

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE, **with soil engineer report**

PAD FOOTINGS

120 KPa NATIVE SOIL

90 KPa ENGINEERED FILL SOIL

F1 = 42"x42"x18" CONCRETE PAD F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3'-1/2"x5/16" (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3'-1/2"x3/8" (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8" (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3'-1/2"x5/16" (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8" (150x100x10.0L) + 3-2"x12" SPR. No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" (90x90x6.0L)
L2 = 4"x3'-1/2"x5/16" (100x90x8.0L)
L3 = 5"x3'-1/2"x5/16" (125x90x8.0L)
L4 = 6"x3'-1/2"x3/8" (150x90x10.0L)
L5 = 6"x4"x3/8" (150x100x10.0L)
L6 = 7"x4"x3/8" (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

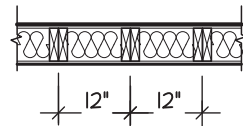
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2
ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL
ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO
FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR
ENGINEERED FRAMING LAYOUTS

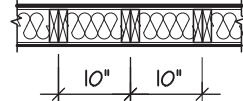
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @12" O.C. FULL HT C/M SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL. GLUED AND NAILED TOGETHER
AND SPACED MAX. @10" O.C. FULL HT C/M
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



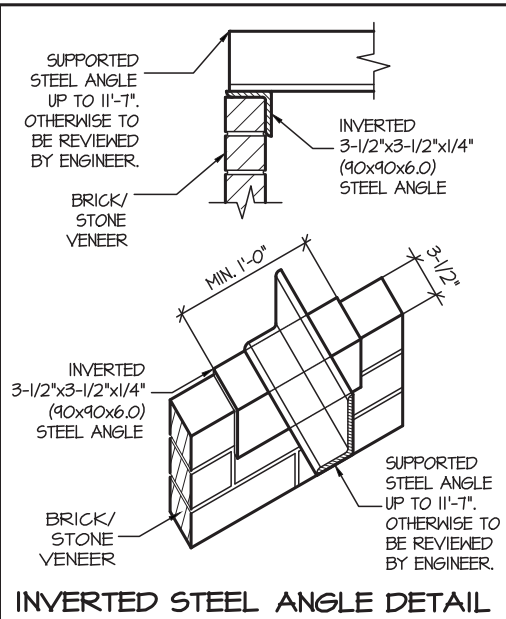
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20) continuous (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS ELEV. 2, 2A

GROUND FLOOR AREA	=	1239	Sq. Ft.
SECOND FLOOR AREA	=	1569	Sq. Ft.
TOTAL FLOOR AREA	=	2808	Sq. Ft.
	=	260.87	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2818	Sq. Ft.
	=	261.80	Sq. M.
GROUND FLOOR COVERAGE	=	1239	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	77	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1714	Sq. Ft.
	=	159.24	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1637	Sq. Ft.
	=	152.08	Sq. m.

AREA CALCULATIONS ELEV. 3

GROUND FLOOR AREA	=	1236	Sq. Ft.
SECOND FLOOR AREA	=	1583	Sq. Ft.
TOTAL FLOOR AREA	=	2819	Sq. Ft.
	=	261.89	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2829	Sq. Ft.
	=	262.82	Sq. M.
GROUND FLOOR COVERAGE	=	1236	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	64	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1698	Sq. Ft.
	=	157.75	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1634	Sq. Ft.
	=	151.80	Sq. m.

AREA CALCULATIONS		ELEV. 1	
GROUND FLOOR AREA	=	1236	Sq. Ft.
SECOND FLOOR AREA	=	1581	Sq. Ft.
TOTAL FLOOR AREA	=	2817	Sq. Ft.
	=	261.71	Sq. M.
1ST FLOOR OPEN AREA	=	0	Sq. Ft.
2ND FLOOR OPEN AREA	=	10	Sq. Ft.
ADD TOTAL OPEN AREAS	=	10	Sq. Ft.
ADD FIN. BASEMENT AREA	=	0	Sq. Ft.
GROSS FLOOR AREA	=	2827	Sq. Ft.
	=	262.64	Sq. M.
GROUND FLOOR COVERAGE	=	1236	Sq. Ft.
GARAGE COVERAGE / AREA	=	398	Sq. Ft.
PORCH COVERAGE / AREA	=	64	Sq. Ft.
TOTAL COVERAGE W/ PORCH	=	1698	Sq. Ft.
	=	157.75	Sq. m.
TOTAL COVERAGE W/O PORCH	=	1634	Sq. Ft.
	=	151.80	Sq. m.

GLENROWAN 2		ELEV.1 COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	714.20	66.35	74.45	6.92	10.42 %
LEFT SIDE	1131.83	105.15	63.67	5.92	5.63 %
RIGHT SIDE	1109.33	103.06	55.33	5.14	4.99 %
REAR	679.56	63.13	166.61	15.48	24.52 %
TOTAL	3634.92	331.70	360.06	33.45	9.91 %

GLENROWAN 2		ELEV. 2, 2A COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	728.95	67.72	97.38	9.05	13.36 %
LEFT SIDE	1131.83	105.15	63.67	5.92	5.63 %
RIGHT SIDE	1109.33	103.06	55.33	5.14	4.99 %
REAR	679.56	63.13	166.61	15.48	24.52 %
TOTAL	3649.67	339.07	382.99	35.58	10.49 %

GLENROWAN 2		ELEV.3 COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	724.93	67.35	99.94	9.28	13.74 %
LEFT SIDE	1131.83	105.15	63.67	5.92	5.63 %
RIGHT SIDE	1109.33	103.06	55.33	5.14	4.99 %
REAR	679.56	63.13	166.61	15.48	24.52 %
TOTAL	3645.65	338.69	385.55	35.82	10.58 %

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Guidelines approved by the City of
Richmond Hill

STRUDET INC.



FOR STRUCTURE ONLY

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECERT BY: *Alc.*
This stamp is only for the purposes of design
control and carries no other professional obligations.

GLENROWAN 2 COMPLIANCE PACKAGE "A1"



09/22/2022
RECEIVED
Per: joshua.nabua

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

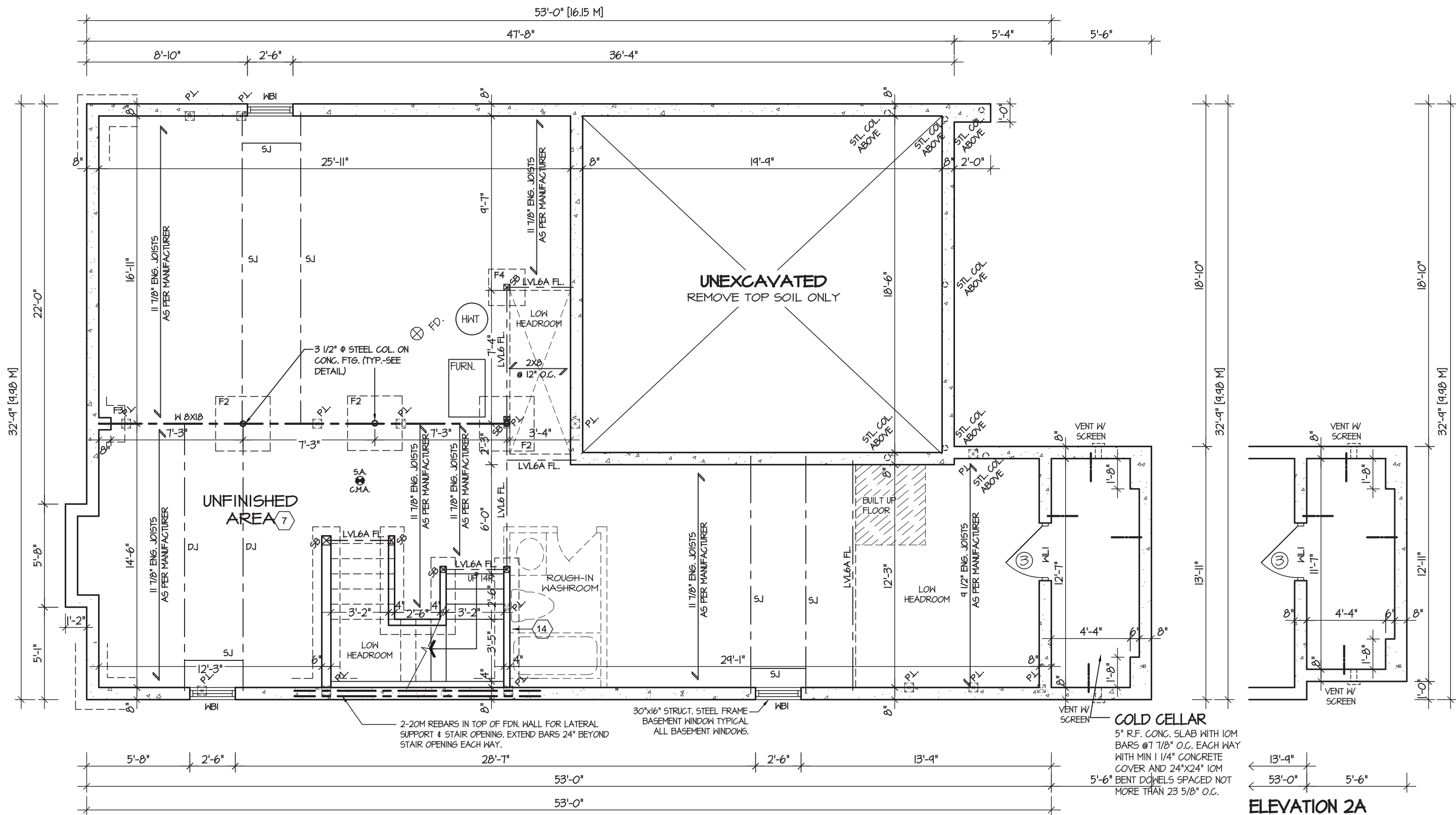
REGION
DESIGN
INC.

AREA CHARTS

SCALE	3/16"=1'-0"	BY	MB
DATE	JAN 2021	TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA	2,827	PAGE No.	0
	PROJECT			

PROJECT NAME
ROUNDEL



BASEMENT FLOOR PLAN '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

ELEVATION 2A



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GLENROWAN 2

COMPLIANCE PACKAGE "A1"



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REVISIONS		

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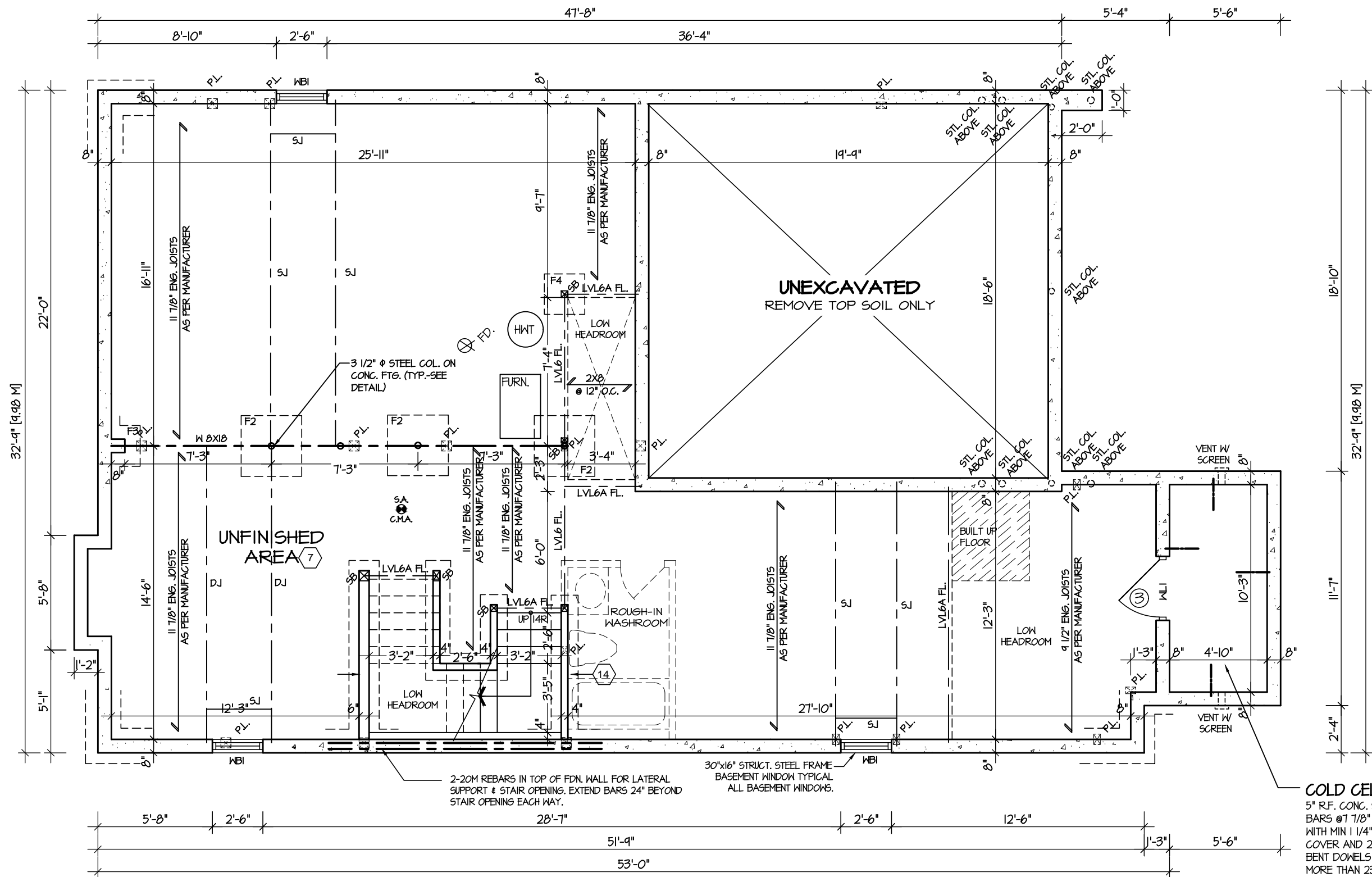


