

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEERED JOISTS OVER 16' SPANS
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW EXTERIOR WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING
BELOW PARTY WALLS.

(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE
WHEN TWO CONDITIONS APPLY

ASSUMED 120 KPa (18 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa
ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

BRICK VENEER LINTELS

WL1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L) + 2-2"x8" SPR, No.2
WL2 = 4"x3'-1/2"x5/16" L (100x90x8.0L) + 2-2"x8" SPR, No.2
WL3 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x10" SPR, No.2
WL4 = 6"x3'-1/2"x3/8" L (150x90x10.0L) + 2-2"x12" SPR, No.2
WL5 = 6"x4"x3/8" L (150x100x10.0L) + 2-2"x12" SPR, No.2
WL6 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 2-2"x12" SPR, No.2
WL7 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x10" SPR, No.2
WL8 = 5"x3'-1/2"x5/16" L (125x90x8.0L) + 3-2"x12" SPR, No.2
WL9 = 6"x4"x3/8" L (150x100x10.0L) + 3-2"x12" SPR, No.2

LINTELS AND BEAMS

WB1 = 2-2"x8" SPR, No.2 (2-38x184 SPR, No.2)
WB2 = 3-2"x8" SPR, No.2 (3-38x184 SPR, No.2)
WB3 = 2-2"x10" SPR, No.2 (2-38x235 SPR, No.2)
WB4 = 3-2"x10" SPR, No.2 (3-38x235 SPR, No.2)
WB5 = 2-2"x12" SPR, No.2 (2-38x286 SPR, No.2)
WB6 = 3-2"x12" SPR, No.2 (3-38x286 SPR, No.2)
WB7 = 5-2"x12" SPR, No.2 (5-38x286 SPR, No.2)
WB11 = 4-2"x10" SPR, No.2 (4-38x235 SPR, No.2)
WB12 = 4-2"x12" SPR, No.2 (4-38x286 SPR, No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (3-45x456)

LVL BEAMS SHALL BE VERSA-LAM 2.0E (Fb=2800psi MIN.) OR
EQUIVALENT.

LOOSE STEEL LINTELS

L1 = 3'-1/2"x3'-1/2"x1/4" L (100x90x6.0L)
L2 = 4"x3'-1/2"x5/16" L (100x90x8.0L)
L3 = 5"x3'-1/2"x5/16" L (125x90x8.0L)
L4 = 6"x3'-1/2"x3/8" L (150x90x10.0L)
L5 = 6"x4"x3/8" L (150x100x10.0L)
L6 = 7"x4"x3/8" L (175x100x10.0L)

DOOR SCHEDULE

NOS.	WIDTH	HEIGHT 8'-0" CEILING	HEIGHT 10' OR MORE CEILING	TYPE
1	2'-10"	6'-8"	8'-0"	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	8'-0"	INSULATED FRONT DOORS
2	2'-8"	6'-8"	8'-0"	WOOD & GLASS DOOR
3	2'-8"	6'-8"	8'-0"	EXTERIOR SLAB DOOR
4	2'-8"	6'-8"	8'-0"	INTERIOR SLAB DOOR
5	2'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR
6	2'-2"	6'-8"	8'-0"	INTERIOR SLAB DOOR
7	1'-6"	6'-8"	8'-0"	INTERIOR SLAB DOOR

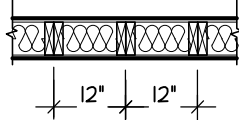
SPACE CONVENTIONAL FLOOR JOISTS @ 12"
O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF
5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR
ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER
TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS
FOR ENGINEERED FRAMING LAYOUTS

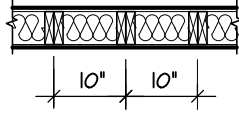
2-2"x6" STUD WALL NAILED TOGETHER AND
SPACED @ 12" O.C. FULL HT C/W SOLID
BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



NOTE: MAXIMUM HEIGHT OF WALL
FOR THIS DETAIL IS 18'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E
STUD WALL GLUED AND NAILED TOGETHER
AND SPACED MAX. @ 10" O.C. FULL HT C/W
SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL
AND 7/16" EXT. OSB SHEATHING.



