

# Lot 170 Construction Set

## STRIP FOOTINGS -

### FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

### FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING  
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE  
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa  
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

## PAD FOOTINGS

### 120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

### 90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

## BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4" L (90x90x6.0L) + 2-2"x8" SPR, No.2  
WL2 = 4"x3-1/2"x5/16" L (100x90x8.0L) + 2-2"x8" SPR, No.2  
WL3 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 2-2"x10" SPR, No.2  
WL4 = 6"x3-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR, No.2  
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR, No.2  
WL6 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 2-2"x12" SPR, No.2  
WL7 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 3-2"x10" SPR, No.2  
WL8 = 5"x3-1/2"x5/16" L (125x90x8.0L) + 3-2"x12" SPR, No.2  
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR, No.2

## LINTELS AND BEAMS

WB1 = 2-2"x8" SPR, No.2 (2-38x184 SPR, No.2)  
WB2 = 3-2"x8" SPR, No.2 (3-38x184 SPR, No.2)  
WB3 = 2-2"x10" SPR, No.2 (2-38x235 SPR, No.2)  
WB4 = 3-2"x10" SPR, No.2 (3-38x235 SPR, No.2)  
WB5 = 2-2"x12" SPR, No.2 (2-38x286 SPR, No.2)  
WB6 = 3-2"x12" SPR, No.2 (3-38x286 SPR, No.2)  
WB7 = 5-2"x12" SPR, No.2 (5-38x286 SPR, No.2)  
WB11 = 4-2"x10" SPR, No.2 (4-38x235 SPR, No.2)  
WB12 = 4-2"x12" SPR, No.2 (4-38x286 SPR, No.2)

## LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (2-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR  
EQUIVALENT.

## LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4" L (90x90x6.0L)  
L2 = 4"x3-1/2"x5/16" L (100x90x8.0L)  
L3 = 5"x3-1/2"x5/16" L (125x90x8.0L)  
L4 = 6"x3-1/2"x3/8" L (150x90x10.0L)  
L5 = 6"x4"x3/8" L (150x100x10.0L)  
L6 = 7"x4"x3/8" L (175x100x10.0L)

## DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

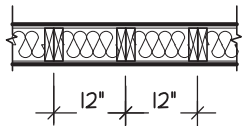
SPACE CONVENTIONAL FLOOR JOISTS @ 12"  
O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF  
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR  
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER  
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS  
FOR ENGINEERED FRAMING LAYOUTS

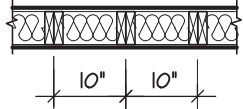
2-2"x6" STUD WALL NAILED TOGETHER AND  
SPACED @ 12" O.C. FULL HT C/W SOLID  
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"  
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL  
FOR THIS DETAIL IS 18'-0"

## TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E  
STUD WALL GLUED AND NAILED TOGETHER  
AND SPACED MAX. @ 10" O.C. FULL HT C/W  
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL  
AND 7/16" EXT. OSB SHEATHING.



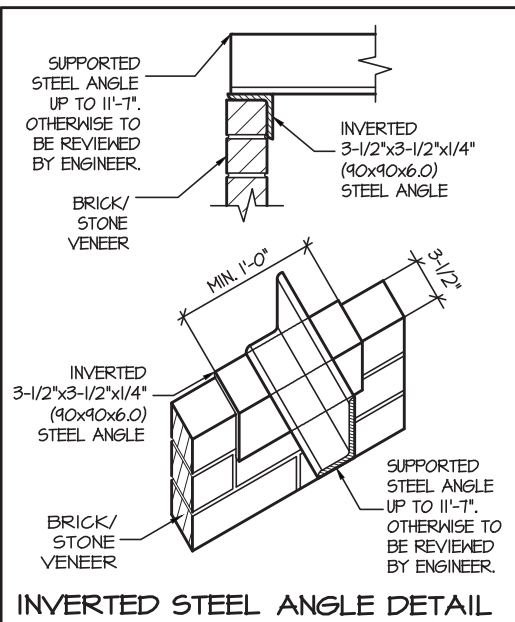
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS  
DETAIL IS 20'-2" AND MAXIMUM WIDTH  
IS 40'-0"

## TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING  
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE  
FOLLOWING

## COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.57 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



City of Richmond Hill  
Building Division

## REVIEWED

By: **KER** Date: **11/25/2022**

Building Permit #: **BP#-2022-01154**

All construction shall comply with the Ontario  
Building Code and all other applicable  
statutory regulations. The reviewed  
documents must be kept on site at all times.

