTON, ON.		2002
date	drawing title		drawing no.
FEB 2021	BASEMENT PLAN - ELEV. '2'		A1a
drawn by	checked by	scale	file name
BO.BRM		3/16" = 1'-0"	2002T-GRANDVILLE-3

18				8		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	MAY 28/21
11				2	REV. PER CLIENT/ROOF/FL ENG COMMENTS	APR 26/21
10				1	PRELIMINARY, ISSUED FOR REVIEW.	FEB 09/21

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24486
name	
signature	signature
registration information	ICB
VAS Design Inc.	42658
Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work.	

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JOHN G. WILLIAMS LTD. ARCHITECT
ARCHITECTURAL & DESIGN, INC.
ARCHITECTS
DATE: NOV 25, 2022

DESIGNED BY: JG WILLIAMS LTD. ARCHITECT
DRAWN BY: JG WILLIAMS LTD. ARCHITECT
CHECKED BY: JG WILLIAMS LTD. ARCHITECT
APPROVED BY: JG WILLIAMS LTD. ARCHITECT

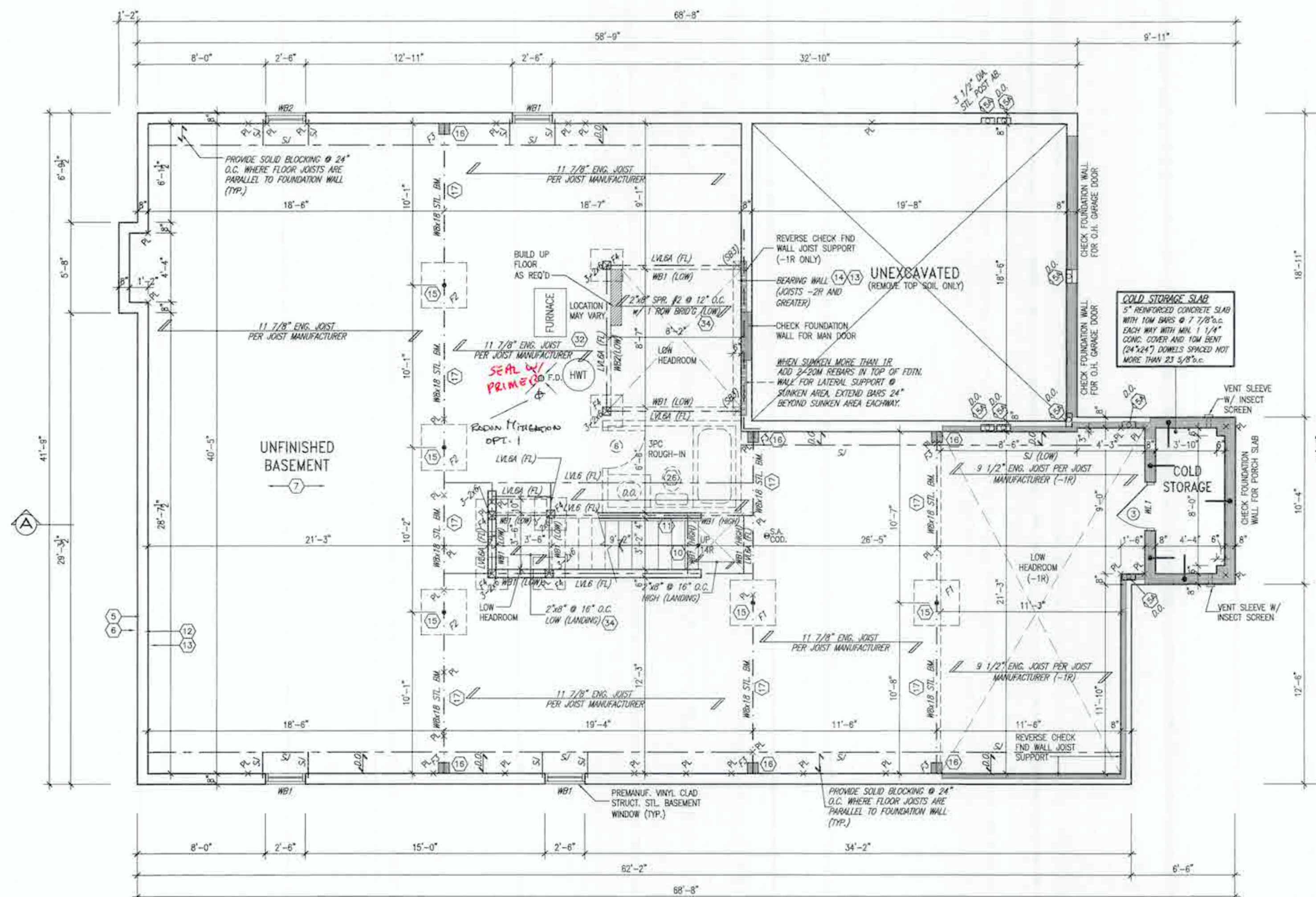
STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov 17/24

FOR STRUCTURE ONLY

VA3
DESIGN
255 Consumers Rd Suite 12
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4777
va3design.com



BASEMENT PLAN - ELEV. '4'

A SEPARATE BUILDING PERMIT IS REQUIRED TO FINISH THE BASEMENT

 Electrical Contractor
Registration Agency

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 29 2021
REC BY _____ DATE _____
REF TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE 5 DRAWINGS (INCLUDING THIS) ARE TO BE USED FOR THE 2775

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and/or modifications have been reviewed by
Don Swift Jan. 24, 2022

FOR CHIEF ENGINEER (Signature) DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 3
15.25m



Greenpark



VA3
DESIGN

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002
date	drawing no.	

168		-	9	-	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
170		-	8	-	-	qualification information	
171		-	7	-	-	Richard Yink	24
172		-	6	-	-	signature	
173		-	5	-	-	Registration Information	
174		-	4	ADDED ELEVATION 4	SEPT 2021	VAS Design Inc.	42
175		-	3	ISSUED FOR PERMIT	MAY 28/21		
176		-	2	REV. FOR CLIENT/ROF/FL/ENG. COMMENTS	APR 28/21		
177		-	1	PRELIMINARY ISSUED FOR REVIEW	FEB 02/21		
no.	description	date	by	description	date	by	

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JAMES C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONSULTING REVIEW
AND INSPECTION
DATE: MAY 15, 2012
THIS CERTIFICATE APPLICABLE ONLY TO THE APPLICABLE
DESIGN GUIDELINES BY THE CITY OF HAMILTON

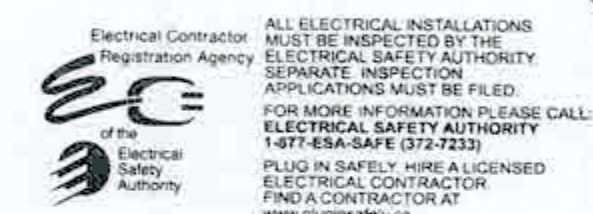
STUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov17/24

FOR STRUCTURE ONLY

Nov17/2



CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPEX DRAWINGS SHALL BE AVAILABLE ON SITE

THE OWNER/ARCHITECT/CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Drawings were prepared, reviewed, and approved by
Ken Smith Jan. 21, 2022

FOR OWNER/ARCHITECT/CONTRACTOR PAGE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

 Greenpark.		GRANDVILLE 3 15.25m
project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002
date FEB 2001	GROUND FLOOR PLAN - ELEV. '1'	
drawn by BO.BM	checked by —	scale 3/16" = 1'-0"
		file name 20027-GRANDVILLE-3
		drawing no. A2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including code provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site, roofing, plans or working drawings with respect to any zoning or building code provisions. Plans for any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architecture Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DESIGN
SEE APPROVAL

DRAWN BY
DATE NOV 15, 2012

The design complies with the applicable Planning Guidelines and all applicable zoning and building code provisions.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov17/24

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[illegible]

VA3
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1P1
t 416.630.2255 f 416.630.2256
va3design.com

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Electrical Contractor
Registration Agency

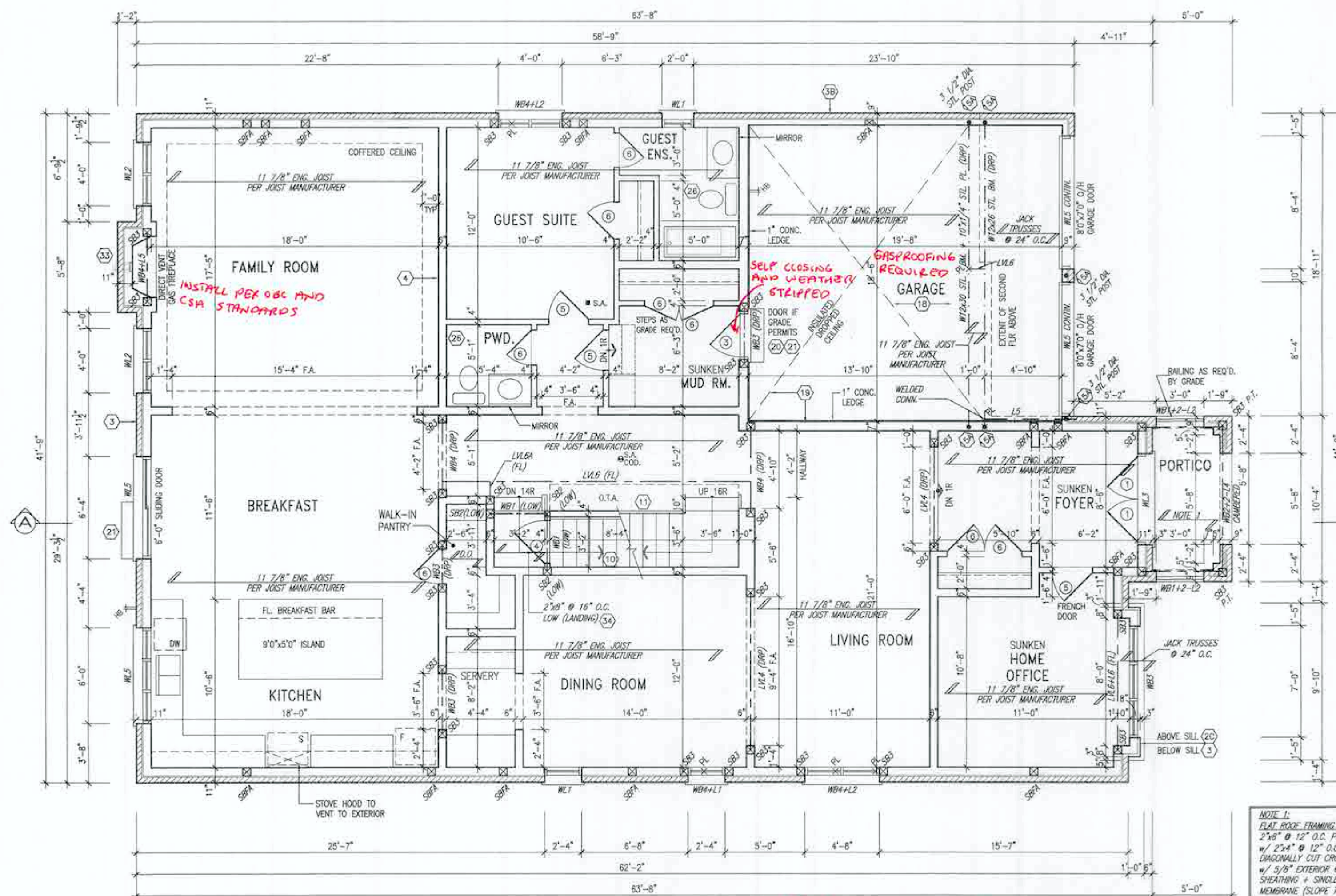


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Authority

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SEPARATE INSPECTION
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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THESE STAMPED DIMENSIONS SHALL BE MAINTAINED EXACTLY
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications to be based on issues by
Therese Swift Jan. 21, 2022
CITY OF HAMILTON OFFICIAL (Signature) (Date)

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JS
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLIN
w/ 5/8" EXTERIOR GRADE
SHEATHING & SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '2'

FIRE BLOCKING REQUIRED FOR
COFFERED CEILING

If it is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement, The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: MAY 15, 2002

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departments without permission.

STRUDE INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov17/24

FOR STRUCTURE ONLY

181				9		
171				8		
161				7		
151				6		
141				5		
131				4		
121				3	ISSUED FOR PERMIT	MAY 28/21
111				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21
101				1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21
no.	description	date	by	no.	description	date

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	
Richard Vink	24
name	signature
qualification information	
VAS Design inc.	42
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the drawings and are not to be copied.	

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DESIGN
256 Consumers Rd Suite
Toronto ON M2J 1R4
+ 416.630.2255 / 416.630.
vo3design.com

 Greenpark.		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		project no. 20027	
drawing title GROUND FLOOR PLAN - ELEV. '2'		drawing no. A2a	
scale 80.91m		scale 3/16" = 1'-0"	
checked by SECS - J. HAVCHAK, W. HODGSON, J. DODD, J. ZAR, L. MILES, S. DALLER, D. GONVILLE, J. DODD - GRANDVILLE - 3		date 2021-GRANDVILLE-3	

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OUTDOOR AIR INTAKE SEPARATION
ALL OUTDOOR AIR INTAKE VENTS TO BE SEPARATED A MINIMUM DISTANCE FROM SOURCES OF CONTAMINATION PER CBC, DIV. B- TABLE 6.2.3.12.

* KITCHEN EXHAUST,	3.0m
* DRIVEWAY, PARKING SPACE, ROAD,	1.5m
* SOLID FUEL APPLIANCE EXHAUST	3.0m

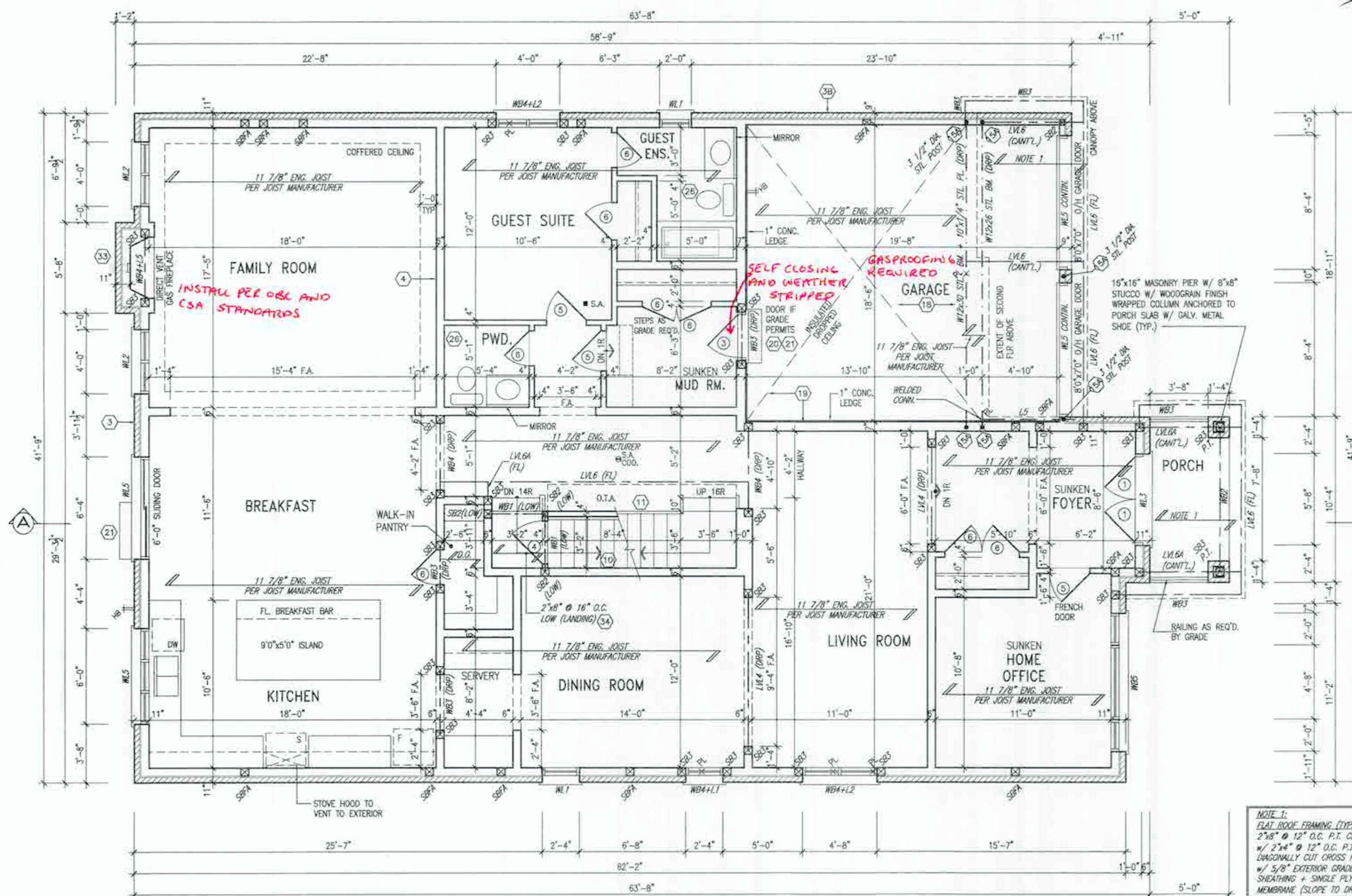
NOT TO SCALE - 200203-0000

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THESE STAMPED DRAWINGS SHALL BE AVAILABLE TO THE
THE OWNER AND/OR ALL OTHERS TO WHOM A COPY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAM
These drawings and specifications have been reviewed by
Don Smith Jan. 21, 2022
City Engineer, Local Government

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JS
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLIN
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '3'

FIRE BLOCKING REQUIRED FOR
COFFERED CEILINGS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning ordinances and any provisions in the subdivision agreement. The Control Architect is responsible for any further examining or approving site (lotting) plans or working drawings with respect to any zoning or other applicable ordinances. Plans for any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

RECORDED BY
DATE NOV 18 2021

This stamp certifies compliance with the applicable Design Guidelines only and is not to be taken as a warranty of any kind.

STRUDE INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov17/21

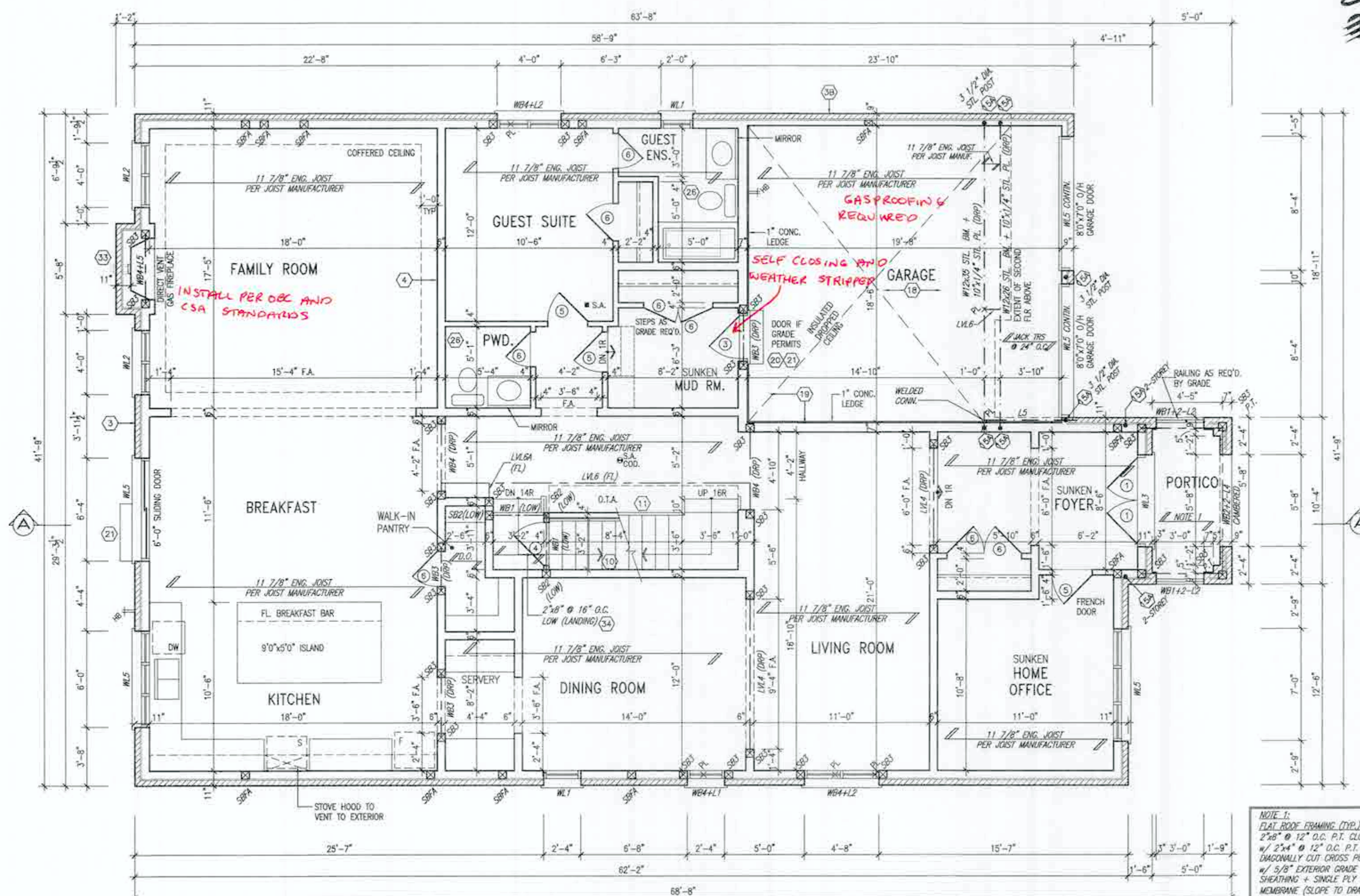
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CITY OF HAMILTON
BUILDINGS DIVISION
Planning & Development Department

NOV 29 2021

REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002
 THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
 - THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
 THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
 I, Timothy J. Swales (holder of the permit) hereby agree to these conditions.
Timothy Swales Jan. 21, 2022
 (Signature) (Date)
 NEW YORK BUILDING OFFICIAL DATE

NOTE 1:
FLAT ROOF FRAMING (TYP.)
2"x8" @ 12" O.C. P.T. CLG. JS
w/ 2"x4" @ 12" O.C. P.T.
DIAGONALLY CUT CROSS PURLINE
w/ 5/8" EXTERIOR GRADE
SHEATHING + SINGLE PLY ROOF
MEMBRANE (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '4'

FIRE BLOCKING REQUIRED FOR
COFFERED CEILING

It is the builder's complete responsibility to ensure that all plans Architectural approved fully comply with all applicable codes and regulations, including zoning regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: APR 15, 2011
The owner certifies compliance with the associated
Design Requirements (1) and (2) and no further
modifications are required.

STRUDET INC.



Nov 17/23

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181		-	-	9				The undersigned has reviewed and taken responsibility for the design and has the qualifications and meets the requirements set out in Ontario Building Code to be a Designer.
177		-	-	7				qualification Information:
16		-	-	8				
15		-	-	6				Richard Wink
14		-	-	5				signature
		-	-	4	ADDED ELEVATION 4	SEPT 2021	GW	qualification information: VA3 Design Inc.
		-	-	3	ISSUED FOR PERMIT.	MAY 26/21	GW	
		-	-	2	REV. PER CLIENT/ROOF/LT./ENG. COMMENTS	MAY 26/21	WT	Contact me orally at dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the work of the Designer which must be returned at the completion of the project.
		-	-	1	PRELIMINARY ISSUED FOR REVIEW.	FEB 09/21	GW	
10		-	-					
	Per Association	Date	by	Description		Date	Sig	



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DESIGN

255 Consumers Rd. Suite 101
Toronto, ON M2J 1P9
T: 416.630.2255 F: 416.630.2256
www.v3design.com



project name	RUSSELL GARDENS PH. 4	HAMILTON
--------------	-----------------------	----------

drawn by BO.BIM checked by scale 3/16" = 1'-0"

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 3
15.25m

Project	2002
---------	------

PLAN - ELEV. '4'
file name
20027-GRANDVILLE-3
A2c

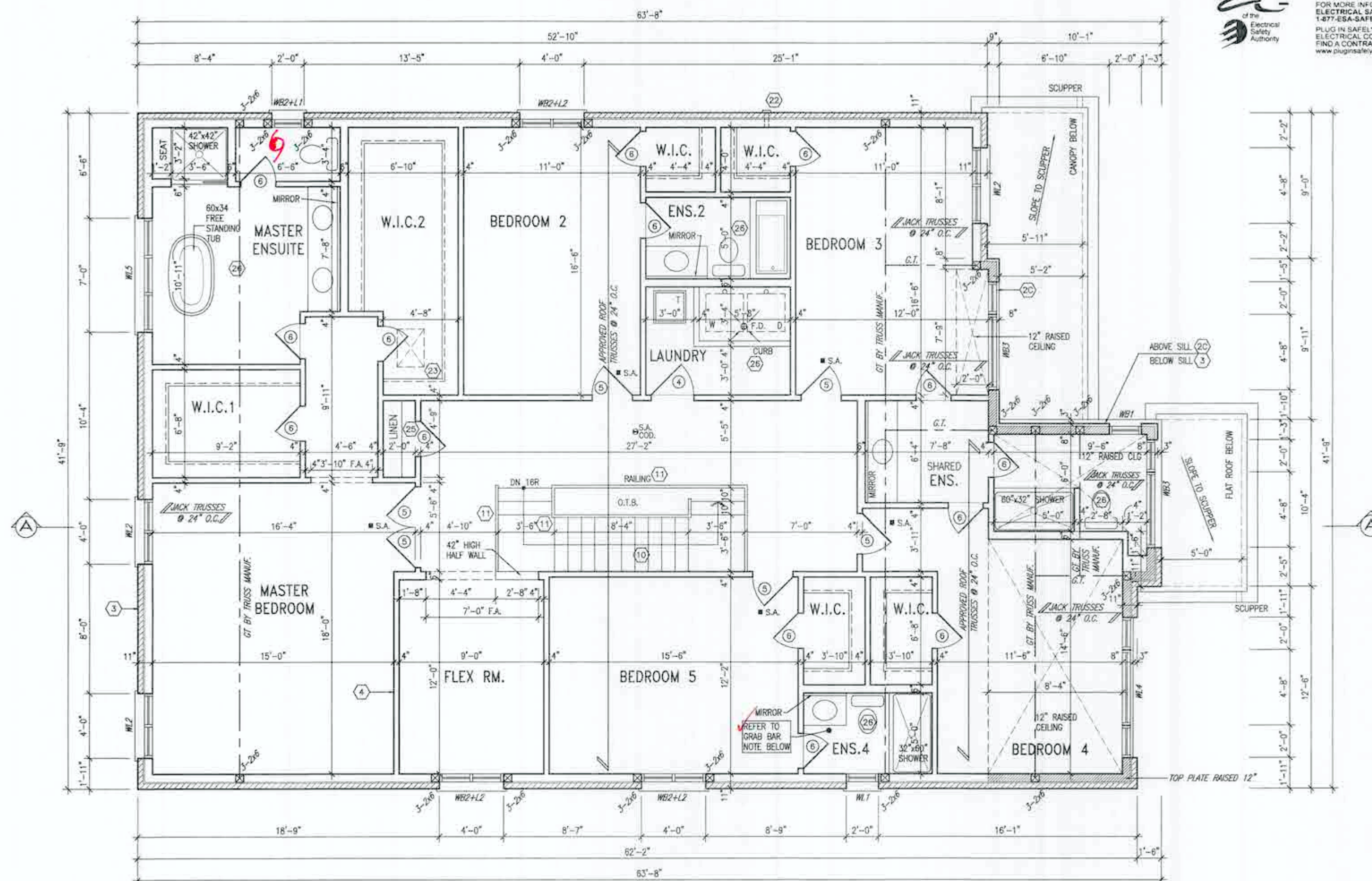
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SECOND FLOOR PLAN - ELEV. '3'

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 29 2021
REC BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THREE STAMPED DRAWINGS SHALL BE SUBMITTED ON THE
THE COVER AND ONE SET OF EACH SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and specifications shall remain the property of the
City of Hamilton Jan. 21, 2022

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, DESIGN
AND APPROVAL

APPROVED BY: 

DATE: NOV 15, 2012

This design will be in accordance with the applicable
Design Requirements and will be in the
interest of the community and the environment.