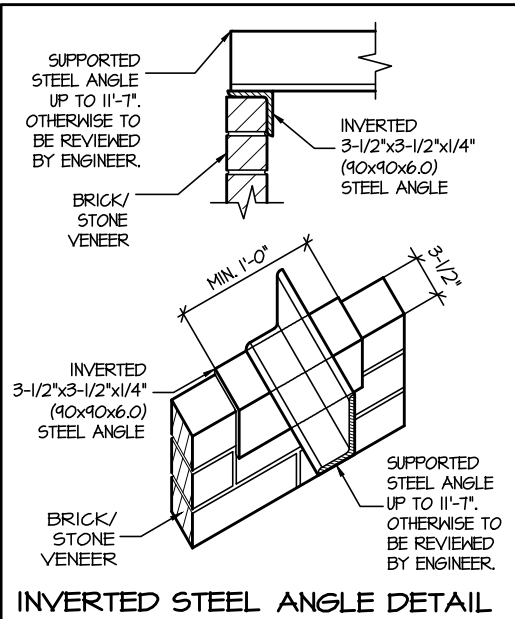
NOTE: MAXIMUM HEIGHT OF WALL FOR THIS
DETAIL IS 20'-2" AND MAXIMUM WIDTH
IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING
ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE
FOLLOWING

COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.81 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80



INVERTED STEEL ANGLE DETAIL

AREA CALCULATIONS	ELEV. 2
GROUND FLOOR AREA	= 1513 Sq. Ft.
SECOND FLOOR AREA	= 1960 Sq. Ft.
TOTAL FLOOR AREA	= 3473 Sq. Ft.
	322.65 Sq. M.
1ST FLOOR OPEN AREA	= 0 Sq. Ft.
2ND FLOOR OPEN AREA	= 10 Sq. Ft.
ADD TOTAL OPEN AREAS	= 10 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 3483 Sq. Ft.
	323.58 Sq. M.
GROUND FLOOR COVERAGE	= 1513 Sq. Ft.
GARAGE COVERAGE / AREA	= 391 Sq. Ft.
PORCH COVERAGE / AREA	= 98 Sq. Ft.
TOTAL COVERAGE W/ PORCH	= 2002 Sq. Ft.
	185.99 Sq. m.
TOTAL COVERAGE W/O PORCH	= 1904 Sq. Ft.
	176.89 Sq. m.

TERRACOTTA 3		ELEV.2	COMPLIANCE PACKAGE "A1"		
ELEVATION	WALL FT²	WALL MT²	OPENING FT²	OPENING MT²	PERCENTAGE
FRONT	796.25	73.97	112.43	10.45	14.12 %
LEFT SIDE	1166.67	108.39	86.17	8.01	7.39 %
RIGHT SIDE	1169.64	108.66	42.33	3.93	3.62 %
REAR	765.62	71.13	165.61	15.39	21.63 %
TOTAL	3898.18	362.15	406.54	31.77	10.43 %

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ensure that all plans submitted for approval
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and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
HAMILTON.

Lot 168
Construction Set



TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"



PROJECT NAME
ROUNDEL HOMES INC.

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

The undersigned has reviewed and takes responsibility for this
design, and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR
NAME
28770
SIGNATURE
BCIN

REGION DESIGN INC.
8700 DUFFERIN ST.
CONCORD, ONTARIO
L4K 4S6
P (416) 736-4096
F (905) 660-0746

REGION
DESIGN
INC.