Building inspection line: 905-771-5465 (24 hr)  
buildinginspections@richmondhill.ca  
Building inquiry line 905-771-8810  
building@richmondhill.ca

AREA CALCULATIONS	ELEV. 3A
GROUND FLOOR AREA	= 1506 Sq. Ft.
SECOND FLOOR AREA	= 1929 Sq. Ft.
TOTAL FLOOR AREA	= 3435 Sq. Ft.
	319.12 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 10 Sq. Ft.
ADD TOTAL OPEN AREAS	= 10 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3445 Sq. Ft.
	320.05 Sq. M.
GROUND FLOOR COVERAGE	= 1506 Sq. Ft.
GARAGE COVERAGE / AREA	= 391 Sq. Ft.
PORCH COVERAGE / AREA	= 49 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 1946 Sq. Ft.
	180.79 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1897 Sq. Ft.
	176.24 Sq. m.

TERRACOTTA 3 - 170		ELEV.3A COMPLIANCE PACKAGE "A1"			
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	781.25	72.58	168.33	15.64	21.55 %
LEFT SIDE	1166.67	108.39	86.17	8.01	7.39 %
RIGHT SIDE	1169.64	108.66	42.33	3.93	3.62 %
REAR	765.62	71.13	165.61	15.39	21.63 %
TOTAL	3883.18	360.76	462.44	42.96	11.91 %

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply  
with the applicable Architectural Design  
Guidelines approved by the City of  
HAMILTON.

THE ENGINEER OF RECORDED SHALL  
PROVIDE THE BUILDING INSPECTOR  
WITH A FIELD REVIEW REPORT



CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per:maddy.toalaalejandro

W Architect Inc.  
DESIGN CONTROL REVIEW  
MAY 05, 2022  
FINAL BY: GGE  
This stamp is only for the purposes of design  
control and carries no other professional obligations.

## TERRACOTTA 3 - 170 COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE AREA CHARTS ELEV. 3A	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	AREA 3,479	PAGE No. 0	PROJECT NAME ROUNDEL HOMES INC.
4.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			SCALE 3/16"=1'-0"	BY V.G.	AREA 3,479	PAGE No. 0	PROJECT NAME ROUNDEL HOMES INC.
3.						DATE JAN 2020	TYPE	PROJECT		
2.										
1.	ISSUED FOR REVIEW	JAN 2020	VIKAS GAJJAR NAME 28770 SIGNATURE BCIN							
REVISIONS										

CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per: machy.toalaalejandro



REFER TO FLOOR FRAMING SHOP DRAWINGS FOR  
ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED  
AND NAILED ON THIS FLOOR.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

STRUDET INC.