SHEET TITLE BASEMENT PLAN ELEV. 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 2,827	PAGE No. 1-2
	PROJECT	

PROJECT NAME
ROUNDEL

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Per: joshua.nabua



BASEMENT FLOOR PLAN 3

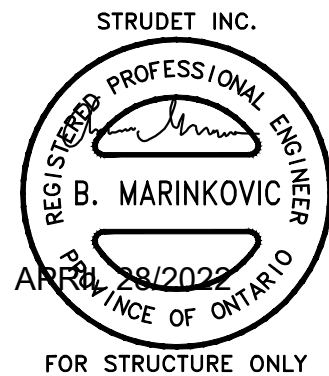
REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-1", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

COLD CELLAR
5" R.F. CONC. SLAB WITH 10M BARS @ 12" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"X24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.



GLENROWAN 2
COMPLIANCE PACKAGE "A1"

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REVISIONS		

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SHEET TITLE BASEMENT PLAN ELEV. 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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PROJECT		

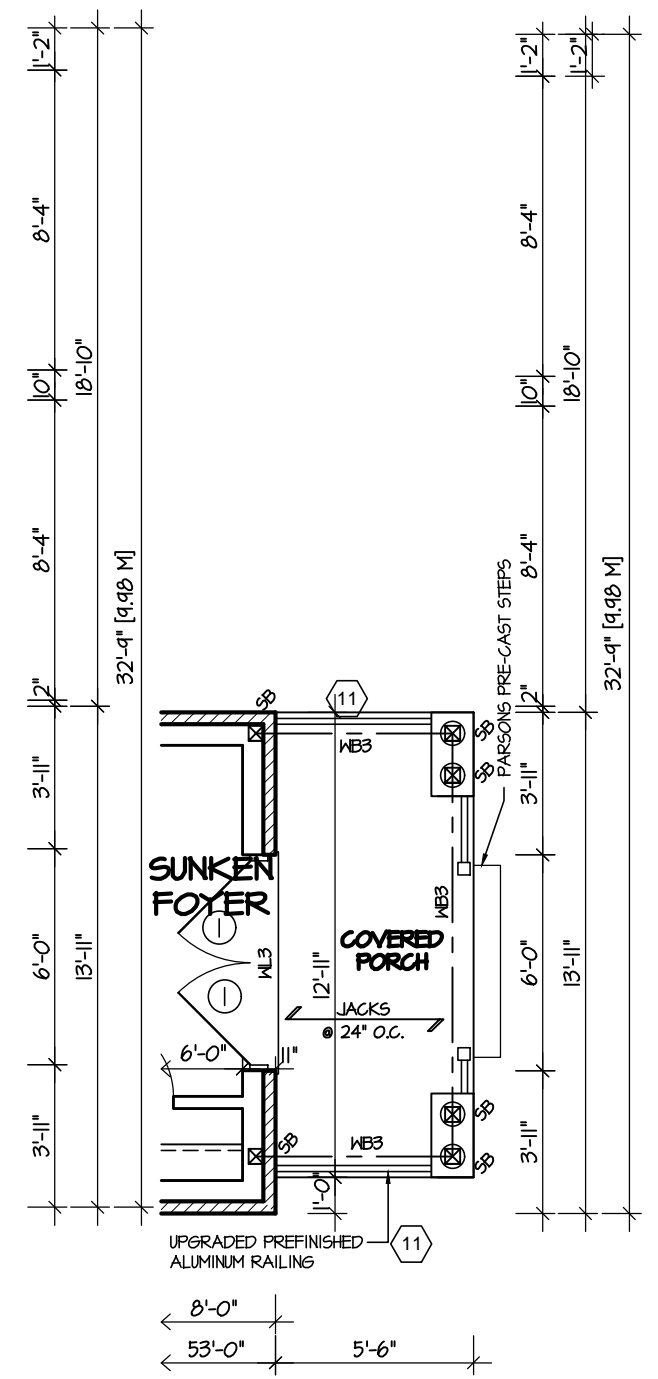


PROJECT NAME
ROUNDEL
09/22/2022

RECEIVED
Per: joshua.nabua



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REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED
FRAMING LAYOUTS


ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED
AND NAILED ON THIS FLOOR.

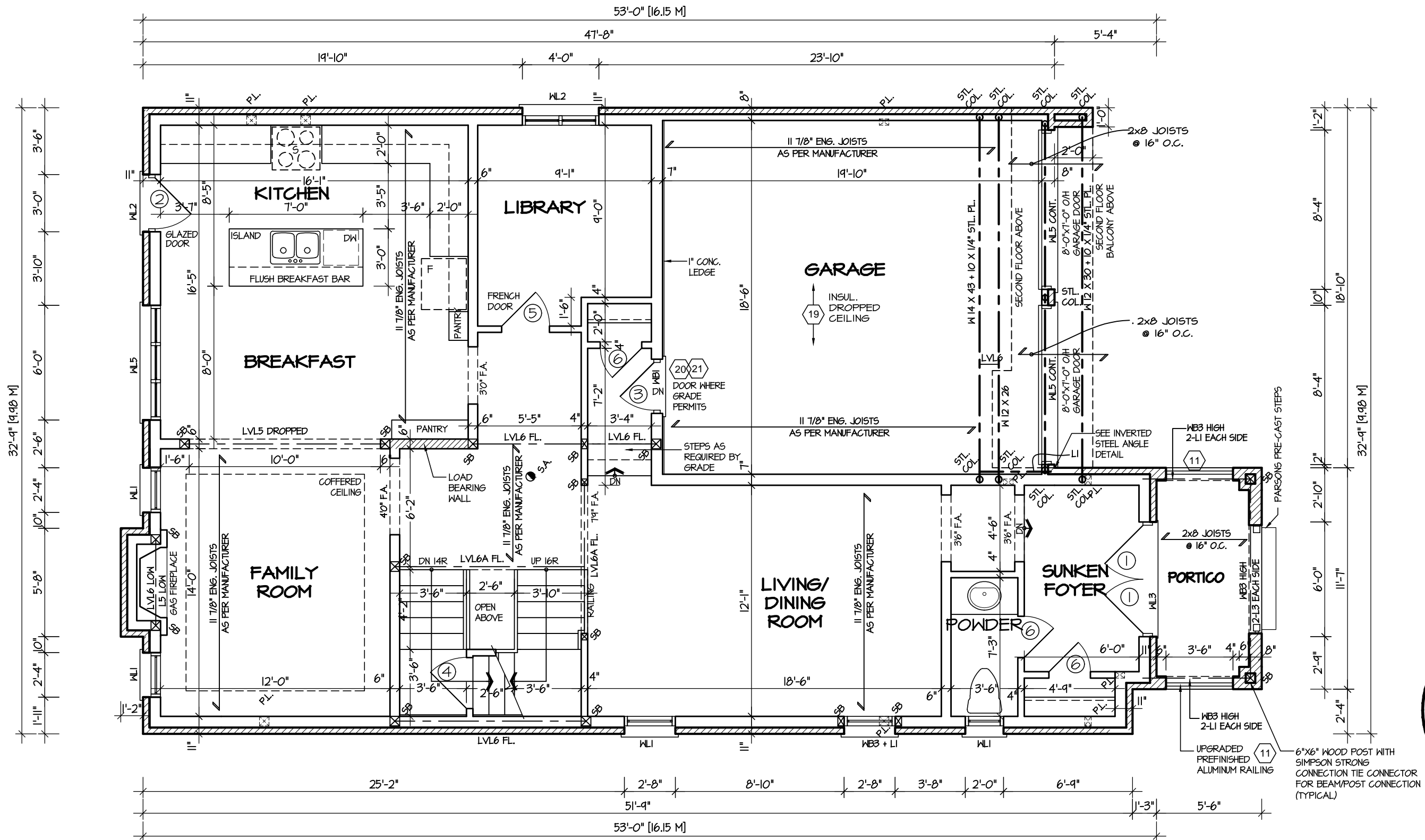
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FOR STRUCTURE ONLY

RECEIVED
Per: joshua.nabua

	<p>City of Richmond BUILDING DIVISION</p>
<p>PROJECT NAME</p>	<p>09/22/2022</p> <p>ROUNDEL</p>



FIRST FLOOR PLAN 3

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.



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GLENROWAN 2 COMPLIANCE PACKAGE "A1"

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1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

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F (905) 660-0746



SHEET TITLE
FIRST FLOOR PLAN
ELEV. 2

SCALE
3/16"=1'-0"

DATE
JAN 2021

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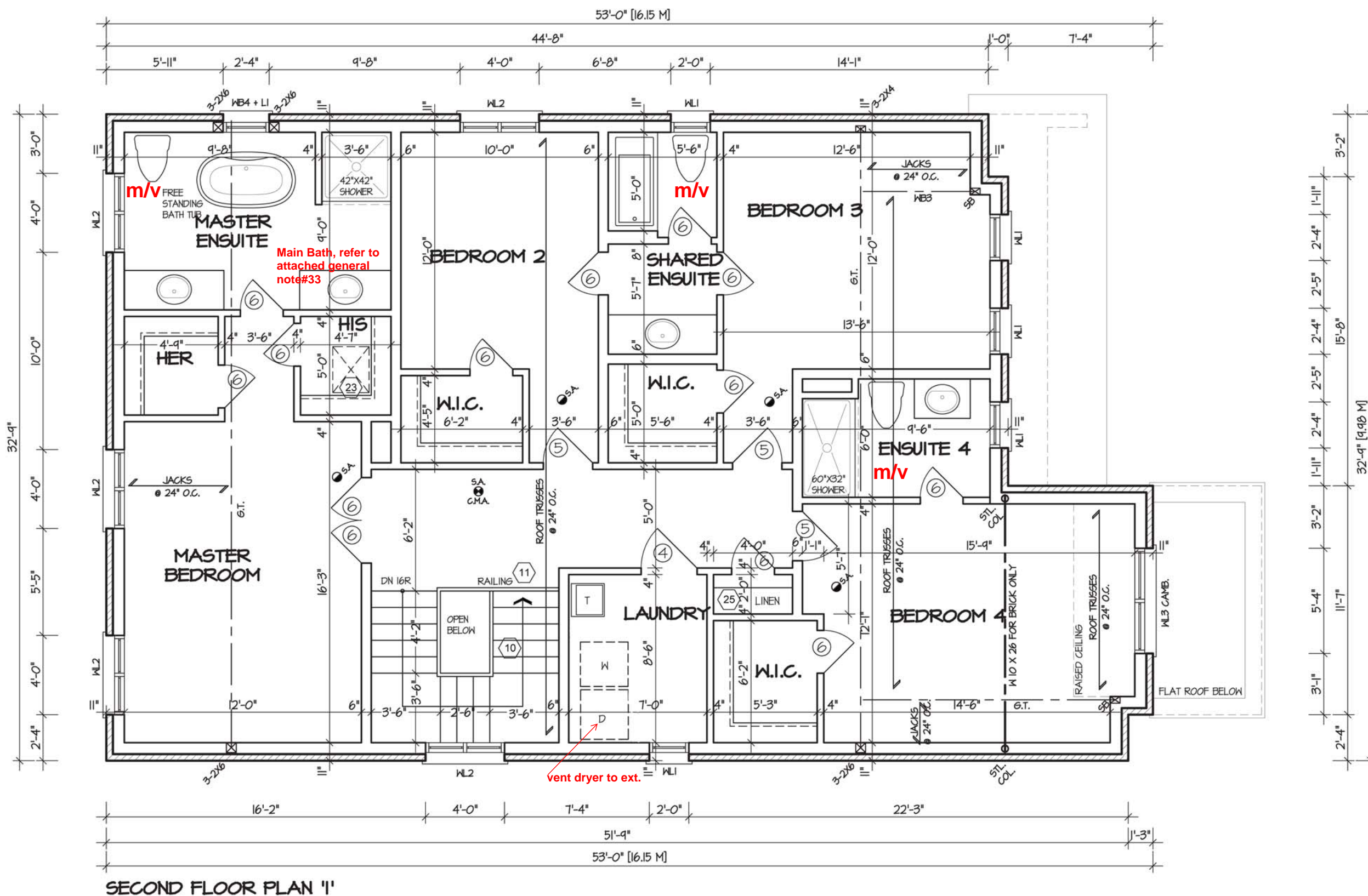
AREA
2,827