AREA CHARTS

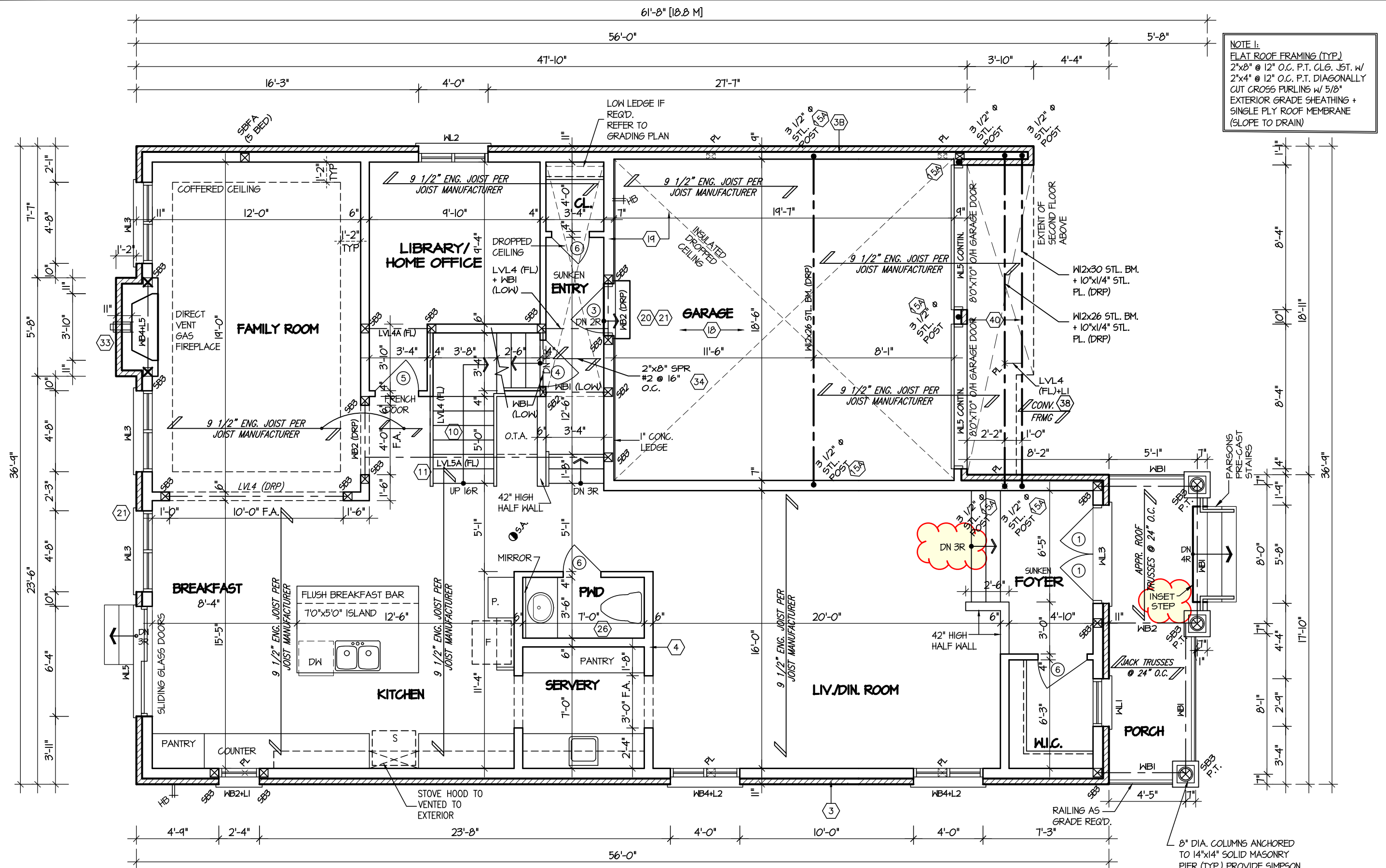
SCALE
3/16"=1'-0"
DATE
JAN 2020

BY
MB
TYPE

CONTRACTOR SHALL CHECK ALL
DIMENSIONS AND ELEVATIONS BEFORE
COMMENCING WITH WORK AND REPORT
ANY DISCREPANCIES TO THE DESIGNER.
PRINTS ARE NOT TO BE SCALED.

AREA
3,479
PROJECT

PAGE No.
0



NOTE 1:
 FLAT ROOF FRAMING (TYP.)
 2"x8" @ 12" O.C. P.T. CLG. JST. W/
 2"x4" @ 12" O.C. P.T. DIAGONALLY
 CUT CROSS PURLINS W/ 5/8"
 EXTERIOR GRADE SHEATHING +
 SINGLE PLY ROOF MEMBRANE
 (SLOPE TO DRAIN)

GROUND FLOOR PLAN - ELEV. '2'

REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

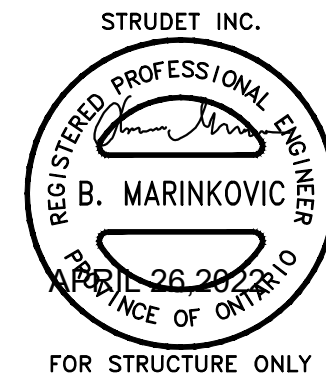
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
 PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 5/8" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

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TERRACOTTA 3-168
 COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