STRUDE INC.

REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO

Nov17/24

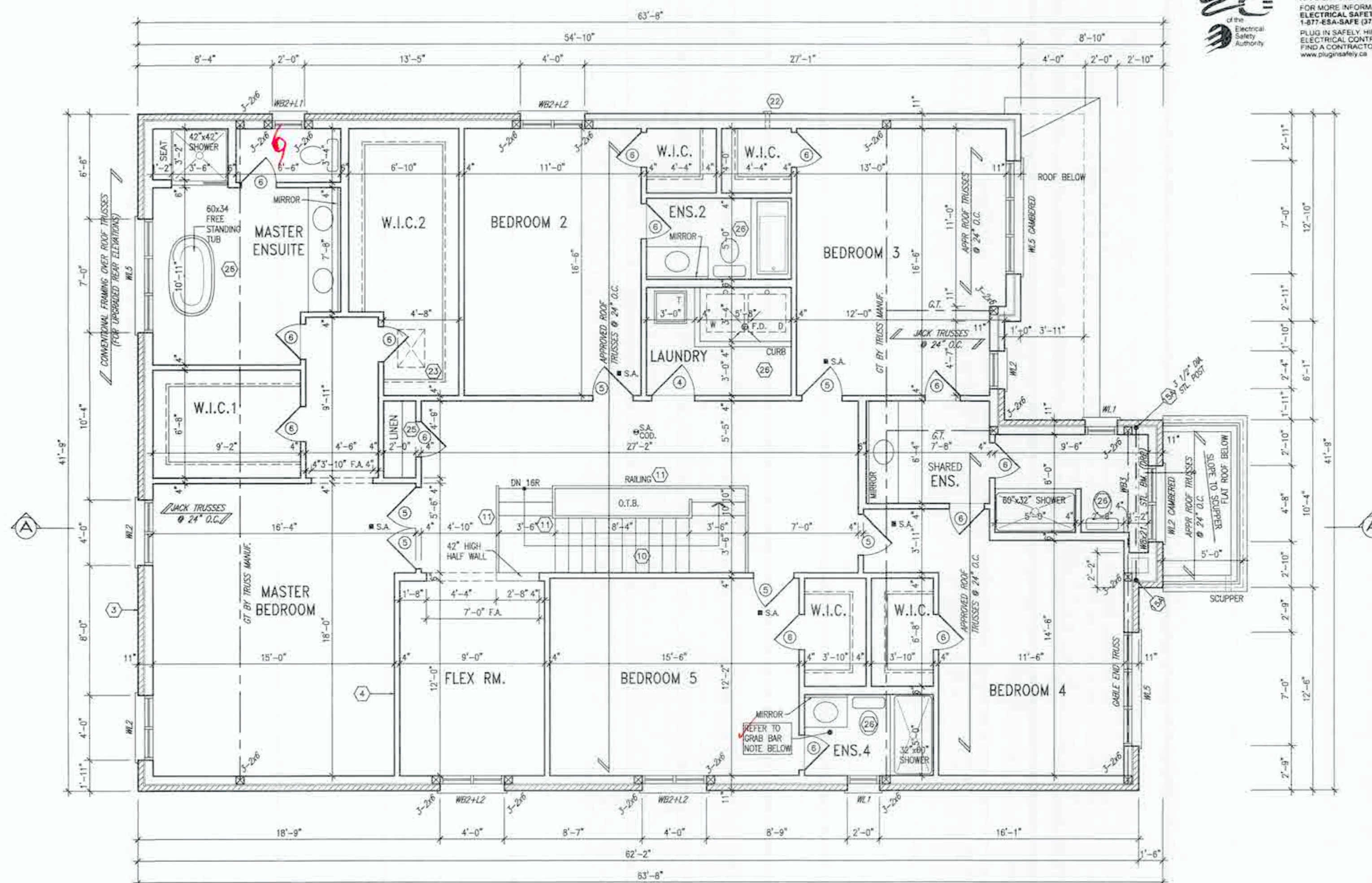
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18				9		No undersigned has reviewed and taken responsibility for this design and has the qualifications and master list requirements set out in the Ontario Building Code to be a Designer.	 255 Consumers Rd Suite 120 Toronto ON M2J 1R4 Tel: 416-653-2725 ext 416-653-4782 vabdesign.com	 15.25m	project name RUSSELL GARDENS PH. 4 city/municipality HAMILTON, ON. project no. 20027 date FEB 2021 drawn by SSB checked by SSB scale 3/16" = 1'-0" notes 20027 - GRANDVILLE-3 notes ALTERNATIVE WORKING DRAWING 20027 (REV) HAMILTON GREENPARK 20027 - GRANDVILLE-3	drawing no. A3b			
17			8										
16			7										
15			6										
14			5										
13			4										
12			3	MAY 28/21	GW	ISSUED FOR PERMIT.							
11			2	APR 28/21	WT	REV. PER CLIENT/DRAFT/ENG. COMMENTS							
10			1	FEB 09/21	GW	PRELIMINARY, ISSUED FOR REVIEW.							
no.	description	date	by	no.	description	date	by						

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CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC BY: _____ DATE: _____
REF TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

Page 16 of 21

THESE STAMPS REMAIN IN FORCE UNTIL THE 31ST OF JULY 1998

THE CARRIER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO RAILWAY CODE AND ALL OTHER APPLICABLE LAWS.

These findings are consistent with the idea that the

Jim Smith June 21, 2022

FOR CLASS REVISIT ON OCTOBER _____ DATE: _____

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



Greenpark

GRANDVILLE 3
15.25m

project name	municipality	project year
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

DATE: FEB 2021 SECOND FLOOR PLAN - ELEV. '4' drawing no.

drawn by 30.BIM	checked by —	scale 3/16" = 1'-0"	file name 20027-GRANDVILLE-3
--------------------	-----------------	------------------------	---------------------------------

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116		-	9	-	The undersigned has reviewed and claims responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
117		-	8	-	qualification information	
116		-	7	-	Richard Vink	2408
115		-	6	-	signature	
114		-	5	-	registration information	
113		-	4	ADDED ELEVATION 4	SEPT 26/21	OK
112		-	3	ISSUED FOR PERMIT	MAY 26/21	OK
111		-	2	REV. PER CLIENT/PROOF/FINAL COMMENTS	AUG 26/21	WT
110		-	1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21	WT
109	for foundation	date	description			

VA3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4
va3design.com

 Greenpark.		GRANDVILLE 3 15.25m
project name RUSSELL GARDENS PH. 4	city HAMILTON, ON.	project 20027
date FEB 2021	drawing title SECOND FLOOR PLAN - ELEV. '4	
drawn by BO.BW	checked by 3/18"	scale 1"=0'
file name 20027-GRANDVILLE-3		file path A3c

This is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor is not responsible in any way for examining or approving site (existing) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
RECEIVED BY _____
DATE: NOV 15 2002

STRUDE INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
Nov17/24
FOR STRUCTURE ONLY

Nov17/21

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[illegible]

CITY OF HAMILTON
Building Division

THESE STAMPED COMMENTS SHALL BE AVAILABLE ON SITE

THE OWNER AGREES TO FURNISH THE FOLLOWING DATA:

THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings were prepared by Ken Smith on Jan. 21, 2022

DATE: _____

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

18				3			
17				5			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT		MAY 28/21
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS		APR 26/21
10				1	PRELIMINARY ISSUED FOR REVIEW		FEB 09/21
no.	description	date	by	no.	description	date	

GW WT GW GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code as a Designer. qualification information Richard Vink 24 name signature registration information V&S Design Inc. 42 Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the project. Drawings are not to be copied.	24 42
----------------------	---	----------

VA
DESIGN

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Toronto ON M2J 1R4
! 416.630.2255 ! 416.630.4711
v3design.com

Greenpark
project name
RUSSELL GARDENS PH. 4 HAMILTON

FRONT

drawn by
0.8W

checked by
-

scale
 $3/16'' = 1'-0''$

GRANDVILLE 3
15.25m

A4

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[illegible]

8" PROFILED PRECAST CONC. HEADER

8'-10"

6'-10"

12" HIGH TRANSOM FG

FG FG

10'-0"

FIN. GROUND FLOOR

FIN. SUNKEN FOYER

8" ARCHED PROFILED PRECAST CONC. HEADER W/ PRECAST KEYSTONE ON 8" PROFILED PRECAST CONC. STACKS (TYP.)

POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)

POURED CONC. PORCH SLAB & DOOR SILL (TYP.)

REFER TO PAGE A5a FOR INTERIOR OF PORTICO ELEVATION

8'-0"x7'-0" O/H GARAGE DOOR GD-2A

8'-0"x7'-0" O/H GARAGE DOOR GD-2A

STONE VENEER (TYP.)

4'-0" MIN.

30" STEPPED FOOTING

 Greenpark.		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		drawing no. 200227	
drawn by RD, RM		checked by 3/16" = 1'-0"	
scale 3/16" = 1'-0"		FRONT ELEVATION - ELEV. 2	
title 200227-GRANDVILLE-3		A4a	

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Committee
NOV 29 2021
REC'D BY _____ DATE _____
REC'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPED CHANNING SHALL BE AVAILABLE ON SITE.

THE OWNER AND/OR CONTRACTOR(S) SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

Law Smith Jan. 21, 2022

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



Greenpark.

GRANDVILLE 3
15.25m

project name	municipality	project year
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

DATE: FEB 2021 FRONT ELEVATION - ELEV. 2 DRAWING NO. A

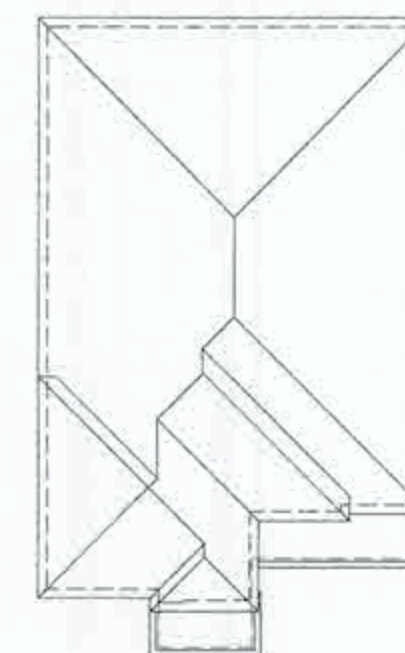
Drawn by: BD.BIM Checked by: - Date: 3/16" = 1'-0" File name: 20027-GRANDVILLE-3 A40

CONTEMPORARY STONE PATTERN

MAIN BRICK

WOOD GRAIN STUCCO FINISH

STUCCO W/ REVEALS



FRONT ELEVATION - ELEV. '3'

		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		project no. 20027	
drawing no. 001		FRONT ELEVATION - ELEV. 3	
checked by 5/15"		scale 1" = 1'-0"	
15.25m		20027-GRANDVILLE-	
15.25m			

CITY OF HAMILTON
BUILDINGS DIVISION
Planning & Development Department

NOV 29 2021

RECY _____ DATE _____
REFD TO _____ DATE _____

CITY OF HAMILTON
Building Division

File# 21-163002

THESE BANNED DRUGS COULD BE AVAILABLE ON SITE

THE OWNERS AND/OR CONTRACTORS SHALL COMPLY WITH THE ONTARIO BUILDING CODE NATIONAL STRONG MOTIVATION

 Jan. 21, 2022

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

GRANDVILLE 3
15.25m



Greenpark

HAMILTON, ON.	
FRONT ELEVATION - ELEV. 3	

A4b

All drawings and illustrations included herein are the confidential property of VRT DESIGN. Reproduction of this document in whole or in part is strictly prohibited without VRT DESIGN's written permission.

A technical drawing of a roof structure. It shows a gable roof with a chimney on the left side and a dormer window on the right side. The drawing is a line drawing with no shading.

[illegible]

PORTICO INTERIOR
ELEVATION '4'

FRONT ELEVATION - ELEV. '4'

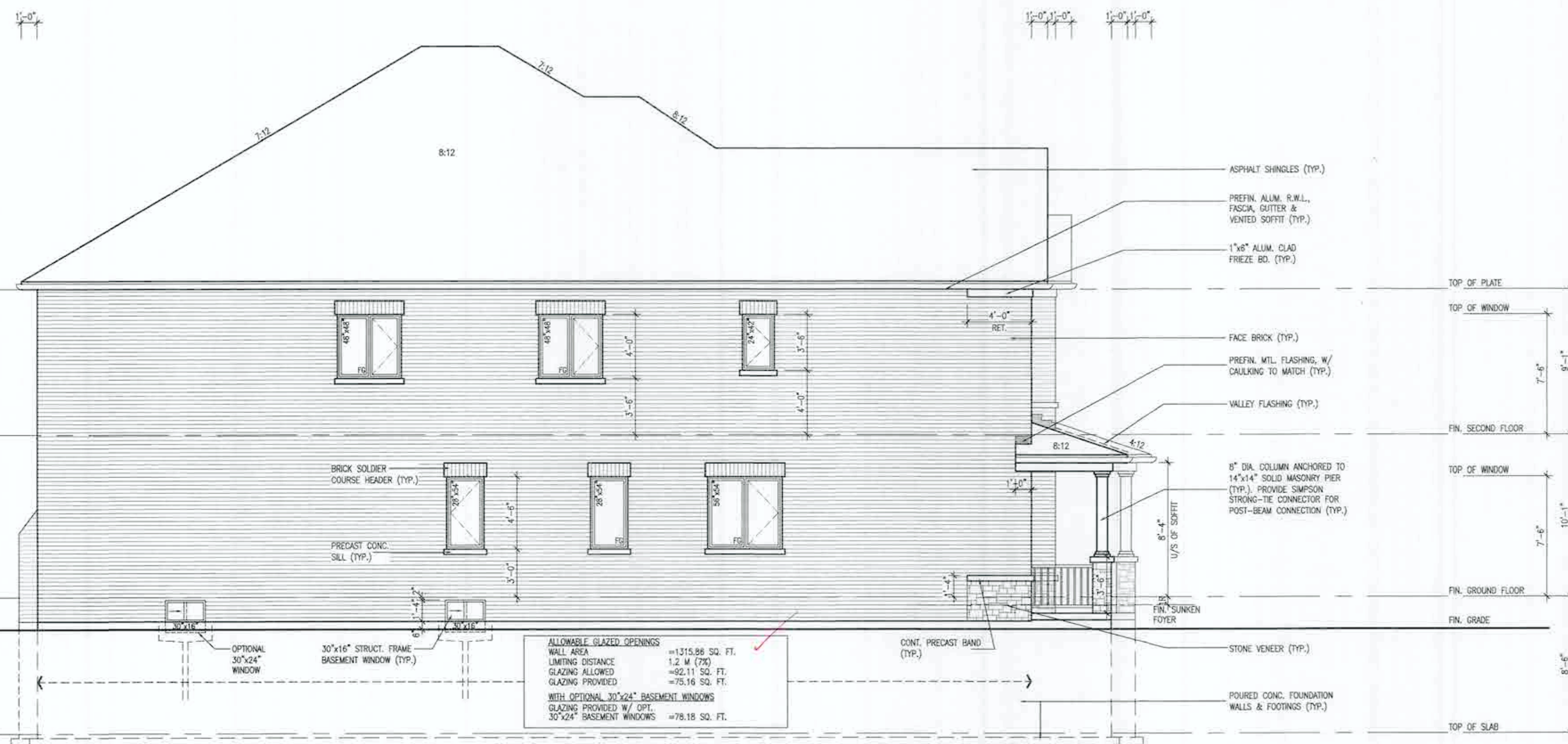
PORCH STEPS (TYP.)
PRECAST CONCRETE STEPS
w/ MASONRY INSERTS WHERE
GRADE REQUIRES.

18				9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
17				8			qualifier information:	
16				7				
15				6				
14				5				
13				4	ADDED ELEVATION 4	SEPT 2021	GW	24485
12				3	ISSUED FOR PERMIT.	MAY 26/21	GW	42656
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21	WT	
10				1	PRELIMINARY, ISSUED FOR REVIEW.	FEB 09/21	GW	
no.	description		date	by	no.	description	date	by

VA3
DESIGN
255 Consumers Rd Suite 121
Toronto, ON M2J 1R4
t 416.630.2255 f 416.630.471
va3design.com

 Greenpark.		GRANDVILLE 3 15.25m
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project no. 20027
year 2021	FRONT ELEVATION - ELEV. 4	drawing no. A4c
drawn by AJ	checked by --	scale 3/16" = 1'-0"
date ---		(file name) 20027-GRANDVILLE-3
© 2021 GREENPARK INCORPORATED 1100 EAST LINDEN AVENUE SUITE 100 CAMBRIDGE, ONTARIO N1R 5X9 CANADA TEL: 905.881.1000 FAX: 905.881.1001		

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



LEFT SIDE ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architect's Guidelines and all applicable regulations and requirements including zoning provisions and any other provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

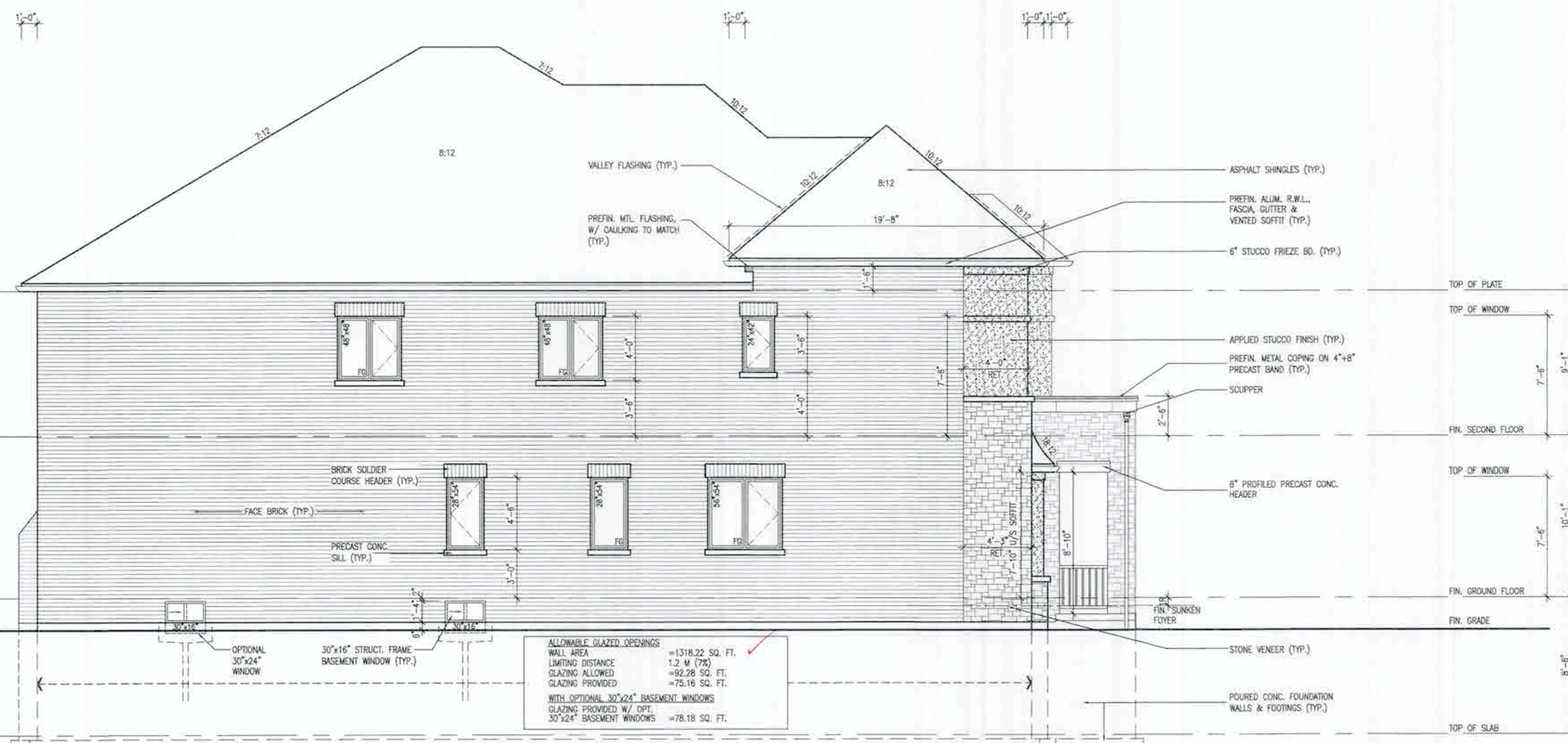
EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

[illegible]

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LEFT SIDE ELEVATION - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable zoning regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving any (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

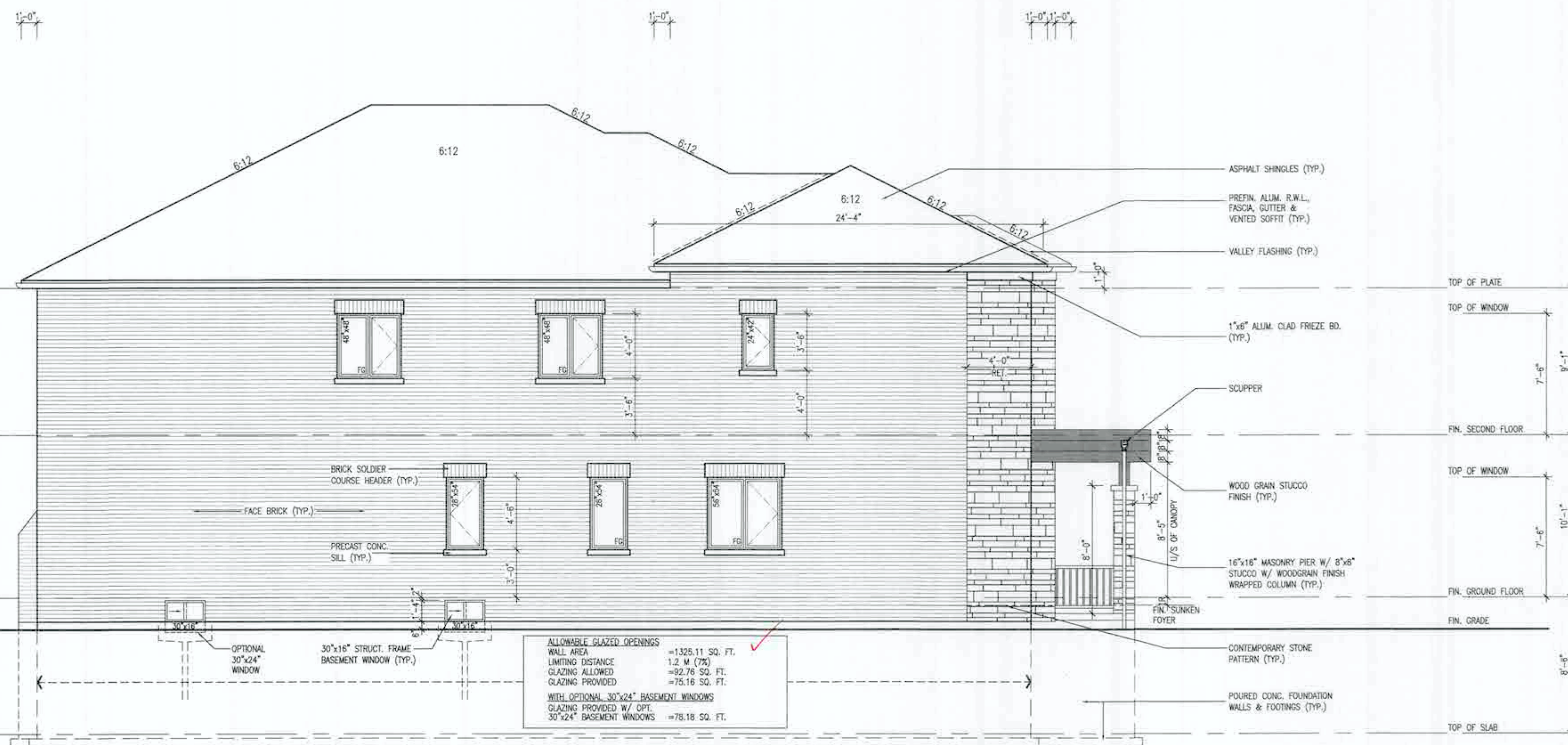
EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

[illegible]

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.



LEFT SIDE ELEVATION - ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting, plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

10				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT	MAY 28/21
11				2	REV. PER CLIENT/ROOF/FL/LNG. COMMENTS	APR 26/21
10				1	PRELIMINARY, ISSUED FOR REVIEW	FEB 09/21
no.	description	date	by	no.	description	date

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualifications information	
Richard Vink	244
name	signature
registration information	
VAS Design Inc.	428
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the work. No items are to be copied.
WT	
CW	

**VA3
DESIGN**
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

Greenpark.
Project Name: **RUSSELL GARDENS PH. 4** City: **HAMILTON, ONTARIO**
Date: **FEB 2021** Location: **LEFT SIDE ELEVATION**
Scale: **1/8" = 1'-0"**
Drawing: **3/16" = 1'-0"**

GRANDVILLE 3 15.25m		project no. 20027
MON - ELEV. '3' file name 20027-GRANDVILLE-3	drawing no. A5b	

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE SIMPACT INFORMATION SHALL BE AVAILABLE ON SITE

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by:
David Smith Jan. 21, 2022

FOR CITY USE ONLY: PROJECT NO. _____ DATE _____

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1315.66 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=92.11 SQ. FT.
GLAZING PROVIDED	=75.16 SQ. FT.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=78.18 SQ. FT.

REC BY _____ DATE _____
REF TO _____ DATE _____

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



GRANDVILLE 3
15.25m

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

SEP 2021 LEFT SIDE ELEVATION 4' drawing no.

drawn by	checked by	scale	file name
A3	-	3/16" = 1'-0"	20027-GRANDVILLE-3

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18				9		
17				8		
16				7		
15				6		
14				5		
13				4	ADDED ELEVATION 4	SEPT 2021
12				3	ISSUED FOR PERMIT	MAY 26/21
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21
10				1	PRELIMINARY. ISSUED FOR REVIEW.	FEB 09/21
9	description	date	rev	description	date	

	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	Qualification Information	
	Richard Vink	24
	name	signature
GN	registration information	
GN	VAS Design Inc.	42
MT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.	
GN	Drawings must be submitted to the Designer for review.	

