

DOOR SHEDULE:

- 1 = 2'-10" x 6'-8" INSULATED ENTRANCE DOOR  
1A = 2'-8" x 6'-8" INSULATED ENTRANCE DOOR  
2 = 2'-8" x 6'-8" EXTERIOR GLAZED DOOR  
3 = 2'-8" x 6'-8" SLAB DOOR (1 3/4" EXTERIOR)  
4 = 2'-8" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
5 = 2'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
6 = 2'-2" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
7 = 1'-6" x 6'-8" SLAB DOOR (1 3/8" INTERIOR)  
8 = 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
9 = 3'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
10= 2- 2'-0" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
11= 2- 2'-6" x 6'-8" BI-FOLD (1 3/8" INTERIOR)  
12 = 2'-6" x 6'-8" FRENCH DOOR (1 3/8" INTERIOR)

PAD FOOTING

120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)	

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.	WL6 = 5" x 3 1/2" x 5 1/6" (125x90x8) + 2- 2" x 12" SPR.
WL2 = 4" x 3 1/2" x 5 1/6" (100x90x8) + 2- 2" x 8" SPR.	WL7 = 5" x 3 1/2" x 5 1/6" (125x90x8) + 3- 2" x 10" SPR.
WL3 = 5" x 3 1/2" x 5 1/6" (125x90x8) + 2- 2" x 10" SPR.	WL8 = 5" x 3 1/2" x 5 1/6" (125x90x8) + 3- 2" x12" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.	WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.	

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM	WB6 = 3- 2" x 12" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM	WB7 = 5- 2" x 12" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM	WB10 = 4- 2" x 8" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM	WB11 = 4- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM	

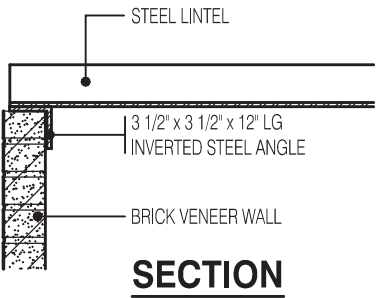
STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1 1/4" (90 x 90 x 6)	L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4" x 3 1/2" x 5 1/6" (100 x 90 x 8)	L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L3 = 5" x 3 1/2" x 5 1/6" (125 x 90 x 8)	L6 = 7" x 4" x 3/8" (180 x 100 x 10)

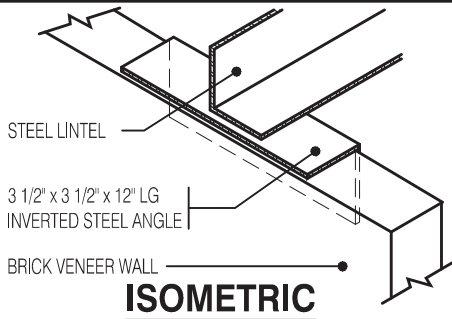
LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A =	1-1 3/4" x 7 1/4" (1-45x184)
LVL1 =	2-1 3/4" x 7 1/4" (2-45x184)
LVL2 =	3-1 3/4" x 7 1/4" (3-45x184)
LVL3 =	4-1 3/4" x 7 1/4" (4-45x184)
LVL4A =	1-1 3/4" x 9 1/2" (1-45x240)
LVL4 =	2-1 3/4" x 9 1/2" (2-45x240)
LVL5 =	3-1 3/4" x 9 1/2" (3-45x240)
LVL5A =	4-1 3/4" x 9 1/2" (4-45x240)
LVL6A=	1-1 3/4" x 11 7/8" (1-45x300)
LVL6 =	2-1 3/4" x 11 7/8" (2-45x300)
LVL7 =	3-1 3/4" x 11 7/8" (3-45x300)
LVL7A=	4-1 3/4" x 11 7/8" (4-45x300)
LVL8 =	2-1 3/4" x 14" (2-45x356)
LVL9 =	3-1 3/4" x 14" (3-45x356)

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INVERTED STEEL ANGLE DETAIL



Scale: 3/4" = 1'-0"

CHERRY 1 ELEV.-1	ENERGY EFFICIENCY- SB12		
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	393.78	41.35	10.50 %
LEFT SIDE	1237.04	0.00	0.00 %
RIGHT SIDE	1237.04	21.00	1.70 %
REAR	379.06	109.45	28.87 %
TOTAL	3246.92	171.80	5.29 %

ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELTED-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

SIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CCMC OR BMCC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72

CHERRY 1 ELEV.-2	ENERGY EFFICIENCY- SB12		
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	393.78	51.00	12.95 %
LEFT SIDE	1237.04	0.00	0.00 %
RIGHT SIDE	1237.04	21.00	1.70 %
REAR	379.06	109.45	28.87 %
TOTAL	3246.92	181.45	5.59 %

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER .

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)

PROVIDE P.ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

INSTALLATION OF FLUSH STEEL BEAMS SHALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)

P.ENG SOILS REPORT MAY BE REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	816 Sq. Ft.
SECOND FLOOR AREA	=	1121 Sq. Ft.
TOTAL FLOOR AREA	=	1937 Sq. Ft.
ADD OPEN AREAS	=	14 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1951 Sq. Ft.
GROUND FLOOR COVERAGE	=	816 Sq. Ft.
GARAGE COVERAGE / AREA	=	406 Sq. Ft.
PORCH COVERAGE / AREA	=	65 Sq. Ft.
COVERAGE W/ PORCH	=	1287 Sq. Ft.
	=	119.57 Sq. m.
COVERAGE W/O PORCH	=	1222 Sq. Ft.
	=	113.53 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	816 Sq. Ft.
SECOND FLOOR AREA	=	1130 Sq. Ft.
TOTAL FLOOR AREA	=	1946 Sq. Ft.
ADD OPEN AREAS	=	14 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	1960 Sq. Ft.
GROUND FLOOR COVERAGE	=	816 Sq. Ft.
GARAGE COVERAGE / AREA	=	406 Sq. Ft.
PORCH COVERAGE / AREA	=	65 Sq. Ft.
COVERAGE W/ PORCH	=	1287 Sq. Ft.
	=	119.57 Sq. m.
COVERAGE W/O PORCH	=	1222 Sq. Ft.
	=	113.53 Sq. m.

CITY OF CAMBRIDGE  
BUILDING DIVISION

THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in Order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code

02/13/2023  
INSPECTOR

MASTER PLAN  
MODEL: CHERRY 1  
BEDROOMS: 3  
ELEVATION: 2  
OPTIONS: (SAME AS ABOVE PLUS) 3-PC ROUGH-IN, REAR DECK CONDITION, 30"x24" BASEMENT WINDOW, 30"x30" BASEMENT WINDOW

Block 121 Units 1 to 6

STRUDET INC.



FOR STRUCTURE ONLY

LEGEND:

■ ■ ■	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
■	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
■ ■ ■	STL. PLATE FOR STEEL COL'N ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
○ ○	REPEAT NOTE
○	SHOWER WEEPERS

1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEVATION 1 & 2  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6		
5		
4	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
2	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCHURE

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

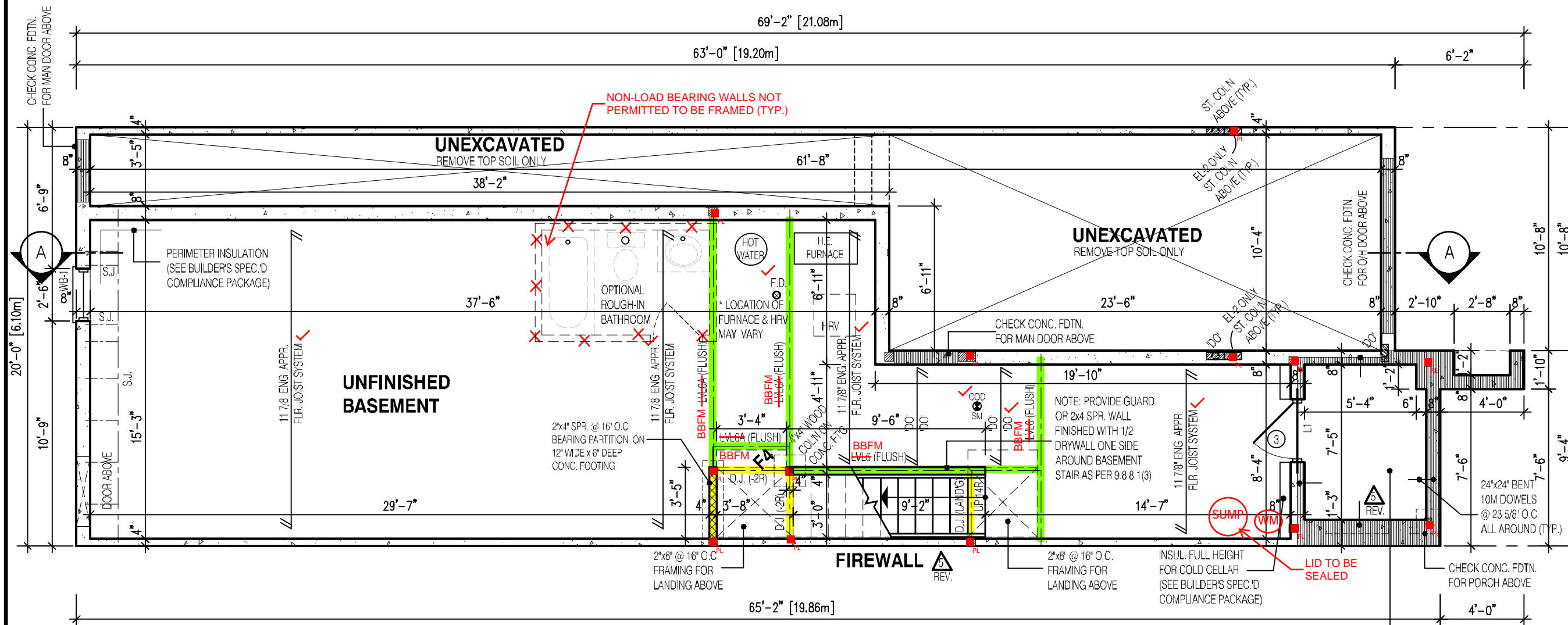
Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