PAGE No.
2-3

Greenpark
PROJECT NAME
ROUNDEL

09/22/2022

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GLENROWAN 2

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QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME

28770
BCIN

SIGNATURE

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

SHEET TITLE
SECOND FLOOR PLAN
ELEV. 1

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2,827

PAGE No.
3

PROJECT

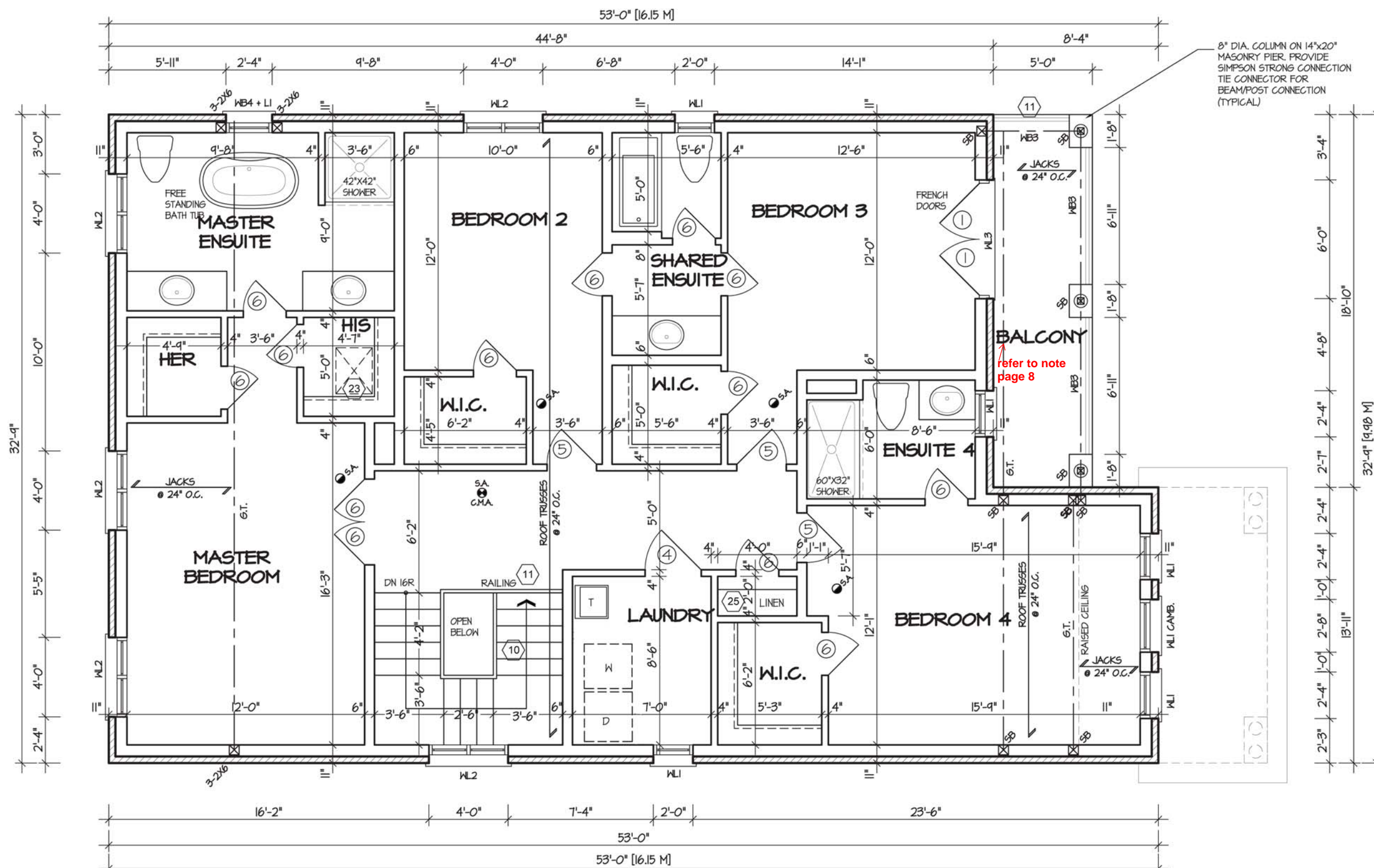
Greenpark

PROJECT NAME
ROUNDEL

09/22/2022

RECEIVED
Per: joshua.nabua

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SECOND FLOOR PLAN '2' - ELEV. '2A'



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GLENROWAN 2
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

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**REGION
DESIGN
INC.**

SHEET TITLE
**SECOND FLOOR PLAN
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,827

PAGE No.
3-2

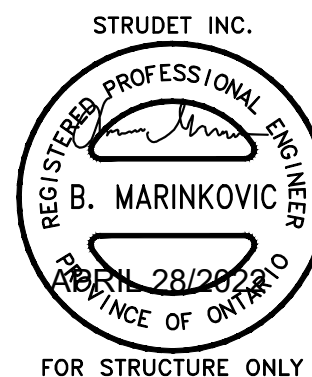
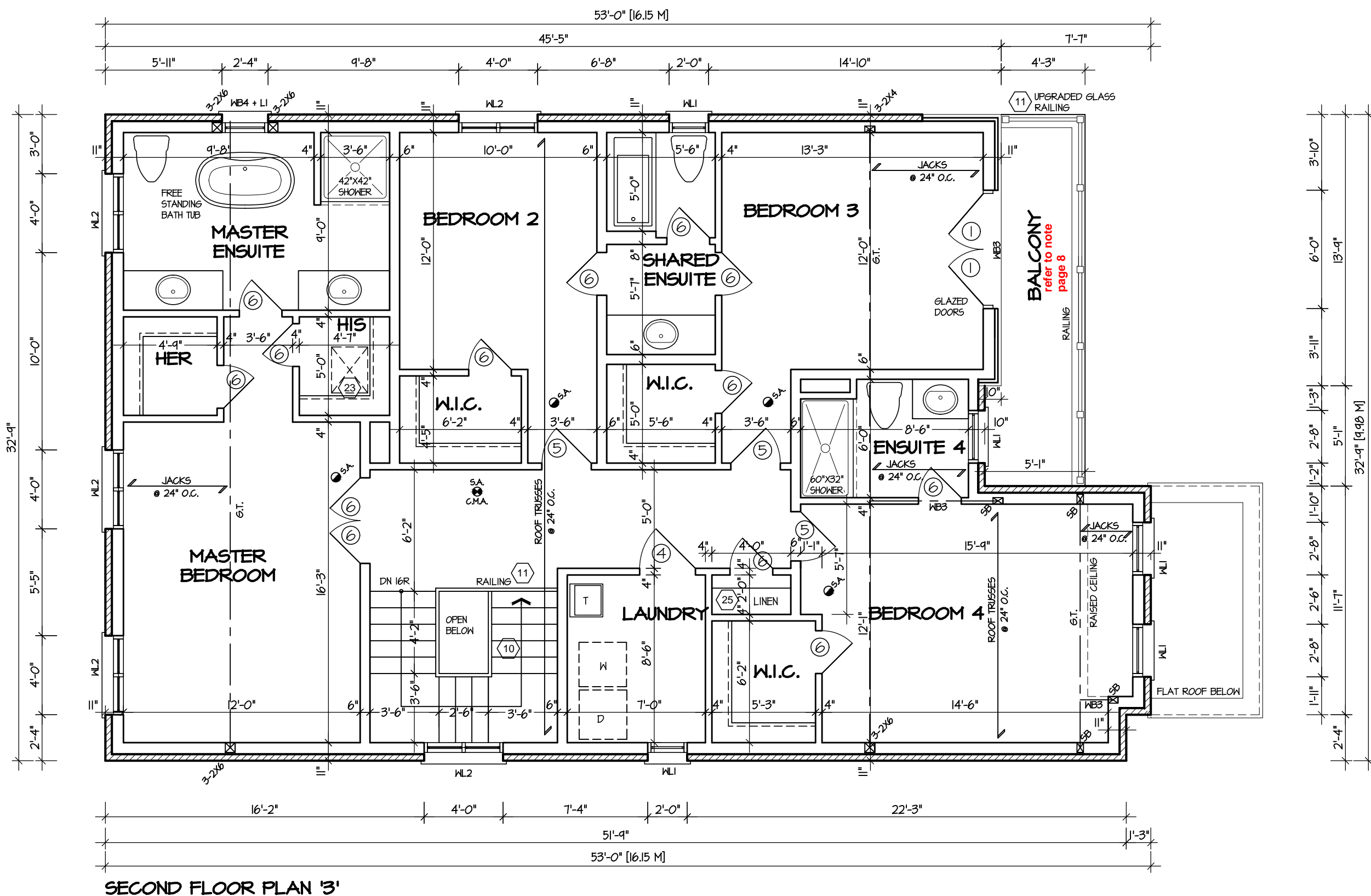
PROJECT

Greenpark

PROJECT NAME
ROUNDEL

09/22/2022

RECEIVED
Per: joshua.nabua



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CITY OF RICHMOND HILL
BUILDING DIVISION