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

 Greenpark.		GRANDVILLE 3 15.25m
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project 20022
date SEP 2021	LEFT SIDE ELEVATION	
drawn by VAS	checked by 3/16"	scale 1"=0"
20022 - GRANDVILLE-		drawing no. A5c

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL BOARD
AND APPROVAL

APPROVED BY _____
(DATE) NOV 19, 1972

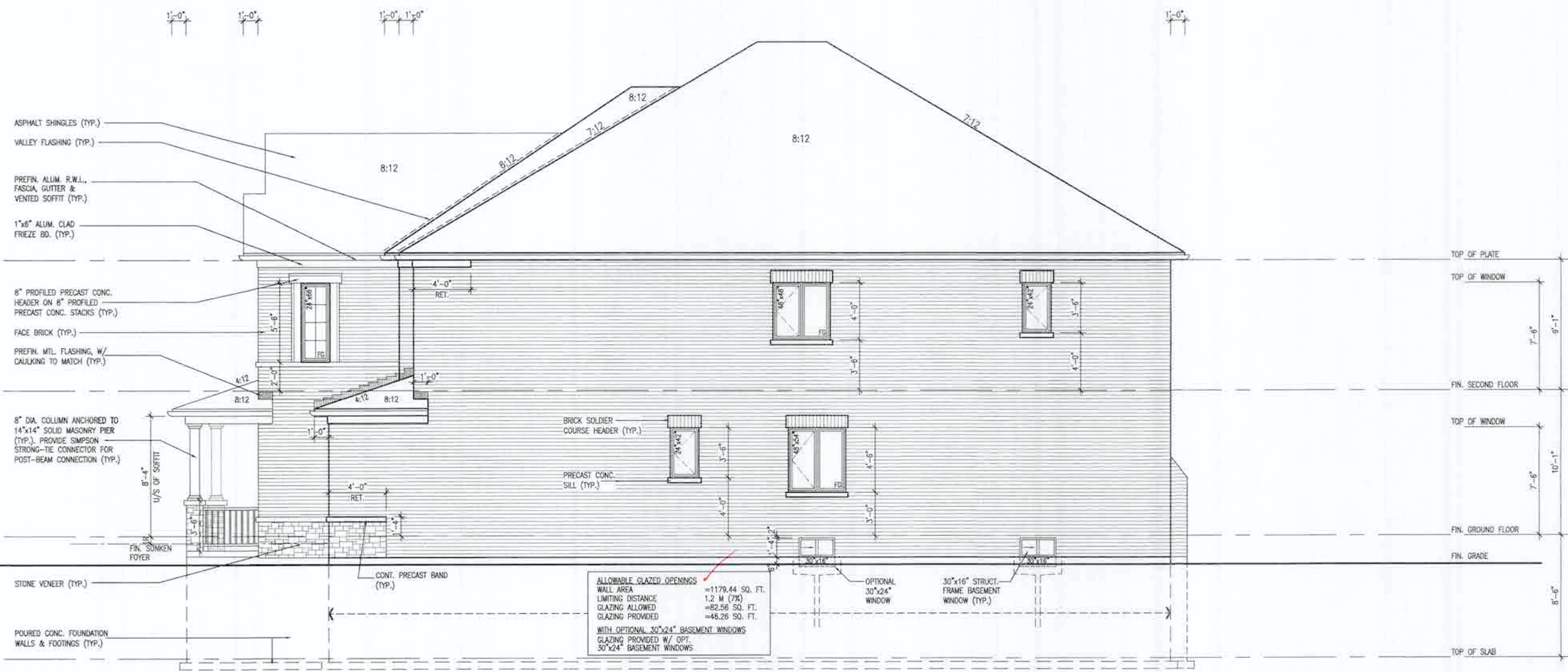
This drawing, including specifications and all amendments
designed by Williams & Co., Ltd. shall be used
without further permission.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL.
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

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RIGHT SIDE ELEVATION - ELEV. '1'

It is the builder's complete responsibility to insure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: MAY 15, 2002

This stamp certifies compliance with the Washington
Design Commission's rules and hours in effect.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL.
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

18				9	
17				8	
16				7	
15				6	
14				5	
13				4	
12				3	ISSUED FOR PERMIT.
11				2	REV. PER CLIENT/ROOF/L/DWG. COMMENTS
10				1	PRELIMINARY, ISSUED FOR REVIEW.
9	description	date	by	description	date

	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
	qualification information:	
	Richard Vink	signature
	name	
	registration information	
	V&S Design Inc.	
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job.	
WT		
BT		
GW		

VAD
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1T9
Tel: 416.630.2255 Fax: 416.630.2256
www.vad3design.com

Greenpark

project name
RUSSELL GARDENS PH. 4

site
FEB 2021

drawn by
BD.BIM

checked by
-

scale
3/16" = 1'-0"

RIGHT SIDE

GRANDVILLE	15.25m	project	20
ION - ELEV. '1'		drawing no.	A6
like name			
20027-GRANDVILLE-3			
Jan - Nov 06 2021 - 10:17 / hr			

CITY OF HAMILTON
Building Division

21-163002

THESE STAMPED DRAWINGS THAT I OBTAINED

THE OWNER AND CONTRACTOR SHALL SUBMIT THE ONTARIO BUILDING CODE APPLICATION.

These drawings are not necessarily true to scale.

Jan. 2, 1901

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 29 2021
REQ BY _____ DATE _____
REQD TO _____ DATE _____

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1

Greenpark

project name
RUSSELL GARDENS PH. 4 HAMILTON

date FEB 2021 RIGHT SIDE

drawn by BD.BIM checked by - scale 3/16" = 1'-0"

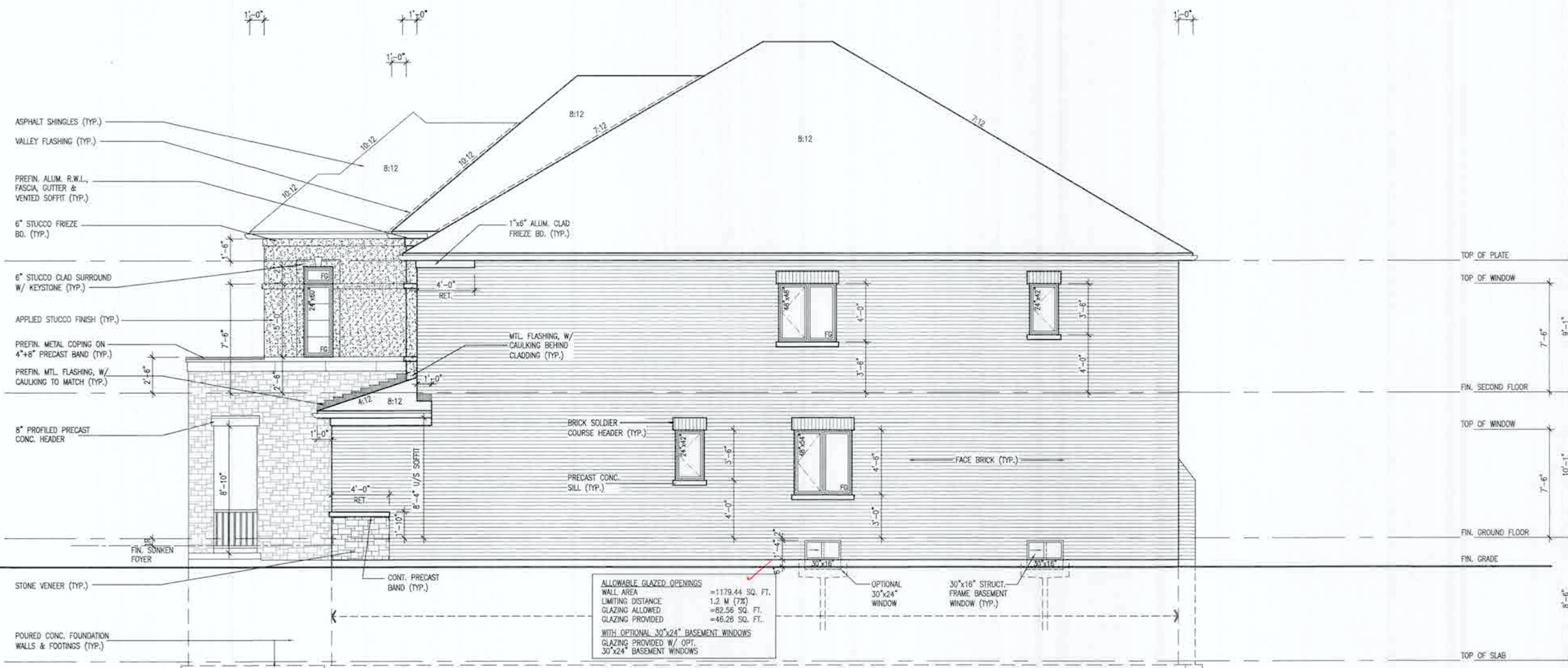
GRANDVILLE	15.25m
------------	--------

20

ION - ELEV. '1'

20027-GRANDVILLE-3

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RIGHT SIDE ELEVATION - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE.
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT	MAY 28/21
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21
10				1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21
no.	description	date	by	no.	description	date

	The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer:	
	qualification information	
	Richard Vink	24
	some registration information	
	VA3 Design Inc.	42
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All dimensions and specifications are instruments of service and the property of the Designer which will be returned at the completion of the project. Dimensions are not to be scaled.	
WT		
GW		
WT		

VA
DESIGN

DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.476
w3design.com



Greenpark

project name
RUSSELL GARDENS PH. 4 HAMILTO

RIGHT SIDE E

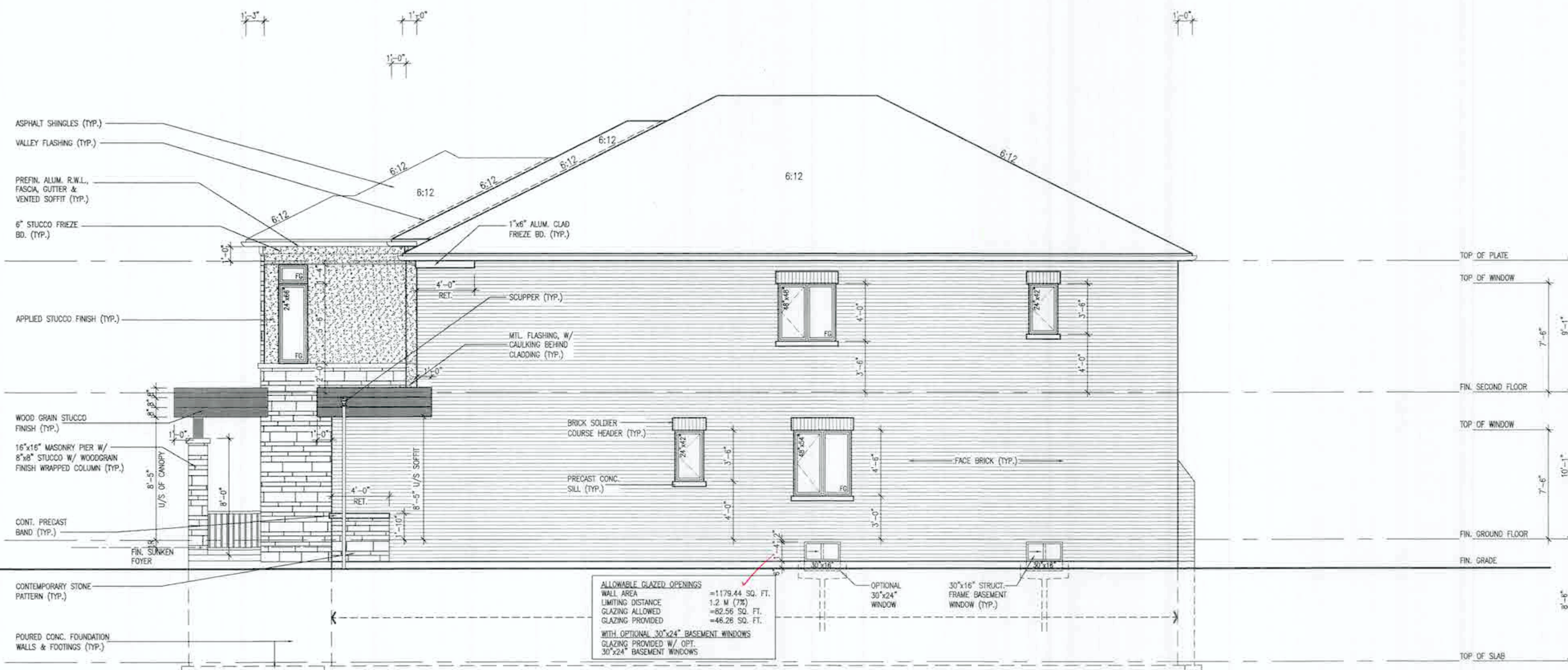
GRANDVILLE 3	15.25m
--------------	--------

pulling	project
ON.	2002

ATION - ELEV. '2'	drawing no.
like name	A6a
20027-GRANDVILLE-3	
Time - Week 10 2021 - 12 18 24	

CITY OF HAMILTON
Building Division
Form No. 21-163002
THIS STAMPED DRAWING SHALL BE AVAILABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE
ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These original building specifications have been reviewed by
Kevin Smith Jan. 21, 2022
Paul Gough Building Official S.A.R.

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



RIGHT SIDE ELEVATION - ELEV. '3'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMM, TN.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL.
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

[illegible]

CITY OF HAMILTON
BUILDINGS DIVISION
Planning & Development Department

NOV 29 2021

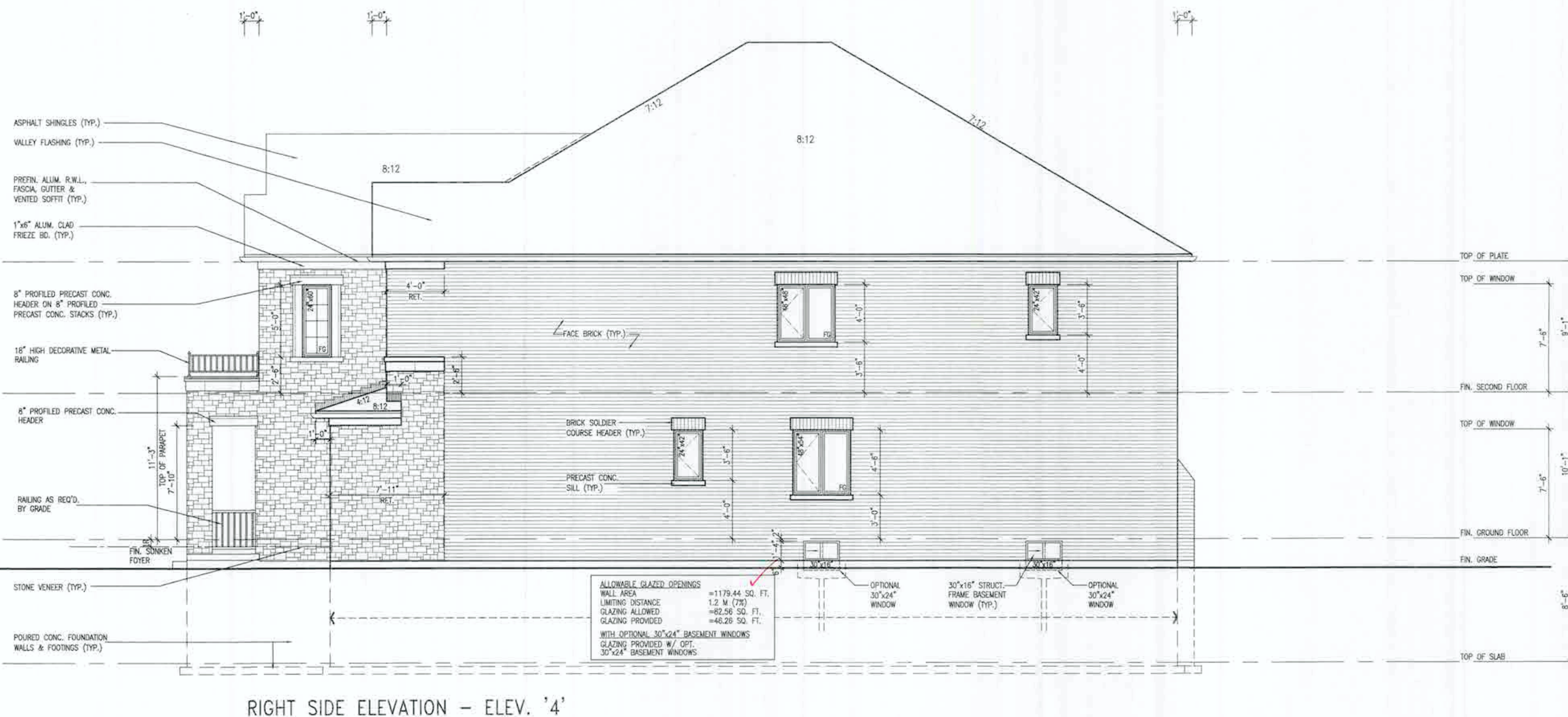
REC BY _____ DATE _____
REFD TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THREE (3) MONTHS (EXPIRATION DATE) IS AVAILABLE ONLY ON SITE
THE OTHER AGENCY CONTACTS IN THIS COLUMN WITH
THE CITY WILLING TO GO AND ALL OTHERS APPLICABLE
I hereby certify that all information has been reviewed by
Don Swift Jan. 21, 2022
FOR THE BUILDING DIVISION DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



 Greenpark™		GRANDVILLE 3 15.25m
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project # 2002
year 2021	RIGHT SIDE ELEVATION — ELEV. '5'	drawing no. A6b
drawn by 90.BM	checked by 3/16" = 1'-0"	date 2002-GRANDVILLE-3
© 2002 GREENPARK INC. ALL RIGHTS RESERVED. HAMILTON, ONTARIO CANADA. TEL: (905) 571-1111 FAX: (905) 571-1112		



RIGHT SIDE ELEVATION - ELEV. '4'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: NOV 28 2002

The stamp certifies compliance with the provisions
Design Guidelines only and does not warrant
structural adequacy or habitability.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

16				9		
17				8		
16				7		
15				6		
14				5		
13				4	ADDED ELEVATION 4	SEPT 2021
12				3	ISSUED FOR PERMIT	MAY 26/21
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21
10				1	PRELIMINARY. ISSUED FOR REVIEW.	FEB 09/21
no.	description	date	by	no.	description	date

GR	24	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
GR	24	qualification information Richard Vink name: R Vink registration information: signature
GR	42	VAS Design Inc.
NT		Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project. Drawings are not to be copied.

VAD
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1P1
Tel: 416.630.2255 Fax: 416.630.2256
www.vadesign.com

Greenpark
project name
RUSSELL GARDENS PH. 4 **HAMILTON**
date **FEB 2021** **RIGHT SIDE E**
drawn by **BD, BIM** checked by **3/16" = 1'-0"**
scale **1" = 1'-0"**
sheet **1** of **1**

GRANDVILLE 3	
15.25m	
city	project
ON.	2002
ATION — ELEV. '4'	drawing no.
file name	A6c
20027-GRANDVILLE-3	
Date: 05/20/02 — 12:18 PM	

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
PLANNING DIVISION
Planning & Development Committee

NOV 29 2021

REC'D BY _____ DATE _____
REP'D TO _____ DATE _____

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE

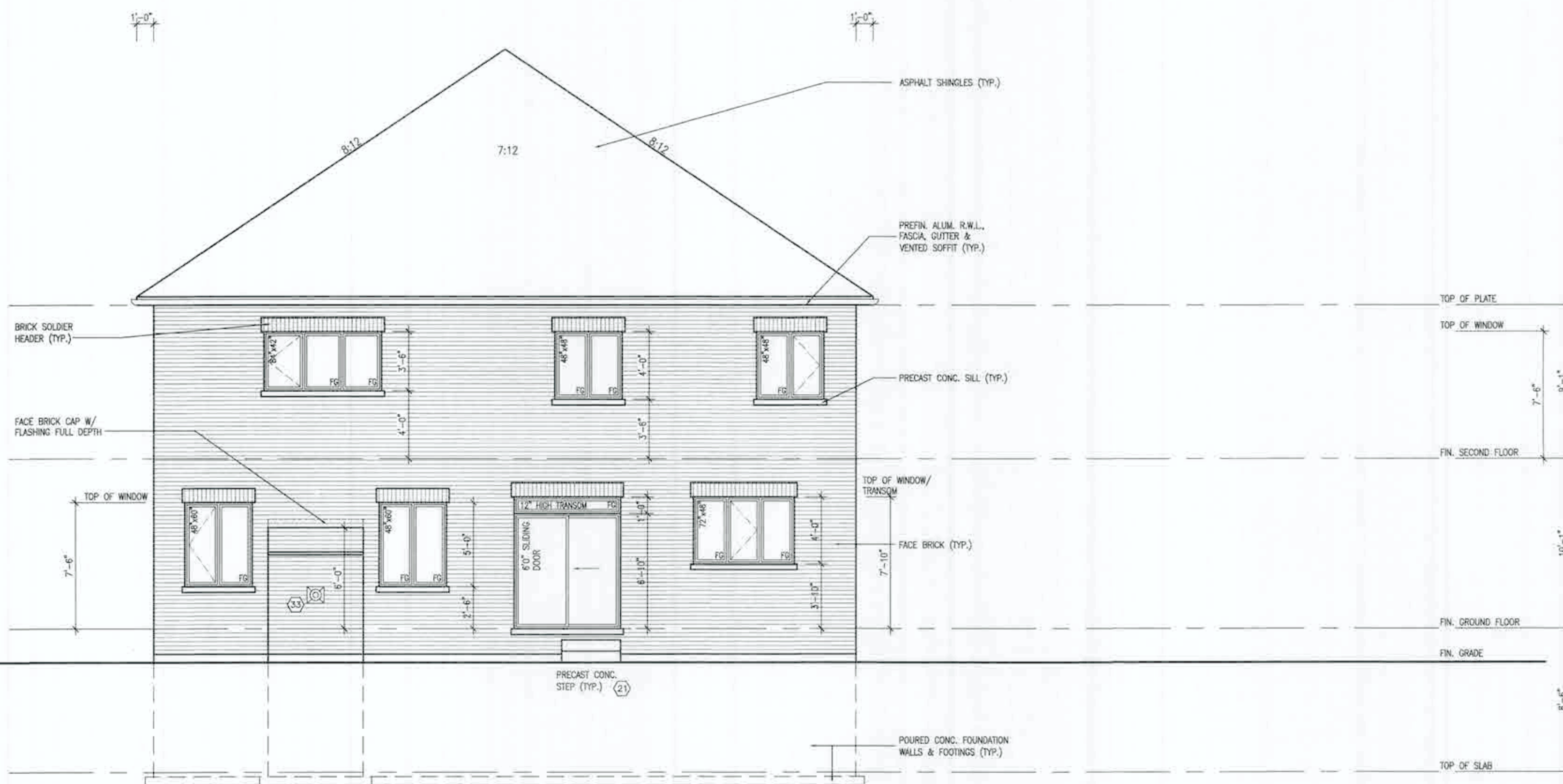
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings and specifications have been reviewed by
Chris Swift Jan. 21, 2022

FOR OFFICIAL USE ONLY OFFICIAL DATE

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4598 SF.



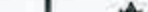
REAR ELEVATION - ELEV. '1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL DIVISION
440 S. MICHIGAN
ANN ARBOR, MI 48106
419/763-1100
FAX 419/763-1101
N/A 12/2004
This company certifies compliance with the conditions
Design Qualification only and does not require
construction qualification.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

176	-	9	-	The undersigned has reviewed and takes responsibility for the design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	 225 Consumers Rd Suite 120 Toronto ON M2L 1R4 Tel: 416-633-5220 Fax: 416-633-6782 info@vadesign.com	 GRANDVILLE 3 15.25m	project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project number 2002	date FEB 2021	checked by  3/16" = 1'-0"	title REAR ELEVATION - ELEV. 1	revision 2002 GRANDVILLE-3	A7
177	-	8	-	qualification information  Richard Vink 24488 signature RCH										
178	-	7	-	name Richard Vink 24488 signature RCH										
179	-	6	-	registration information VAD Design Inc. 42658										
180	-	5	-	3 ISSUED FOR PERMIT.										
181	-	4	-	2 REV. PER CLIENT/ROOF/FL/ENG. COMMENTS										
182	-	3	MAY 28/21	CW										
183	-	2	APR 26/21	WT										
184	-	1	FEB 09/21	CW										
185	-	0												
186	description	date	by	description	date	by								

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC'D BY _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THESE PLANNING DRAWINGS SHALL BE MADE WHOLLY ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL SUBORDINATE LAWS
These drawings and/or specifications have been reviewed by
Ken Smith Jan. 21, 2022
FOR THE BUILDING OFFICIAL JACF

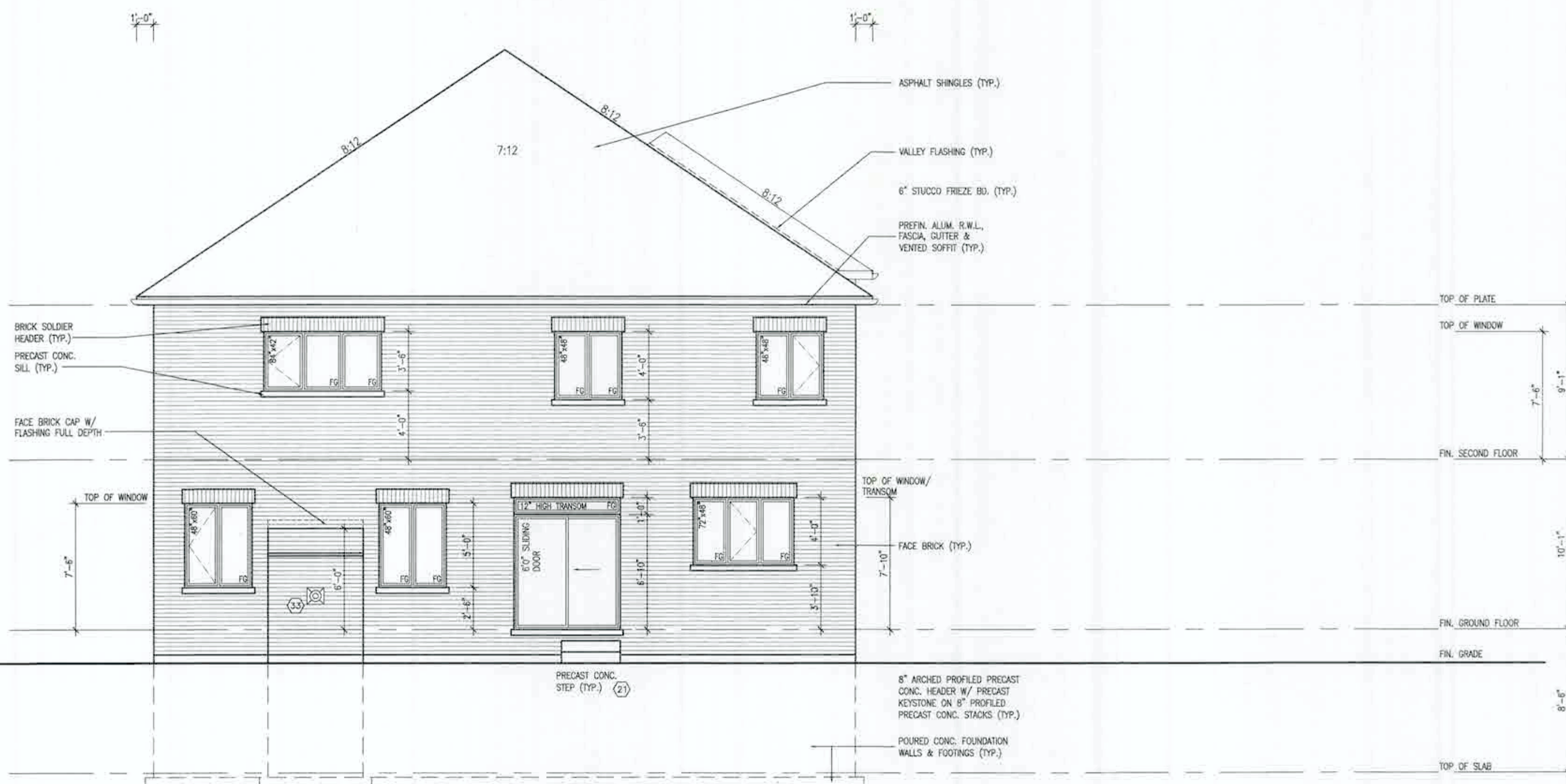
GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

VA3
DESIGN
Greenpark

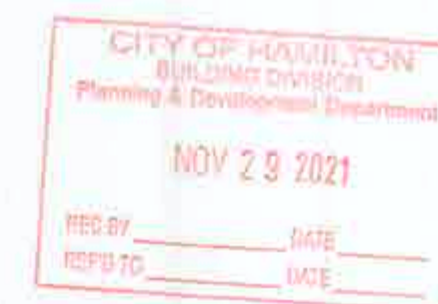
GRANDVILLE 3
15.25m

project name	municipality		project
RUSSELL GARDENS PH. 4	HAMILTON, ON.		2002
date	REAR ELEVATION - ELEV. 1		drawing no.
FEB 2001			A7
drawn by	checked by	scale	file name
80.BM	-	3/16" = 1'-0"	20027-GRANDVILLE-3
(OPEN) : \\ARCHITECT\WORKING\2002\2002-0381-RUSSELL GARDENS PH. 4\DRAWING\A7-20027-GRANDVILLE-3.dwg : User : Alex 18 2002 : 12:17 PM			

4598 SF.



REAR ELEVATION - ELEV. '2'



CITY OF HAMILTON
Building Division

Phone No. 21-163002

THREE STAMPED COPIES MUST BE SUBMITTED TO THE CITY OF HAMILTON

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

This change order (application) has been reviewed by
Steve Smith Jan. 21, 2012

FOR CHIEF BUILDING OFFICIAL DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSULTING
SHE APPROVES

APPROVED BY 
DATE NOV 15 1972

The stamp certifies compliance with the provisions
Design Consultants only and does not further
imburse the project fee

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

16		-	9			The undersigned has reviewed and takes responsibility for this design.
17		-	8			or has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
18		-	7			qualification information.
19		-	6			Richard Vink
20		-	5			signature
21		-	4			registration information.
22		-	3			VAS Design Inc.
23		-	2			Contractor must verify all dimensions on the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the proper use of drawings which must be returned at the completion of the work. Drawings are not to be reused.
24		-	1			PRELIMINARY - ISSUED FOR REVIEW.
25		-	0			
no.	description	date	by	no.	description	date

GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer: qualifications information Richard Vink  24 name signature regulation information VAS Design Inc. 42
WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.
BY	

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
+ 416.630.2255 + 416.630.
va3design.com

		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date ER 2021		project no. 2021-0000	
checked by ER		drawing no. A7a	
scale 3/16" = 1'-0"		REAR ELEVATION - ELEV. 2 20227-GRANDVILLE-3	

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ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9			
17				8			
16				7			
15				6			
14				5			
13				4			
12				3	ISSUED FOR PERMIT	MAY 28/21	6
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21	6
10				1	PRELIMINARY. ISSUED FOR REVIEW	FEB 09/21	6
no.	description	date	by	no.	description	date	by

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Qualifications Information Richard Vink <i>R. Vink</i> 2448- name signature RO Registration Information VAS Design Inc. 4265	
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite 117
Toronto ON M2J 1R4
t: 416.630.2255 f: 416.630.4711
va3design.com

 Greenpark.		GRANDVILLE 3 15.25m
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project no. 20027
date FEB 2021	REAR ELEVATION - ELEV. 3	drawing no. A7b
created by BD.SW	checked by _____	
issue 3/16" = 1'-0"	20027-GRANDVILLE-3	
FILED IN: A:\ALBERTA\WORKING\20027\20027-15-UNIT\LANDSCAPE\20027-GRANDVILLE-3.dwg - Size: 18.32K - 2/18/21 PM		

CITY OF HAMILTON
BUILDINGS DIVISION
Planting & Development Department
NOV 29 2021
REQ BY _____ DATE _____
REF TO _____ NOTE _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THIS IS STAMPED OTHERWISE THERE IS NO VALID ONE SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
This building shall be constructed in accordance with
Ken Swift Jan. 21, 2022
HON CHIEF BUILDING OFFICER JAC

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

16		-	9	-	The contractor has reviewed and takes responsibility for this design.
17		-	8	-	sent him the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
18		-	7	-	qualification information
19		-	6	-	Richard Veik
20		-	5	-	signature
21		-	4	ADDED ELEVATION 4	SEPT 2021 GW
22		-	3	ISSUED FOR PERMIT.	MAY 28/21 GW
23		-	2	REV. PER CLIENT/ROOF/FI./ENG. COMMENTS	APR 26/21 WT
24		-	1	PRELIMINARY ISSUED FOR REVIEW.	FEB 09/21 GW
no.	description	date	by no.	description	date

VAD
DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1P1
t 416.630.2255 f 416.630.2256
www.vad.com

Greenpark.