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 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code
 VIKAS GAJJAR
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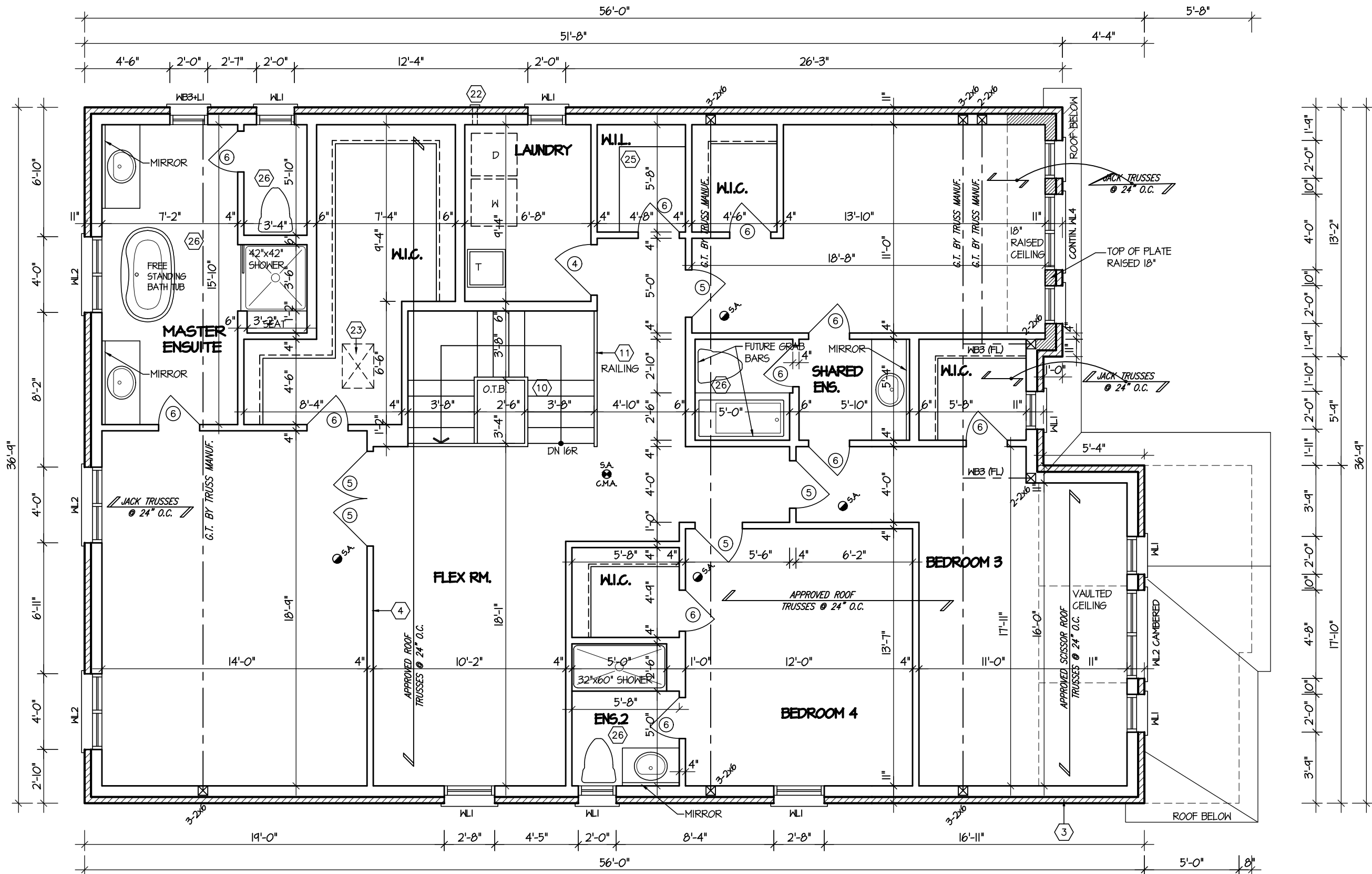
REGION DESIGN INC.
 8700 DUFFERIN ST.
 CONCORD, ONTARIO
 L4K 4S6
 P (416) 736-4096
 F (905) 660-0746



SHEET TITLE
 FIRST FLOOR PLAN
 ELEV. 2
 SCALE 3/16"=1'-0"
 DATE JAN 2020
 BY MB
 TYPE

CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.
 AREA 3,479
 PAGE No. 2-2
 PROJECT

PROJECT NAME
 ROUND EL HOMES INC.



SECOND FLOOR PLAN - ELEV. '2'

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TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

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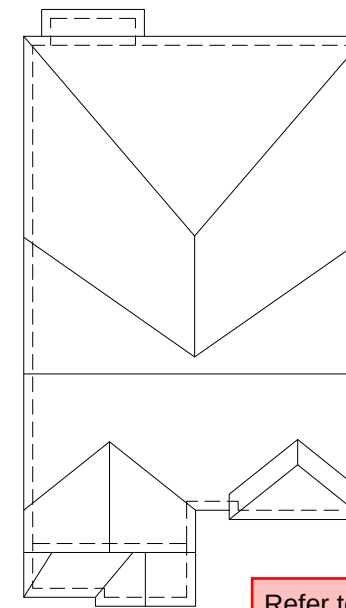


SHEET TITLE SECOND FLOOR PLAN ELEV. 2	
SCALE 3/16"=1'-0"	BY MB
DATE JAN 2020	TYPE

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AREA 3,479	PAGE No. 3-2
PROJECT	


PROJECT NAME
ROUNDEL HOMES INC.



Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

FRONT ELEVATION - ELEV. '2'

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECEIVED BY: *[Signature]*
This stamp is only for the purposes of design control and carries no other professional obligations.

