

ST

STORM CONNECTION

S

SANITARY CONNECTION

W

WATER CONNECTION

H

HYDRO CONNECTION

DB

DOUBLE CATCH BASIN

CB

CATCH BASIN

SL

STREET LIGHT

TR

TRANSFORMER

IT

INFILTRATION TRENCH (BELOW)

SP

UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO SURFACE

SP

UNITS REQUIRING SUMP PUMPS THAT DISCHARGE TO STORM

HY

HYDRANT

ET

ENGINEERED FILL LOT

CT

CABLE TV PEDESTAL

BP

BELL PEDESTAL

ED

ENTRANCE DOOR LOCATION

GL

GARAGE DOOR LOCATION

H

HYDRO METER

G

GAS METER

MAIL

COMMUNITY MAILBOX

PRO

PROPOSED BERM

DL

DOWNSPOUT LOCATION

VC

VALVE AND CHAMBER

SM

SANITARY MANHOLE

ST

STORM MANHOLE

100.00

PROPOSED GRADE

100.00

EXISTING GRADE

100.00

PROPOSED SWALE GRADE

SW

SWALE DIRECTION

F.FLR.

FINISHED FLOOR ELEVATION

T/WALL

TOP OF FOUNDATION WALL

F.SLAB

FIN. BASEMENT FLOOR SLAB

U/FTG.