GRANDVILLE 3
15.25m

project name	RUSSELL GARDENS PH. 4		municipality	HAMILTON, ON.	project no.	20027
date	FEB 2021		REAR ELEVATION - ELEV. 4		drawing no.	
drawn by	checked by	scale	file name			
80.BM		3/16" = 1'-0"	20027-CRANVILLE-3		A7c	

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department
NOV 20 2021
REC'D BY: _____ DATE: _____
REF'D TO: _____ DATE: _____

CITY OF HAMILTON
Building Division
Form No. 21-163002
THIS IS TO BE A GUARANTEE OF THE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ZONING BYLAW, ZONING AND LAND USE ACT AND ZONING
THIS IS TO BE A GUARANTEE OF THE
Ken Smith Jan. 21, 2022

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

REAR ELEVATION - ELEV. '4'

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC BY _____ DATE _____
REF TO _____ DATE _____

CITY OF HAMILTON
Building Division

Form No. 21-163002

THESE STAMPED FORMS ARE SMALL AND AVAILABLE IN KIT

THE OWNER/ARCHITECT CONTRACTORS SHALL TOGETHER WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

THIS IS A GUIDE AND NOT A REPRESENTATION OF THE CITY OF HAMILTON

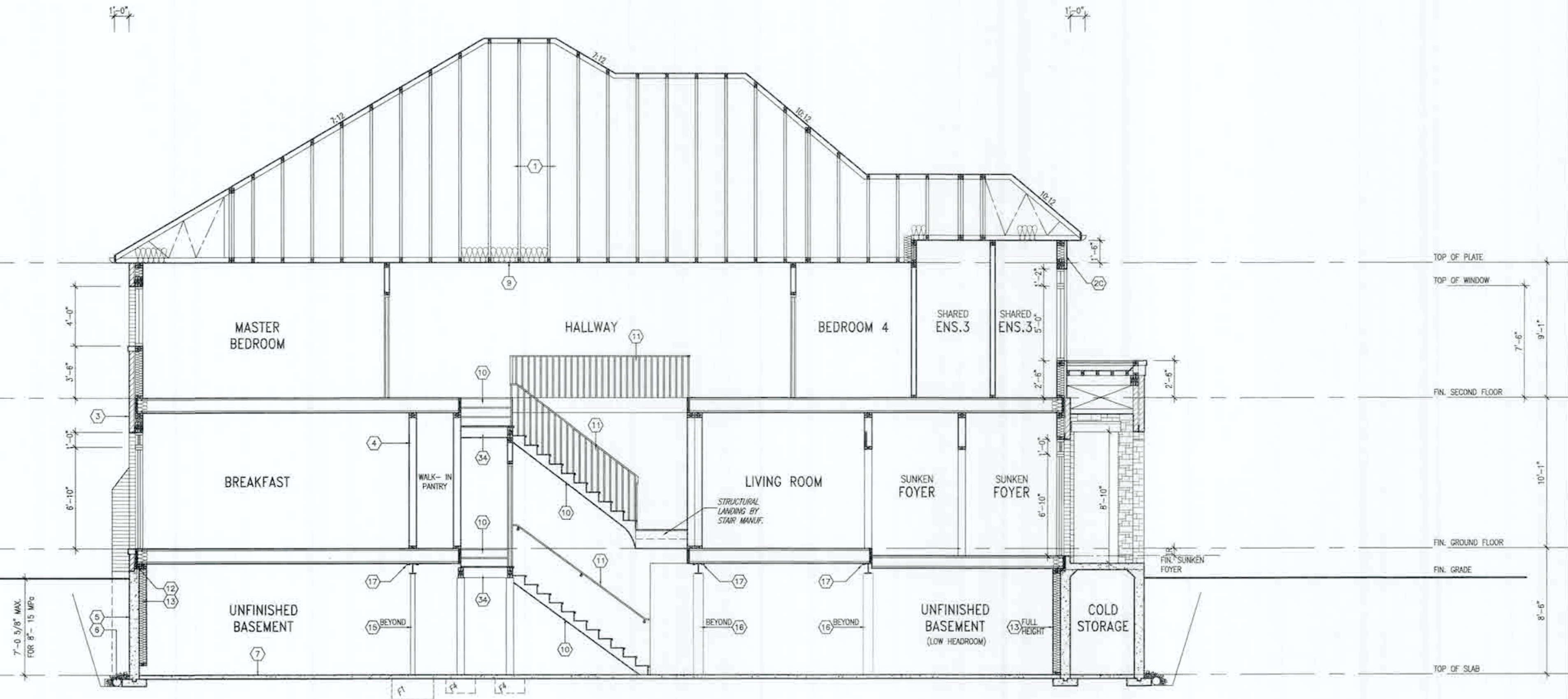
Ken Smith Jan. 21, 2022

FOR OTHER BUILDING DIVISION STAFF

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		project no. 2002Z	
scale 1:500		drawing no. A8	
checked by 3/16" = 1'-0"		CROSS SECTION A-A — ELEV. 1'1" 2002Z-GRANDVILLE-3 15.25m	

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CROSS SECTION A-A - ELEV. '2'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.



ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.



CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPED COPIES ARE FOR APPROVAL OF THE SITE.
THE OWNER AND THE CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

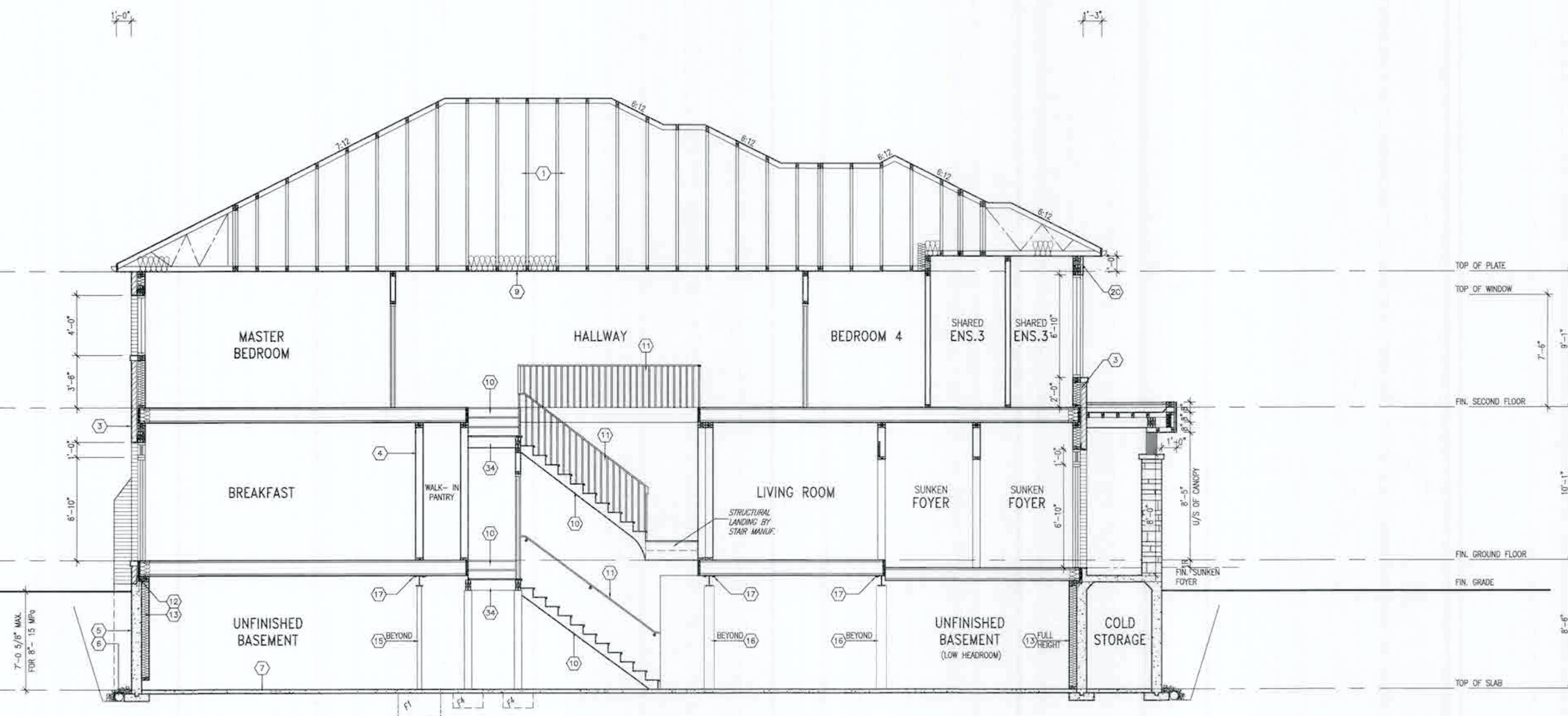
These drawings were prepared and issued in accordance with the provisions of the Building Code Act, R.S.O. 1990, Chapter B.12, as amended, and the Building Code, R.R.O. 1997, Chapter B.12, as amended.

FOR CHIEF BUILDING OFFICIAL DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

18. - 17. - 16. - 15. - 14. - 13. - 12. - 11. - 10. - 9. - 8. - 7. - 6. - 5. - 4. - 3. - 2. - 1. -	9. - 8. - 7. - 6. - 5. - 4. - 3. - 2. - 1. -	10. - 11. - 12. - 13. - 14. - 15. - 16. - 17. - 18. -	19. - 20. - 21. - 22. - 23. - 24. - 25. - 26. - 27. - 28. - 29. - 30. - 31. - 32. - 33. - 34. - 35. - 36. - 37. - 38. - 39. - 40. - 41. - 42. - 43. - 44. - 45. - 46. - 47. - 48. - 49. - 50. - 51. - 52. - 53. - 54. - 55. - 56. - 57. - 58. - 59. - 60. - 61. - 62. - 63. - 64. - 65. - 66. - 67. - 68. - 69. - 70. - 71. - 72. - 73. - 74. - 75. - 76. - 77. - 78. - 79. - 80. - 81. - 82. - 83. - 84. - 85. - 86. - 87. - 88. - 89. - 90. - 91. - 92. - 93. - 94. - 95. - 96. - 97. - 98. - 99. - 100. -	101. - 102. - 103. - 104. - 105. - 106. - 107. - 108. - 109. - 110. - 111. - 112. - 113. - 114. - 115. - 116. - 117. - 118. - 119. - 120. - 121. - 122. - 123. - 124. - 125. - 126. - 127. - 128. - 129. - 130. - 131. - 132. - 133. - 134. - 135. - 136. - 137. - 138. - 139. - 140. - 141. - 142. - 143. - 144. - 145. - 146. - 147. - 148. - 149. - 150. - 151. - 152. - 153. - 154. - 155. - 156. - 157. - 158. - 159. - 160. - 161. - 162. - 163. - 164. - 165. - 166. - 167. - 168. - 169. - 170. - 171. - 172. - 173. - 174. - 175. - 176. - 177. - 178. - 179. - 180. - 181. - 182. - 183. - 184. - 185. - 186. - 187. - 188. - 189. - 190. - 191. - 192. - 193. - 194. - 195. - 196. - 197. - 198. - 199. - 200. -	201. - 202. - 203. - 204. - 205. - 206. - 207. - 208. - 209. - 210. - 211. - 212. - 213. - 214. - 215. - 216. - 217. - 218. - 219. - 220. - 221. - 222. - 223. - 224. - 225. - 226. - 227. - 228. - 229. - 230. - 231. - 232. - 233. - 234. - 235. - 236. - 237. - 238. - 239. - 240. - 241. - 242. - 243. - 244. - 245. - 246. - 247. - 248. - 249. - 250. - 251. - 252. - 253. - 254. - 255. - 256. - 257. - 258. - 259. - 260. - 261. - 262. - 263. - 264. - 265. - 266. - 267. - 268. - 269. - 270. - 271. - 272. - 273. - 274. - 275. - 276. - 277. - 278. - 279. - 280. - 281. - 282. - 283. - 284. - 285. - 286. - 287. - 288. - 289. - 290. - 291. - 292. - 293. - 294. - 295. - 296. - 297. - 298. - 299. - 300. -	301. - 302. - 303. - 304. - 305. - 306. - 307. - 308. - 309. - 310. - 311. - 312. - 313. - 314. - 315. - 316. - 317. - 318. - 319. - 320. - 321. - 322. - 323. - 324. - 325. - 326. - 327. - 328. - 329. - 330. - 331. - 332. - 333. - 334. - 335. - 336. - 337. - 338. - 339. - 340. - 341. - 342. - 343. - 344. - 345. - 346. - 347. - 348. - 349. - 350. - 351. - 352. - 353. - 354. - 355. - 356. - 357. - 358. - 359. - 360. - 361. - 362. - 363. - 364. - 365. - 366. - 367. - 368. - 369. - 370. - 371. - 372. - 373. - 374. - 375. - 376. - 377. - 378. - 379. - 380. - 381. - 382. - 383. - 384. - 385. - 386. - 387. - 388. - 389. - 390. - 391. - 392. - 393. - 394. - 395. - 396. - 397. - 398. - 399. - 400. -
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CROSS SECTION A-A - ELEV. '3'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

STRUDET INC.



Nov17/25

FOR STRUCTURE ONLY

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18				9				The undersigned has reviewed and takes responsibility for this design and has the specifications and meets the requirements set out in the Ontario Building Code to be a Designer.
17				8				specifications information.
16				7				Richard Vink
15				6				signature
14				5				24
13				4				registration information
12				3	ISSUED FOR PERMIT	MAY 28/22		VAS Design Inc.
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21	WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the design. Drawings are not to be scaled.
10				1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21	WT	
9	no.	description	date	by	no.	description	date	by

GW	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
WT	qualification information Richard Vink phone registration information V&S Design Inc.  signature	24
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.	42

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DESIGN
255 Consumers Rd. Suite 101
Toronto, ON M2J 1A1
t 416.630.2255 f 416.630.2256
va3design.com

Greenpark

GRANDVILLE 3

project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project 2002
date FEB 2021	drawing title CROSS SECTION A-A - ELEV. '3'	
drawn by BD.BIM	checked by -	scale 3/16" = 1'-0"
100% 80% 60% 40% 20% 0%		file name 20027-GRANDVILLE-1 A8b

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REFER TO FINAL GRADING PLAN.



CITY OF HAMILTON
Building Division
Form No. 21-163002
THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE
SEE CORRESPONDING CONDITIONS FOR FURTHER COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings were prepared and submitted by
Alan Smith Jan. 21, 2022
FOR THE BUILDING DIVISION

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project 2002	
date 2021	CROSS SECTION A-A - ELEV. '4'		drawing no. A8c
drawn by BD.SM	checked by 3/16" = 1'-0"	scale 20027-GRANDVILLE-3	

[illegible]

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DESIGN
255 Consumers Rd. Suite
Toronto ON M2J 1R9
t 416.630.2255 f 416.63
va3design.com

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REAR ELEVATION - ELEV. '1'
DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL/REVIEW
AND APPROVAL

APPROVED BY: 
(DATE) NOV 18 2012

This stamp certifies compliance with the accountants
Design Requirements only and does not constitute
an audit.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Online Building Code to be a Designer:	
	qualification information	
	Richard Vink	24
	name	signature
	regulatory information	
	V&S Design Inc.	A2
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the job.	
WT		
GR	Drawings are to be used as instructed.	
	Drawings.org.uk/be_in_order	

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255 Consumers Rd Suite
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.
va3design.com

 Greenpark.		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		project 2002Z	
title REAR ELEVATION '1' - DECK CONDITION		drawing no. A10	
checked by 3/11/21 = 1'-0"		scale 3/11/21 = 1'-0"	
date 3/11/21		date 3/11/21	

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REAR ELEVATION - ELEV. '2'
DECK CONDITION

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 
DATE: NOV 15, 2011

This stamp certifies compliance with the applicable
Design Guidelines and is valid for the
construction of the project.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
BUSINESS SERVICES
Planning & Development Department

NOV 20 2021

REC BY _____ DATE _____
REFD TO _____ DATE _____

CITY OF HAMILTON
Building Division
Form No. 21-163002
THESE STAMPED DRAWINGS SHALL BE GOVERNABLE ON SITE
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings were specifically reviewed and approved by
Thomas Smith Jan. 21, 2022
FOR COUNCIL AND/OR OFFICIAL (NAME) (SIGN)

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



VA
DESIGN

255 Consumers Rd. Suite 101
Toronto, ON M2J 1P9
t 416.830.2255 f 416.830.2256
www.vx3design.com

Greenpark

project name	RUSSELL GARDENS PH. 4	HAMILTON
--------------	-----------------------	----------

REAR ELEVATION

drawn by: ID.BIM checked by: scale: 3/16" = 1'-0"

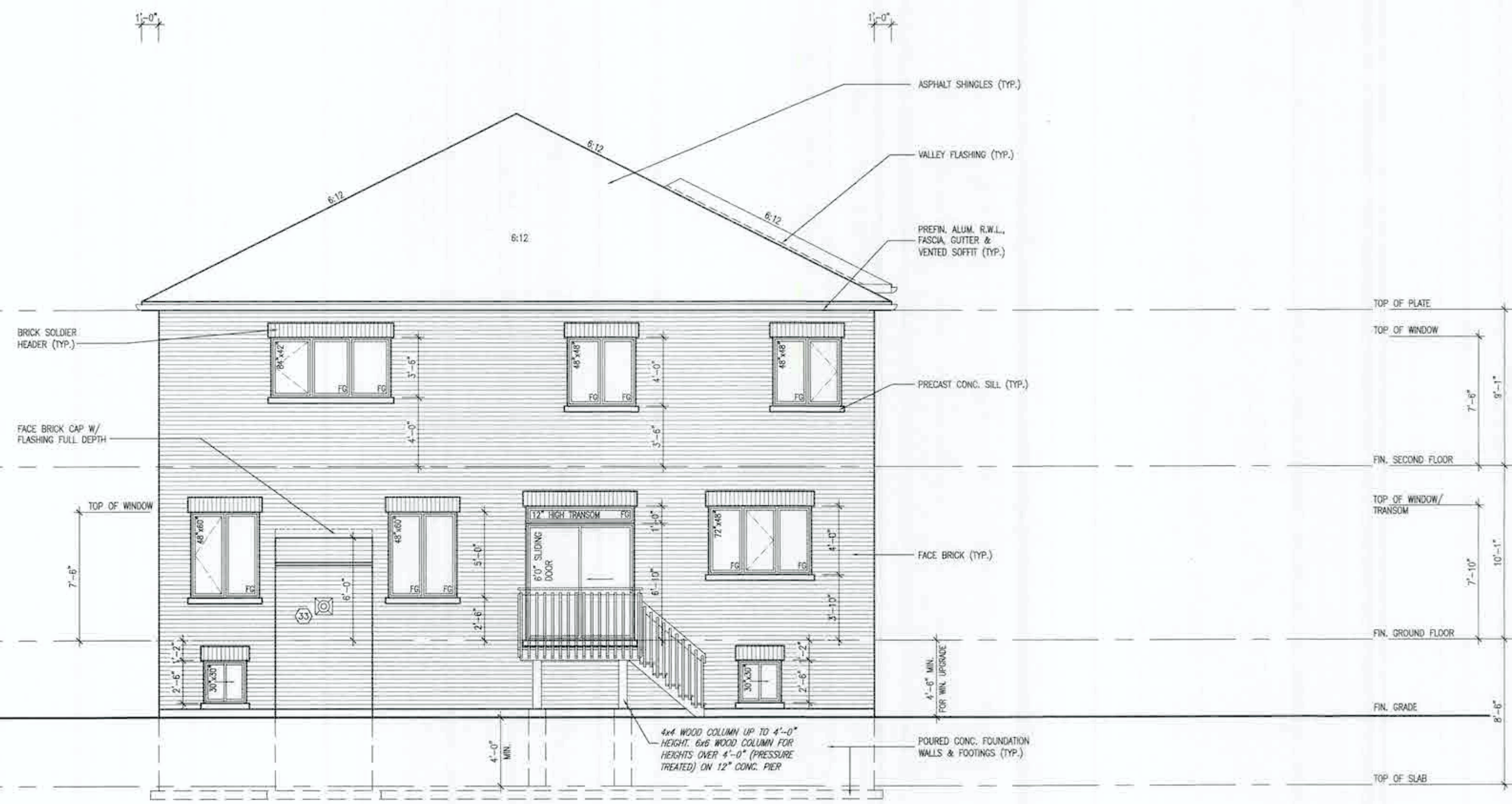
GRANDVILLE 3
15.25m

project	2002
---------	------

DECK CONDITION	drawing no.
file name	A100
20027-GRANDVILLE-3	

18. *Disclaimer: any findings, related documents and design are the copyright property of VNT SYSTEM. Reproduction of this property in whole or in part is strictly prohibited without VNT SYSTEM's written consent.*

4598 SF.



REAR ELEVATION - ELEV. '3'
DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL, CONSTRUCTION, REVIEW
3002 APRICOT AVE.
APPROVED BY: 
(DATE) NOV 28, 2011
It is hereby certified compliance with the provisions
Design Commission, and all other rules and orders
pertaining to the same.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

CITY OF HAMILTON
Bills, Orders, Resolutions
Planning & Development Department
NOV 29 2021
REC'D BY: _____ DATE: _____
REF BY: _____ DATE: _____

CITY OF HAMILTON
Building Division
Permit No. 21-163002
THIS STAMPED PLANNING STATEMENT IS MADE IN ACCORDANCE WITH THE OWNERS AND/OR CONTRACTORS SHALL COMPLY WITH THE ORDINANCES GOVERNING ALL OTHER APPLICABLE LAWS
These drawings and/or modifications have been submitted by Don Smith Jan. 21, 2022
FOR CITY BUILDING OFFICIAL: [Signature] (s) 18

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



Greenpark

GRANDVILLE 3
15.25m

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

DATE: FEB 2021 REAR ELEVATION '3' - DECK CONDITION

82 BD.BM 3/16" 1'-0" 20027-GRANDVILLE-3 A101

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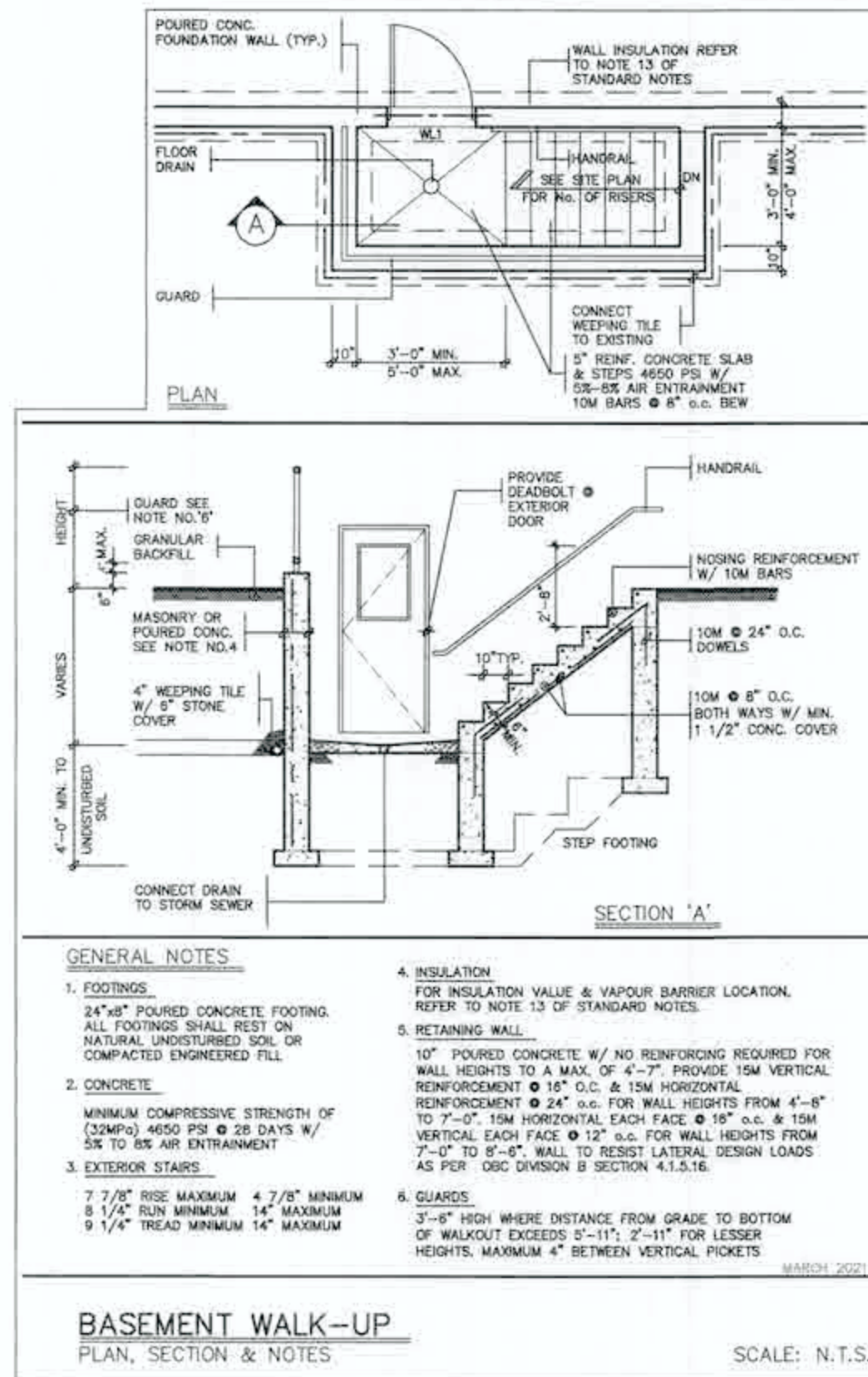
18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT.	MAY 28/21
11				2	REV. PER CLIENT/PROG./FL/ENG. COMMENTS	APR 26/21
10				1	PRELIMINARY, ISSUED FOR REVIEW.	FEB 09/21
9	description	date	by	description	date	