TITLE SHEET  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

	MODEL: CHERRY 1	
	SCALE: 3/16"= 1'-0"	
	PROJ. No. 21-35	DWG. No. 0



## CHERRY 1 BASEMENT PLAN EL-12

VERIFY WATER METER AND DWHR  
UNIT LOCATION WITH INSPECTOR

SPRAY FOAM/RIGID INSULATION TO BE  
PROTECTED AS PER 9.10.17.10. (1)

WATER METER TO BE INSTALLED WITHIN 2m  
(6'-6") FROM THE POINT THE WATER SERVICE  
PIPE MEETS THE BUILDING LINE

REQUIRED CONTINUOUS INSULATION  
CANNOT BE INTERRUPTED BY FRAMING  
MEMBERS SUCH AS STUDS

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS  
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION  
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE  
OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING  
CODE AND ANY OTHER REFERENCED REQUIREMENTS.

### NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

### NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

### NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED  
FLOOR TRUSS LAYOUT BY MANUFACTURER.

### NOTE:

SUBFLOOR TO BE  
3/4" PLYWOOD ON  
THIS LEVEL  
ALL FLOORS TO BE  
NAILED AND GLUED  
ON THIS LEVEL

### LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)  
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED  
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to  
ensure that all plans submitted for approval  
fully comply with the Architectural Guidelines  
and all applicable regulations and requirements  
including zoning provisions and any provisions  
in the subdivision agreement. The Control  
Architect is not responsible in any way for  
examining or approving site (lotting) plans or  
working drawings with respect to any zoning or  
building code or permit matter or that any  
house can be properly built or located on its lot.

This is to certify that these plans comply with  
the applicable Architectural Design  
Guidelines approved by the City of  
CAMBRIDGE

STRUDET INC.



FOR STRUCTURE ONLY

1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEVATION 1 & 2  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND  
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.  
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP  
INC. PRIOR TO COMMENCEMENT OF WORK.  
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY  
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON  
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE  
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE  
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.  
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING  
FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT  
OFFICIAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY  
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO  
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT  
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THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT  
TO BE REPRODUCED.

7		
6		
5	JAN. 5, 2023	REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT
4	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
2	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCCURE

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility  
for this design and has the qualifications and meets the  
requirements set out in the Ontario Building Code to be  
a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.5 of the building code

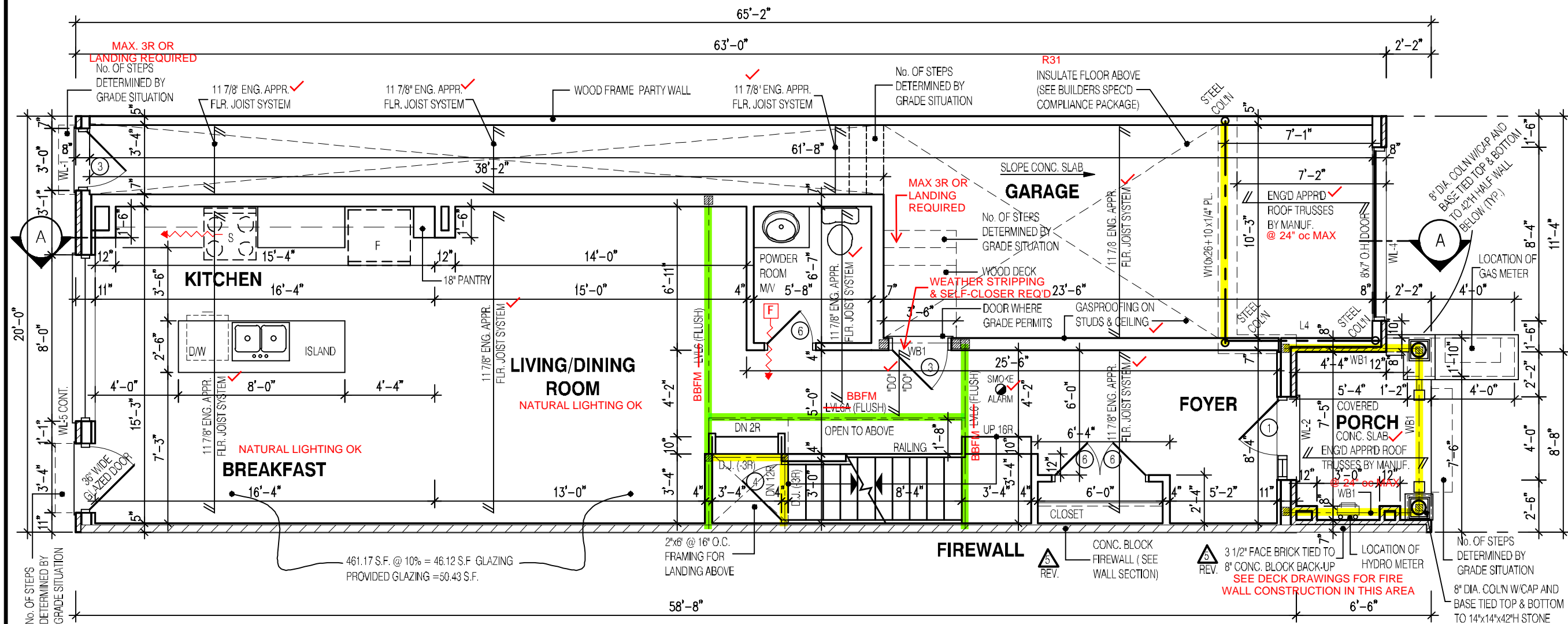
Walter Botte *WBE* 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection  
3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