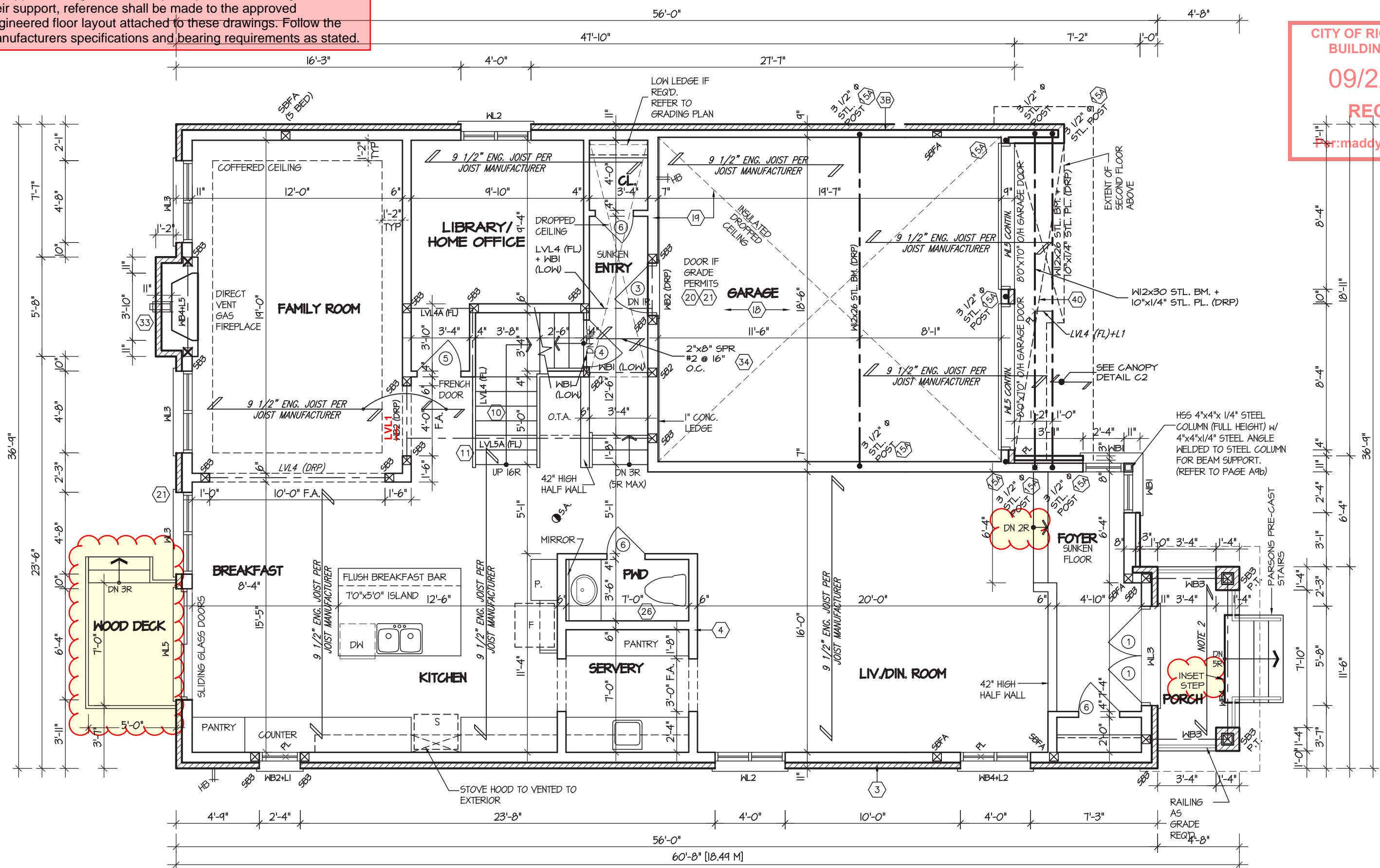
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO  
NO. 12345  
EXP. 2022  
FOR STRUCTURE ONLY

# TERRACOTTA 3 - 170

5.		<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p><b>QUALIFICATION INFORMATION</b></p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR  <b>28770</b></p> <p>NAME SIGNATURE BCIN</p>	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.					BASEMENT PLAN				
3.					ELEV. 3A				
2.					SCALE	BY	AREA	PAGE No.	
1.	ISSUED FOR REVIEW				3/16"=1'-0"	V.G.	3,479	1-3	
REVISIONS			DATE	TYPE	PROJECT	PROJECT NAME			
			JAN 2020			ROUNDEL HOMES INC.			

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per: maddy.toalaalejandro



GROUND FLOOR PLAN - ELEV. '3A'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