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.	LOT SPECIFIC FOR LOT 168	APRIL 2022
2.	FRONT ROOF DRAWN 8:12 BUT LABELED 10:12	APR 2020
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

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VIKAS GAJJAR
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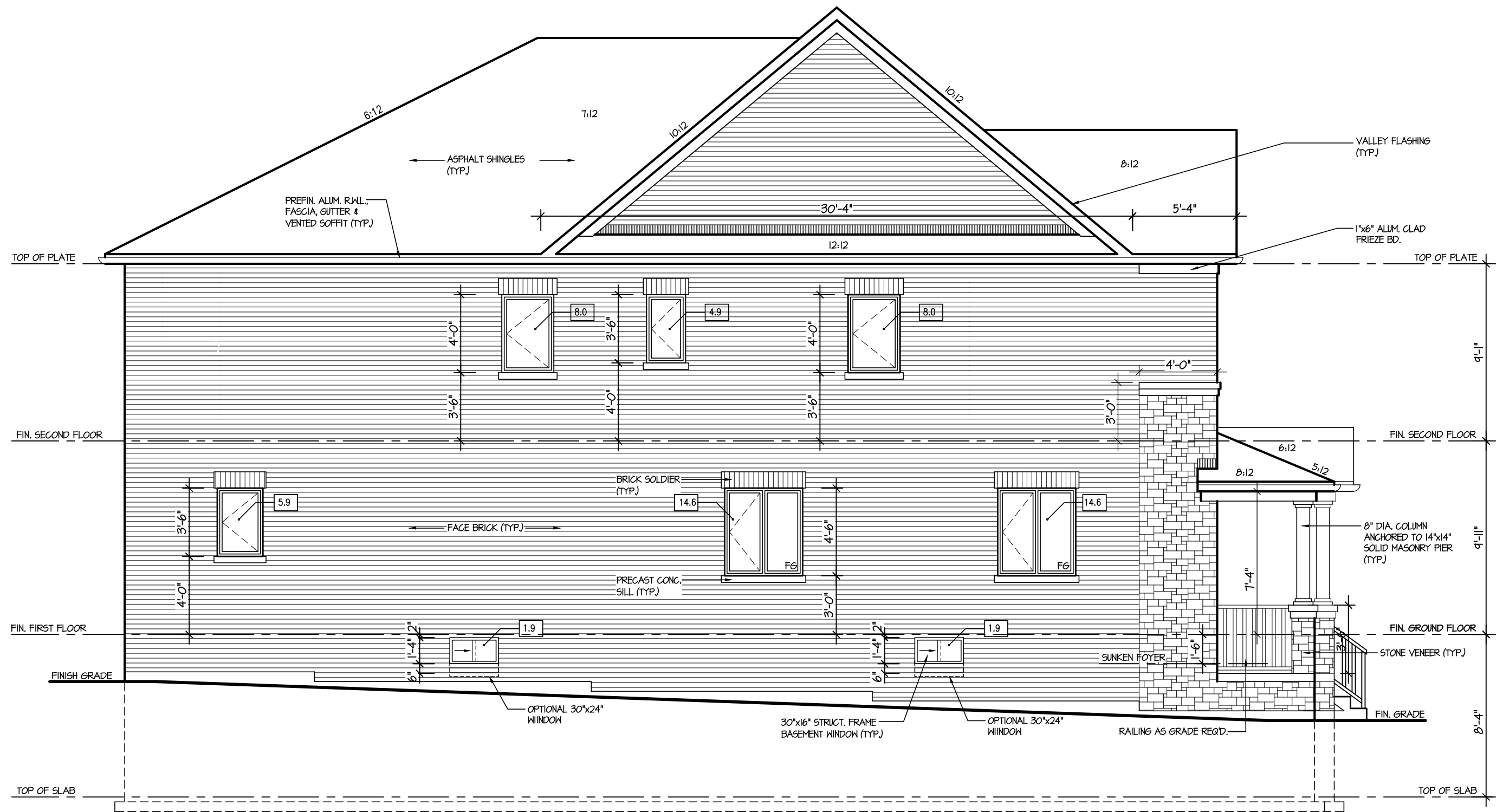
REGION DESIGN INC.
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REGION
DESIGN
INC.

SHEET TITLE
FRONT ELEVATION
ELEV. 2
SCALE
3/16"=1'-0"
DATE
JAN 2020
BY
MB
TYPE

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AREA
3,479
PAGE No.
4-2
PROJECT

Greenpark
PROJECT NAME
ROUNDEL HOMES INC.



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LEFT SIDE ELEVATION - ELEV '2'

W Architect Inc.
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FINAL
RECEIPT BY: *[Signature]*
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ALLOWABLE GLAZING

WALL AREA

WALL AREA	1166.00
ALLOWABLE WINDOW AREA @ 7.00 % (1.2 M SIDYARD)	81.62
ACTUAL WINDOW AREA [5 BED OPTION]	59.8 [64.7]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL OPENING AREA [5 BED OPTION]	62.6 [67.5]

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalalejandro

TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022
1.	ISSUED FOR REVIEW	JAN 2020
REVISIONS		