09/22/2022

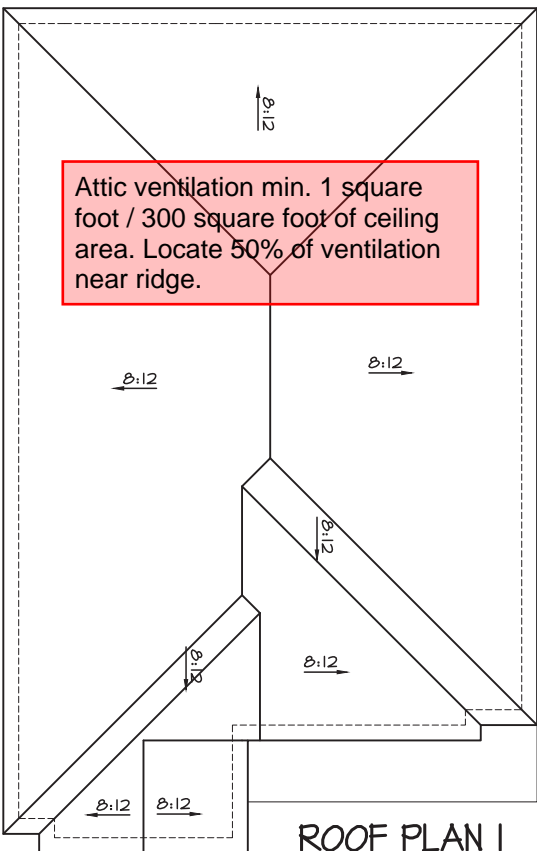
RECEIVED

Per: joshua.nabua

GLENROWAN 2

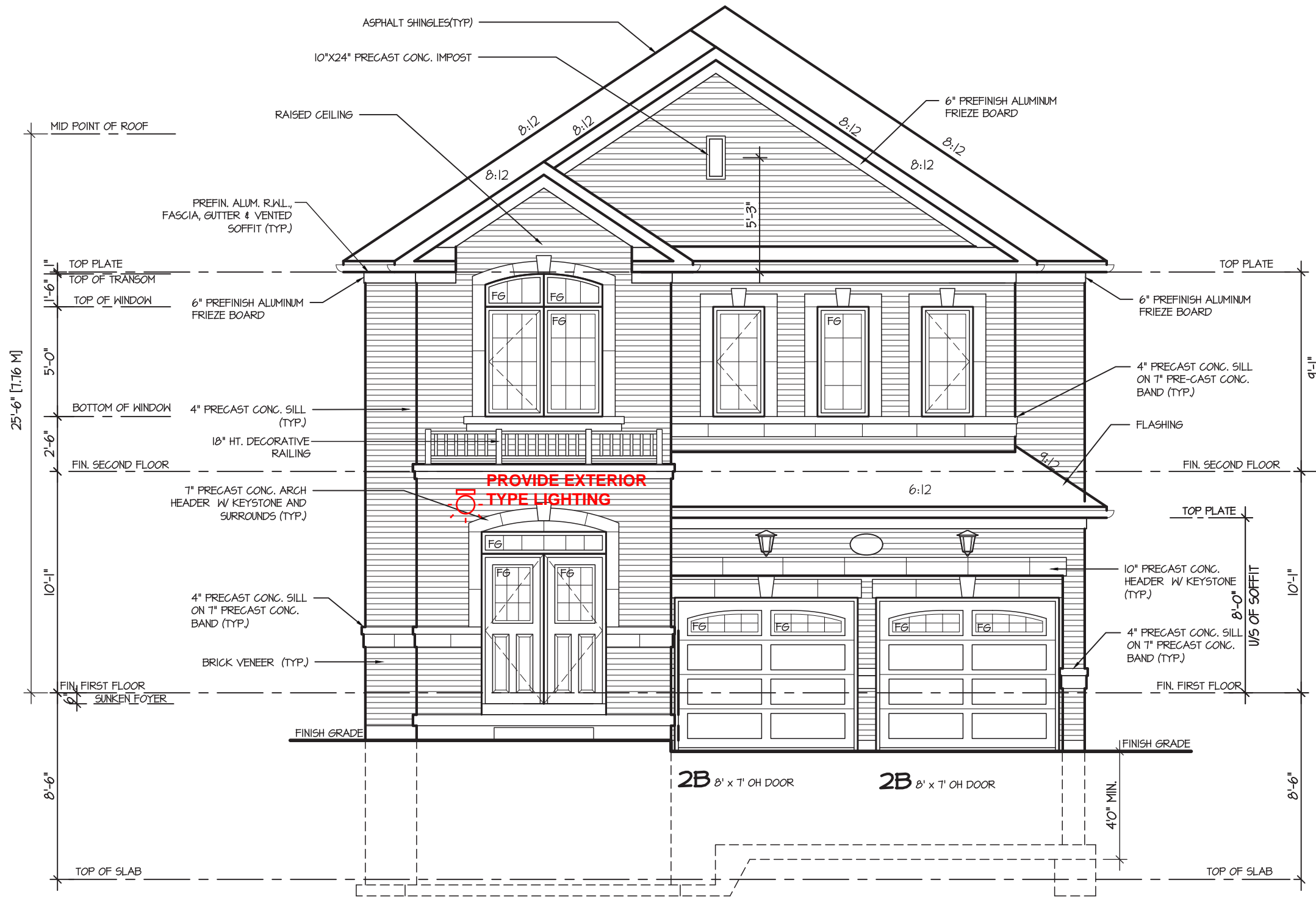
COMPLIANCE PACKAGE "A1"

5.		<div>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</div> <div>QUALIFICATION INFORMATION</div> <div>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</div> <div>VIKAS GAJJAR<div></div>28770</div> <div>NAME<div>SIGNATURE</div>BCIN</div>	<div>REGION DESIGN INC.</div> <div>8700 DUFFERIN ST.</div> <div>CONCORD, ONTARIO</div> <div>L4K 4S6</div> <div>P (416) 736-4096</div> <div>F (905) 660-0746</div> <div>REGION DESIGN INC.</div>	SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		<div></div> <div>PROJECT NAME</div> <div>ROUNDEL</div>	
4.				SECOND FLOOR PLAN					
3.				ELEV. 2					
2.	ISSUED FOR PERMIT			MAY 2021	SCALE	BY	AREA		PAGE No.
1.	ISSUED FOR REVIEW			FEB 2021	3/16"=1'-0"	MB	2,827		3-3
REVISIONS			DATE	TYPE	PROJECT				
			JAN 2021						



ROOF PLAN I
Scale: N.T.S.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



FRONT ELEVATION I



INSIDE PORTICO ELEVATION

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *Ally*
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GLENROWAN 2
COMPLIANCE PACKAGE "A1"

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SHEET TITLE
FRONT ELEVATION
ELEV. 1

SCALE
3/16"=1'-0"
DATE
JAN 2021

BY
MB
TYPE

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AREA
2,827

PROJECT

PAGE No.

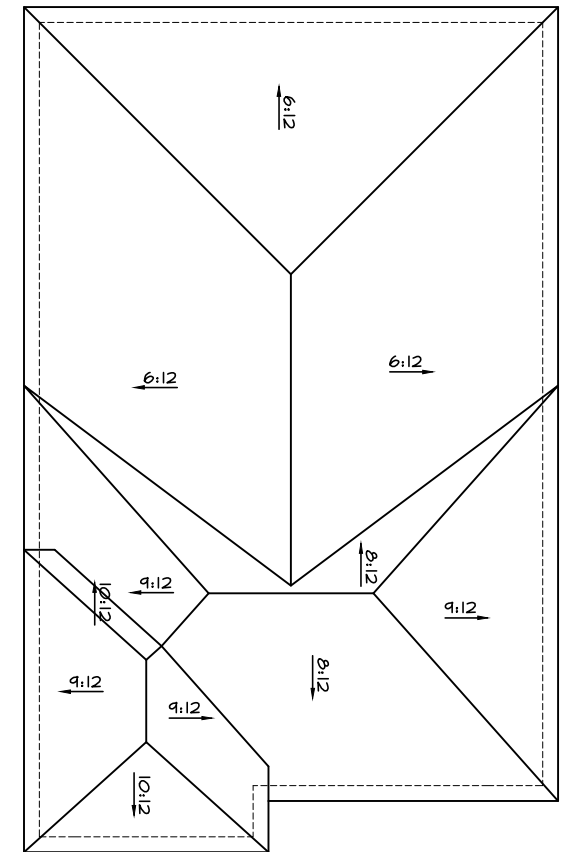
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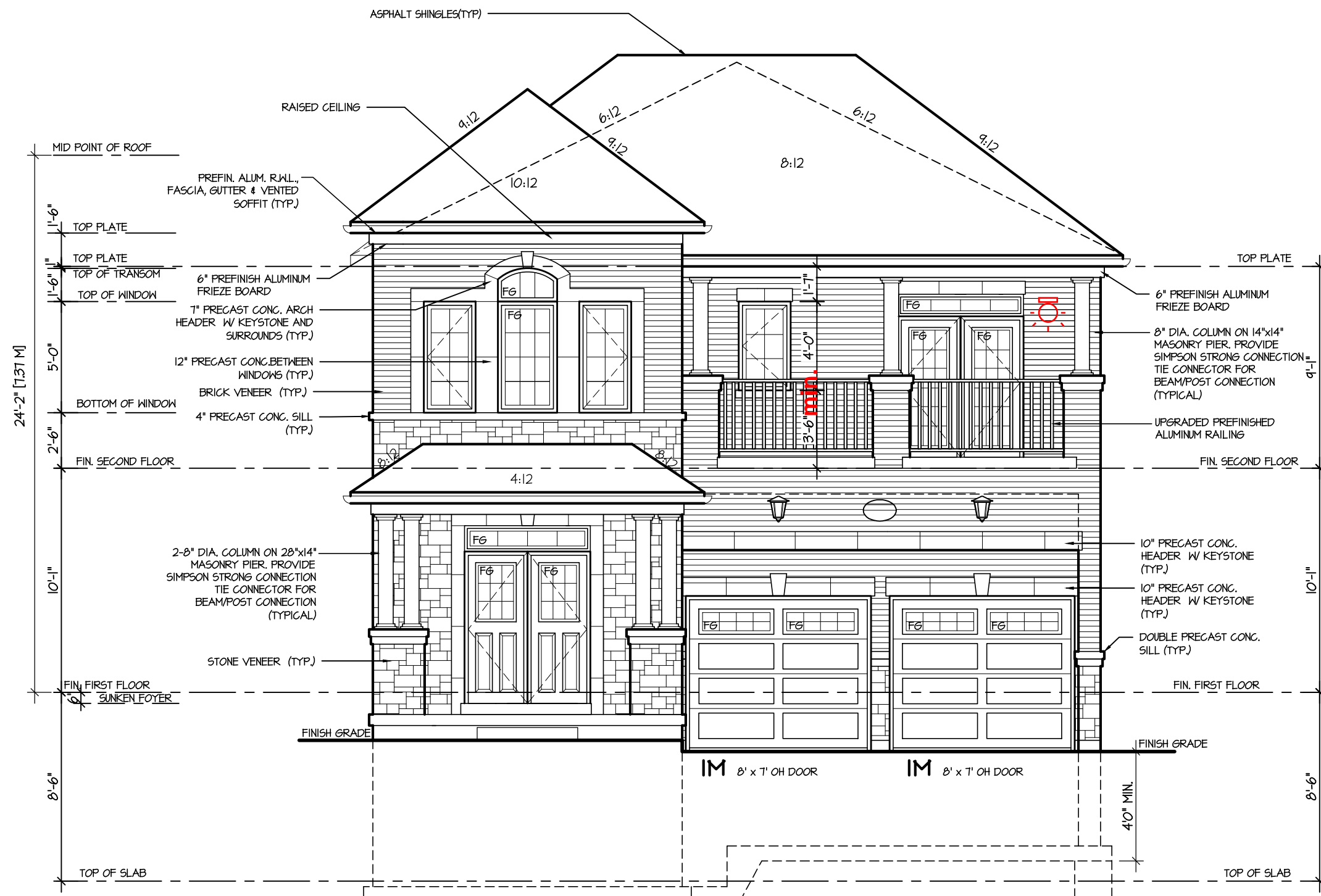
PROJECT NAME

ROUNDEL

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Per: joshua.nabua



ROOF PLAN 2
Scale: N.T.S.



FRONT ELEVATION 2



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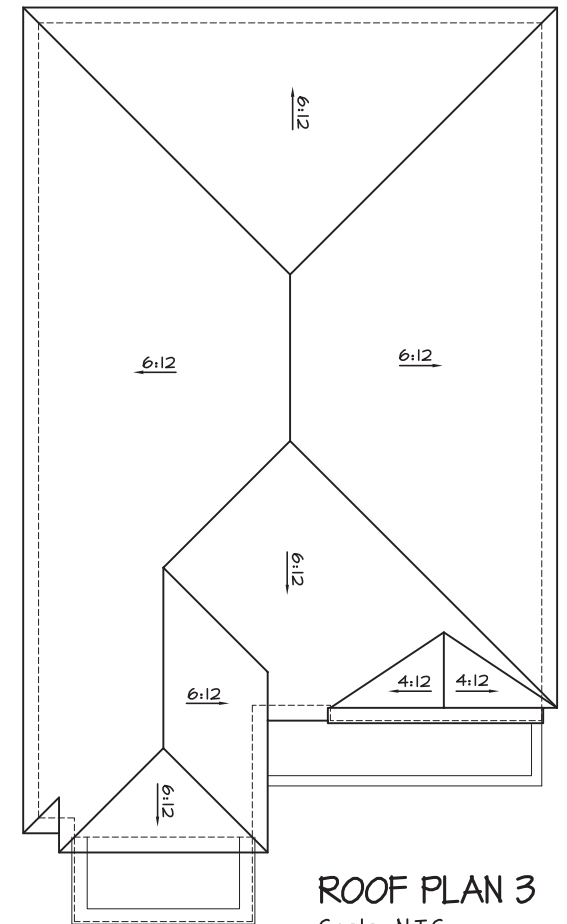
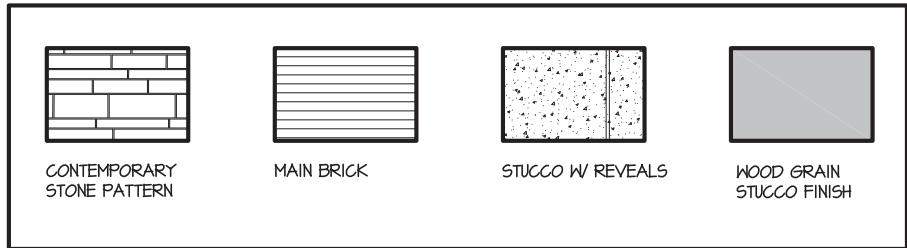


SHEET TITLE	
FRONT ELEVATION ELEV. 2	
SCALE	3/16"=1'-0"
DATE	JAN 2021
BY	MB
TYPE	

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AREA	2,827
PAGE No.	4-2
PROJECT	

PROJECT NAME	ROUNDEL

RECEIVED
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Glazed enclosure acting as guards shall be in conformance with CAN/CGSB-12.1-M, OBC 2012 SB-13, Framing Elements shall be in conformance with OBC 2012 SB-7



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GLENROWAN 2

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**REGION
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SHEET TITLE
**FRONT ELEVATION
ELEV. 2**

SCALE
3/16"=1'-0"