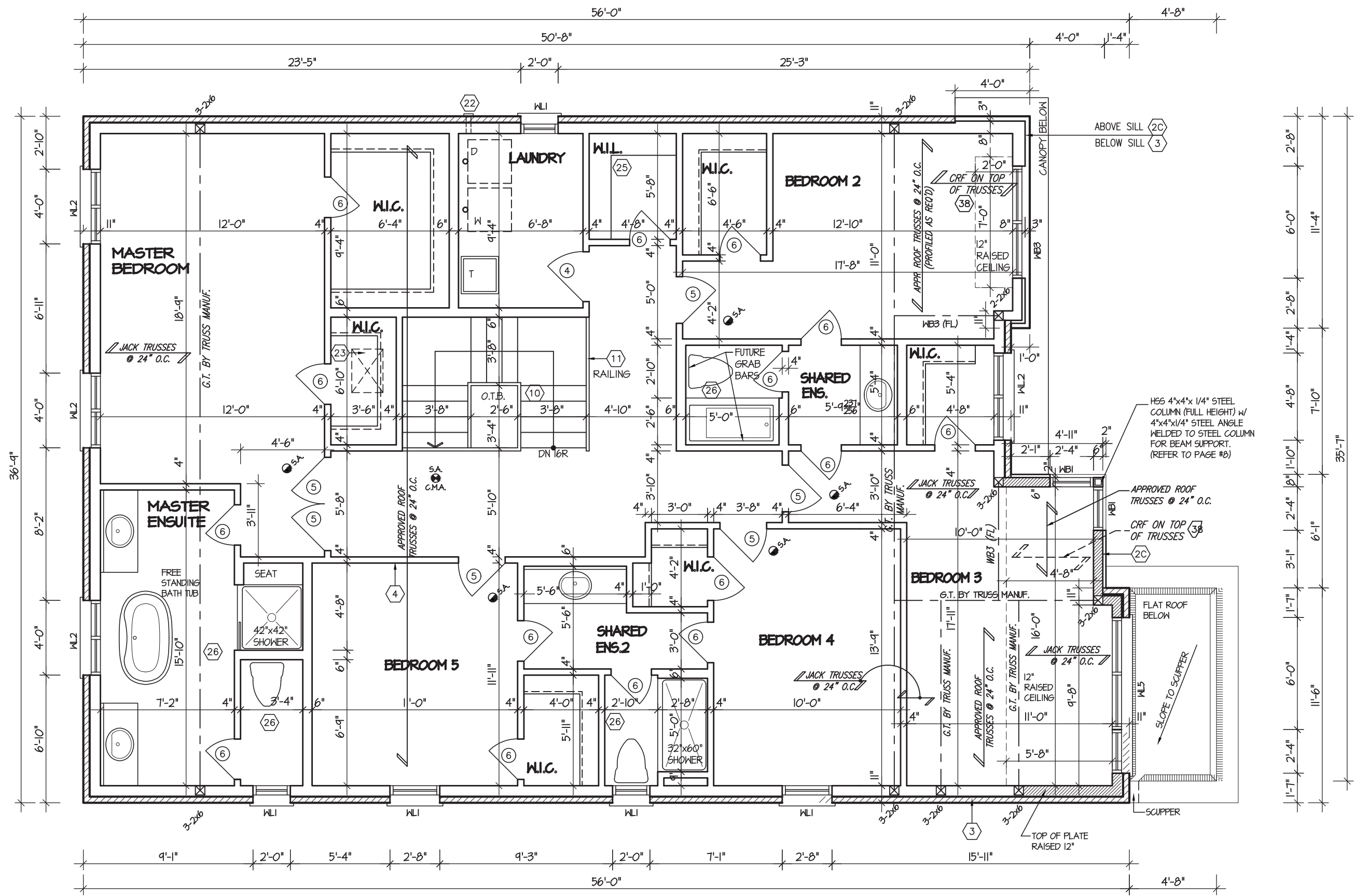
It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



TERRACOTTA 3 - 170  
COMPLIANCE PACKAGE "A1"

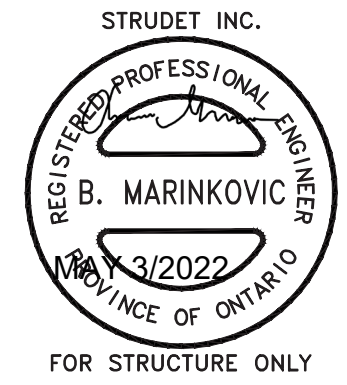
5.				The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746		RD I REGION DESIGN INC.		SHEET TITLE		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.							
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1.		ISSUED FOR REVIEW		JAN 2020		VIKAS GAJJAR		28770		SCALE 3/16"=1'-0"		BY V.G.		AREA 3,479		PAGE No. 2-3		PROJECT NAME ROUNDEL HOMES INC.	
						NAME		SIGNATURE		BCIN		DATE JAN 2020		TYPE		PROJECT			
				REVISIONS															



OPT. SECOND FLOOR PLAN (5 BDRM) - ELEV. '3A'

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CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per:maddy.toalaalejandro

TERRACOTTA 3 - 170  
COMPLIANCE PACKAGE "A1"

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REVISIONS		

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VIKAS GAJJAR  
NAME  
28770  
SIGNATURE  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

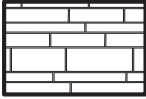


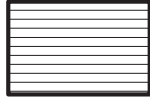
SHEET TITLE  
SECOND FLOOR PLAN  
ELEV. 3A  
SCALE  
3/16"=1'-0"  
DATE  
JAN 2020

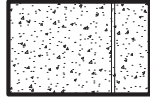
CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.  
AREA  
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PAGE No.  
3-3  
PROJECT




PROJECT NAME  
ROUNDEL HOMES INC.