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VIKAS GAJJAR
NAME
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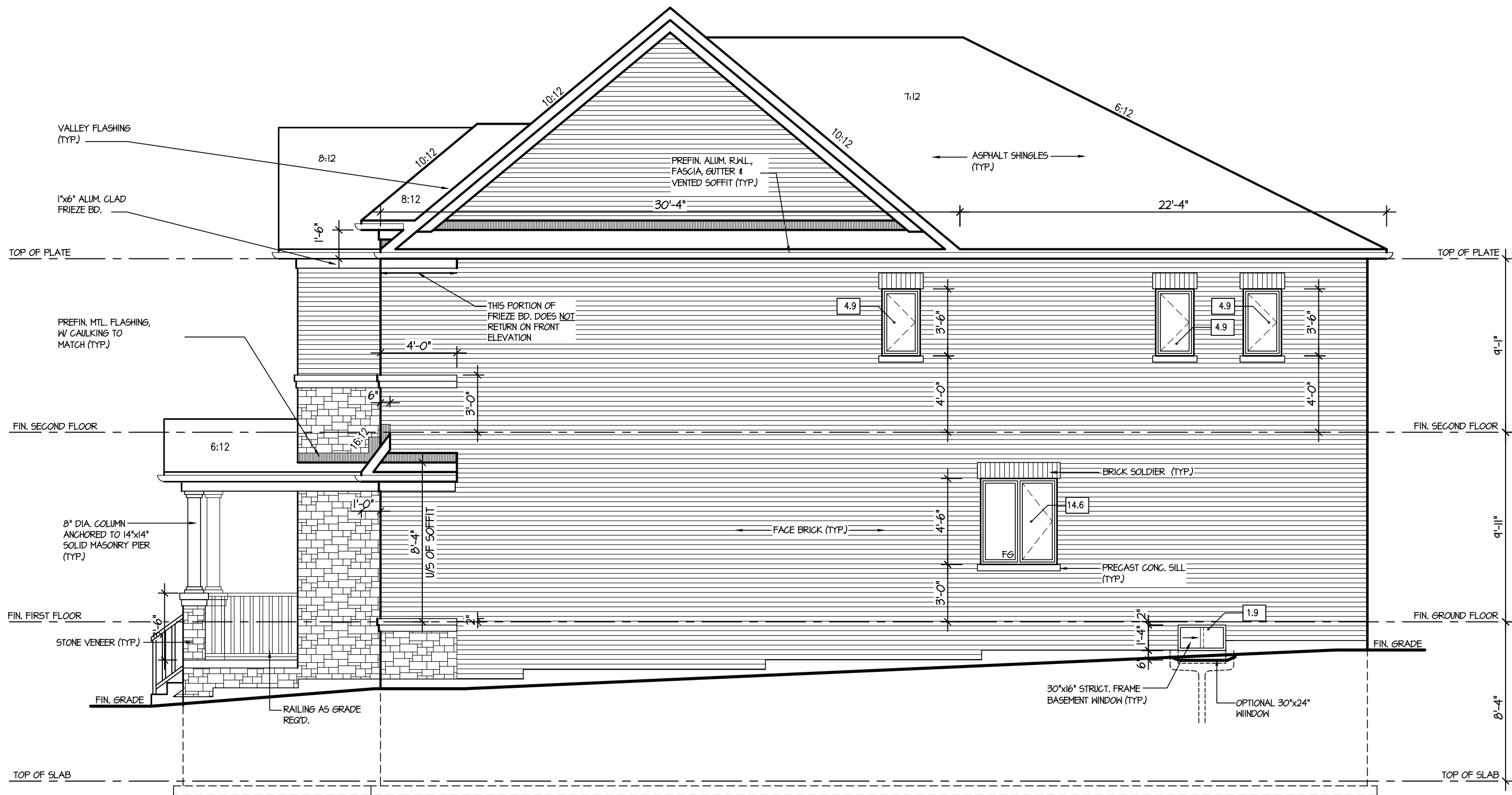
REGION DESIGN INC.
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REGION
DESIGN
INC.

SHEET TITLE
LEFT SIDE ELEVATION
ELEV. 2
SCALE
3/16"=1'-0"
DATE
JAN 2020
BY
MB
TYPE

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AREA
3,479
PAGE No.
5-2
PROJECT

Greenpark
PROJECT NAME
ROUNDEL HOMES INC.



RIGHT SIDE ELEVATION - ELEV '2'

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

ALLOWABLE GLAZING

WALL AREA			
WALL AREA			1076.00
ALLOWABLE WINDOW AREA @	7.00	% (1.2 M SIDNEYARD)	75.32
ACTUAL WINDOW AREA [5 BED OPTION]			31.2 [21.4]
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		ACTUAL OPENING AREA [5 BED OPTION]	32.6 [22.8]