CN	The undersigned has reviewed and taken responsibility for this drawing and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
WT	qualification information Richard Vink	
CN	none registration information VAS Design Inc.	4/
WT	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be retained at the completion of the job.	
CN		

VAS
DESIGN
255 Consumers Rd Ste 101
Toronto ON M2J 1P9
T 416.630.2255 F 416.630.2256
vasdesign.com

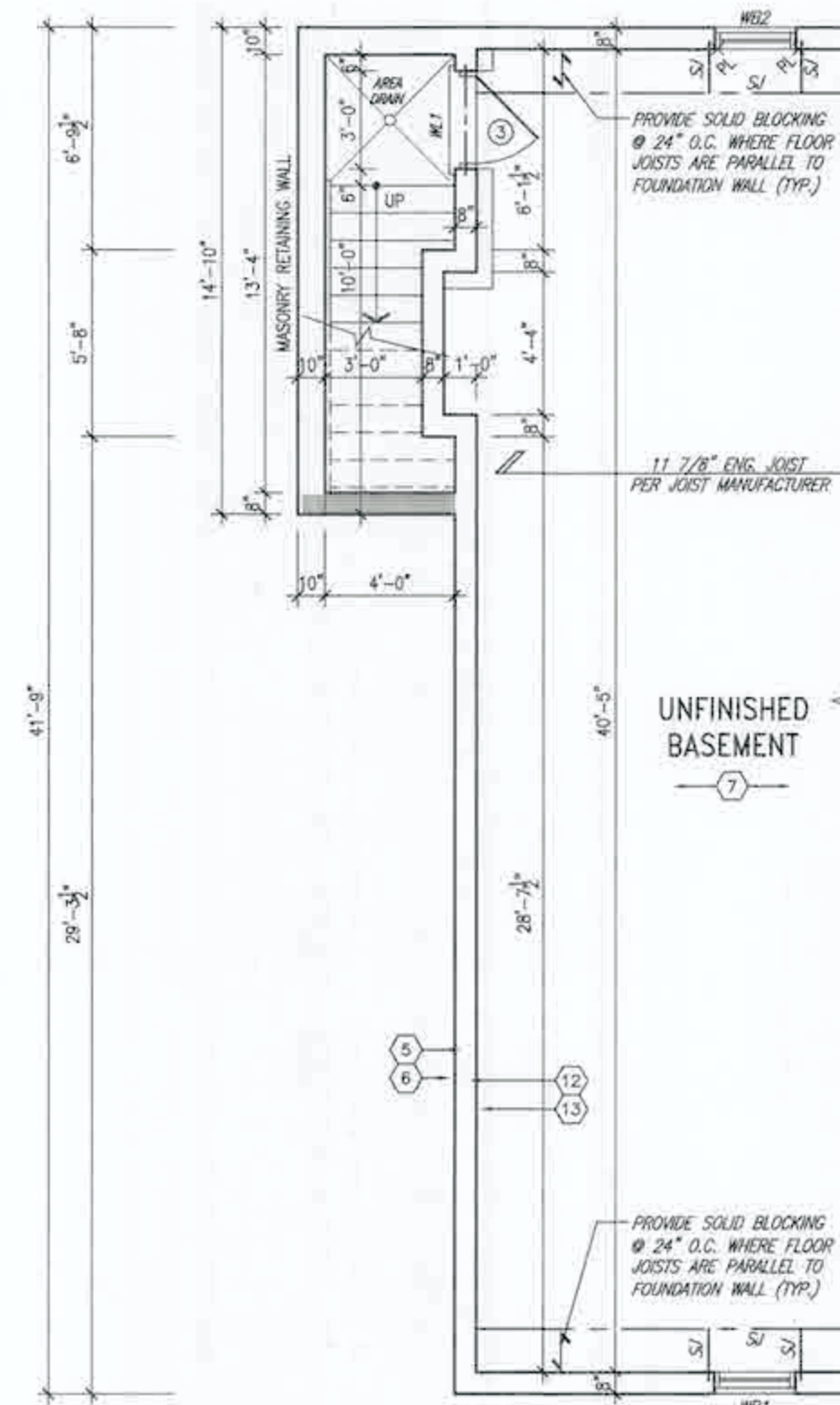
 Greenpark™		GRANDVILLE 3 15.25m	
project name	RUSSELL GARDENS PH. 4	municipality	HAMILTON, ON.
date	FEB 2021	project	200227
drawn by	3/1/21	drawn by	3/1/21
checked by	3/1/21	checked by	3/1/21
scale	1" = 1'-0"	scale	1" = 1'-0"
REAR ELEVATION '3' - DECK CONDITION		200227-GRANDVILLE	

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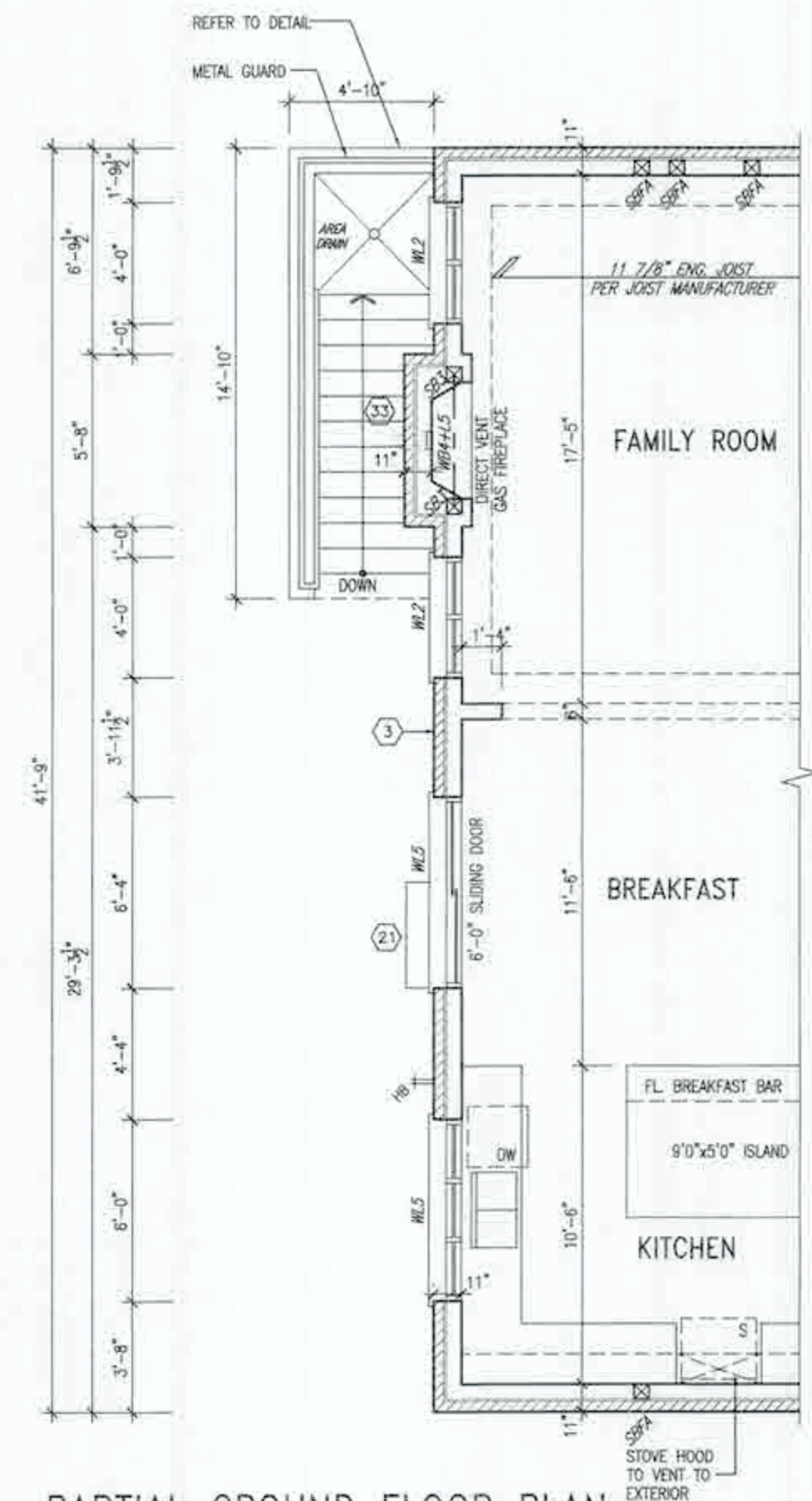
VENER CUT
WHEN VENER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.



PARTIAL BASEMENT PLAN
w/ OPT. WALK-UP STAIRS

NOTE: FIREPLACE PROJECTION
REDUCED TO 12" FOR
WALK-UP CONDITION ONLY



PARTIAL GROUND FLOOR PLAN
w/ OPT. WALK-UP STAIRS

CITY OF HAMILTON
Building Division

Permit No. **21-163002**

THESE STAMPED DRAWINGS SHALL BE AVAILABLE ON SITE.
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These drawings and specifications have been reviewed by
Ken Smith Jan. 21, 2022
FOR CHIEF BUILDING OFFICER

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building codes or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
SARAH WILLIAMS
APPROVED BY: *[Signature]*
DATE: **NOV 15, 2021**
The stamp reflects compliance with the applicable Design Guidelines, and does not constitute professional responsibility.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY
Nov 17/21

18		9			
17		8			
16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	MAY 28/21	GW
11		2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21	WJ
10		1	PRELIMINARY ISSUED FOR REVIEW.	FEB 09/21	GW
9					
8					
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3					
2					
1					
0					

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: *[Signature]* 24488
name: **Richard Vink**
registration information: **VAS Design Inc.** 42658

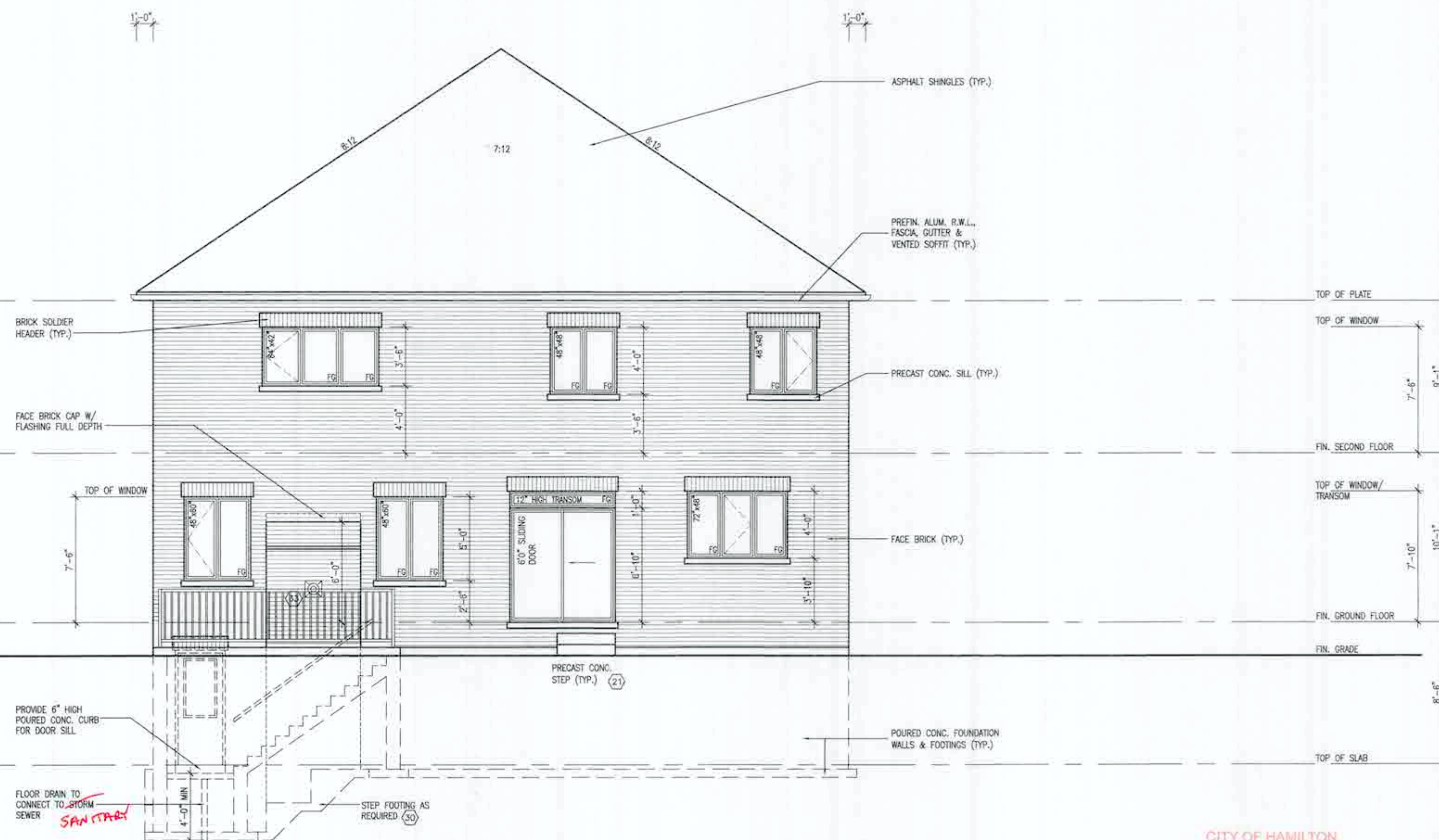
Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

VAS DESIGN
235 Consumers Rd Suite 120
Toronto, ON M2J 1R4
1 416.430.2225 • 416.833.4782
vasdesign.com

Greenpark.
project name: **RUSSELL GARDENS PH. 4**
date: **FEB 2021**
checked by: **3/16" = 1'-0"**
scale: **20027-GRANDVILLE-3**

GRANDVILLE 3
15.25m
project no. **20027**
drawing no. **A11**

4598 SF.



REAR ELEVATION - ELEV. '1'
w/ OPT. WALK-UP STAIRS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: NOV 18 2024

This stamp remains in compliance with the applicable
Florida Statutes only and bears no further
accidental resemblance.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE
REFER TO FINAL GRADING PLAN.

16		"	9	-	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set forth by the Ontario Building Code to be a Designer.	
17		"	8	-	qualification information	
16		"	7	-	signature	
15		"	6	-	Richard Vink	244
14		"	5	-	name	
13		"	4	-	registration information	
12		"	3	-	VAS Design Inc.	426
11		"	2	MAY 28/21 ON		
10		"	1	REV. PER CLIENT/PROF./L/ENG; COMMENTS	APR 26/21 WT	
9		"	PRELIMINARY ISSUED FOR REVIEW.	FEB 09/21 GN		
no description		date	by no description	date		

CITY OF HAMILTON
400 KING STREET EAST
Planning & Development Department

NOV 20 2021

REC'D BY: _____ DATE: _____
INFO TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

Permit No: 21-163002

THESE STAMPED DRAWINGS IN COMPLIANCE WITH THE BUILDING ACT AND BY-LAW 62
THE OWNER/ARCHITECT CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS

These drawings were registered and have been reviewed by:
Ken Smith Jan. 21, 2022

FOR OVERSIGHT VERIFICATION DATE

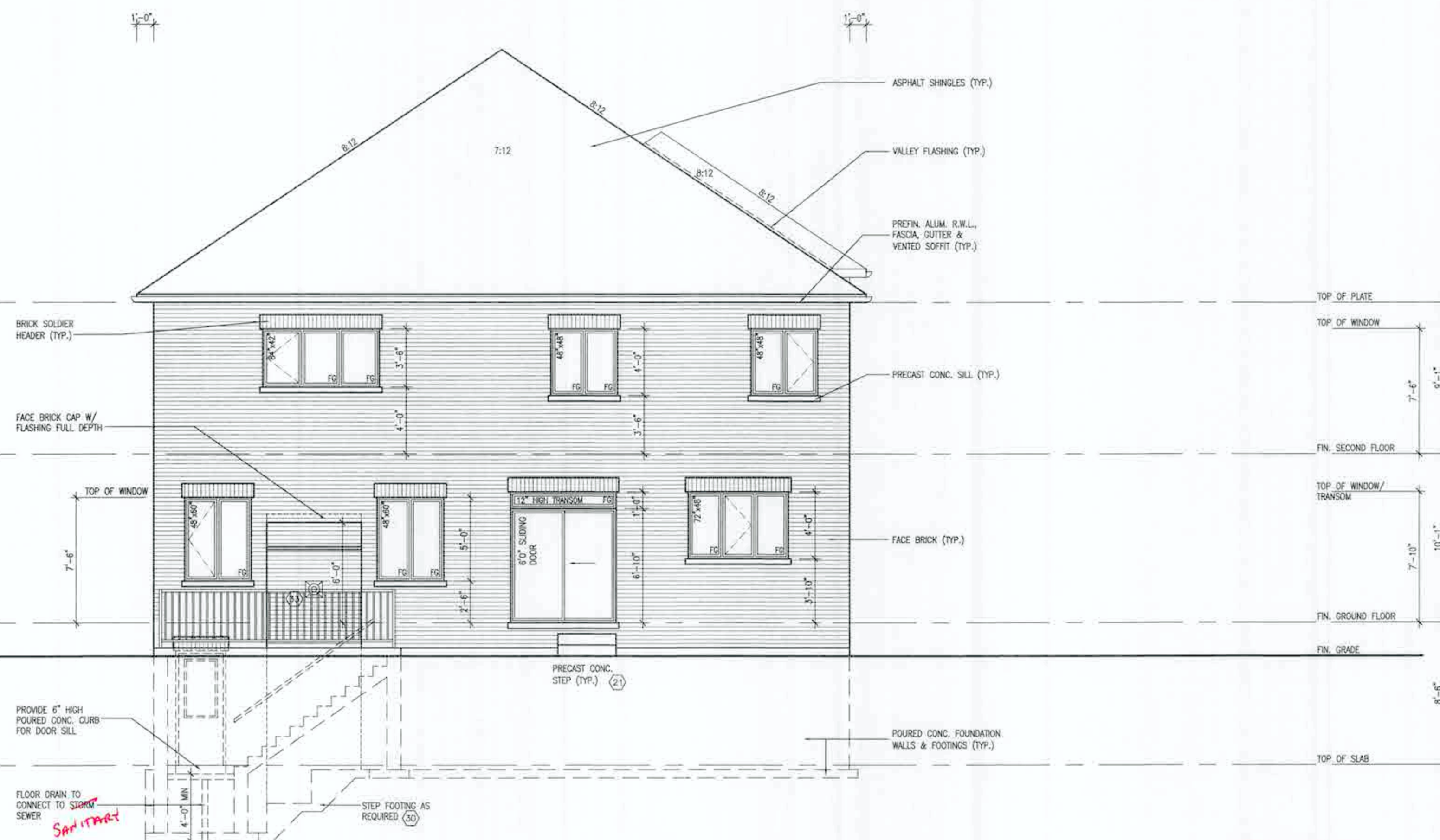
GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.478
vs3design.com

 Greenpark.		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		project no. 20027	
drawn by BD,SW		drawing no. A12	
checked by —		title REAR ELEVATION '1' - WALK-UP CONDITION	
scale 3/16" = 1'-0"		file name 20027-GRANDVILLE-3	

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REAR ELEVATION - ELEV. '2'
w/ OPT. WALK-UP STAIRS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONSENT REVIEW
AND APPROVAL

APPROVED BY: 

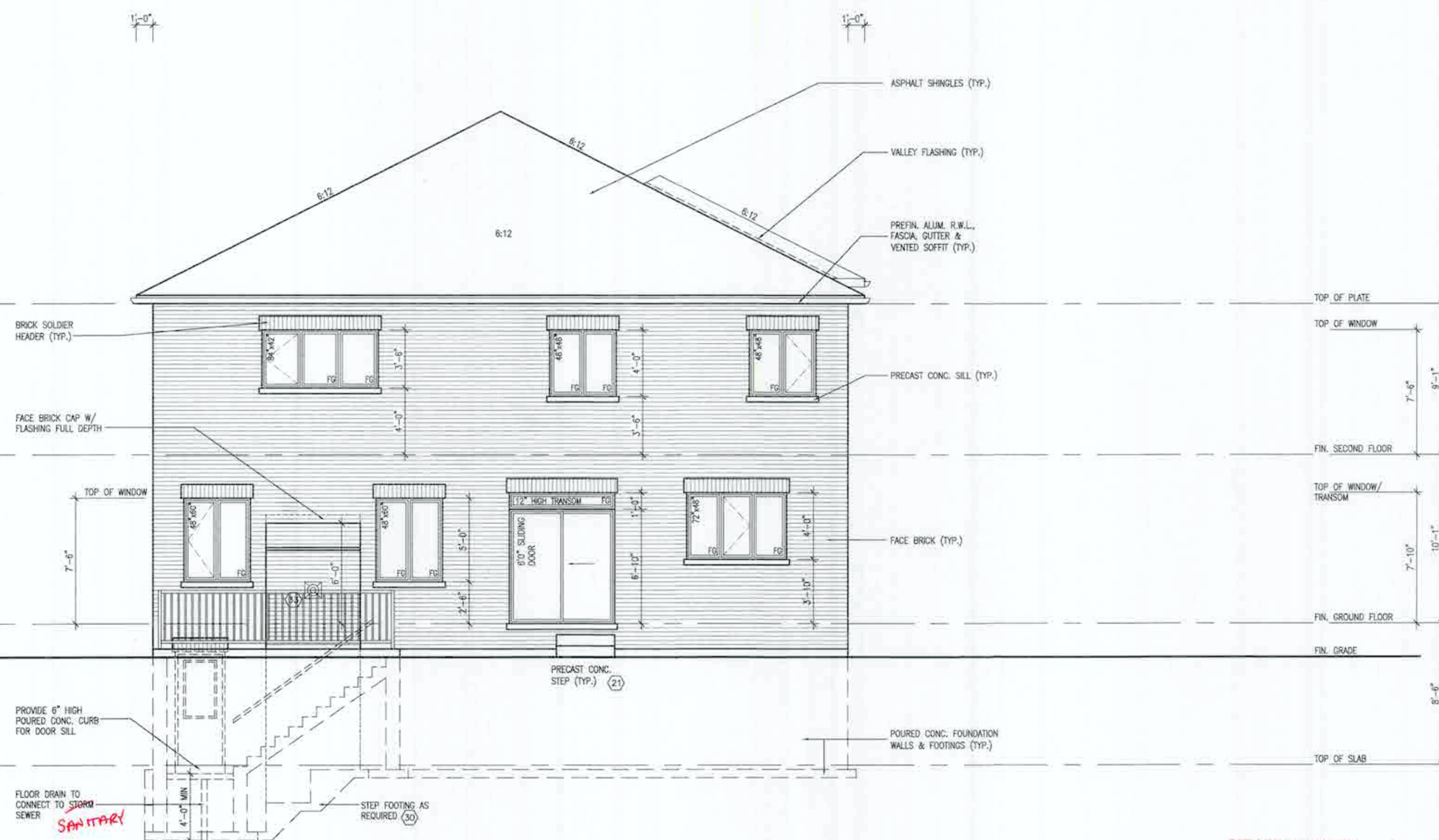
DATE: NOV 18, 2022

The stamp certifies compliance with the documents:
[] Design Guidelines [] and [] and [] to []
Professional Responsibility

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

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REAR ELEVATION - ELEV. '3'
w/ OPT. WALK-UP STAIRS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL

APPROVED BY: 
(DATE) NOV 12, 2011

This stamp certifies compliance with the structural
Design Guidelines only, and does not constitute

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18	-	-	9	-
17	-	-	8	-
16	-	-	7	-
15	-	-	6	-
14	-	-	5	-
13	-	-	4	-
12	-	-	3	ISSUED FOR PERMIT. MAY 28/21
11	-	-	2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS APR 26/21
10	-	-	1	PRELIMINARY. ISSUED FOR REVIEW. FEB 09/21
no.	description	date	by	date

The undersigned has reviewed and takes responsibility for this design and meets the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.	
qualification information	<i>R. Vink</i>
Richard Vink	24
name	signature
registration information	
VAJ Design Inc.	42
Contract must verify all dimensions at the job and report any discrepancies to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer; which must be returned at the completion of the work. Drawings are not to be copied.	

VA3
DESIGN
255 Consumers Rd Suite
Toronto ON M2J 1R4
† 416.630.2255 † 416.630
vo3design.com

		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project # 20027	
FEB 2021 drawn by 20-03-18	REAR ELEVATION '3' - WALK-UP CONDITION checked by 3/16" scale 1"-0"		drawing # A12P
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GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

CITY OF HAMILTON
Building Division

Formal No. 21-163002

THESE STAMPED DISCOUNTS WILL BE AVAILABLE ON SITE

THE ONTARIO LANDS CONTRACTING SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW

Kate Smith Jan. 21, 2022

CITY OF HAMILTON
Planning & Development Department
NOV 29 2021
REC BY: _____ DATE: _____
REF TO: _____ DATE: _____

REFER TO STANDARD BASEMENT
PLAN FOR WINDOWS THAT MAY BE
ELIMINATED WITH UPGRADED REAR
WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.

PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEUR CUT
WHEN VENEER CUT IS GREATER
THAN 26", A 10" POURED
CONCRETE FOUNDATION WALL IS
REQUIRED.

WOOD DECK AT WALKOUT DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6)
FOR ADDITIONAL INFORMATION.

BASEMENT WALL INSULATION
(TYP) 13
-6" (R20) CONTINUOUS BLANKET
INSULATION. INSULATION
UNINTERRUPTED BY FRAMING

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16"o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions, and any provisions in the subdivision agreements. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY _____
DATE NOV 18 2022

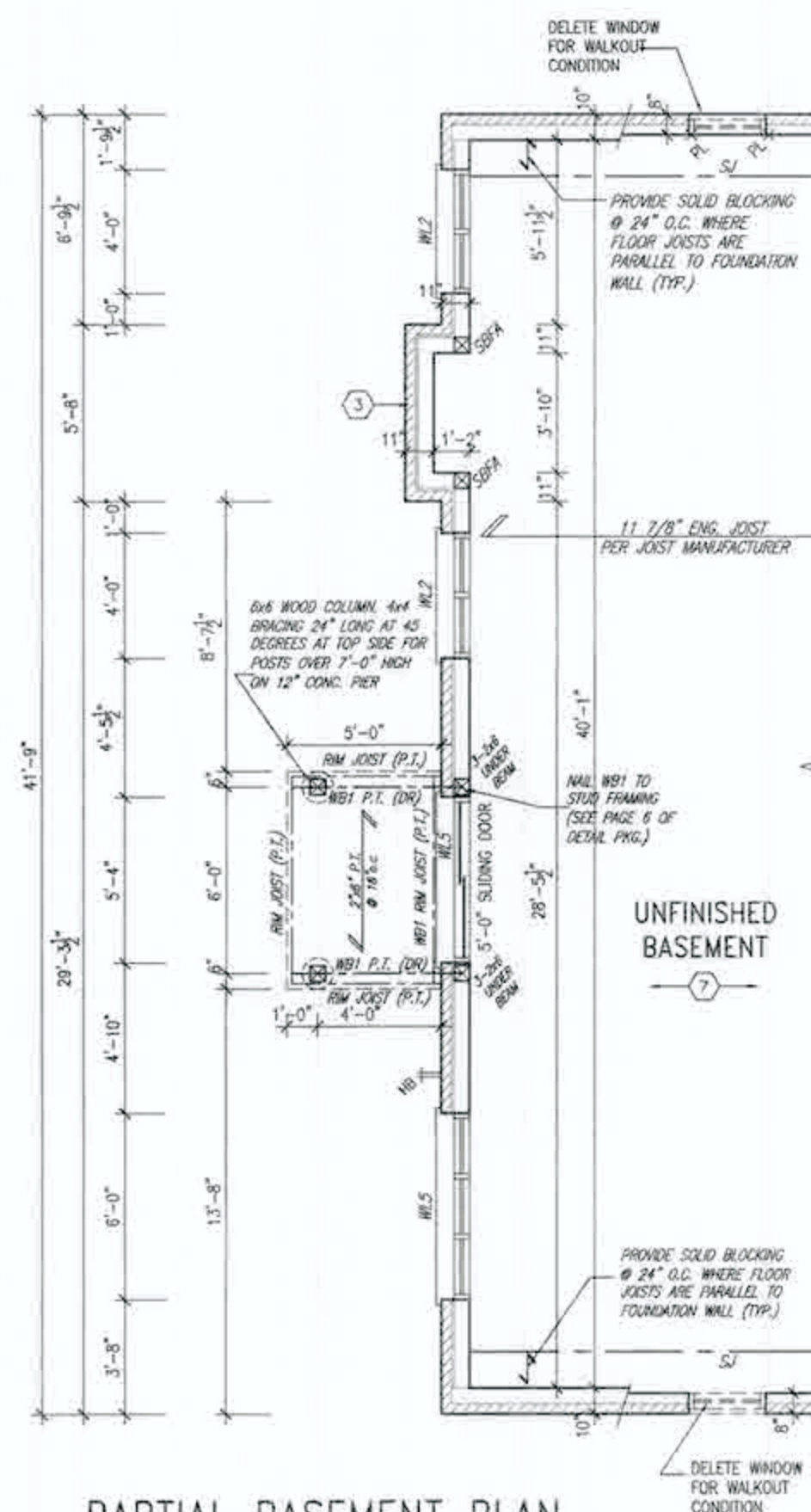
This stamp certifies compliance with the 2020
Design Decreeing and sets back to Action
commenced before 2020.

