

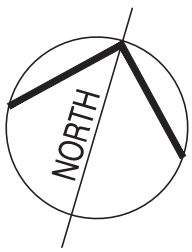
ST STORM CONNECTION  
S SANITARY CONNECTION  
W WATER CONNECTION  
H HYDRO CONNECTION  
DOUBLE CATCH BASIN  
CATCH BASIN  
STREET LIGHT  
TRANSFORMER  
INFILTRATION TRENCH (BELOW)

UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO SURFACE  
UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO STORM  
HYDRANT  
ENGINEERED FILL LOT  
CABLE TV PEDESTAL  
BELL PEDESTAL  
ENTRANCE DOOR LOCATION  
GARAGE DOOR LOCATION

HYDRO METER  
GAS METER  
COMMUNITY MAILBOX  
PROPOSED BERM  
DOWNSPOUT LOCATION  
VALVE AND CHAMBER  
SANITARY MANHOLE  
STORM MANHOLE

100.00 PROPOSED GRADE  
100.00 EXISTING GRADE  
100.00 PROPOSED SWALE GRADE  
SW SWALE DIRECTION  
F.FLR. FINISHED FLOOR ELEVATION  
T.WALL TOP OF FOUNDATION WALL  
F.SLAB FIN. BASEMENT FLOOR SLAB  
U/FTG. UNDERSIDE FOOTING ELEVATION

PART OF LOT 1  
CONCESSION 9  
CITY OF CAMBRIDGE  
REGIONAL MUNICIPALITY OF WATERLOO  
REGISTERED PLAN 58M-696



LEGEND

GLEDHILL CRESCENT

Note: A71/20 & A58/21  
S.2.2.3.9 Required  
parking in garage

CITY OF CAMBRIDGE  
ZONING APPROVAL

SIGNATURE DATE  
12/19/2022

We certify that the proposed grades at the lot corners are correct, and that the lot grading of the subject lot is in general conformity to the approved subdivision grading plans and City of Cambridge standards.



LIDSTONE STREET

CITY OF CAMBRIDGE  
BUILDING DIVISION

THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code

INSPECTOR DATE  
02/06/2023

FOUNDATION THICKNESS = 8" (15MPa)  
FOUNDATION HEIGHT = 2.25m  
PERMITTED BACKFILL = 2.15m  
ACTUAL MAX. BACKFILL = 2.15m

REFER TO INDIVIDUAL UNIT  
DRAWINGS FOR  
CONSTRUCTION INFORMATION.

CITY OF CAMBRIDGE  
GRADING APPROVAL

SIGNATURE DATE  
12/15/2022

JAN. 23, 2023	REVISED AS PER CITY COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
6 JAN. 03, 2023	REVISED AS PER CITY COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
5 OCT. 12, 2022	ADDED INFILTRATION GALLERY & RE-ISSUED TO CLIENT FOR REVIEW.
4 OCT. 06, 2022	REV. AS PER LATEST GRADING PLAN & RE-ISSUED TO CLIENT FOR REVIEW.
3 APR. 25, 2022	ADDED SANSTORM INVERT ELEVATIONS & ISSUED TO CLIENT FOR REVIEW.
2 MAR. 14, 2022	REVISED AS PER CLIENTS COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
1 FEB. 23, 2022	ISSUED FOR CLIENT FOR REVIEW

REVISIONS:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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SCALE 1:250



BARLASSINA CONSTRUCTION INC.

PROJ. No. 21-35

MUNICIPAL ADDRESS

LOT No. BLK-119

UNITS TH-31-TH-36



The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

jardin  
DESIGN GROUP INC.  
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VAUGHAN ONT. L4K 3P3  
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