  
CONTEMPORARY  
STONE PATTERN

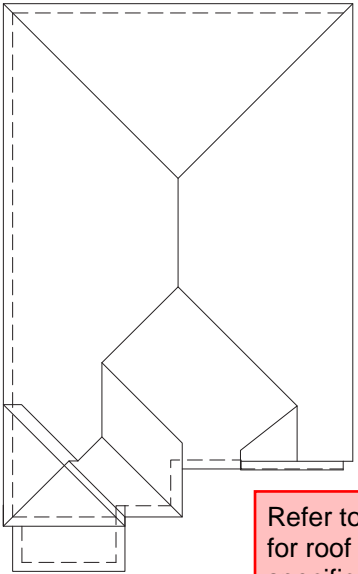
  
MAIN BRICK

  
STUCCO W/ REVEALS

  
WOOD GRAIN  
STUCCO FINISH



FRONT ELEVATION - ELEV. 3A'



ROOF PLAN-3A

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

CITY OF RICHMOND HILL  
BUILDING DIVISION

09/22/2022

RECEIVED

Per:maddy.toalaalejandro

W Architect Inc.  
DESIGN CONTROL REVIEW

MAY 05, 2022

FINAL BY: GGE

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# TERRACOTTA 3 - 170

COMPLIANCE PACKAGE "A1"

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5.		
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1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE  
FRONT ELEVATION  
ELEV. 3A

SCALE  
3/16"=1'-0"

DATE  
JAN 2020

BY  
V.G.

TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.

AREA  
3,479

PROJECT

PAGE No.