DATE
JAN 2021

BY
MB

TYPE

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AREA
2,827

PAGE No.
4-3

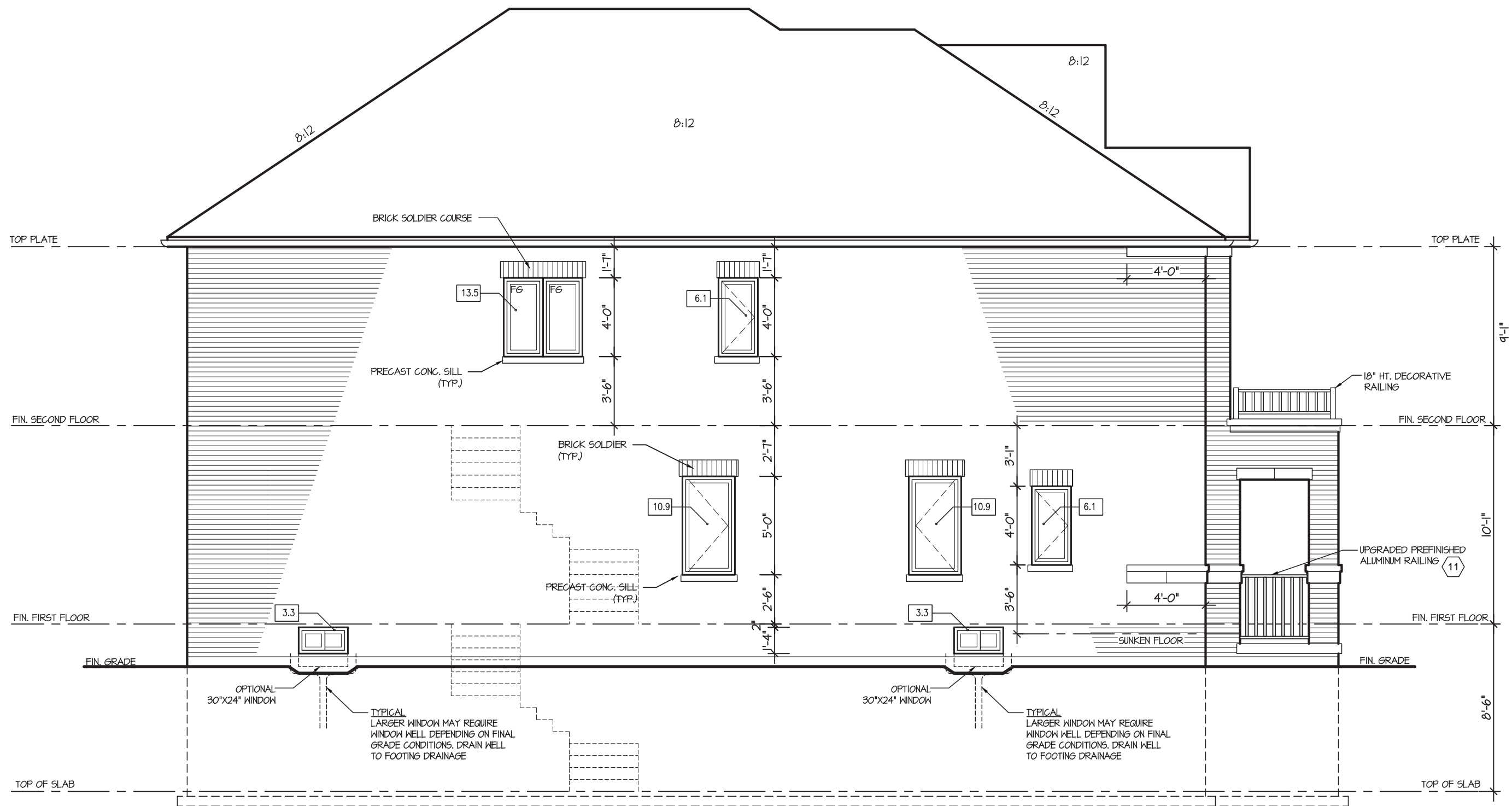
PROJECT

Greenpark
BUILDING DIVISION

PROJECT NAME
ROUNDEL

09/22/2022

RECEIVED
Per: joshua.nabua



LEFT ELEVATION 1

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA		1131.83
ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDERYARD)		79.23
ACTUAL WINDOW AREA		54.10
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA		57.30

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DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *ALL*
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GLENROWAN 2
COMPLIANCE PACKAGE "A1"

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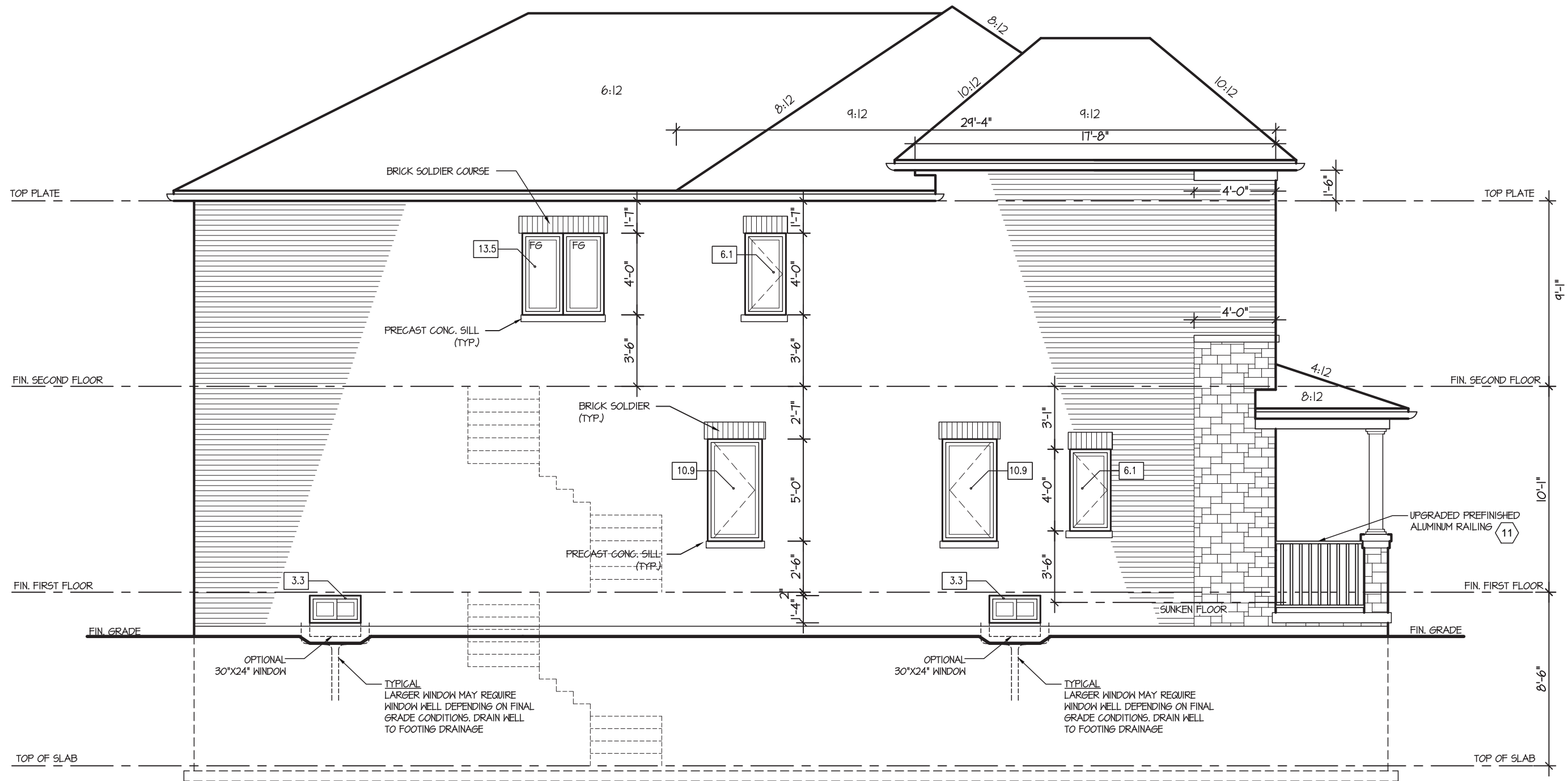
REGION
DESIGN
INC.

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 1
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

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AREA	2,827	PAGE No.	5
PROJECT			

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
RECEIVED
Per: joshua.nabua



LEFT ELEVATION 2 - ELEV. '2A'

ALLOWABLE GLAZING

WALL AREA		
WALL AREA		1131.83
ALLOWABLE WINDOW AREA @	1.00 % (1.2 M SIDEYARD)	79.23
ACTUAL WINDOW AREA		54.10
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA		57.30

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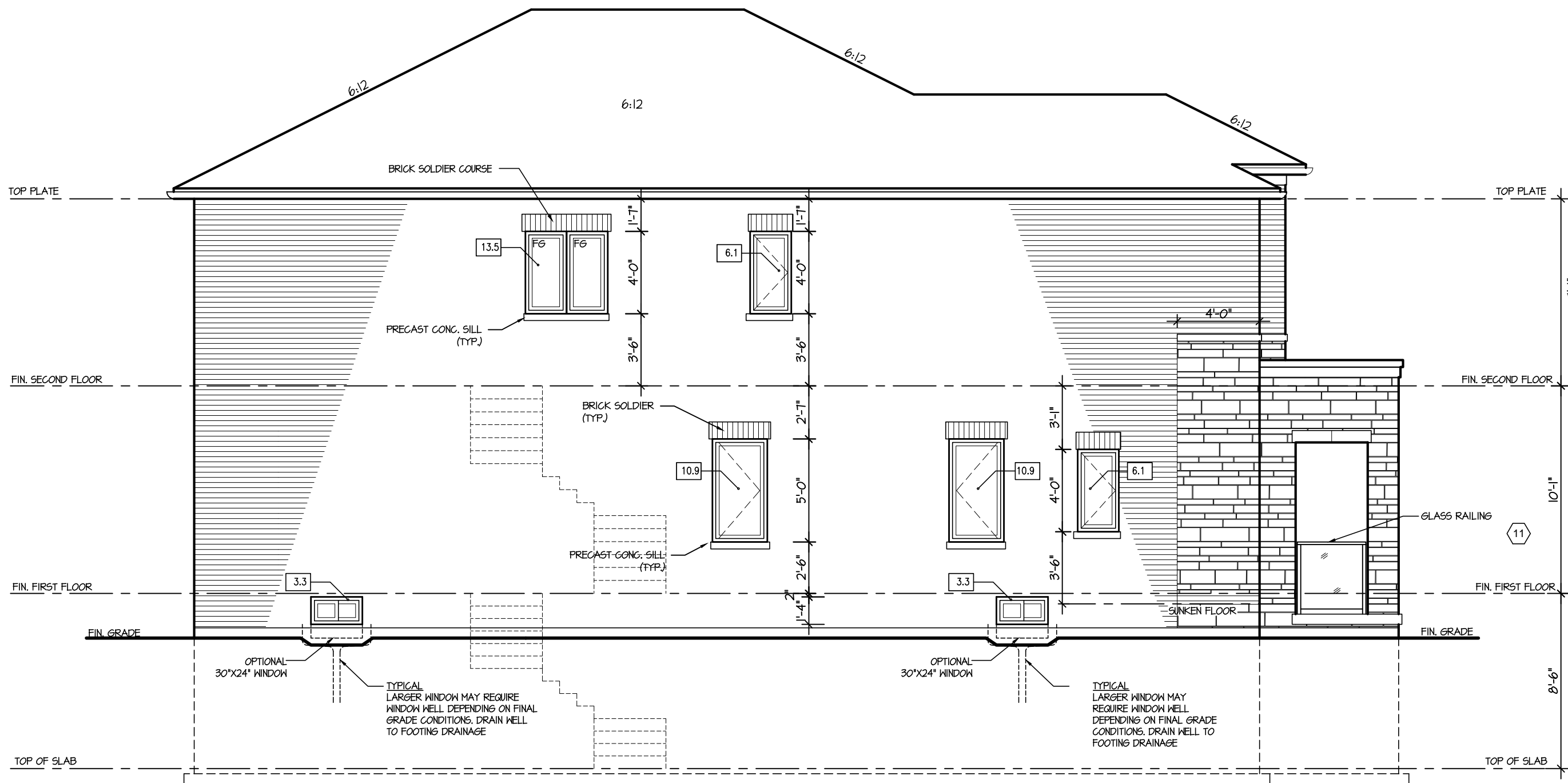
REGION
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SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

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AREA
2,827
PAGE No.
5-2
PROJECT

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
May 13, 2021

RECEIVED
Per: joshua.nabua



LEFT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA		
WALL AREA		1131.83
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	79.23
ACTUAL WINDOW AREA		54.10
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	ACTUAL OPENING AREA	57.30