BASEMENT PLAN EL-12  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

MODEL: CHERRY 1  
SCALE: 3/16"=1'-0"  
PROJ. No. DWG. No.  
21-35 1



CHERRY 1  
FIRST FLOOR PLAN EL-2

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	<b>NOTE:</b> SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'
<b>NOTE:</b> REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	<b>NOTE:</b> THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

<b>NOTE:</b> SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	<b>LEGEND:</b> ■ BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) ■ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE ■ STL. PLATE FOR STEEL COLN ABOVE LVL LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST ○ REPEAT NOTE ○ SHOWER WEEPERS
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It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
January 11, 2023  
PROFESSOR OF ONTARIO

FOR STRUCTURE ONLY

1951

6.10m LOTS

CHERRY 1 (GR)

ELEVATION 2

A1 PACKAGE

O.REG. 332/12

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7	
6	
5	JAN. 5, 2023
4	AUG. 31, 2022
3	AUG. 29, 2022
2	JUN. 20, 2022
1	MAR. 28, 2022

REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT  
ISSUED FOR BUILDING PERMIT  
COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS  
PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT  
ISSUED TO CLIENT FOR BROCCURE

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botte 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

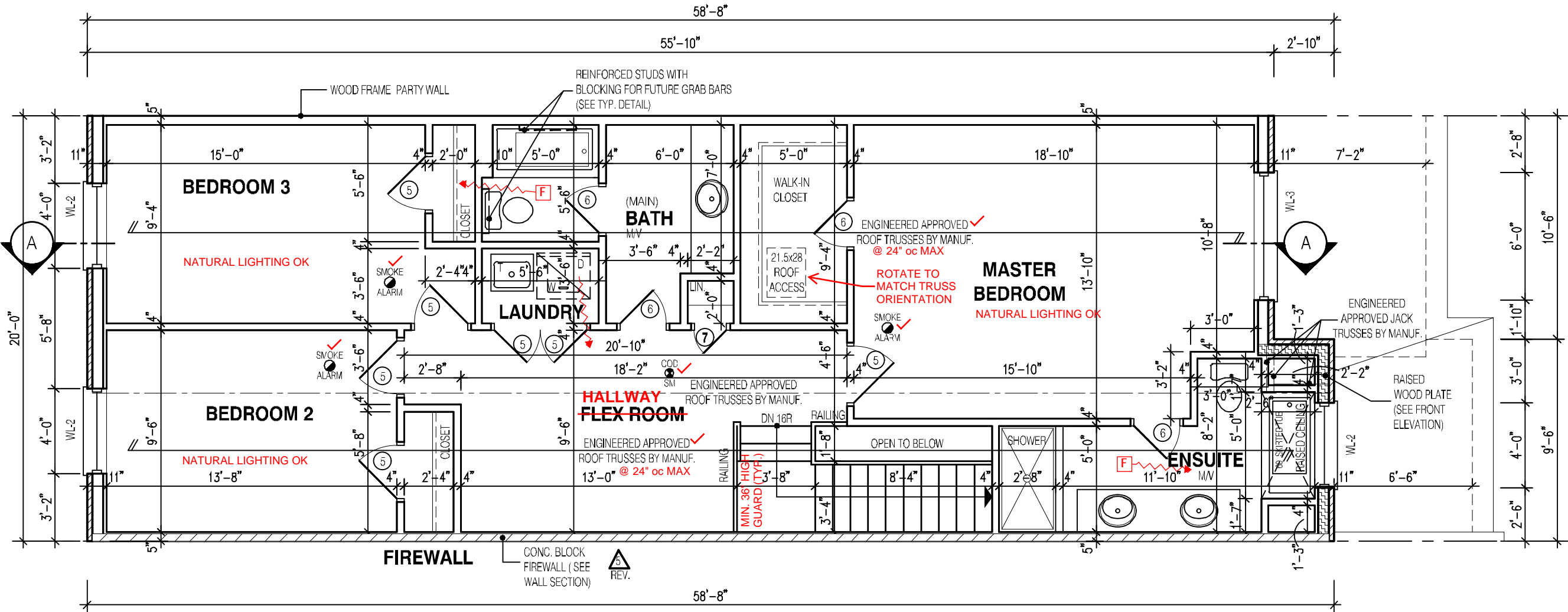
jardin design group inc. 27763  
FIRM NAME BCIN