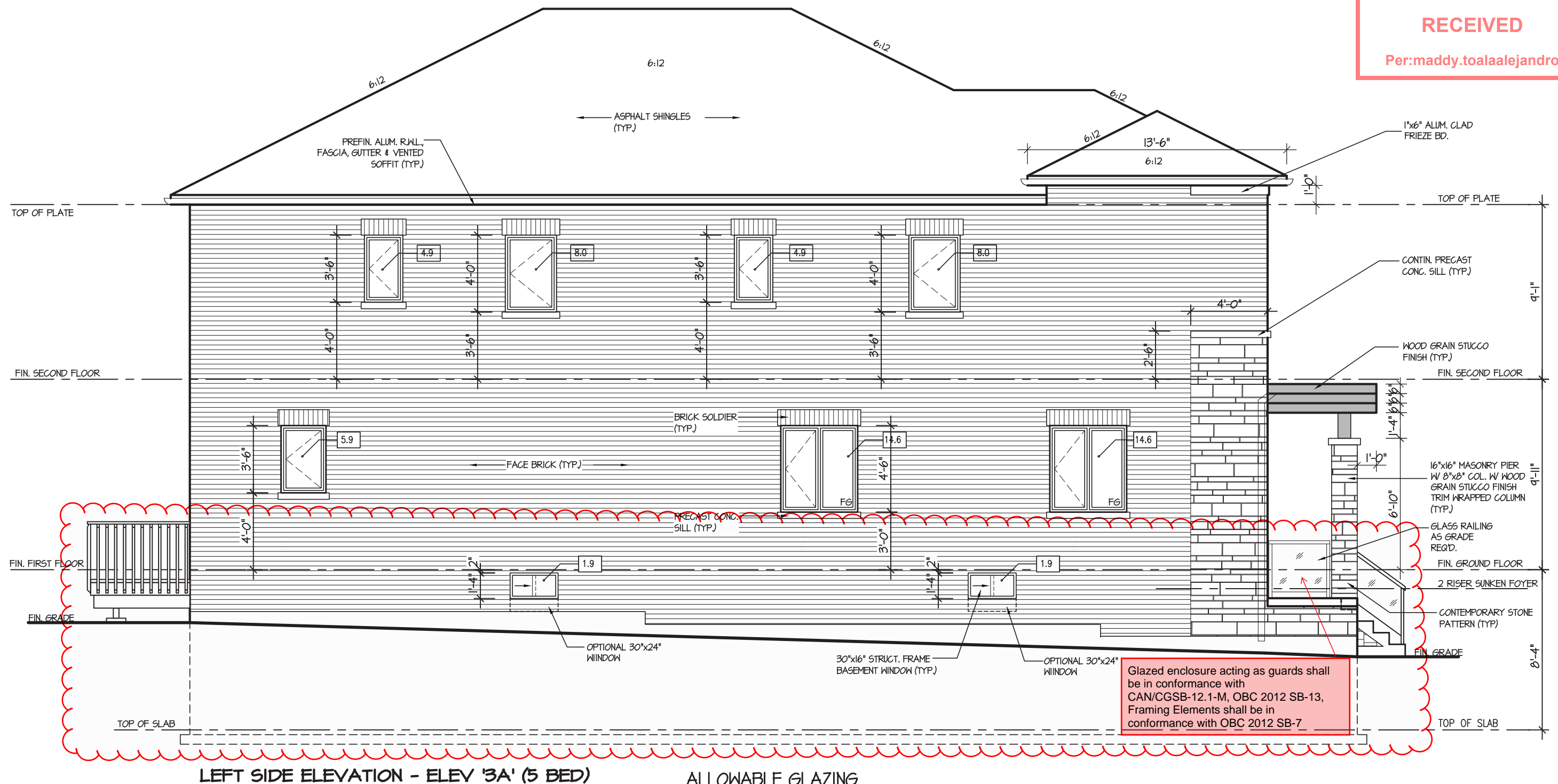
4-3

Greenpark™

PROJECT NAME

ROUNDEL HOMES INC.

CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per:maddy.toalaalejandro



LEFT SIDE ELEVATION - ELEV '3A' (5 BED)

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

#### ALLOWABLE GLAZING

##### WALL AREA

WALL AREA	1166.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDEYARD)	81.62
ACTUAL WINDOW AREA [ 5 BED OPTION ]	59.8 [ 64.7 ]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [ 5 BED OPTION ]	62.6 [ 67.5 ]

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## TERRACOTTA 3 - 170

COMPLIANCE PACKAGE "A1"

5.		
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VIKAS GAJJAR  
NAME  
28770  
BCIN

REGION DESIGN INC.  
8700 DUFFERIN ST.  
CONCORD, ONTARIO  
L4K 4S6  
P (416) 736-4096  
F (905) 660-0746

REGION  
DESIGN  
INC.

SHEET TITLE LEFT SIDE ELEVATION ELEV. 3A	
SCALE 3/16"=1'-0"	BY V.G.
DATE JAN 2020	TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.	
AREA 3,479	PAGE No. 5-3
PROJECT	