STRUDET, INC.

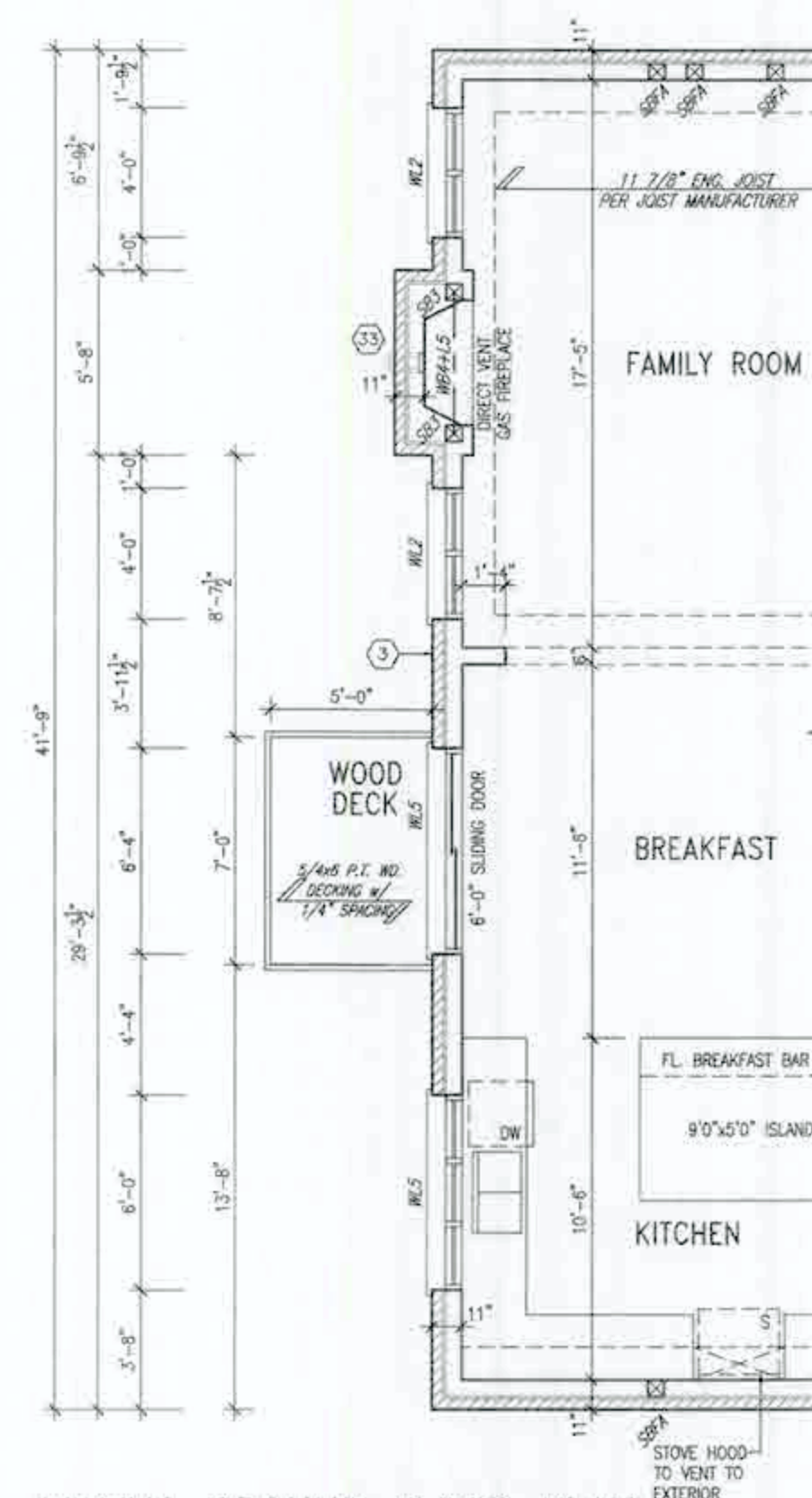


Nov 17/21

FOR STRUCTURE ONLY



PARTIAL BASEMENT PLAN
WALKOUT CONDITION

PARTIAL GROUND FLOOR PLAN
WALKOUT CONDITION

CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAFFED EXERCISES WERE HELD BY THE JPLR ON 5/17

THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

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Kim Smith Jan. 21, 2022

CITY OF HAMILTON
BUILDING DEPARTMENT
Planning & Development Decision
NOV 29 2021
REC BY: LMS
REF TO: WFE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

 **Greenpark.**

GRANDVILLE 3
15.25mi

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

date	PARTIAL PLANS	WALKOUT CONDITION	drawing no.
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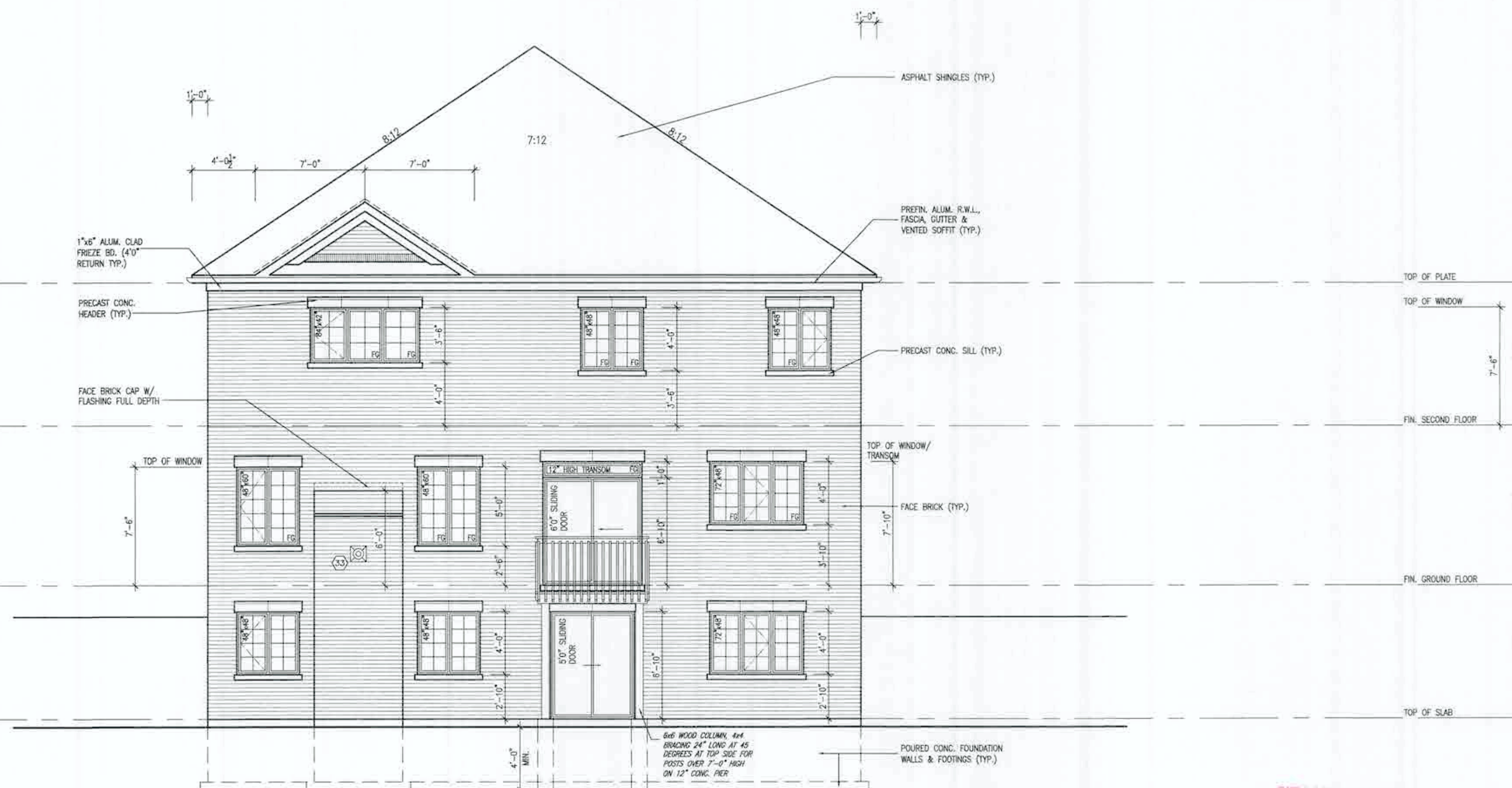
FEB 2021
 drawn by _____ checked by _____ scale _____ file name _____

RD.BIM 3/16" = 1'-0" 20027-GRANDVILLE-3 A13

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As a result of the above, the proposed system is able to provide a more accurate and efficient way of detecting and classifying faults in a power system.

UNINSULATED OPENINGS (PER DEC. SB-12.X.1.1(7))			
GRANDVILLE 3, EL. 1 (NOR)		ENERGY EFFICIENCY - DEC SB12	
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT
FRONT	886.82 S.F.	190.45 S.F.	21.50
LEFT SIDE	1347.61 S.F.	87.68 S.F.	6.50
RIGHT SIDE	1347.61 S.F.	87.49 S.F.	6.50
REAR	1175.96 S.F.	262.55 S.F.	22.33
* OPENINGS OMITTED AS PER SB-12 3.1.1.(4) MAX. 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4761.00 S.F.	608.15 S.F.	12.77
TOTAL SQ. M.	442.31 S.M.	56.50 S.M.	12.77



UPGRADED REAR ELEVATION -
ELEV. '1' WALKOUT CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements, including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting), plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECTS
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: NOV 28, 2023

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

	The undersigned has reviewed and taken responsibility for this design and the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. qualification information Richard Vink 24 name signature registration information VAS Design Inc. 42
CW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.
NT	
CW	



VA2
DESIGN

255 Consumers Rd. Suite 101
Toronto, ON M2J 1P9
1 416.630.2255 / 416.630.2256
vo3design.com



Greenpark

project name	RUSSELL GARDENS PH. 4	HAMILTO
--------------	-----------------------	---------

date FEB 2021 UPGRADED WAL

drawn by BD.BIM checked by 3/16" = 1'-0" scale

GRANDVILLE 3
15.25m

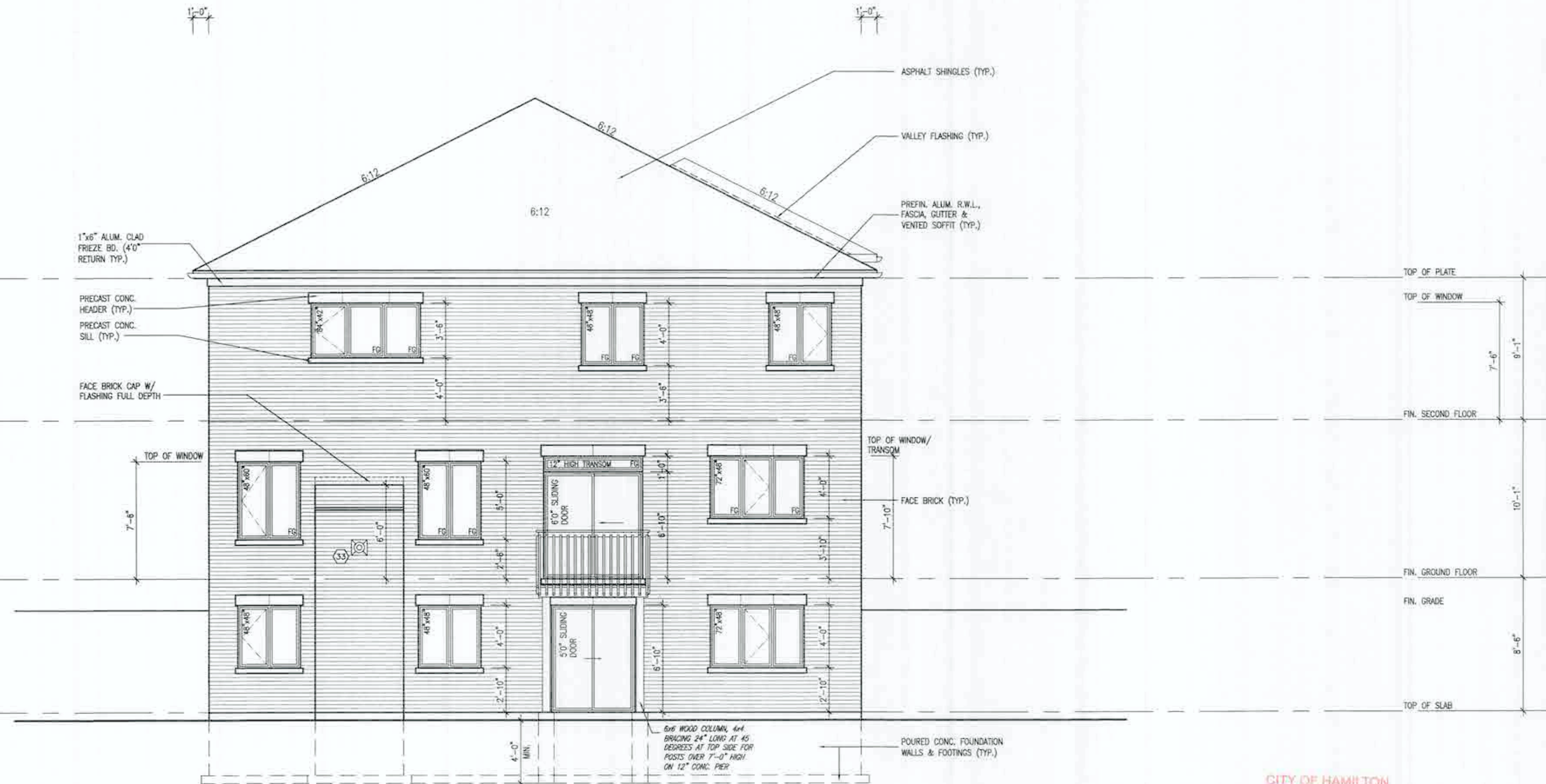
project n.	2002
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REAR - ELEV. 1

20027-GRANDVILLE-3 A14

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UNINSULATED OPENINGS (PER OBC, SB-12.1.1.1(7))			
GRANDVILLE 3, EL. 3 (WOB)			
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	912.21 S.F.	254.18 S.F.	27.86 %
LEFT SIDE	1308.36 S.F.	87.86 S.F.	6.65 %
RIGHT SIDE	1308.94 S.F.	87.49 S.F.	6.65 %
REAR	1175.66 S.F.	262.55 S.F.	22.33 %
* OPENINGS OMITTED AS PER SB-12.1.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			
TOTAL SQ. FT.	4806.57 S.F.	671.88 S.F.	13.88 %
TOTAL SQ. M.	446.52 S.M.	62.42 S.M.	13.98 %



UPGRADED REAR ELEVATION -
ELEV. '3' WALKOUT CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (topping) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
DATE: NOV 25, 2021
This stamp certifies compliance with the applicable Architectural Design Guidelines approved by the City of Hamilton.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

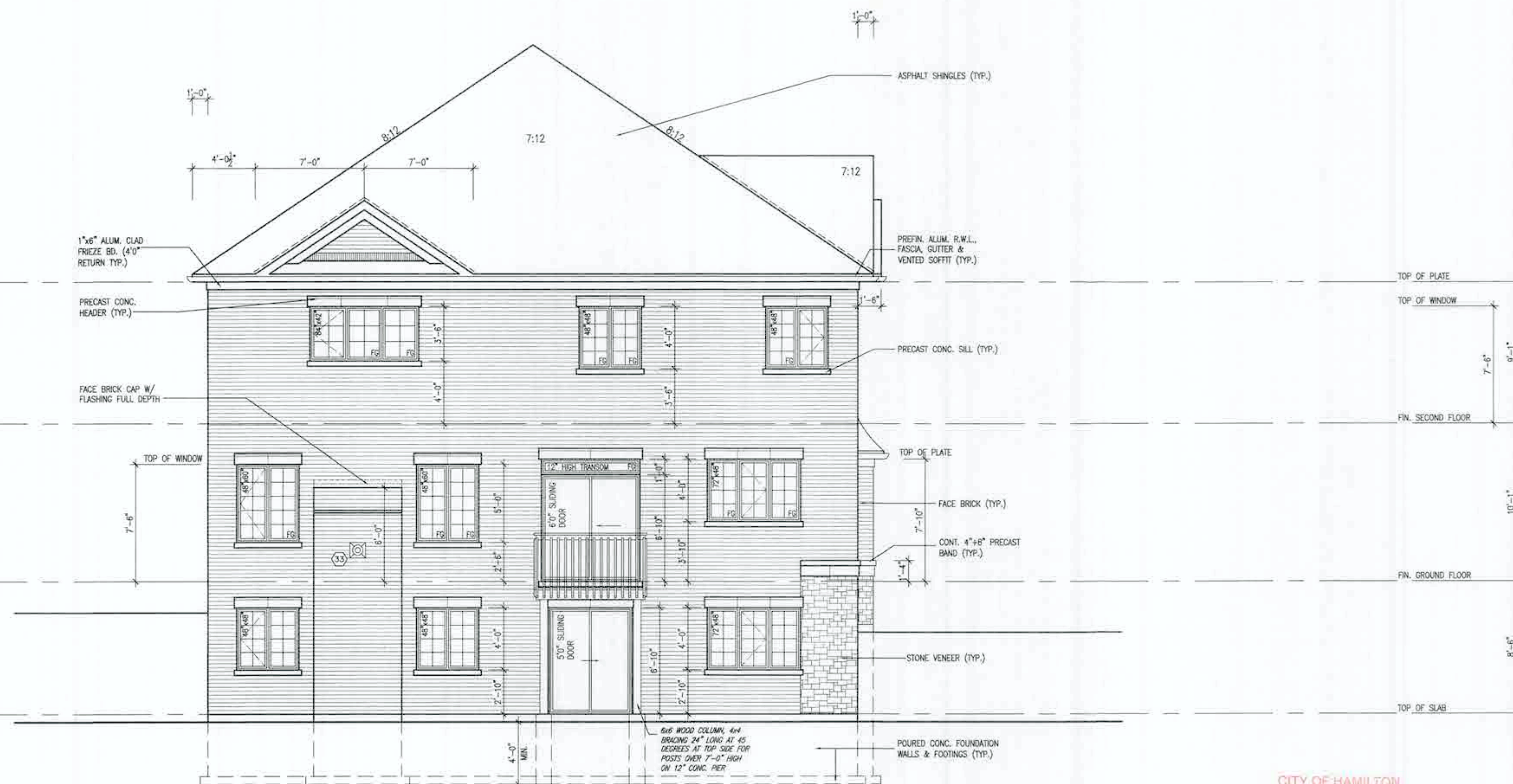


CITY OF HAMILTON
Building Division
Project No. 21-163002
THESE STAMPED DRAWINGS SHALL BE AVAILABLE FOR REVIEW
THE OWNER AND/OR CONTRACTOR SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
These drawings and/or specifications have been reviewed by:
Jan. 21, 2022
FOR CHIEF BUILDING OFFICIAL

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

18				9																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									</
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UNINSULATED OPENINGS (PER OBC SS-12.31.177)			
GRANDTOTAL 3, EL. 4 (WOB)		ENERGY EFFICIENCY - OBC S812	
ELEVATION	SMALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	883.71 S.F.	188.56 S.F.	21.34 %
LEFT SIDE	1347.61 S.F.	87.66 S.F.	6.50 %
RIGHT SIDE	1347.61 S.F.	67.48 S.F.	5.01 %
REAR	1175.96 S.F.	262.55 S.F.	22.33 %
* OPENINGS OMITTED AS PER SS-12.3.1.3(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION			0.06 S.F.
TOTAL SQ. FT.	4754.89 S.F.	566.25 S.F.	12.75 %
TOTAL SQ. M.	441.74 S.M.	56.32 S.M.	12.75 %



CITY OF HAMILTON
Building Division

Form No. 21-163002

Form No. 21-163002

THESE STAMPETS DRAWING-BUILDING ARE AVAILABLE ON SITE

THE OWNER AND/OR OCCUPANT SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS.

It was a ~~very~~ very long time before I saw him again.

Jan. 21 2022

FOR CAMP BUILDING ONLY

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

Greenpark.

GRANDVILLE 3
15.25m

project name	municipality	project #
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

date SEP 2021 UPGRADED WALKOUT REAR - ELEV. 4 drawing no. 444

drawn by	checked by	scale	file name
VA3	-	3/16" = 1'-0"	20027-GRANDVILLE-3

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16			9			The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
17			8			
18			7			qualification information
19			6			
20			5			Richard Wink
21			4			signature
22			3			244
23			2			
24			1			
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VA
DESIGN

255 Consumers Rd S
Toronto ON M2J 1
(416) 630-2255 f 416.6
vo3design.com

... documents and design are the

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Contractor/Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: [Signature]
DATE: NOV 18 2021
This stamp certifies compliance with the applicable
Dispute Resolution Policy and there is further
nothing to be done.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

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REFER TO STANDARD BASEMENT PLAN FOR WINDOWS THAT MAY BE ELIMINATED WITH UPGRADED REAR WINDOWS OF DECK CONDITION.

NOTE:
REFER TO STANDARD FLOOR PLANS FOR ADDITIONAL INFORMATION.

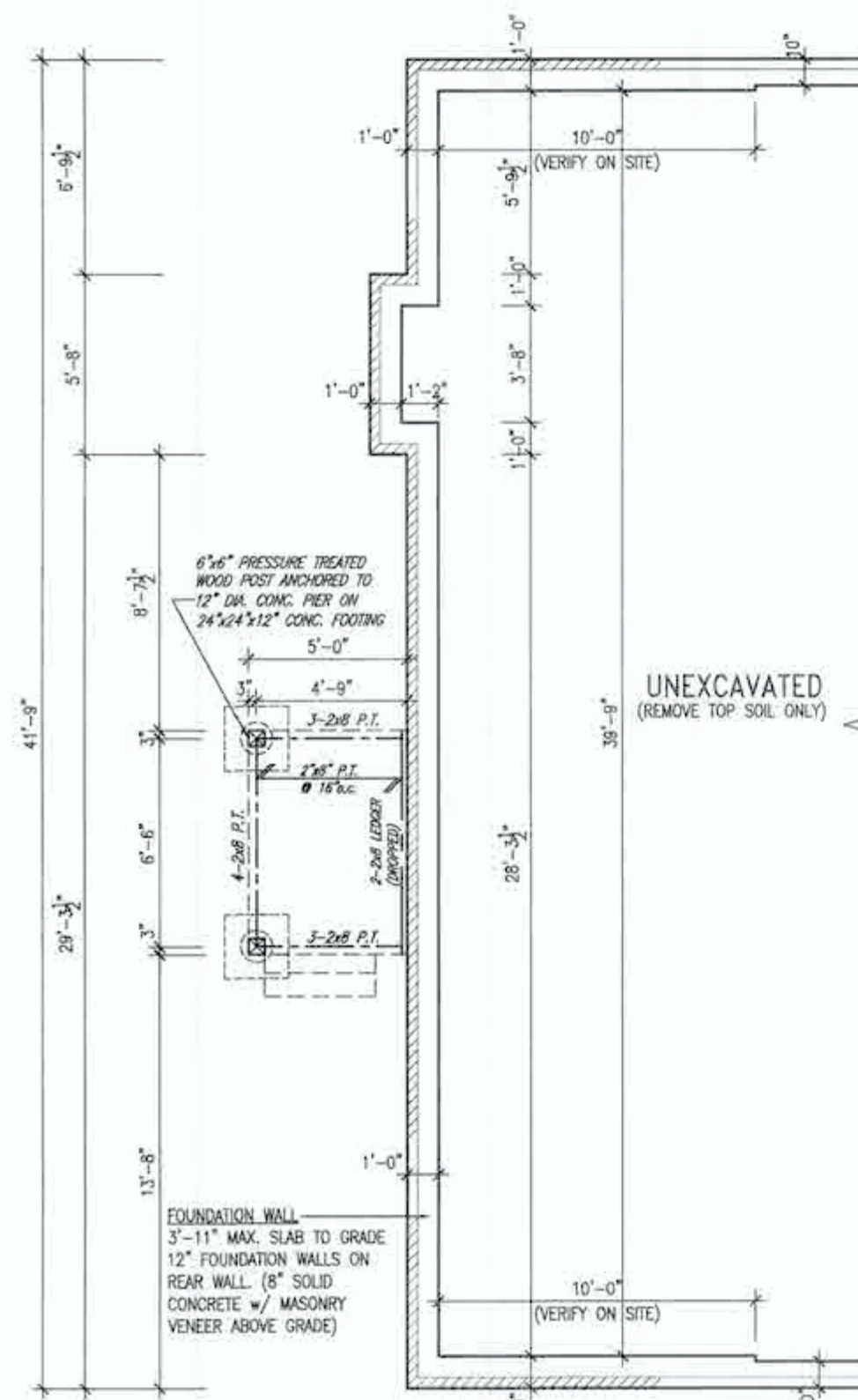
PLANS AND ELEVATION ILLUSTRATE DECK CONDITIONS WHERE GRADE PERMITS. BASEMENT WINDOWS APPLY TO CONDITIONS OF A MINIMUM 4'-6" FROM FINISHED FIRST FLOOR TO GRADE.

VENEEER CUT
WHEN VENEER CUT IS GREATER THAN 26", A 10" POURED CONCRETE FOUNDATION WALL IS REQUIRED.

WOOD DECK AT WALKOUT DETAILS
REFER TO STANDARD DETAIL PACKAGE (PAGE 6-2) FOR ADDITIONAL INFORMATION.