FIRST FLOOR PLAN EL-2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

MODEL: CHERRY 1  
SCALE: 3/16"=1'-0"  
PROJ. No. 21-35 DWG. No. 2A



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CHERRY 1  
SECOND FLOOR PLAN EL-2

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED ARE OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

**NOTE:**  
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- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
  - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
  - STL. PLATE FOR STEEL COL'N ABOVE
  - LVL LAMINATED VENEER LUMBER
  - S.J. SINGLE JOIST
  - D.J. DOUBLE JOIST
  - T.J. TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS

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STRUDET INC.



FOR STRUCTURE ONLY

1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEVATION 2  
A1 PACKAGE  
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.  
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.  
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.  
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7		
6		
5	JAN. 5, 2023	REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT
4	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
2	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCCURE

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botte 21031  
NAME SIGNATURE BCIN

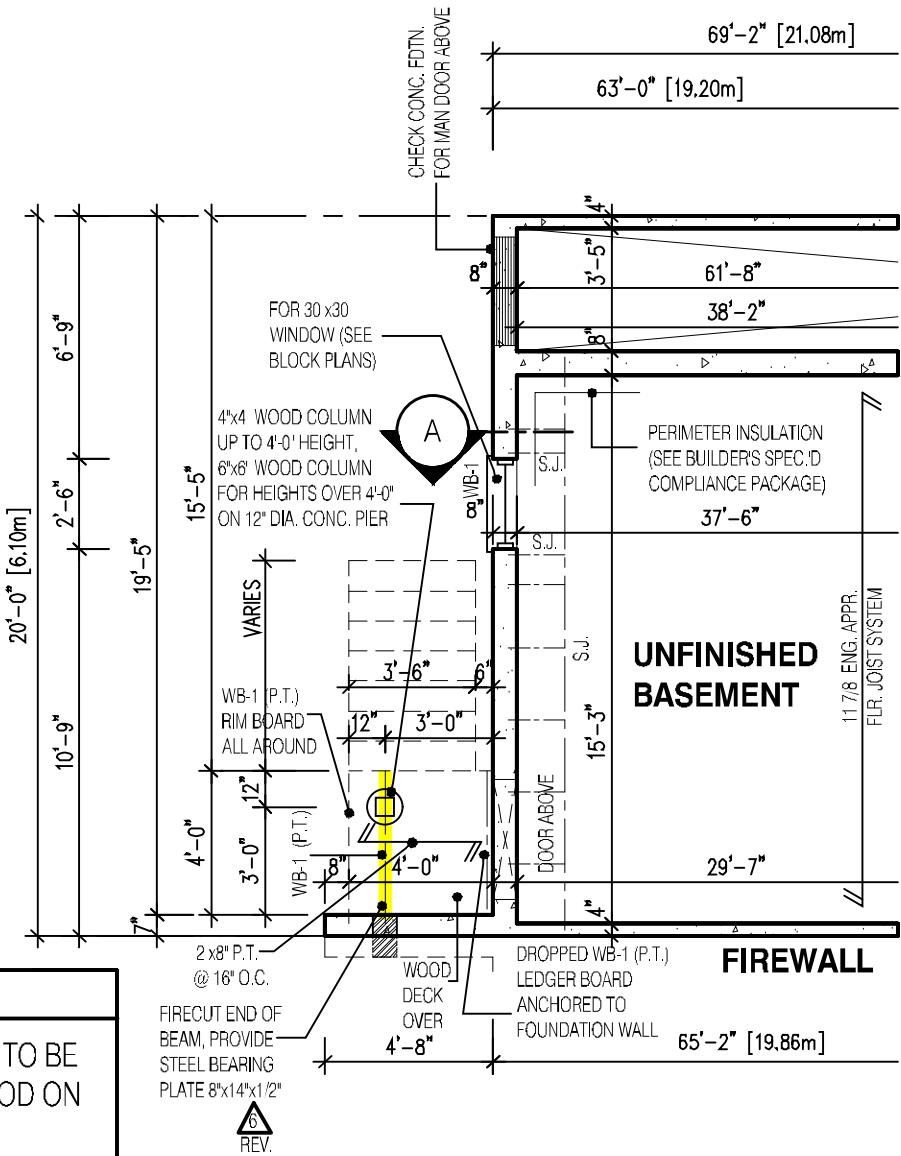
REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