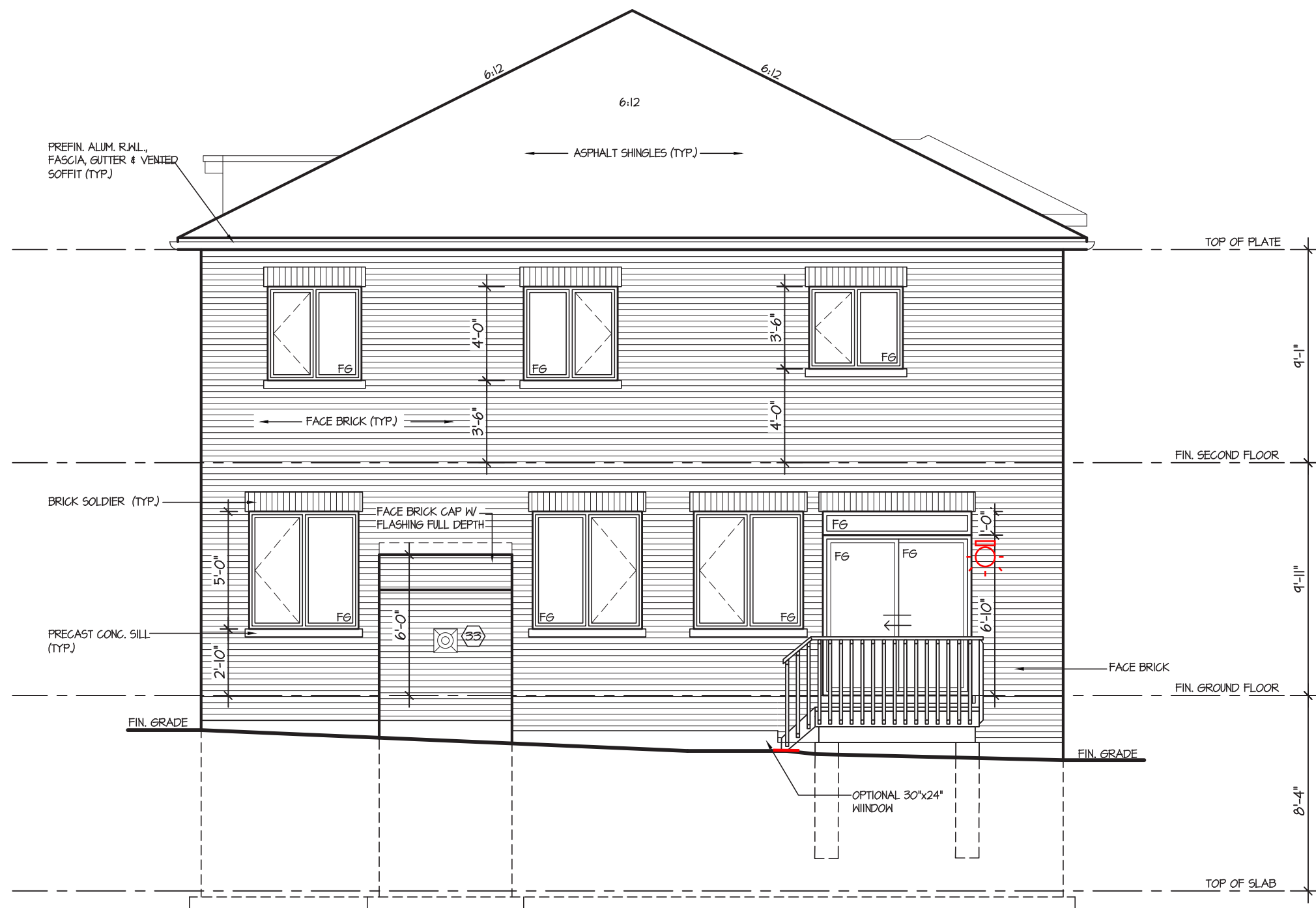
**Greenpark**  
PROJECT NAME  
ROUNDEL HOMES INC.

Per:maddy.toalaalejandro

 **Greenpark™**

PROJECT NAME: **ROUNDEL HOMES INC.**

CITY OF RICHMOND HILL  
BUILDING DIVISION  
09/22/2022  
RECEIVED  
Per:maddy.toalaalejandro



REAR ELEVATION - ELEV. '3A' (5 BED)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