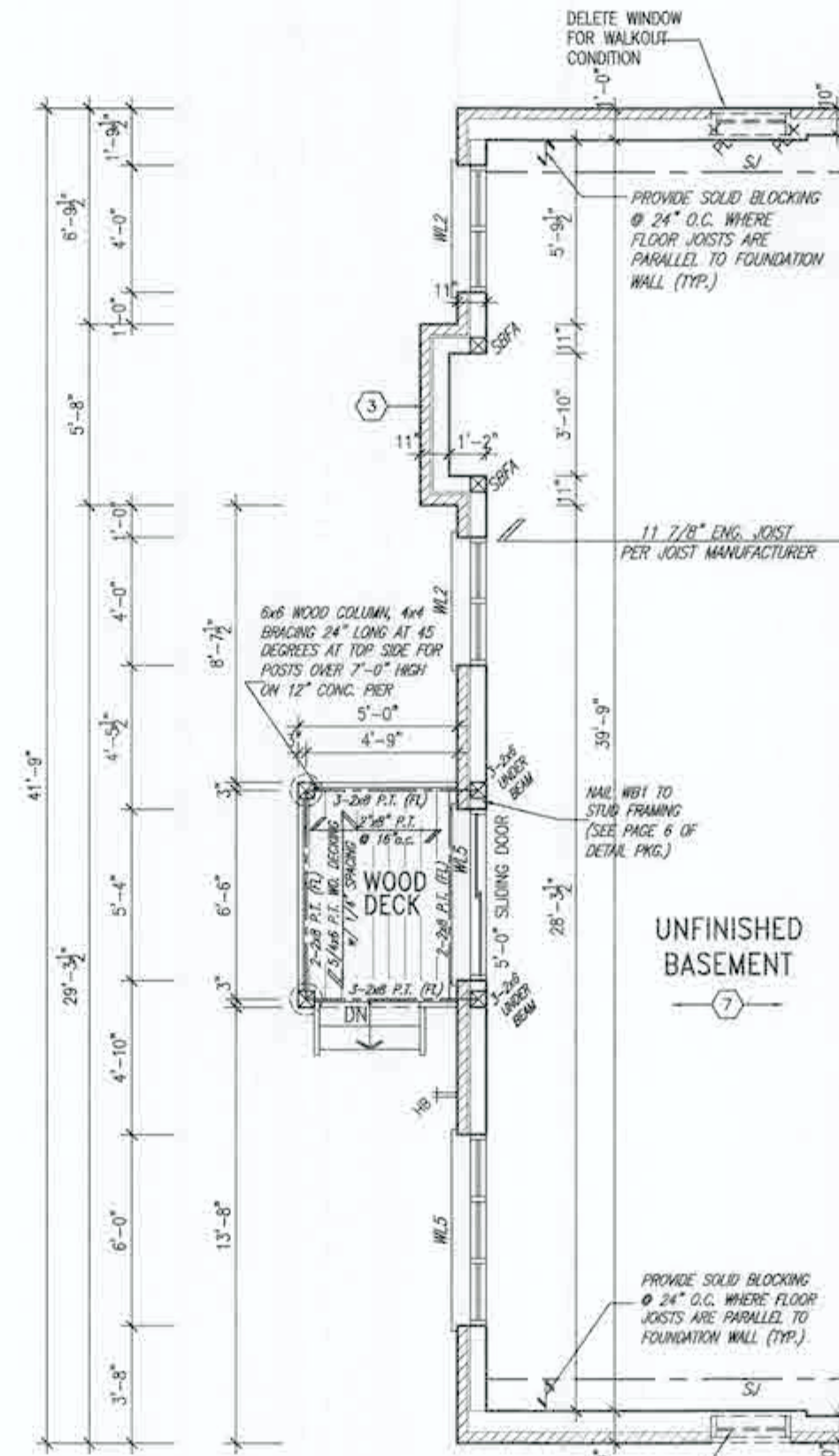
BASEMENT WALL INSULATION
(TYP.) (13)
-6" (R20) CONTINUOUS BLANKET INSULATION. INSULATION UNINTERRUPTED BY FRAMING.

BASEMENT INSULATION AT STAIR/SUNKEN AREAS
-2" (R10) CONTINUOUS INSULATION (RIGID OR SPRAY FOAM).
-2"x4" @ 16" o.c. w/ R12 BATT INSULATION & 1/2" DRYWALL FINISH
-EXTEND EXTERIOR WALL FOOTING TO SUPPORT 2"x4" WALL WHERE LOAD BEARING.

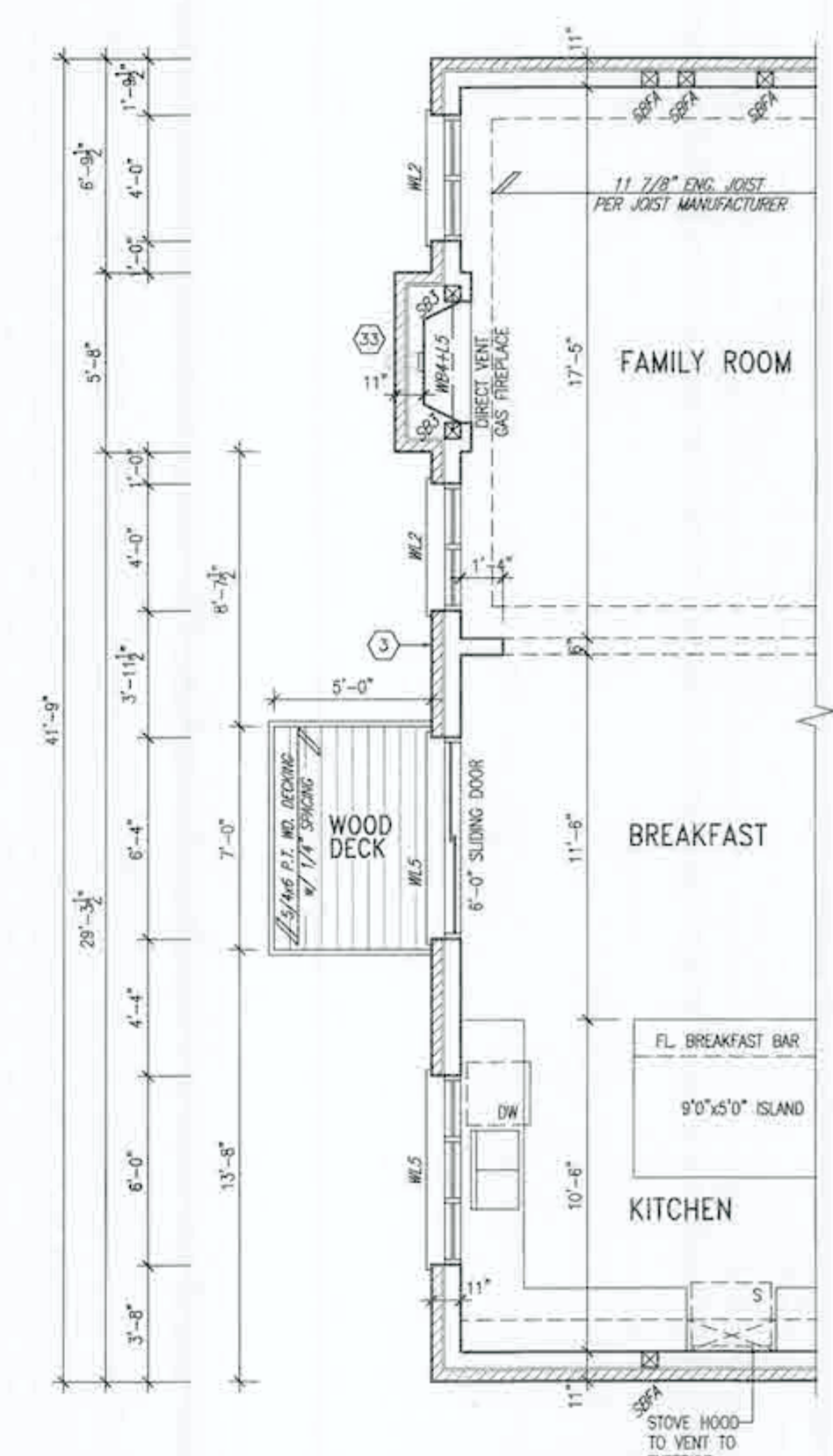


PARTIAL FOUNDATION PLAN
WALKOUT w/ DECK CONDITION

FOUNDATION WALL THICKNESS:
- 4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL (14" WITH VENEER).
- 3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL (12" WITH VENEER).
- 2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL (10" WITH VENEER).
(AS PER O.B.C. 9.15.4.2)



PARTIAL BASEMENT PLAN
WALKOUT w/ DECK CONDITION



PARTIAL GROUND FLOOR PLAN
WALKOUT w/ DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
PROVINCE OF ONTARIO
Nov 17/21
FOR STRUCTURE ONLY

18		9			
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16		7			
15		6			
14		5			
13		4			
12		3	ISSUED FOR PERMIT.	MAY 28/21	GW
11		2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21	WT
10		1	PRELIMINARY. ISSUED FOR REVIEW.	FEB 09/21	GW
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3					
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1					
0					
no.	description	date	by	no.	description

The undersigned has reviewed and taken responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.

signature: Richard Vink
name: Richard Vink
registration information: 24488
VAS Design Inc.

255 Consumers Rd Suite 120
Toronto, ON M2J 1B4
416.630.2255 / 416.630.4782
vasdesign.com

Greenpark. GRANDVILLE 3
15.25m
project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
drawing no.: 20027
date: FEB 2021
scale: 3/16" = 1'-0"
sheet: 20027-GRANDVILLE-3
A15

CITY OF HAMILTON
Building Division

Permit No. 21-163002

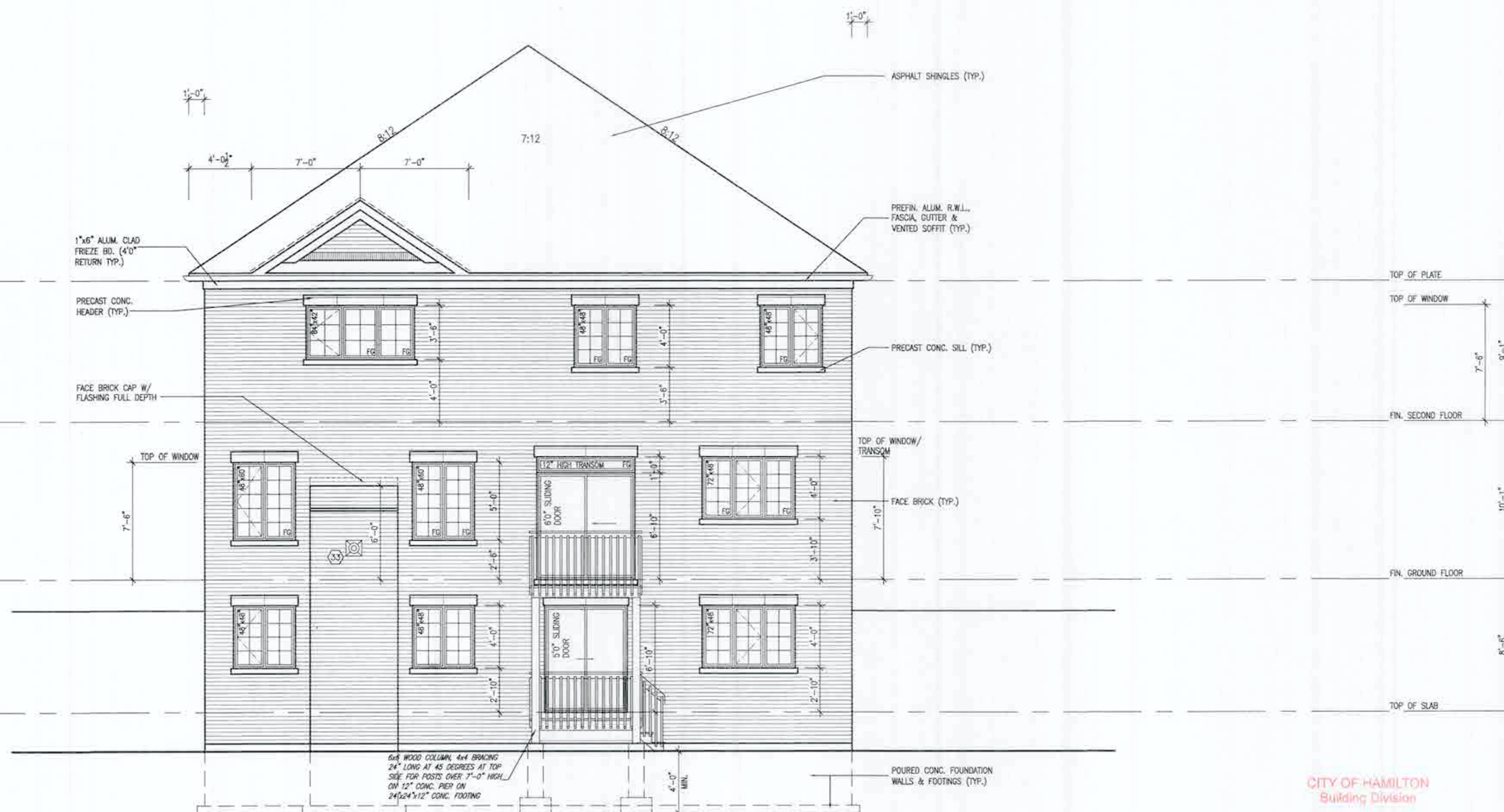
THESE STAMPED DRAWINGS SHALL BE PRESENTED ON SITE

THESE STAMPED DRAWINGS SHALL COMPLY WITH THE ONTARIO BUILDING CODE AND ALL CITY OF HAMILTON BY-LAWS

These stamped drawings were prepared by
Jan 21, 2022
FOR CHIEF BUILDING OFFICIAL

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

UNINSULATED OPENINGS (PER DEC SB-12.3.1.1(7))			
ORANGEVILLE, FL, 1 (MOB)	ENERGY EFFICIENCY - DEC SB12		
ELEVATION	MALL AREA S.F.	OPENING S.F.	PERCENT
FRONT	869.62 S.F.	190.45 S.F.	21.50
LEFT SIDE	1347.61 S.F.	87.66 S.F.	6.40
RIGHT SIDE	1347.61 S.F.	67.49 S.F.	5.01
REAR	1175.96 S.F.	262.56 S.F.	22.33
* OPENINGS OMITTED AS PER SB-12 3.1.1.2(a) MAX 19.9 S.F.		0.00 S.F.	
TOTAL SQ. FT.		4761.00 S.F.	608.15 S.F.
TOTAL SQ. M.		440.31 S.M.	56.50 S.M.



CITY OF HAMILTON
Solid Waste Division
Planning & Development Department
NOV 29 2021
FROM: DASH
TO: DASH

21-163002

THESE STAMPS ARE NON-NEGOTIABLE AND NON-REFUNDABLE
THE OWNERS AND/OR CONTRACTORS SHALL COMPLY WITH
THE ONTARIO BUILDING CODES AND ALL OTHER APPLICABLE LAWS
These stamps are non-transferable and non-refundable
Ken Smith Jan. 21, 2022
FOR CHIEF BUILDING OFFICER 2418

[illegible]

UNINSULATED OPENINGS (PER CBC-SB-12.3.1.17)			
	ENERGY EFFICIENCY - CBC SB12		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	928.96 S.F.	192.23 S.F.	20.67
LEFT SIDE	1351.34 S.F.	87.66 S.F.	6.49
RIGHT SIDE	1359.84 S.F.	67.49 S.F.	4.96
REAR	1175.96 S.F.	262.55 S.F.	22.33
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4817.10 S.F.	609.93 S.F.	12.66
TOTAL SQ. MI.	447.52 S.M.	56.66 S.M.	12.66



UPGRADED REAR ELEVATION - ELEV. '2'
WALKOUT w/ DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL

APPROVED BY _____
DATE NOV 28, 2021

This stamp reflects compliance with the applicable
Group/Qualifying and does not fulfill
contractual requirements.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		-	-	-	9	The undersigned has reviewed and takes responsibility for this design.		
17		-	-	-	8	I have had the qualifications and means for implementation set out in the Ontario Building Code to be a Designer.		
16		-	-	-	7	qualification information:		
15		-	-	-	6	Richard Vink	24	
14		-	-	-	5	dname registration information:		
13		-	-	-	4	VAS Design Inc., signature		
12		-	-	-	3	ISSUED FOR PERMIT.	42	
11		-	-	-	2	REV. PER CLIENT/ROOF/FLOORING COMMENTS		
10		-	-	-	1	PRELIMINARY ISSUED FOR REVIEW.		
no.	description		date	by	no.	description	date	by

CITY OF HAMILTON
BUILDING DIVISION
Planning & Development Department

NOV 29 2021

REC'D BY: _____ DATE: _____
REF'D BY: _____ DATE: _____

CITY OF HAMILTON
Building Division
Form No. 21-163002
THREE STAMPED ORIGINATED EMAILS AVAILABLE ON SITE
THE OWNER/AGENCY/CONVEYANCE FIRM(S), COMPLETELY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAWS
This document is not a legal document. It is not intended to be used as evidence.
Don Gill Jan. 22, 2022
FOR ONE OF THE FOLLOWING: DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



DESIGN
255 Consumers Rd Suite 120
Toronto ON M2J 1R4
† 416.630.2255 † 416.630.4791
vn3design.com

Greenpark

project name	municipality	project
RUSSELL GARDENS PH. 4	HAMILTON, ON.	2002

Job: FEB 2021
drawing no: A16
checked by: BO.BIM
scale: 3/16" = 1'-0"
file name: 20027-GRANDVILLE-3

GRANDVILLE 3
15.25m

project	2002
---------	------

REAR- ELEV. 2	drawing no.
file name	A16
20027--GRANDVILLE--3	

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UNINSULATED OPENINGS (PER OBS. SB-12.3.1.1(7))			
GRANULATE 3, EL. 3 (WOB w/ DECK)	ENERGY EFFICIENCY - OBS SB12		
ELEVATION	MALL AREA S.F.	OPENING S.F.	PERCENTAGE
FRONT	912.21 S.F.	254.18 S.F.	27.88
LEFT SIDE	1350.36 S.F.	87.66 S.F.	6.49
RIGHT SIDE	1350.34 S.F.	67.49 S.F.	4.98
REAR	1176.96 S.F.	262.53 S.F.	22.33
* OPENINGS OMITTED AS PER SB-12.3.1.1.9(A) MAX 19.9 S.F. REFER TO ELEVATION FOR LOCATION		0.00 S.F.	
TOTAL SQ. FT.	4806.37 S.F.	671.88 S.F.	13.98
TOTAL SQ. M.	446.52 SQ. M.	62.42 SQ. M.	13.98



UPGRADED REAR ELEVATION - ELEV. '3'
WALKOUT w/ DECK CONDITION

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be erected, built or located on the lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

JOHN C. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND RECORD

APPROVED BY: 

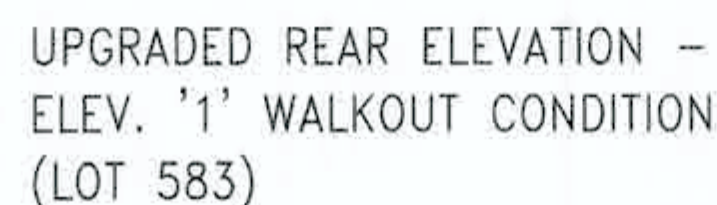
(DATE) NOV 28 2022

This stamp certifies compliance with the applicable
Design Consensus and seal requirements for
professional responsibility.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

[illegible]

It is hereby acknowledged that the undersigned is the owner of the above described property and that the undersigned is the owner of the above described property and that the undersigned is the owner of the above described property.



GRANDVILLE 3	
15.25m	
project	2002
drawing no.	A17
20027 - GRANDVILLE - 3	

CITY OF HAMILTON
 100 King Street West
 Hamilton, Ontario L8N 3Z5
 Tel: (905) 541-4311
 Fax: (905) 541-4312
 Email: info@cityofhamilton.ca
 Website: www.cityofhamilton.ca
 NOV 29 2021
 RECEIVED BY: _____ DATE: _____
 REQUEST TO: _____ DATE: _____

CITY OF HAMILTON
Building Division

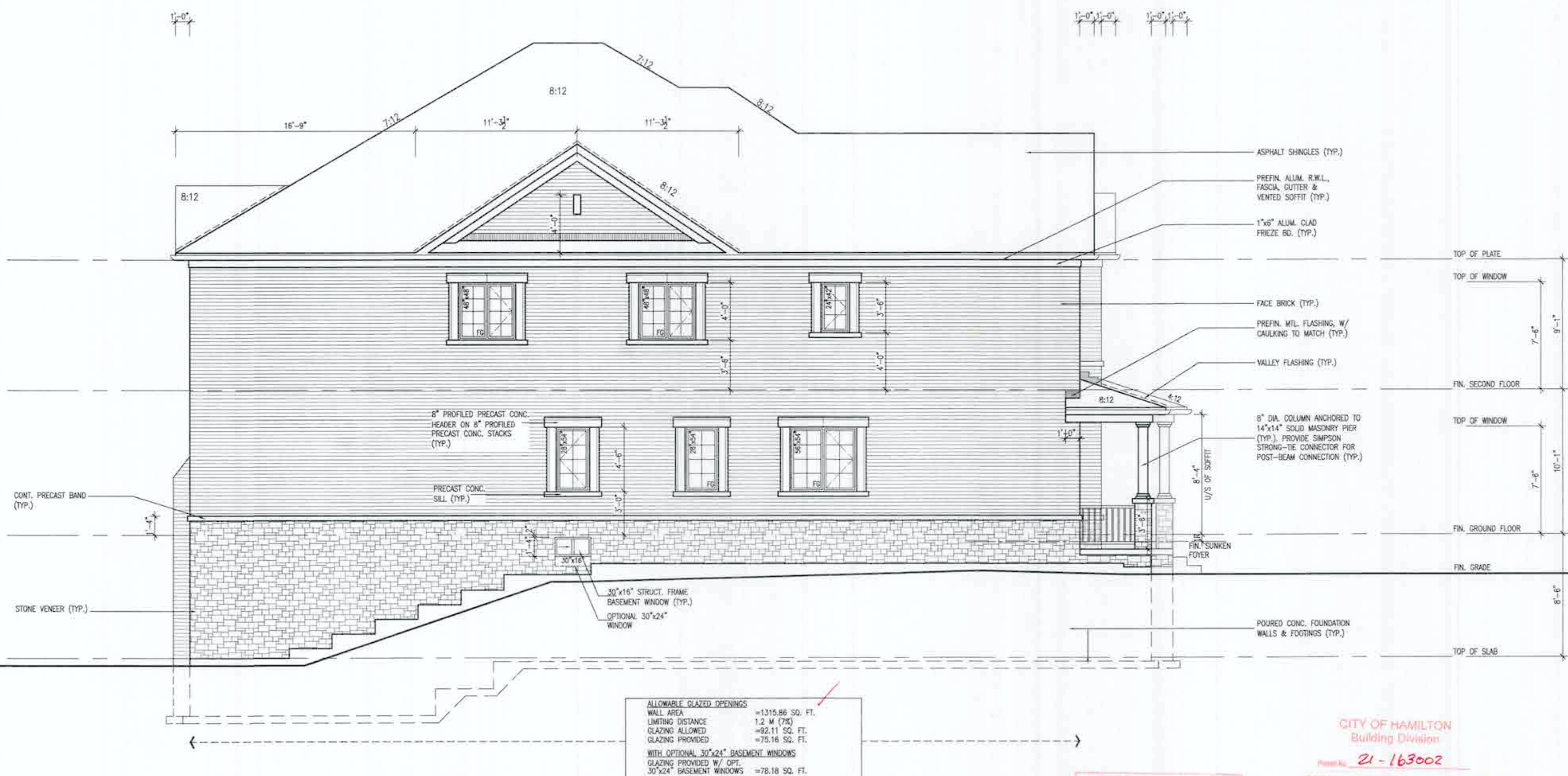
Form No. 21-163002

THESE STAMPED DIMENSIONS SHALL BE USED ALONG THE EDGE

THE OWNER AGREES TO NOTIFY THE BUILDING DIVISION WITHIN
THE ONTARIO BUILDING CODE REGULATION 610(1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100) (101) (102) (103) (104) (105) (106) (107) (108) (109) (110) (111) (112) (113) (114) (115) (116) (117) (118) (119) (120) (121) (122) (123) (124) (125) (126) (127) (128) (129) (130) (131) (132) (133) (134) (135) (136) (137) (138) (139) (140) (141) (142) (143) (144) (145) (146) (147) (148) (149) (150) (151) (152) (153) (154) (155) (156) (157) (158) (159) (160) (161) (162) (163) (164) (165) (166) (167) (168) (169) (170) (171) (172) (173) (174) (175) (176) (177) (178) (179) (180) (181) (182) (183) (184) (185) (186) (187) (188) (189) (190) (191) (192) (193) (194) (195) (196) (197) (198) (199) (200) (201) (202) (203) (204) (205) (206) (207) (208) (209) (210) (211) (212) (213) (214) (215) (216) (217) (218) (219) (220) (221) (222) (223) (224) (225) (226) (227) (228) (229) (230) (231) (232) (233) (234) (235) (236) (237) (238) (239) (240) (241) (242) (243) (244) (245) (246) (247) (248) (249) (250) (251) (252) (253) (254) (255) (256) (257) (258) (259) (260) (261) (262) (263) (264) (265) (266) (267) (268) (269) (270) (271) (272) (273) (274) (275) (276) (277) (278) (279) (280) (281) (282) (283) (284) (285) (286) (287) (288) (289) (290) (291) (292) (293) (294) (295) (296) (297) (298) (299) (300) (301) (302) (303) (304) (305) (306) (307) (308) (309) (310) (311) (312) (313) (314) (315) (316) (317) (318) (319) (320) (321) (322) (323) (324) (325) (326) (327) (328) (329) (330) (331) (332) (333) (334) (335) (336) (337) (338) (339) (340) (341) (342) (343) (344) (345) (346) (347) (348) (349) (350) (351) (352) (353) (354) (355) (356) (357) (358) (359) (360) (361) (362) (363) (364) (365) (366) (367) (368) (369) (370) (371) (372) (373) (374) (375) (376) (377) (378) (379) (380) (381) (382) (383) (384) (385) (386) (387) (388) (389) (390) (391) (392) (393) (394) (395) (396) (397) (398) (399) (400) (401) (402) (403) (404) (405) (406) (407) (408) (409) (410) (411) (412) (413) (414) (415) (416) (417) (418) (419) (420) (421) (422) (423) (424) (425) (426) (427) (428) (429) (430) (431) (432) (433) (434) (435) (436) (437) (438) (439) (440) (441) (442) (443) (444) (445) (446) (447) (448) (449) (450) (451) (452) (453) (454) (455) (456) (457) (458) (459) (460) (461) (462) (463) (464) (465) (466) (467) (468) (469) (470) (471) (472) (473) (474) (475) (476) (477) (478) (479) (480) (481) (482) (483) (484) (485) (486) (487) (488) (489) (490) (491) (492) (493) (494) (495) (496) (497) (498) (499) (500) (501) (502) (503) (504) (505) (506) (507) (508) (509) (510) (511) (512) (513) (514) (515) (516) (517) (518) (519) (520) (521) (522) (523) (524) (525) (526) (527) (528) (529) (530) (531) (532) (533) (534) (535) (536) (537) (538) (539) (540) (541) (542) (543) (544) (545) (546) (547) (548) (549) (550) (551) (552) (553) (554) (555) (556) (557) (558) (559) (560) (561) (562) (563) (564) (565) (566) (567) (568) (569) (570) (571) (572) (573) (574) (575) (576) (577) (578) (579) (580) (581) (582) (583) (584) (585) (586) (587) (588) (589) (590) (591) (592) (593) (594) (595) (596) (597) (598) (599) (600) (601) (602) (603) (604) (605) (606) (607) (608) (609) (610) (611) (612) (613) (614) (615) (616) (617) (618) (619) (620) (621) (622) (623) (624) (625) (626) (627) (628) (629) (630) (631) (632) (633) (634) (635) (636) (637) (638) (639) (640) (641) (642) (643) (644) (645) (646) (647) (648) (649) (650) (651) (652) (653) (654) (655) (656) (657) (658) (659) (660) (661) (662) (663) (664) (665) (666) (667) (668) (669) (670) (671) (672) (673) (674) (675) (676) (677) (678) (679) (680) (681) (682) (683) (684) (685) (686) (687) (688) (689) (690) (691) (692) (693) (694) (695) (696) (697) (698) (699) (700) (701) (702) (703) (704) (705) (706) (707) (708) (709) (710) (711) (712) (713) (714) (715) (716) (717) (718) (719) (720) (721) (722) (723) (724) (725) (726) (727) (728) (729) (730) (731) (732) (733) (734) (735) (736) (737) (738) (739) (740) (741) (742) (743) (744) (745) (746) (747) (748) (749) (750) (751) (752) (753) (754) (755) (756) (757) (758) (759) (760) (761) (762) (763) (764) (765) (766) (767) (768) (769) (770) (771) (772) (773) (774) (775) (776) (777) (778) (779) (780) (781) (782) (783) (784) (785) (786) (787) (788) (789) (790) (791) (792) (793) (794) (795) (796) (797) (798) (799) (800) (801) (802) (803) (804) (805) (806) (807) (808) (809) (810) (811) (812) (813) (814) (815) (816) (817) (818) (819) (820) (821) (822) (823) (824

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

18. All documents, specifications, related documents and design are the copyright property of USI DESIGN. Reproduction of this property in whole or in part is strictly prohibited without USI DESIGN's written permission.