SEC. FLOOR PLAN EL-2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

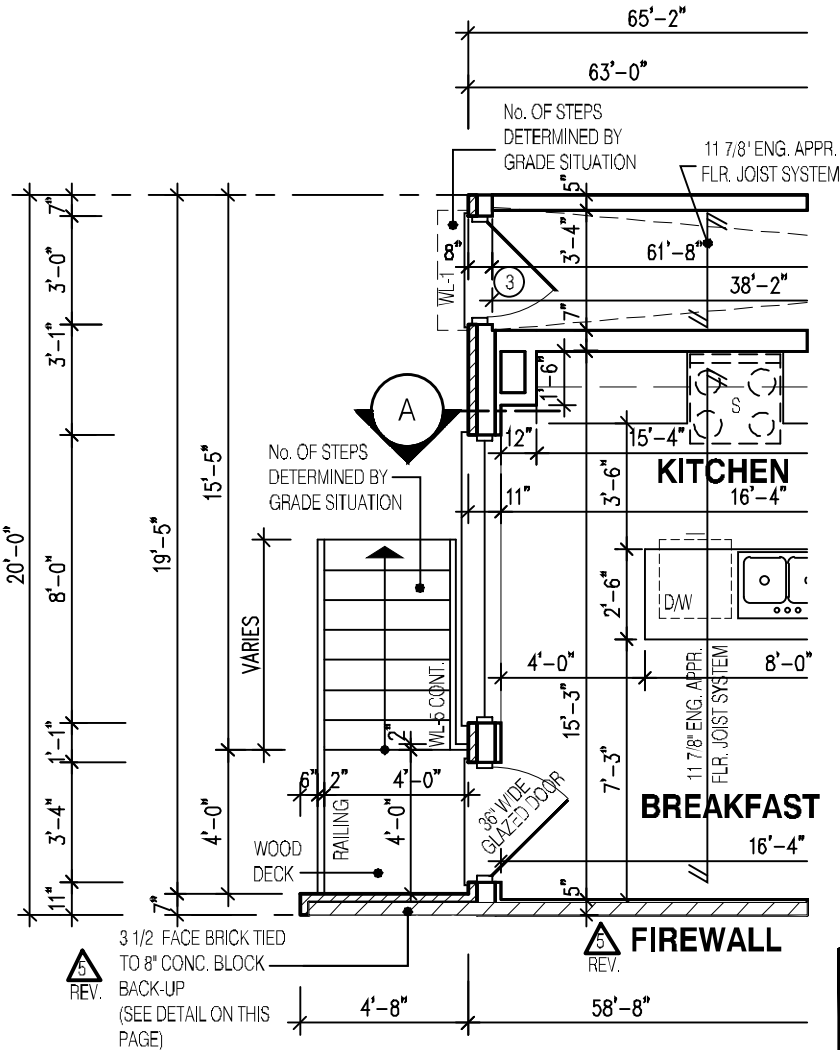
MODEL: CHERRY 1  
SCALE: 3/16"=1'-0"  
PROJ. No. 21-35 DWG. No. 3A

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

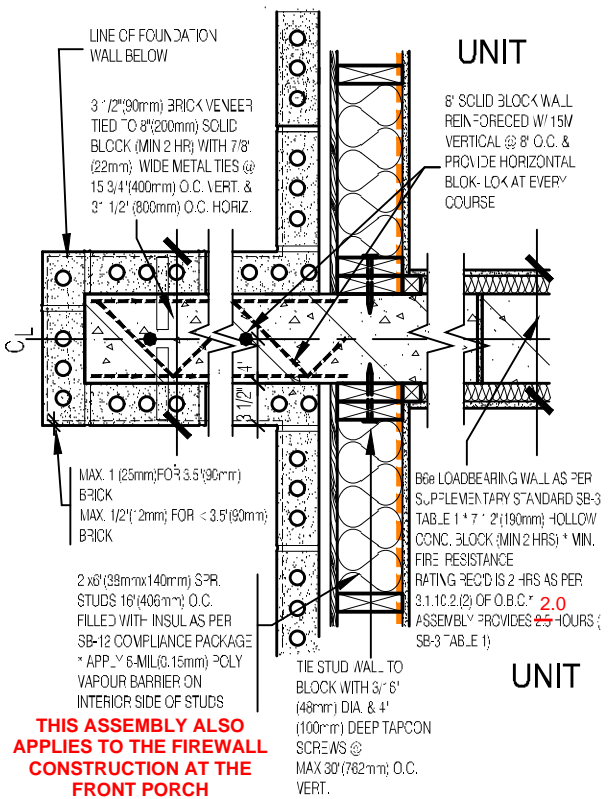


NOTE:  
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

PARTIAL BASEMENT LAYOUT FOR DECK CONDITION EL-2



PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1



FIREWALL EXT. MASONRY WALL ADJACENT TO WOOD DECKS

NOTE:  
SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL  
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

- LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
  - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
  - STL. PLATE FOR STEEL COL'N ABOVE
  - LVL LAMINATED VENEER LUMBER
  - S.J. SINGLE JOIST
  - D.J. DOUBLE JOIST
  - T.J. TRIPLE JOIST
  - REPEAT NOTE
  - SHOWER WEEPERS

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVIDED  
January 23, 2023  
FOR STRUCTURE ONLY

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1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEVATION 2  
A1 PACKAGE  
O.REG. 332/12