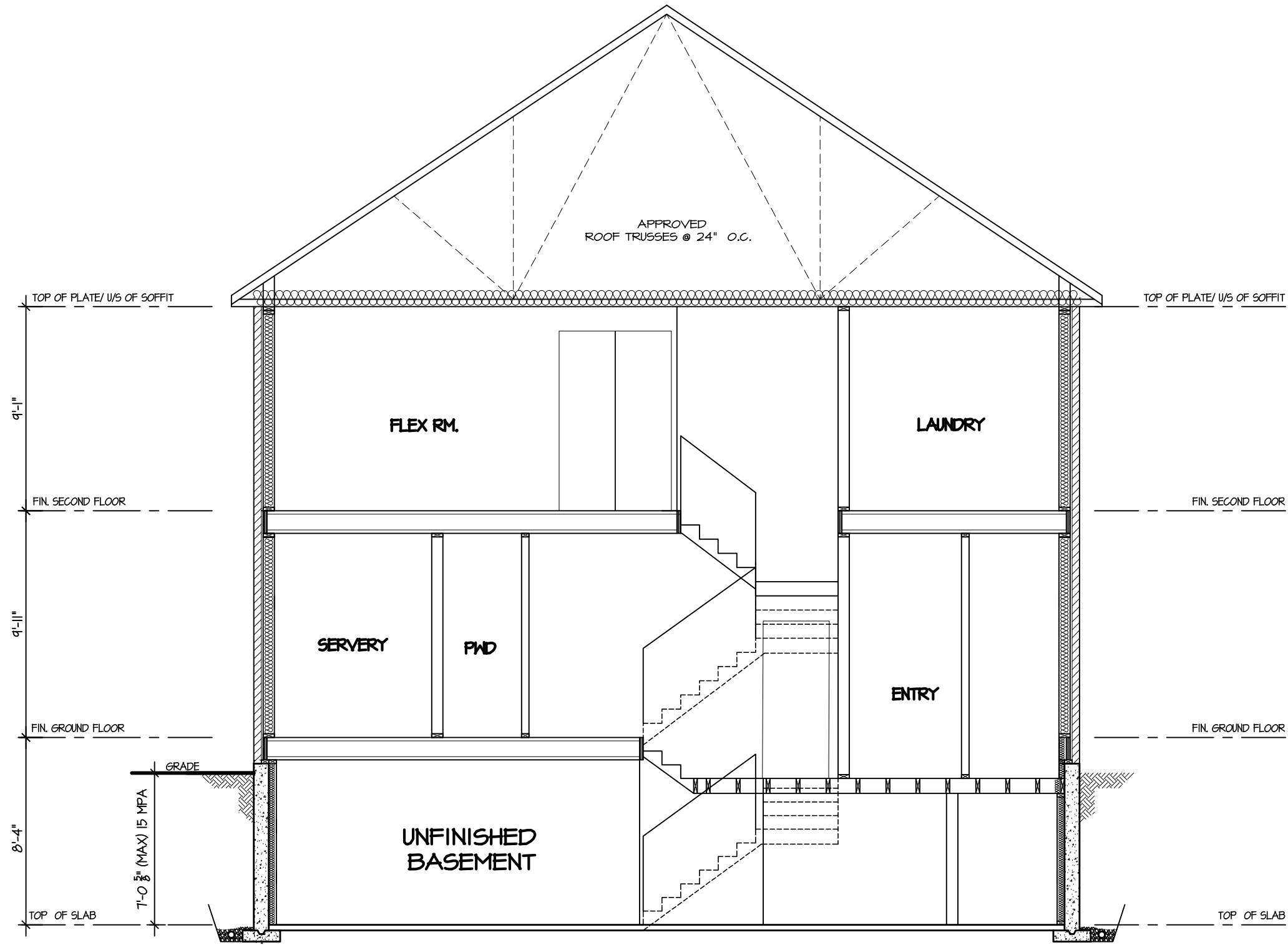
W Architect Inc.  
DESIGN CONTROL REVIEW  
MAY 05, 2022  
FINAL BY: GGE  
This stamp is only for the purposes of design control and carries no other professional obligations.

TERRACOTTA 3 - 170  
COMPLIANCE PACKAGE "A1"

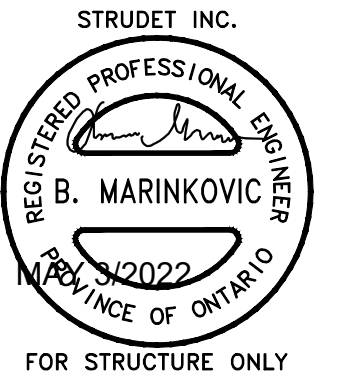
5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. <b>QUALIFICATION INFORMATION</b> Required unless design is exempt under Division C, Subsection 3.2.5 of the building code <div><div>VIKAS GAJJAR</div><div>28770</div><div>NAMESIGNATUREBCIN</div></div>	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	<div>REGION DESIGN INC.</div>	SHEET TITLE <b>REAR ELEVATION ELEV. 3A</b>		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		
4.						SCALE 3/16"=1'-0"	BY V.G.	AREA 3,479	PAGE No. 7	
3.						DATE JAN 2020	TYPE	PROJECT		
2.										
1.	ISSUED FOR REVIEW	JAN 2020								
REVISIONS										

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.



CROSS SECTION



## TERRACOTTA 3 - 170

COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	<b>REGION DESIGN INC.</b>	SHEET TITLE <b>CROSS SECTION ELEV. 3A</b>		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.			PROJECT NAME <b>ROUNDEL HOMES INC.</b>
						SCALE 3/16"=1'-0"	BY V.G.	AREA 3,479	PAGE No. <b>8</b>		
3.			QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code			DATE JAN 2020	TYPE	PROJECT			
2.											
1.	ISSUED FOR REVIEW	JAN 2020	VIKAS GAJJAR NAME	 SIGNATURE	28770 BCIN						
REVISIONS											