UPGRADED LEFT SIDE ELEVATION - ELEV. '1'
(LOT 583)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

BASEMENT WINDOWS
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

18		-	-	9		
17		-	-	8		
16		-	-	7		
15		-	-	6		
14		-	-	5		
13		-	-	4		
12		-	-	3	ISSUED FOR PERMIT	MAY 28/21
11		-	-	2	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21
10		-	-	1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21
no.	description	date	by	no.	description	date

	The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.		
	Qualification Information		
	Richard Vink	2443	
	Name	Signature	BC
	Registration Information		
	VA3 Design Inc.	4265	
GR	Contractor must verify all dimensions as the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the project.		
WT	Drawings are not to be used.		
GR			

VA3
DESIGN
255 Consumers Rd Suite 1
Toronto ON M2J 1R4
t 416.630.2255 f 416.630.4
va3design.com

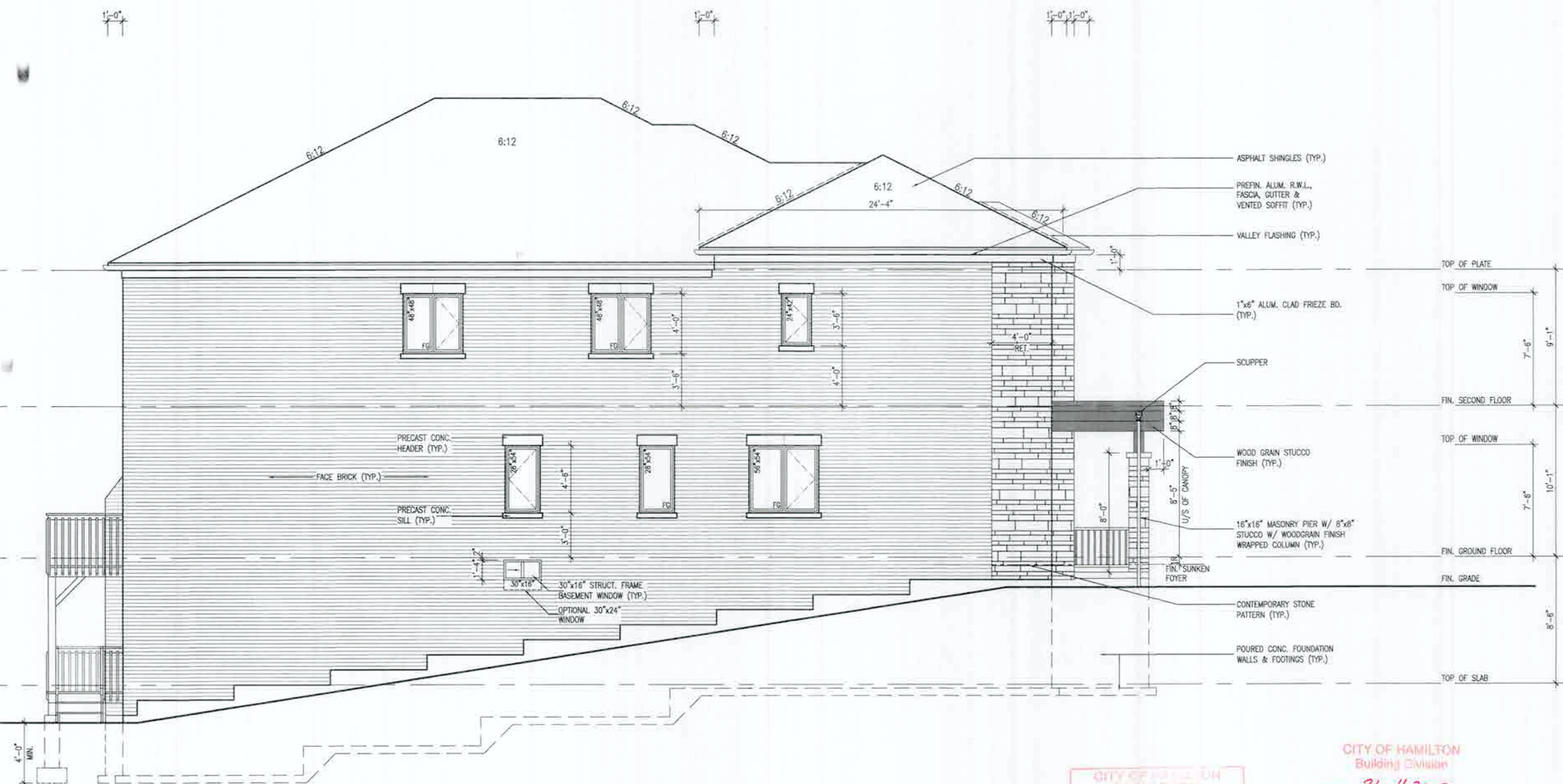
		GRANDVILLE 3 15.25m	
project name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	
date FEB 2021		drawing no. A18	
drawn by EO.BM		title UPGRADED LEFT SIDE ELEVATION '1'	
checked by —		scale 3/16" = 1'-0"	
sheet —		no. of sheets 20227-GRANDVILLE-3	
(SEE - 15-04-0001, 15-04-0002, 15-04-0003, 15-04-0004, 15-04-0005, 15-04-0006, 15-04-0007, 15-04-0008, 15-04-0009, 15-04-0010, 15-04-0011, 15-04-0012, 15-04-0013, 15-04-0014, 15-04-0015, 15-04-0016, 15-04-0017, 15-04-0018, 15-04-0019, 15-04-0020, 15-04-0021, 15-04-0022, 15-04-0023, 15-04-0024, 15-04-0025, 15-04-0026, 15-04-0027, 15-04-0028, 15-04-0029, 15-04-0030, 15-04-0031, 15-04-0032, 15-04-0033, 15-04-0034, 15-04-0035, 15-04-0036, 15-04-0037, 15-04-0038, 15-04-0039, 15-04-0040, 15-04-0041, 15-04-0042, 15-04-0043, 15-04-0044, 15-04-0045, 15-04-0046, 15-04-0047, 15-04-0048, 15-04-0049, 15-04-0050, 15-04-0051, 15-04-0052, 15-04-0053, 15-04-0054, 15-04-0055, 15-04-0056, 15-04-0057, 15-04-0058, 15-04-0059, 15-04-0060, 15-04-0061, 15-04-0062, 15-04-0063, 15-04-0064, 15-04-0065, 15-04-0066, 15-04-0067, 15-04-0068, 15-04-0069, 15-04-0070, 15-04-0071, 15-04-0072, 15-04-0073, 15-04-0074, 15-04-0075, 15-04-0076, 15-04-0077, 15-04-0078, 15-04-0079, 15-04-0080, 15-04-0081, 15-04-0082, 15-04-0083, 15-04-0084, 15-04-0085, 15-04-0086, 15-04-0087, 15-04-0088, 15-04-0089, 15-04-0090, 15-04-0091, 15-04-0092, 15-04-0093, 15-04-0094, 15-04-0095, 15-04-0096, 15-04-0097, 15-04-0098, 15-04-0099, 15-04-0100, 15-04-0101, 15-04-0102, 15-04-0103, 15-04-0104, 15-04-0105, 15-04-0106, 15-04-0107, 15-04-0108, 15-04-0109, 15-04-0110, 15-04-0111, 15-04-0112, 15-04-0113, 15-04-0114, 15-04-0115, 15-04-0116, 15-04-0117, 15-04-0118, 15-04-0119, 15-04-0120, 15-04-0121, 15-04-0122, 15-04-0123, 15-04-0124, 15-04-0125, 15-04-0126, 15-04-0127, 15-04-0128, 15-04-0129, 15-04-0130, 15-04-0131, 15-04-0132, 15-04-0133, 15-04-0134, 15-04-0135, 15-04-0136, 15-04-0137, 15-04-0138, 15-04-0139, 15-04-0140, 15-04-0141, 15-04-0142, 15-04-0143, 15-04-0144, 15-04-0145, 15-04-0146, 15-04-0147, 15-04-0148, 15-04-0149, 15-04-0150, 15-04-0151, 15-04-0152, 15-04-0153, 15-04-0154, 15-04-0155, 15-04-0156, 15-04-0157, 15-04-0158, 15-04-0159, 15-04-0160, 15-04-0161, 15-04-0162, 15-04-0163, 15-04-0164, 15-04-0165, 15-04-0166, 15-04-0167, 15-04-0168, 15-04-0169, 15-04-0170, 15-04-0171, 15-04-0172, 15-04-0173, 15-04-0174, 15-04-0175, 15-04-0176, 15-04-0177, 15-04-0178, 15-04-0179, 15-04-0180, 15-04-0181, 15-04-0182, 15-04-0183, 15-04-0184, 15-04-0185, 15-04-0186, 15-04-0187, 15-04-0188, 15-04-0189, 15-04-0190, 15-04-0191, 15-04-0192, 15-04-0193, 15-04-0194, 15-04-0195, 15-04-0196, 15-04-0197, 15-04-0198, 15-04-0199, 15-04-0200, 15-04-0201, 15-04-0202, 15-04-0203, 15-04-0204, 15-04-0205, 15-04-0206, 15-04-0207, 15-04-0208, 15-04-0209, 15-04-0210, 15-04-0211, 15-04-0212, 15-04-0213, 15-04-0214, 15-04-0215, 15-04-0216, 15-04-0217, 15-04-0218, 15-04-0219, 15-04-0220, 15-04-0221, 15-04-0222, 15-04-0223, 15-04-0224, 15-04-0225, 15-04-0226, 15-04-0227, 15-04-0228, 15-04-0229, 15-04-0230, 15-04-0231, 15-04-0232, 15-04-0233, 15-04-0234, 15-04-0235, 15-04-0236, 15-04-0237, 15-04-0238, 15-04-0239, 15-04-0240, 15-04-0241, 15-04-0242, 15-04-0243, 15-04-0244, 15-04-0245, 15-04-0246, 15-04-0247, 15-04-0248, 15-04-0249, 15-04-0250, 15-04-0251, 15-04-0252, 15-04-0253, 15-04-0254, 15-04-0255, 15-04-0256, 15-04-0257, 15-04-0258, 15-04-0259, 15-04-0260, 15-04-0261, 15-04-0262, 15-04-0263, 15-04-0264, 15-04-0265, 15-04-0266, 15-04-0267, 15-04-0268, 15-04-0269, 15-04-0270, 15-04-0271, 15-04-0272, 15-04-0273, 15-04-0274, 15-04-0275, 15-04-0276, 15-04-0277, 15-04-0278, 15-04-0279, 15-04-0280, 15-04-0281, 15-04-0282, 15-04-0283, 15-04-0284, 15-04-0285, 15-04-0286, 15-04-0287, 15-04-0288, 15-04-0289, 15-04-0290, 15-04-0291, 15-04-0292, 15-04-0293, 15-04-0294, 15-04-0295, 15-04-0296, 15-04-0297, 15-04-0298, 15-04-0299, 15-04-0300, 15-04-0301, 15-04-0302, 15-04-0303, 15-04-0304, 15-04-0305, 15-04-0306, 15-04-0307, 15-0			

CITY OF THIRUMONT
Public Works Department
Planning & Development Department
NOV 20 2021
REC'D BY: _____ DATE: _____
NOTED TO: _____ DATE: _____

CITY OF HAMILTON
Building Division
Parcel No. 21-163002
THREE STAMPED CHANGING RATES ARE AVAILABLE ON SITE
THE OWNER MUST COMPLY WITH ALL CITY BUILDING DEPARTMENT
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW
Three copies of this application have been prepared by:
John Smith Jan. 21, 2022
FOR CHIEF BUILDING OFFICIAL: 2418

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

 Greenpark.		GRANDVILLE 3 15.25m
project name MUSSELL GARDENS PH. 4	municipality HAMILTON, ON.	project 2002
date FEB 2021	drawing no. A18	
UPGRADED LEFT SIDE ELEVATION '1' drawn by J.D.M. checked by D.A.H. scale 3/16" = 1'-0" title 2002-GRANDVILLE-3 (S:\ALPHACON\WORKSET\2005\2001\000\A002\SHEET\GRANDVILLE\2002-GRANDVILLE-3.dwg - Tue - Apr 10 2021 - 15:17 PM)		



UPGRADED LEFT SIDE ELEVATION - ELEV. '3'
(LOT 595)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL

APPROVED BY: 

DATE: NOV 18, 2021

This stamp certifies compliance with the applicable
Design Questionnaire and Design Review Authority
requirements.

EXTERIOR RAILINGS:
3'-6" HIGH RAILING IF LANDING IS MORE
THAN 5'-11" ABOVE FINISHED GRADE
AND 3'-0" HIGH RAILING WHEN LANDING
IS LESS THAN 5'-11" ABOVE ADJACENT
FINISHED GRADE.

ELEVATIONS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

BASEMENT WINDOWS:
LARGER WINDOW MAY REQUIRE WINDOW WELL
DEPENDING ON FINAL GRADE CONDITIONS.
DRAIN WELL TO FOOTING DRAIN.

<u>ALLOWABLE GLAZED OPENINGS</u>	
WALL AREA	=1325.11 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=92.76 SQ. FT.
GLAZING PROVIDED	=84.33 SQ. FT.
<u>WITH OPTIONAL 30"x24" BASEMENT WINDOWS</u>	
GLAZING PROVIDED W/ OPT.	
30"x24" BASEMENT WINDOWS	=88.00 SQ. FT.

CITY OF HOUSTON
BUILDING DEPARTMENT
Permitting & Development Department
NOV 29 2021
REC'D _____ DATE _____
REF'D TO _____ DATE _____

CITY OF HAMILTON
Building Division
Form No. 21-163002
THIS IS A SAMPLE DOCUMENT. IT IS NOT A VALIDABLE DOCUMENT.
THE OWNER OF THIS DOCUMENT IS THE CITY OF HAMILTON, ONTARIO.
THE CITY OF HAMILTON DOES NOT ACCEPT ANY LIABILITY FOR THE CONTENTS OF THIS DOCUMENT.
This document is not a valid document and is not reviewed by
Ken Stiff Jan. 21, 2022
FOR THE BUILDING DIVISION
2022

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'



VAG
DESIGN



Greenpark

GRANDVILLE 3
15.25m

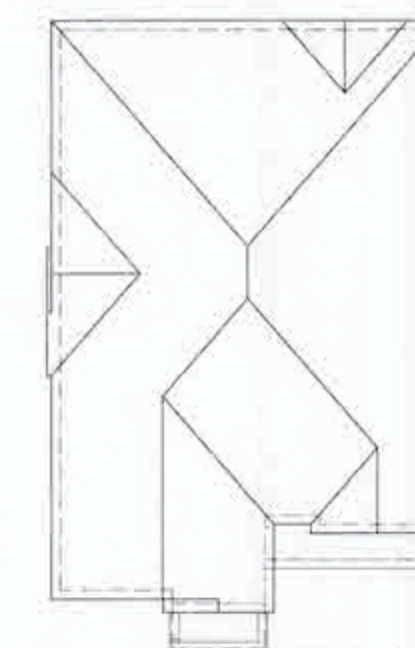
 DESIGN	client name RUSSELL GARDENS PH. 4		municipality HAMILTON, ON.	project number 2002
	date FEB 2021		drawing no. UPGRADED LEFT SIDE - ELEV. '3'	
255 Consumers Rd Suite 120 11416 Garsia Rd 11416 Garsia Rd 11416 Garsia Rd	drawn by BO.BW	checked by -	scale 3/16" = 1'-0"	file name 2002--GRANDVILLE-3

18				9		
17				8		
16				7		
15				6		
14				5		
13				4		
12				3	ISSUED FOR PERMIT	MAY 28/21
11				2	REV. PER CLIENT/ROOF/FL/ENG. COMMENTS	APR 26/21
10				1	PRELIMINARY ISSUED FOR REVIEW	FEB 09/21
no.	description	date	by	no.	description	date

	The undersigned has reviewed and takes responsibility for this design and meets the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer. Registration information: Richard Vink <i>R Vink</i> 24 name signature registration information VAS Design Inc. 42	
GW	Contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All	
WT	drawings and specifications are instruments of service and the price of the Designer which must be returned at the completion of the	
GW	timeless, or not to be used.	

All drawings, specifications, related documents and design are the copyright property of VAS DESIGN. Reproduction of this property in whole or in part is strictly prohibited without VAS DESIGN's written permission.

UNINSULATED OPENINGS (PER CBC SB-12.3.1.1(7))			
GRANDVILLE J, EL. 4 (504)	E2070 EFFICIENCY - OBC SB(2)		
ELEVATION	WALL AREA S.F.	OPENING S.F.	PERCENT
FRONT	883.71 S.F.	188.56 S.F.	21.34 %
LEFT SIDE	1347.61 S.F.	100.33 S.F.	7.82 %
RIGHT SIDE	1347.61 S.F.	67.49 S.F.	5.01 %
REAR	1175.96 S.F.	262.55 S.F.	22.33 %
* OPENINGS OMITTED AS PER SB-12 3.1.1.9(4) MAX 19.9 S.F. TO BE DEDUCTED FOR LOCATION			0.00 S.F.
TOTAL SQ. FT.	4754.89 S.F.	623.93 S.F.	13.12 %
TOTAL SQ. M.	441.74 S.M.	57.66 S.M.	13.12 %



Architectural drawing of the Upgraded Left Side Elevation of a house (Elev. '4' Lot 596). The drawing shows a two-story house with a gabled roof, stone veneer on the lower level, and face brick on the upper level. It includes various windows, a central entrance, and a porch. Dimensions and material specifications are provided throughout the drawing.

UPGRADED LEFT SIDE ELEVATION - ELEV. '4' (LOT 596)

ALLOWABLE GLAZED OPENINGS

WALL AREA	=1315.96 SQ. FT.
LIMITING DISTANCE	1.2 M (7%)
GLAZING ALLOWED	=92.11 SQ. FT.
GLAZING PROVIDED	=89.96 SQ. FT.

WITH OPTIONAL 30"x24" BASEMENT WINDOWS

GLAZING PROVIDED W/ OPT. 30"x24" BASEMENT WINDOWS	=91.46 SQ. FT.
---	----------------

Materials and Details:

- ASPHALT SHINGLES (TYP.)
- PREFIN. ALUM. R.W.L., FASCIA, GUTTER & VENTED SOFFIT (TYP.)
- 1"x6" ALUM. GLAD. FRIEZE BD. (TYP.)
- FACE BRICK (TYP.)
- STONE VENEER (TYP.)
- POURED CONC. FOUNDATION WALLS & FOOTINGS (TYP.)
- CONT. 4"x8" PRECAST BAND (TYP.)
- 30"x16" STRUCT. FRAME BASEMENT WINDOW (TYP.)
- OPTIONAL 30"x24" WINDOW
- FIN. SUNKEN FOYER

Dimensions:

- Roof: 8:12, 7:12, 11'-3 1/2", 11'-3 1/2", 16'-9", 1'-0", 1'-0", 1'-0"
- Windows: 48"x48", 24"x42", 36"x54", 30"x16", 30"x24"
- Doors: 84"x60"
- Height: 9'-1", 7'-6", 11'-3", 7'-8", 10'-1", 8'-6"
- Width: 1'-4", 4'-0" MIN.

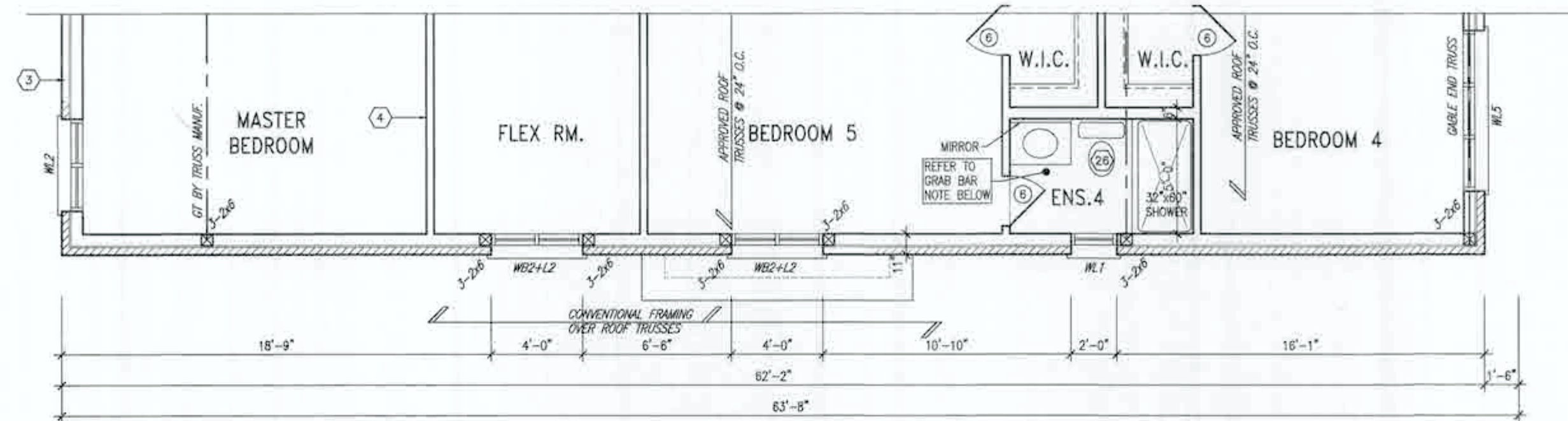
City of Hamilton Building Division

21-163002

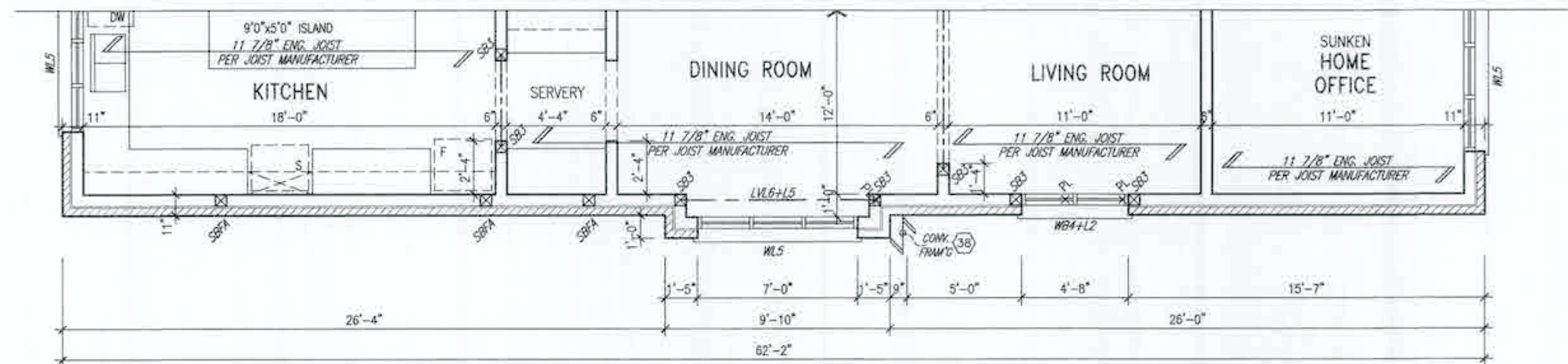
GRANDVILLE 3
 15.25m
 project 2002
 ELEVATION 4' drawing no. A18
 file name 20027-GRANDVILLE-3
 Date: Nov 18, 2002 - 12:56 PM

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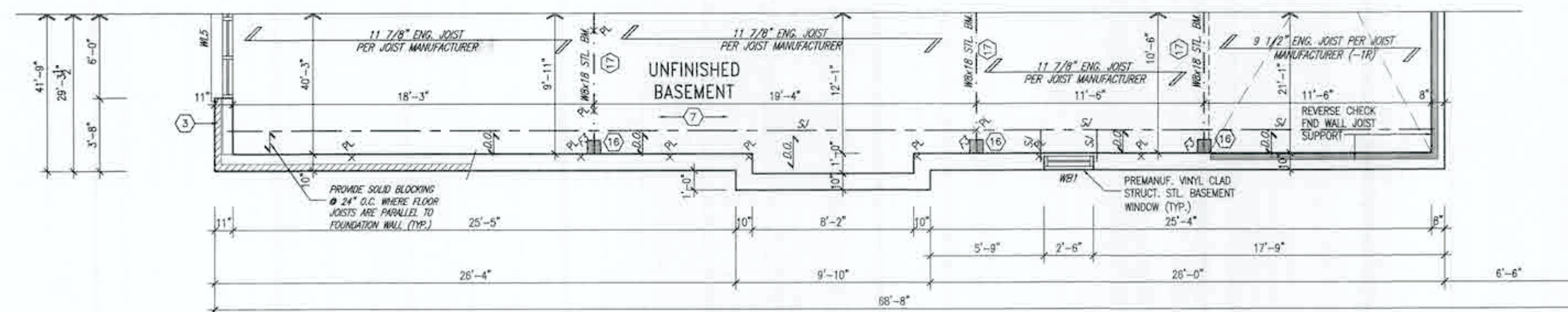
NOTE:
REFER TO STANDARD FLOOR PLANS
FOR ADDITIONAL INFORMATION.



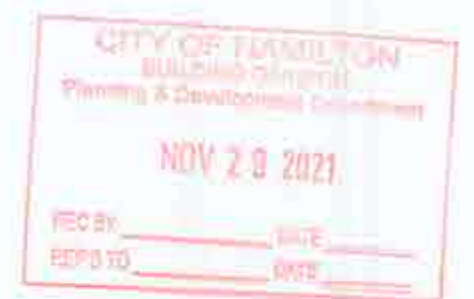
PARTIAL SECOND FLOOR PLAN - ELEV. '4' (LOT 596)



PARTIAL GROUND FLOOR PLAN - ELEV. '4' - (LOT 596)



PARTIAL BASEMENT FLOOR PLAN - ELEV. '4' - (LOT 596)



CITY OF HAMILTON
Building Division

Permit No. 21-163002

THESE STAMPS ARE VALID FOR THE PERMIT ONLY.
THE OWNER/ARCHITECT/ENGINEER SHALL COMPLY WITH
THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE LAW.

These stamps are valid for the permit only.
Jan. 21, 2022
FOR OTHER BUILDING OFFICIAL DATE

GRANDVILLE 3
COMPLIANCE PACKAGE 'A1'

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Hamilton.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL, REVIEW
AND APPROVAL
APPROVED BY: *[Signature]*
DATE: NOV 18, 2021
The stamp certifies compliance with the applicable
Design Guidelines and does not constitute further
professional responsibility.



GRAB BAR NOTE:

STUD WALL REINFORCEMENT FOR FUTURE
GRAB BARS IN MAIN BATHROOM.
REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED
ADJACENT TO WATER CLOSET AND SHOWER OR
BATHUB IN MAIN BATHROOM PER CBC, DIV. B-9.5.2.3.
REFER TO FOLLOWING SECTIONS FOR THE FIXTURES
LISTED: WATER CLOSET: 3.8.3.8(3)(a) & 3.8.3.8(3)(c).
SHOWER: 3.8.3.13(2)(a), BATHUB: 3.8.3.13(4)(a).
FREE STANDING BATHUB EXCLUDED. SEE DETAILS
PROVIDED.

no.	description	date	by
1	PRELIMINARY, ISSUED FOR REVIEW.	FEB 09/21	GW
2	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
3	ISSUED FOR PERMIT.	MAY 28/21	GW
4	ADDED ELEVATION 4	SEPT 2021	GW
5	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
6	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
7	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
8	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
9	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
10	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
11	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
12	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
13	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
14	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
15	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
16	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
17	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT
18	REV. PER CLIENT/ROOF/PL/ENG. COMMENTS	APR 26/21	WT

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a Designer.
signature: *[Signature]* 24488
name: Richard Vink
registration information: VAS Design Inc. 42658
The contractor must verify all dimensions on the job and report any discrepancy to the Designer before proceeding with the work. All drawings and specifications are instruments of service and the property of the Designer which must be returned at the completion of the work. Drawings are not to be copied.

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vas3design.com

Greenpark. GRANDVILLE 3
15.25m
project name: RUSSELL GARDENS PH. 4
location: HAMILTON, ON.
project no.: 20027
date: SEP 2021
drawing no.: A19c
scale: 3/16" = 1'-0"
20027-GRANDVILLE-3
15.25m
12.18.2021