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7		
6	JAN. 23, 2023	REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT
5	JAN. 5, 2023	REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT
4	AUG. 31, 2022	ISSUED FOR BUILDING PERMIT
3	AUG. 29, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
2	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCHURE

No: DATE: WORK DESCRIPTION:

jardin  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION  
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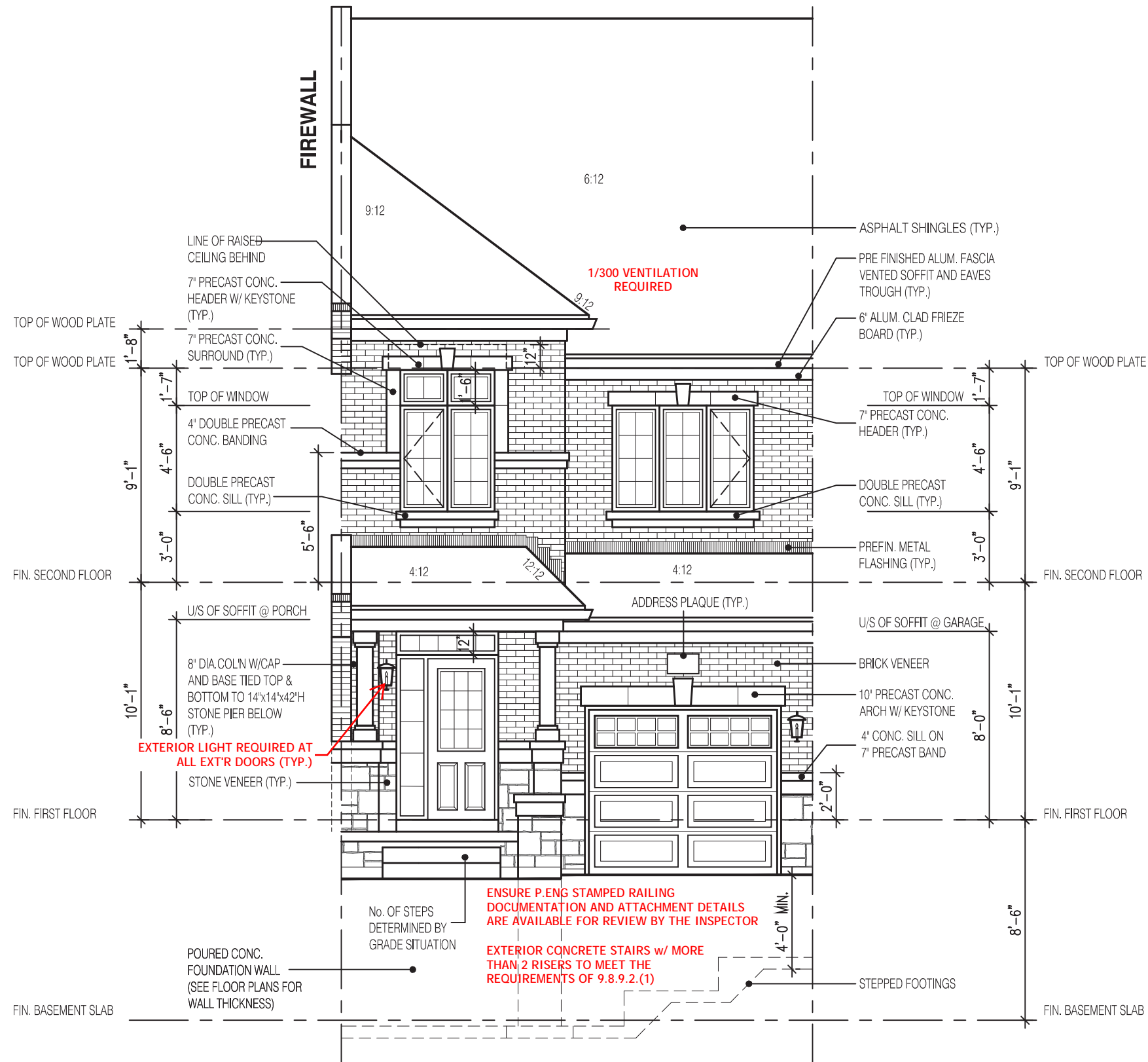
Walter Bottel 21037  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763  
FIRM NAME BCIN

DECK CONDITION EL-2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

MODEL:  
CHERRY 1  
SCALE:  
3/16" = 1'-0"  
PROJ. No. 21-35 DWG. No. 3A-1



CHERRY 1  
FRONT ELEVATION 2

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1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEVATION 2  
A1 PACKAGE  
O.REG. 332/12

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7		
6		
5		
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2	JUN. 20, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1		

No: DATE: WORK DESCRIPTION:

**jardin**  
DESIGN GROUP INC  
64 JARDIN DR. SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
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Walter Botte 21031  
NAME SIGNATURE BCIN

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jardin design group inc. 27763  
FIRM NAME BCIN