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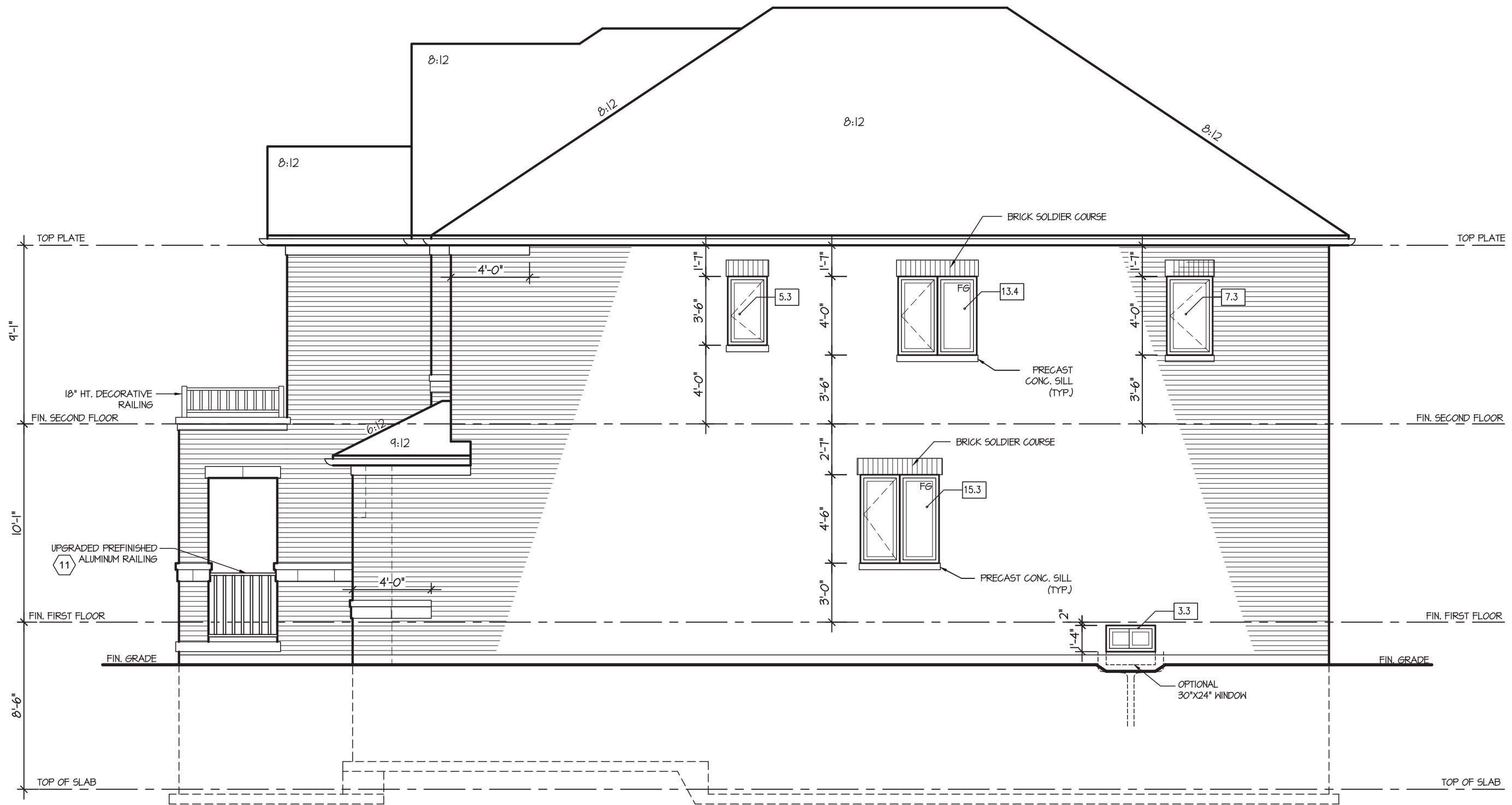
SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2

SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,827	PAGE No. 5-3
PROJECT	

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
RECEIVED
Per: joshua.nabua



RIGHT ELEVATION I

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA		
WALL AREA		983.88
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)	68.87
ACTUAL WINDOW AREA		44.60
WITH OPTIONAL 30"x24" BASEMENT WINDOWS	ACTUAL OPENING AREA	46.20

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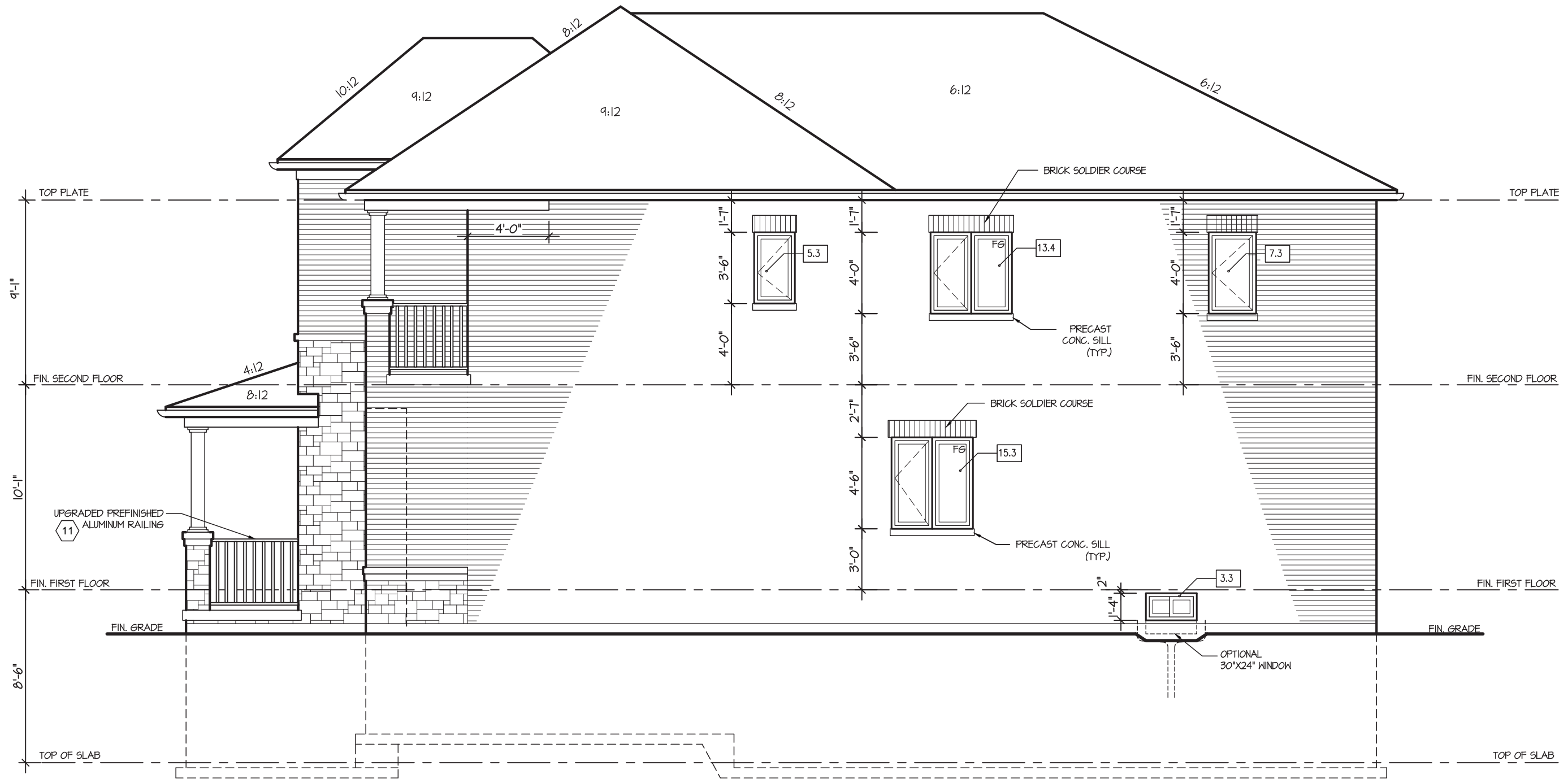
REGION
DESIGN
INC.

SHEET TITLE
RIGHT SIDE ELEVATION
ELEV. 1
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE

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AREA
2,827
PAGE No.
6
PROJECT

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022
May 13, 2021

RECEIVED
Per: joshua.nabua



RIGHT ELEVATION 2 - ELEV. '2A'

ALLOWABLE GLAZING

WALL AREA		989.64
ALLOWABLE WINDOW AREA @ 1.00 % (1.2 M SIDEYARD)		69.27
ACTUAL WINDOW AREA		44.60
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA		46.20

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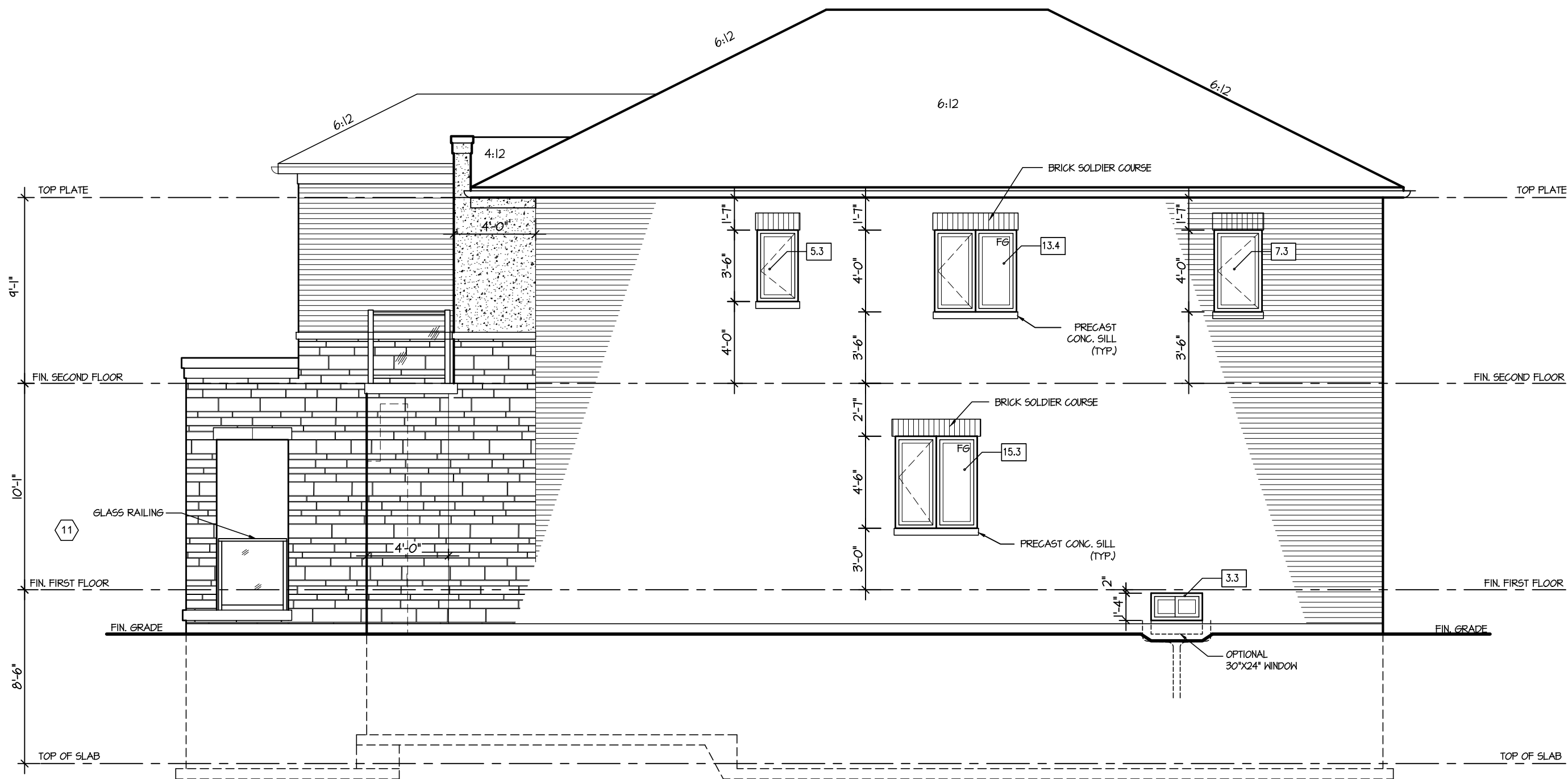
**REGION
DESIGN
INC.**

SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2021	TYPE

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AREA 2,827	PAGE No. 6-2
PROJECT	

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022

RECEIVED
Per: joshua.nabua



RIGHT ELEVATION 3

ALLOWABLE GLAZING

WALL AREA			983.88
WALL AREA			
ALLOWABLE WINDOW AREA @	7.00 % (1.2 M SIDEYARD)		68.87
ACTUAL WINDOW AREA			44.60
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA			46.20

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SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