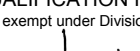
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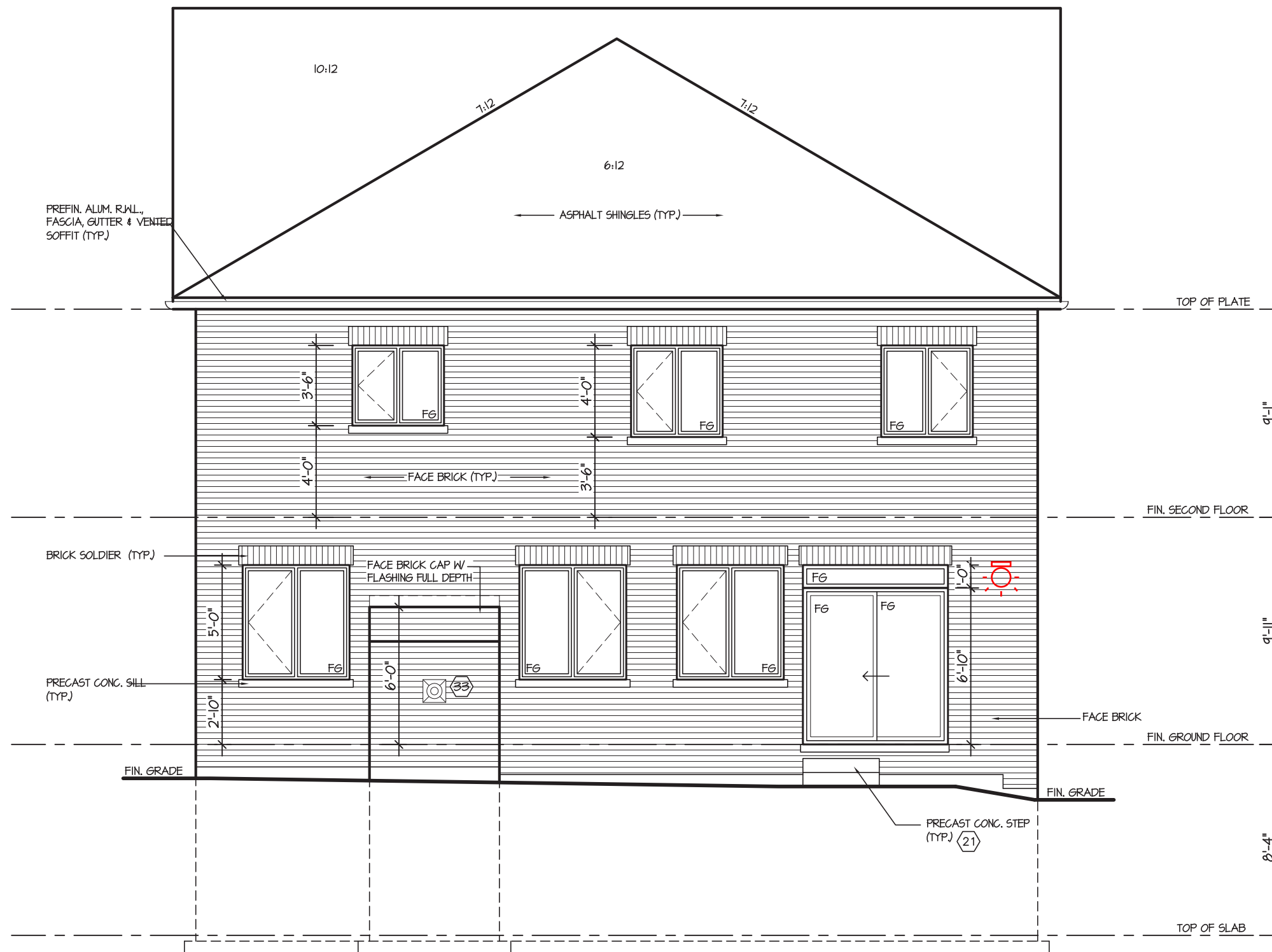
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CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECERT BY: *ALL*
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TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

5.			The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE RIGHT SIDE ELEVATION ELEV. 2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		 PROJECT NAME ROUNDEL HOMES INC.
4.						SCALE 3/16"=1'-0"	BY MB	AREA 3,479	PAGE No. 6-2	
3.						DATE JAN 2020	TYPE	PROJECT		
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022								
1.	ISSUED FOR REVIEW	JAN 2020								
REVISIONS			VIKAS GAJJAR NAME	 SIGNATURE	28770 BCIN					



REAR ELEVATION - ELEV. 2

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of HAMILTON.

CITY OF RICHMOND HILL
BUILDING DIVISION
09/22/2022
RECEIVED
Per:maddy.toalaalejandro