UNDERSIDE FOOTING ELEVATION

PART OF LOT 1

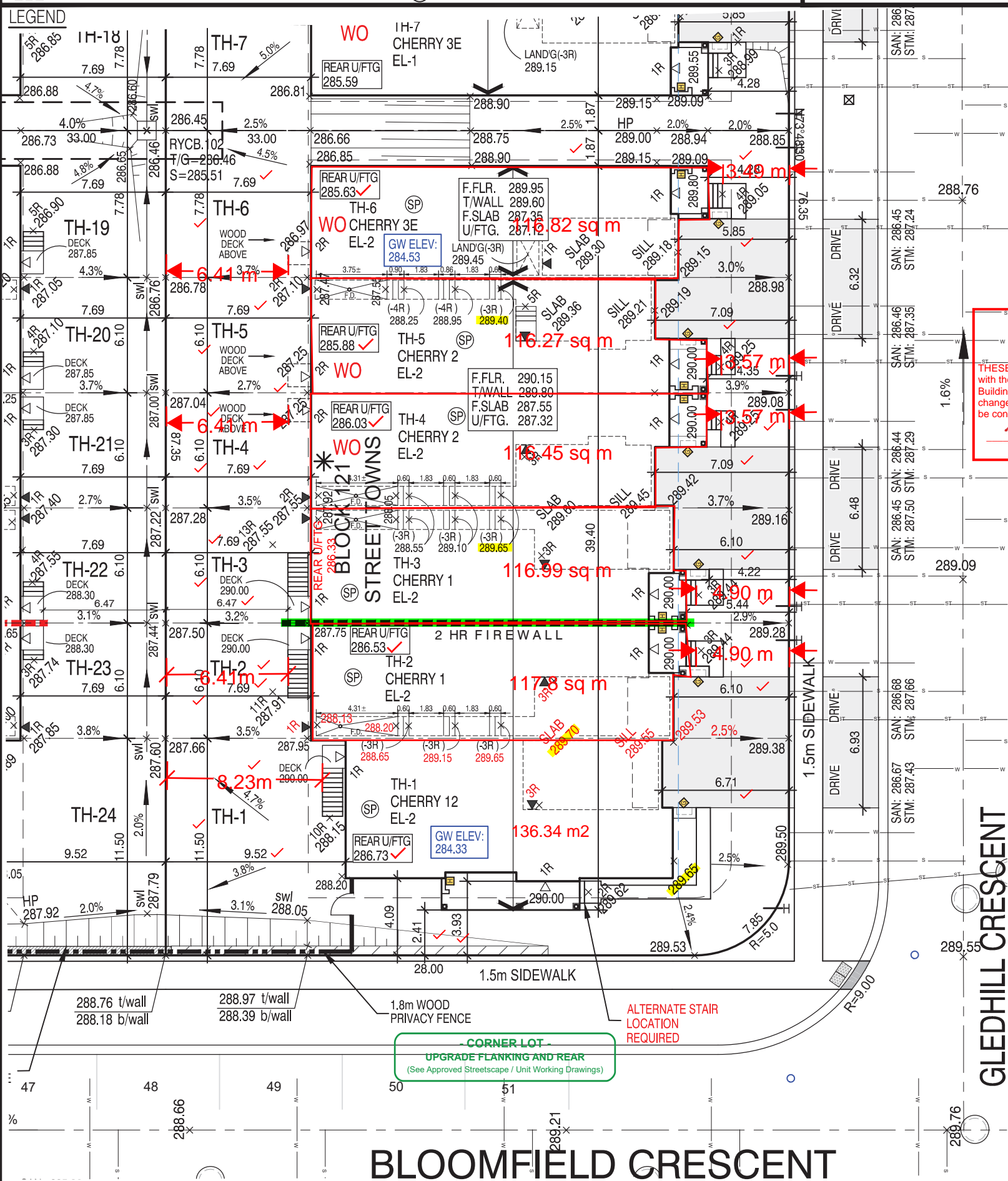
CONCESSION 9

CITY OF CAMBRIDGE

REGIONAL MUNICIPALITY OF WATERLOO

REGISTERED PLAN 58M-696

NORTH



CITY OF CAMBRIDGE
ZONING APPROVAL
12/14/2022
SIGNATURE DATE

Required parking is
met in garage.
Parking on driveway
is required 3.5m in
zone.

FOUNDATION THICKNESS = 8" (15MPa)
FOUNDATION HEIGHT = 2.25m
PERMITTED BACKFILL = 2.15m
ACTUAL MAX. BACKFILL = 2.15m

REFER TO INDIVIDUAL UNIT
DRAWINGS FOR
CONSTRUCTION INFORMATION.

CITY OF CAMBRIDGE
BUILDING DIVISION
THESE PLANS have been examined for compliance
with the Ontario Building Code Requirements. A
Building Permit is in Order to issue subject to any
changes noted under the condition that the building will
be constructed in accordance with the code
02/13/2023
INSPECTOR DATE

CITY OF CAMBRIDGE
GRADING APPROVAL
12/15/2022
SIGNATURE DATE

We certify that the proposed grades at the lot
corners are correct, and that the lot grading
of the subject lot is in general conformity to
the approved subdivision grading plans and
City of Cambridge standards.



6	JAN. 09, 2023	REVISED AS PER CITY COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
5	OCT. 12, 2022	ADDED INFILTRATION GALLERY & RE-ISSUED TO CLIENT FOR REVIEW.
4	OCT. 06, 2022	REV. AS PER LATEST GRADING PLAN & RE-ISSUED TO CLIENT FOR REVIEW.
3	APR. 25, 2022	ADDED SANSTORM INVERT ELEVATIONS & ISSUED TO CLIENT FOR REVIEW.
2	MAR. 14, 2022	REVISED AS PER CLIENTS COMMENTS & RE-ISSUED TO CLIENT FOR REVIEW.
1	FEB. 23, 2022	ISSUED FOR CLIENT FOR REVIEW

REVISIONS:

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON
SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE
REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY,
STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR
CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO
THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW
OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE
CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH
THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY
OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

SCALE 1:250



BARLASSINA CONSTRUCTION INC.

PROJ. No. 21-35

MUNICIPAL ADDRESS

LOT No. BLK-121

UNITS TH-1-TH-6



The undersigned has reviewed and takes responsibility for this
design and has the qualifications and meets the requirements set
out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

jardin
DESIGN GROUP INC.
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

45 MINUTE RATED WALL
WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 10, 2023
This stamp certifies compliance with the applicable
Design Guidelines only and bears no further
professional responsibility.