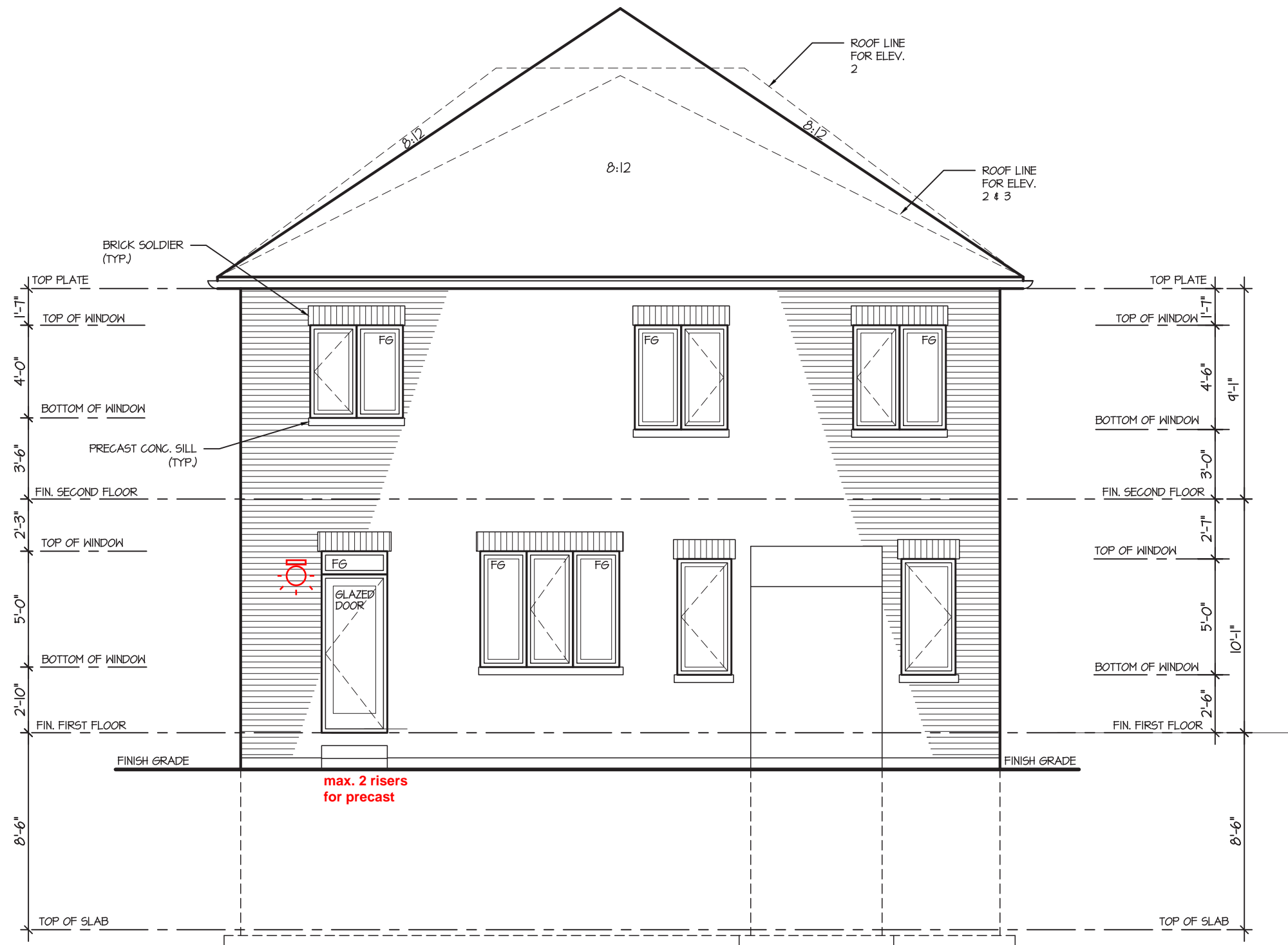
SHEET TITLE
RIGHT SIDE ELEVATION
ELEV. 2
SCALE
3/16"=1'-0"
DATE
JAN 2021
BY
MB
TYPE
PROJECT

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA
2,827
PAGE No.
6-3

Greenpark
BUILDING DIVISION
PROJECT NAME
ROUNDEL
09/22/2022

RECEIVED
Per: joshua.nabua



REAR ELEVATION 1, 2 & 3 - ELEV. '2A'

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECERT BY: *ACE*
This stamp is only for the purposes of design control and carries no other professional obligations.

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GLENROWAN 2

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	ISSUED FOR PERMIT	MAY 2021
1.	ISSUED FOR REVIEW	FEB 2021
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

**REGION
DESIGN
INC.**

SHEET TITLE
REAR ELEVATION
ELEV., 1, 2 & 3

SCALE
3/16"=1'-0"
DATE
JAN 2021

BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

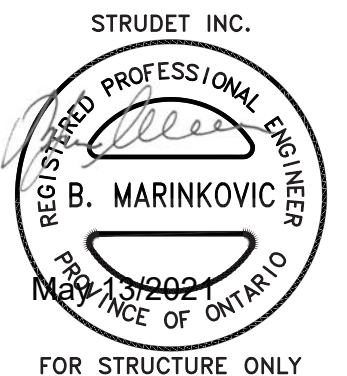
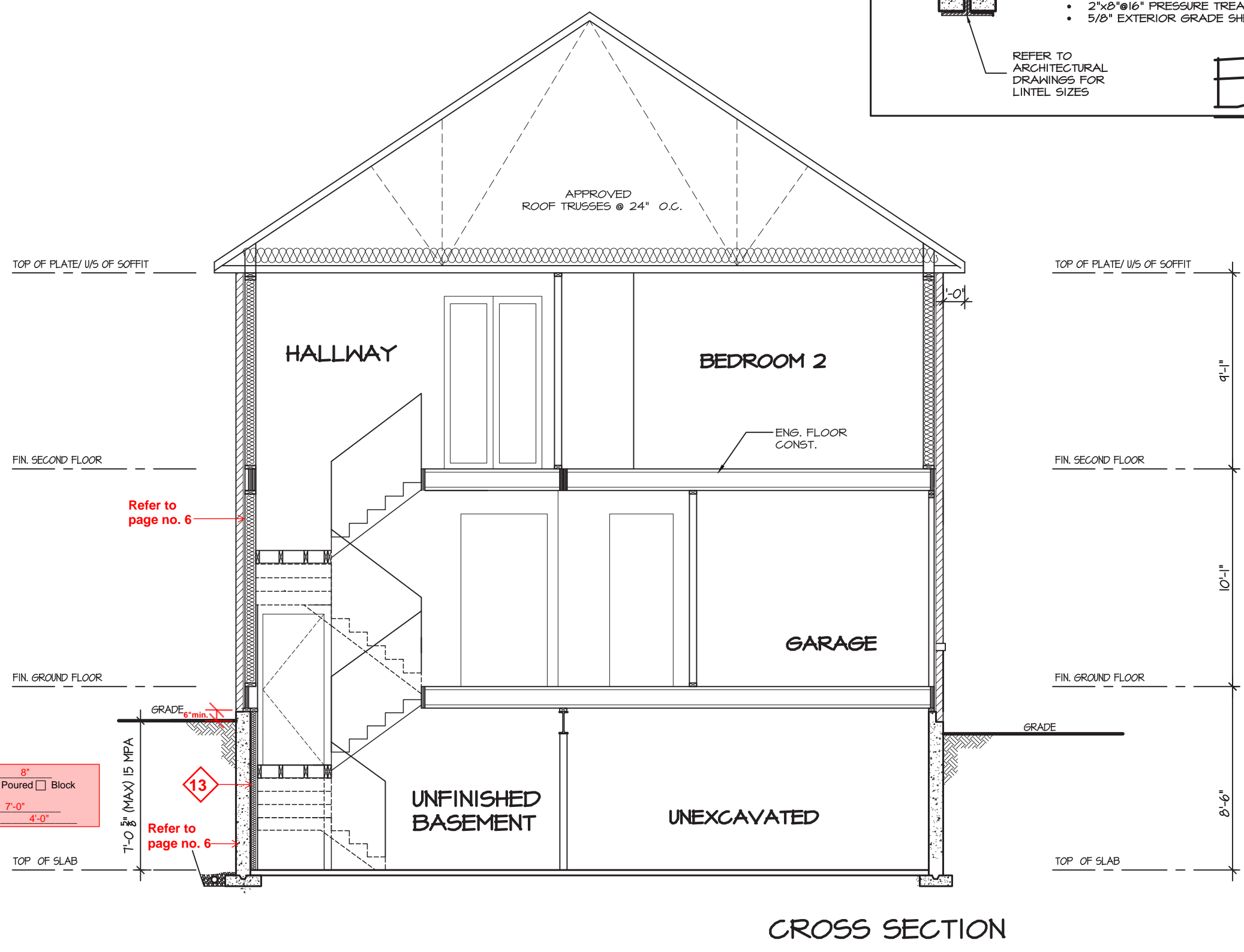
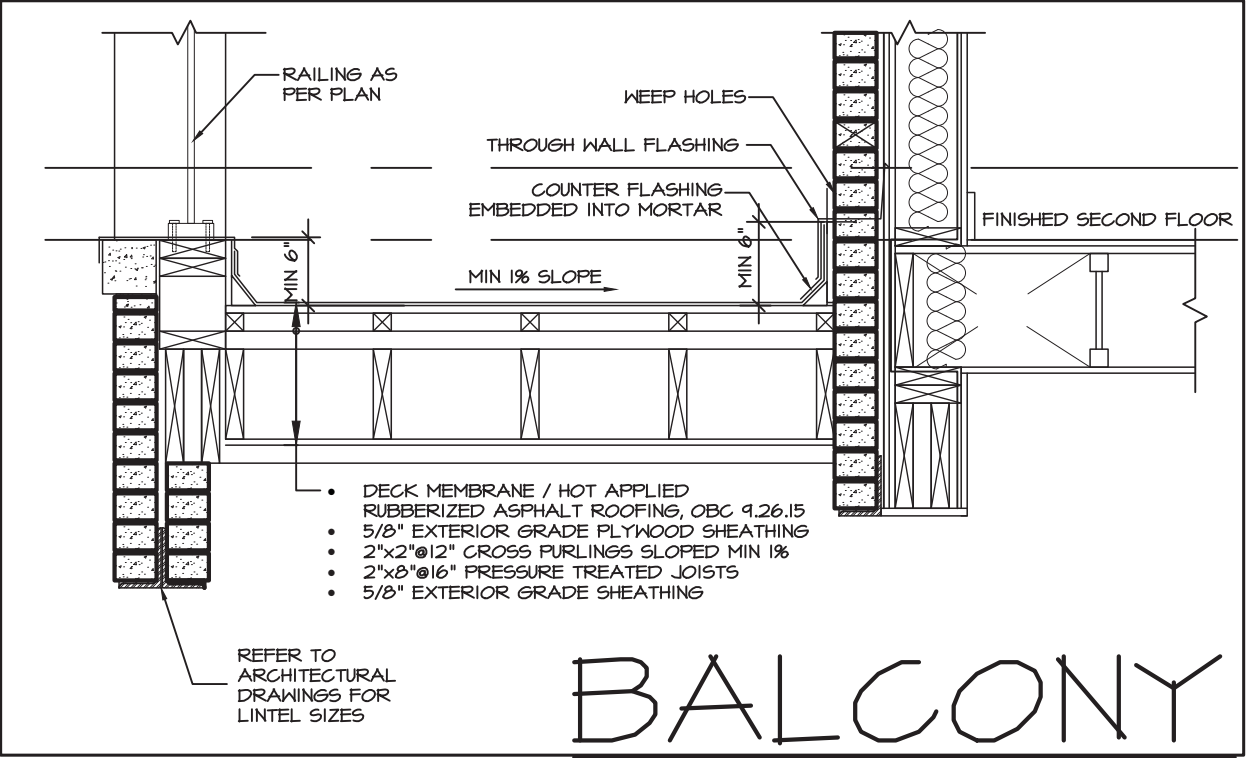
AREA
2,827
PROJECT