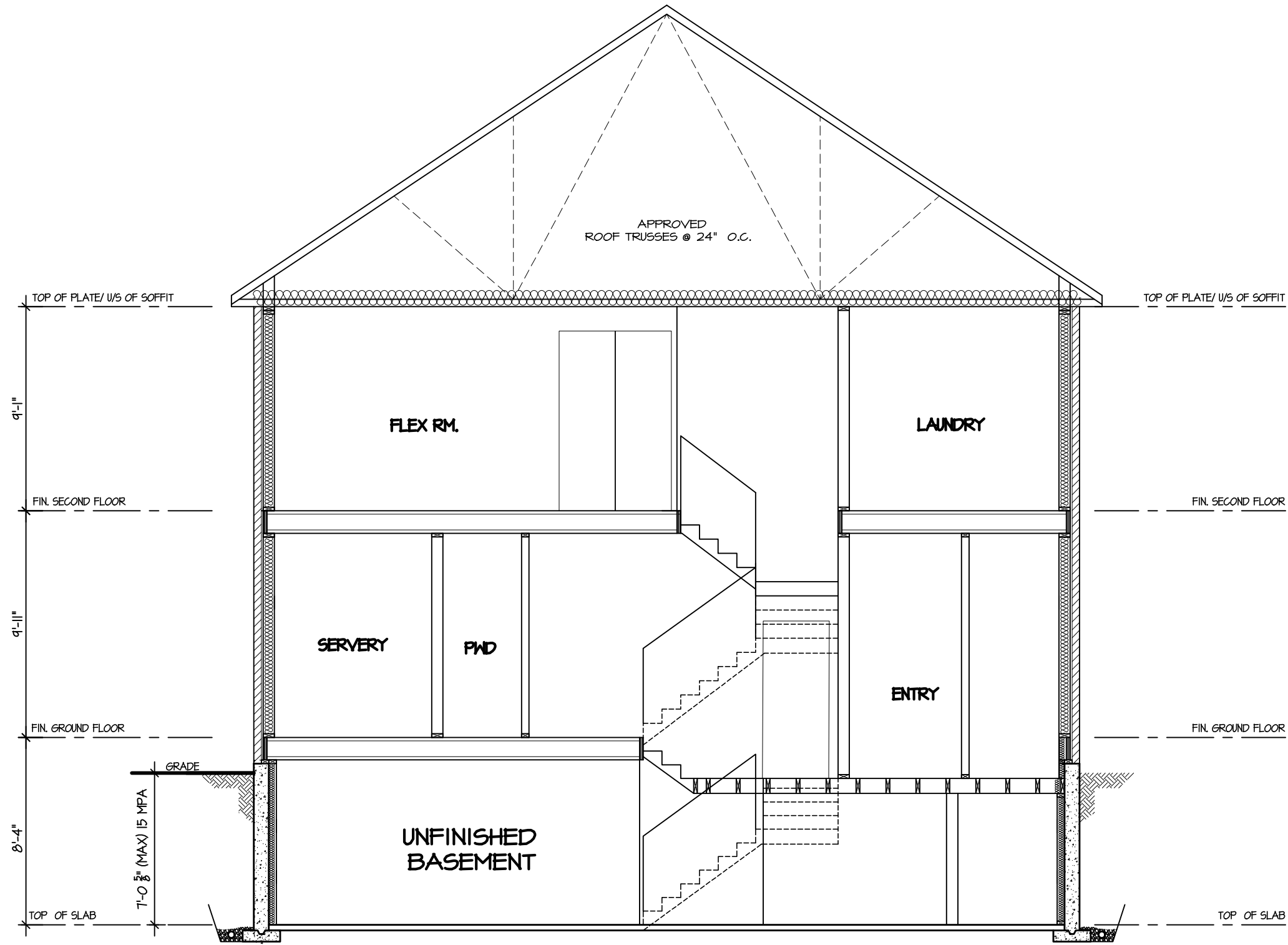
W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 28, 2022
FINAL
RECERT BY: *ACE*
This stamp is only for the purposes of design control and carries no other professional obligations.

TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

REVISIONS	5.		The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code VIKAS GAJJAR NAME 28770 SIGNATURE BCIN	REGION DESIGN INC. 8700 DUFFERIN ST. CONCORD, ONTARIO L4K 4S6 P (416) 736-4096 F (905) 660-0746	REGION DESIGN INC.	SHEET TITLE REAR ELEVATION ELEV.,2		CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS BEFORE COMMENCING WITH WORK AND REPORT ANY DISCREPANCIES TO THE DESIGNER. PRINTS ARE NOT TO BE SCALED.		PROJECT NAME ROUNDEL HOMES INC.
	4.					SCALE 3/16"=1'-0"	BY MB	AREA 3,479	PAGE No. 7	
	3.					DATE JAN 2020	TYPE	PROJECT		
	2. LOT SPECIFIC FOR LOT 168	APRIL 2022								
	1. ISSUED FOR REVIEW	JAN 2020								

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CROSS SECTION



TERRACOTTA 3-168
COMPLIANCE PACKAGE "A1"

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4.						CROSS SECTION				
3.						SCALE	BY	AREA	PAGE No.	
2.	LOT SPECIFIC FOR LOT 168	APRIL 2022				3/16"=1'-0"	MB	3,479	8	
1.	ISSUED FOR REVIEW	JAN 2020				DATE	TYPE	PROJECT		
REVISIONS										