PAGE No.
7

Greenpark
BUILDING DIVISION

PROJECT NAME
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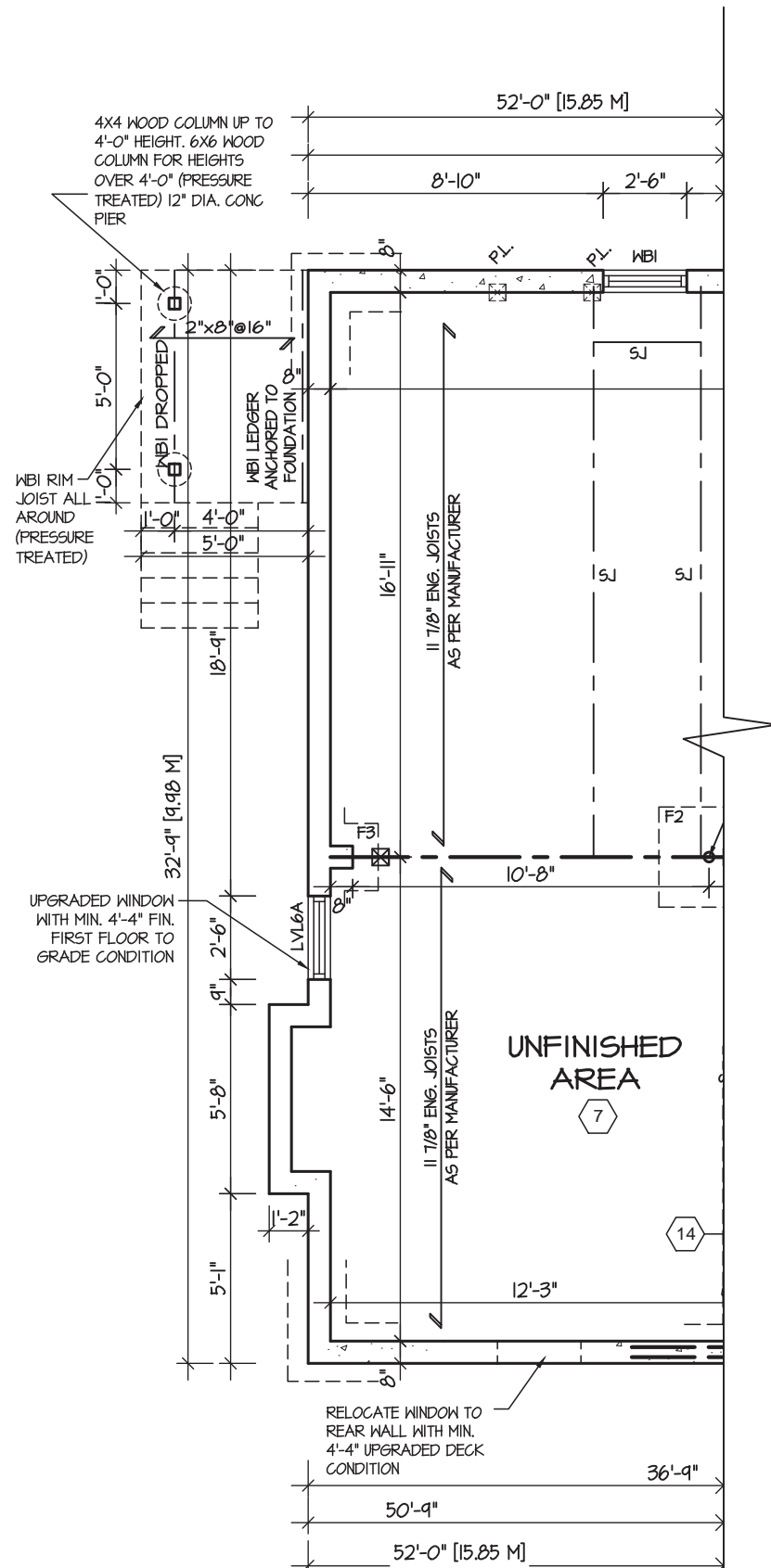
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GLENROWAN 2

COMPLIANCE PACKAGE "A1"

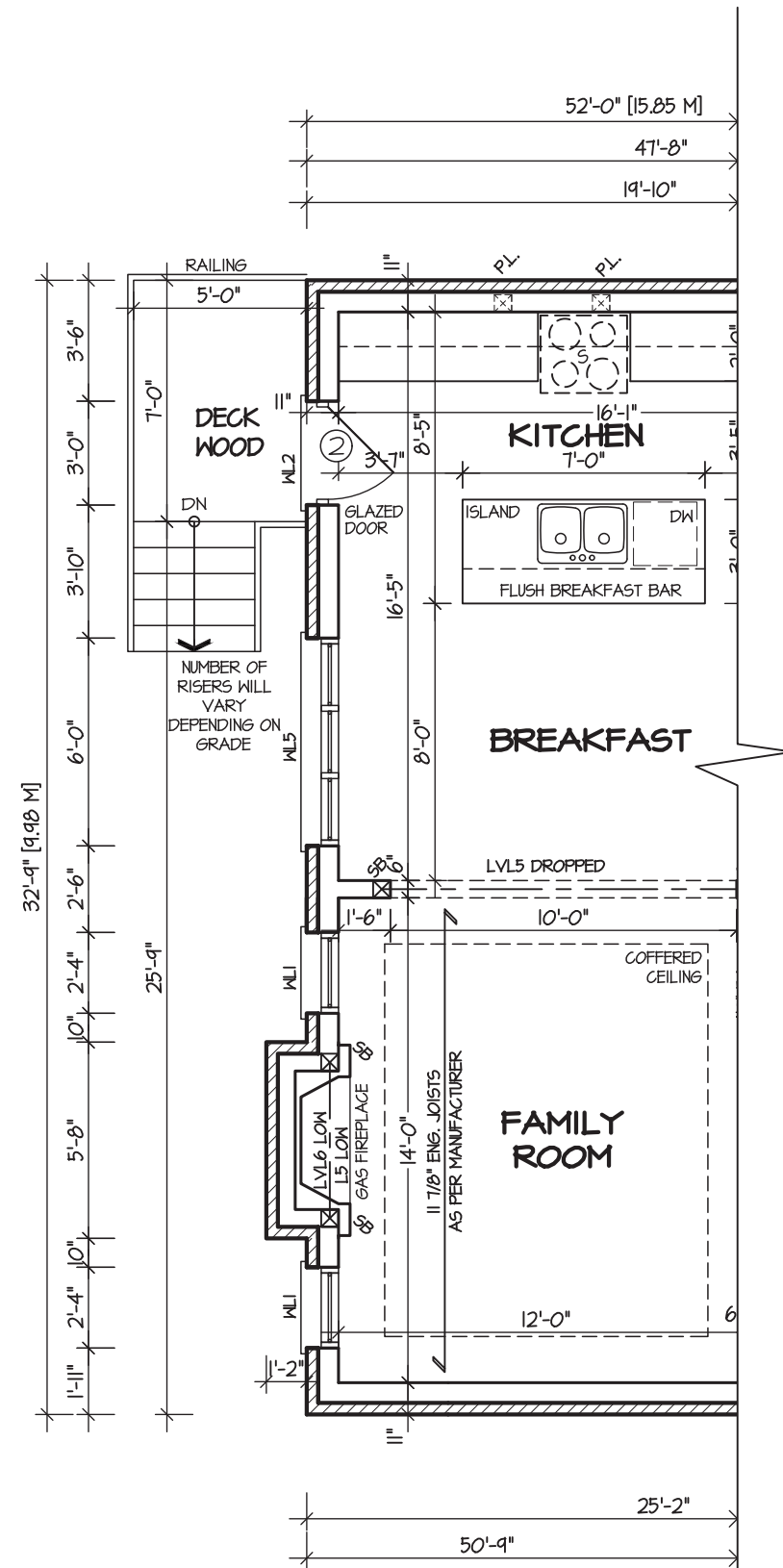
5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	RD REGION DESIGN INC.	SHEET TITLE CROSS SECTION		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME ROUNDEL
4.					SCALE 3/16"=1'-0"	BY MB	AREA 2,827	PAGE No. 8	
3.					DATE JAN 2021	TYPE	PROJECT		
2. ISSUED FOR PERMIT	MAY 2021								
1. ISSUED FOR REVIEW	FEB 2021								
REVISIONS									

Greenpark BUILDING DIVISION
09/22/2022
RECEIVED
Per: joshua.nabua



PARTIAL BASEMENT PLAN FOR DECK CONDITION
1, 2 & 3 - ELEV. '2A'

Deck and guard construction shall comply with attached details.



PARTIAL FIRST FLOOR PLAN FOR DECK CONDITION 1, 2 & 3 - ELEV. '2A'



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GLENROWAN 2

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REVISIONS		

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VIKAS GAJJAR

NAME

SIGNATURE

28770

BCIN

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CONCORD, ONTARIO

L4K 4S6

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REGION DESIGN INC.

SHEET TITLE	
DECK PLANS	
SCALE	3/16"=1'-0"
DATE	JAN 2021
BY	MB
TYPE	

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA	2,827
PAGE No.	9
PROJECT	

Greenpark

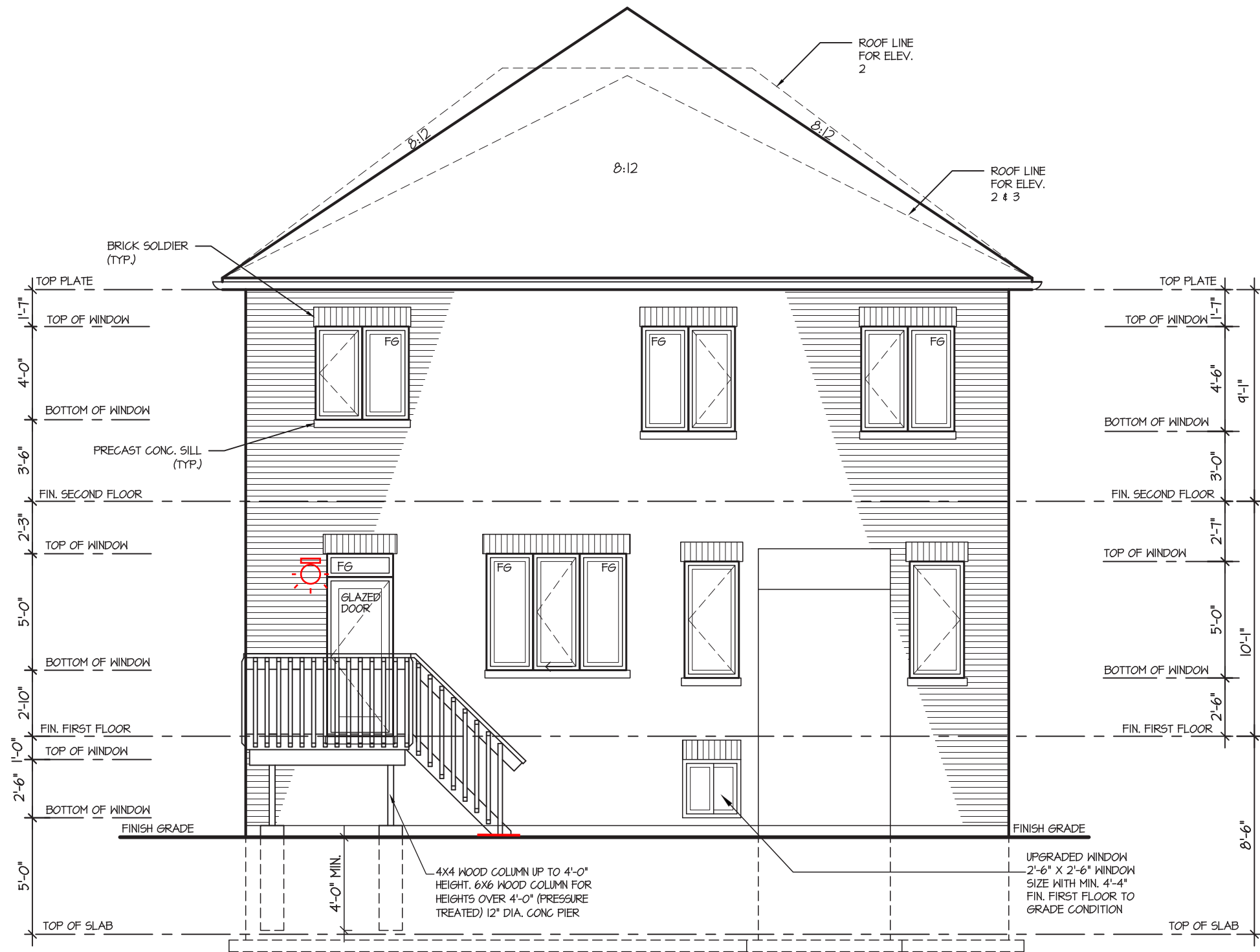
PROJECT NAME

ROUNDEL

09/22/2022

RECEIVED

Per: joshua.nabua



REAR ELEVATION 1, 2 & 3 - ELEV. 2A'
DECK CONDITION

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECERT BY: *[Signature]*
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VIKAS GAJJAR	<i>[Signature]</i>	28770
NAME	SIGNATURE	BCIN

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SHEET TITLE	
DECK ELEVATION	
SCALE	BY
3/16"=1'-0"	MB
DATE	TYPE
JAN 2021	

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AREA	PAGE No.
2,827	9-2
PROJECT	
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PROJECT NAME	
ROUNDEL	

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