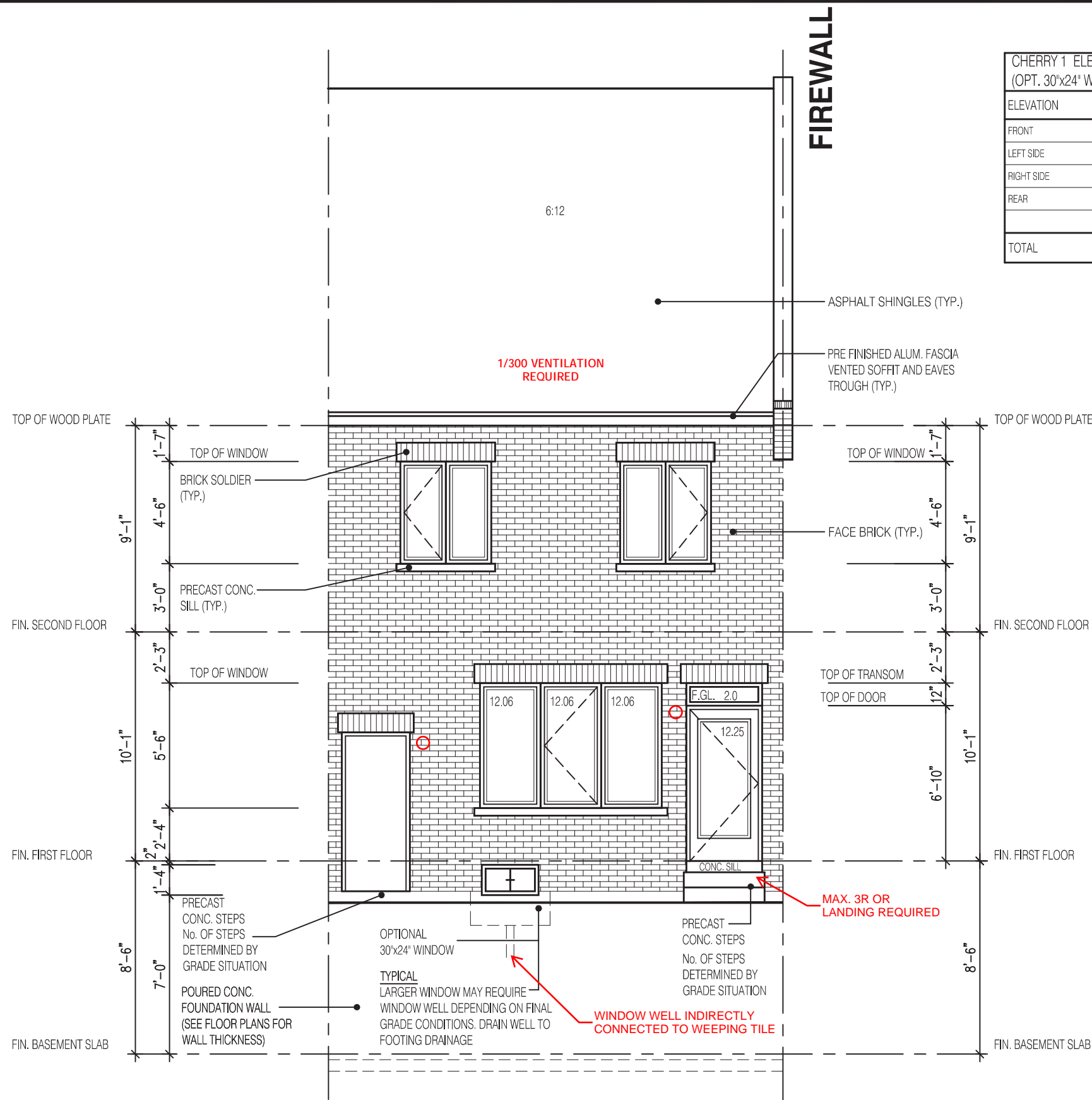
FRONT ELEVATION 2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

MODEL: CHERRY 1  
SCALE: 3/16" = 1'-0"  
PROJ. No. 21-35 DWG. No. 4A

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: OCT 11, 2022  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



CHERRY 1 ELEV.-2 (OPT. 30"x24" WINDOW)		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT <sup>2</sup>	OPENING FT <sup>2</sup>	PERCENTAGE
FRONT	393.78	51.00	12.95 %
LEFT SIDE	1237.04	0.00	0.00 %
RIGHT SIDE	1237.04	21.00	1.70 %
REAR	379.06	111.12	29.31 %
TOTAL	3246.92	183.12	5.64 %

1951

6.10m LOTS

CHERRY 1 (GR)  
ELEVATION 2

A1 PACKAGE

O.REG. 332/12

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1	MAR. 28, 2022	ISSUED TO CLIENT FOR BROCHURE

No:      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A  
VAUGHAN ONT, L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

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Walter Botte 21031

NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
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jardin design group inc. 27763

FIRM NAME BCIN

REAR ELEVATION 2

BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

BILD

MODEL:  
CHERRY 1

SCALE:  
3/16"= 1'-0"

PROJ. No.  
21-35

DWG. No.  
5A

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

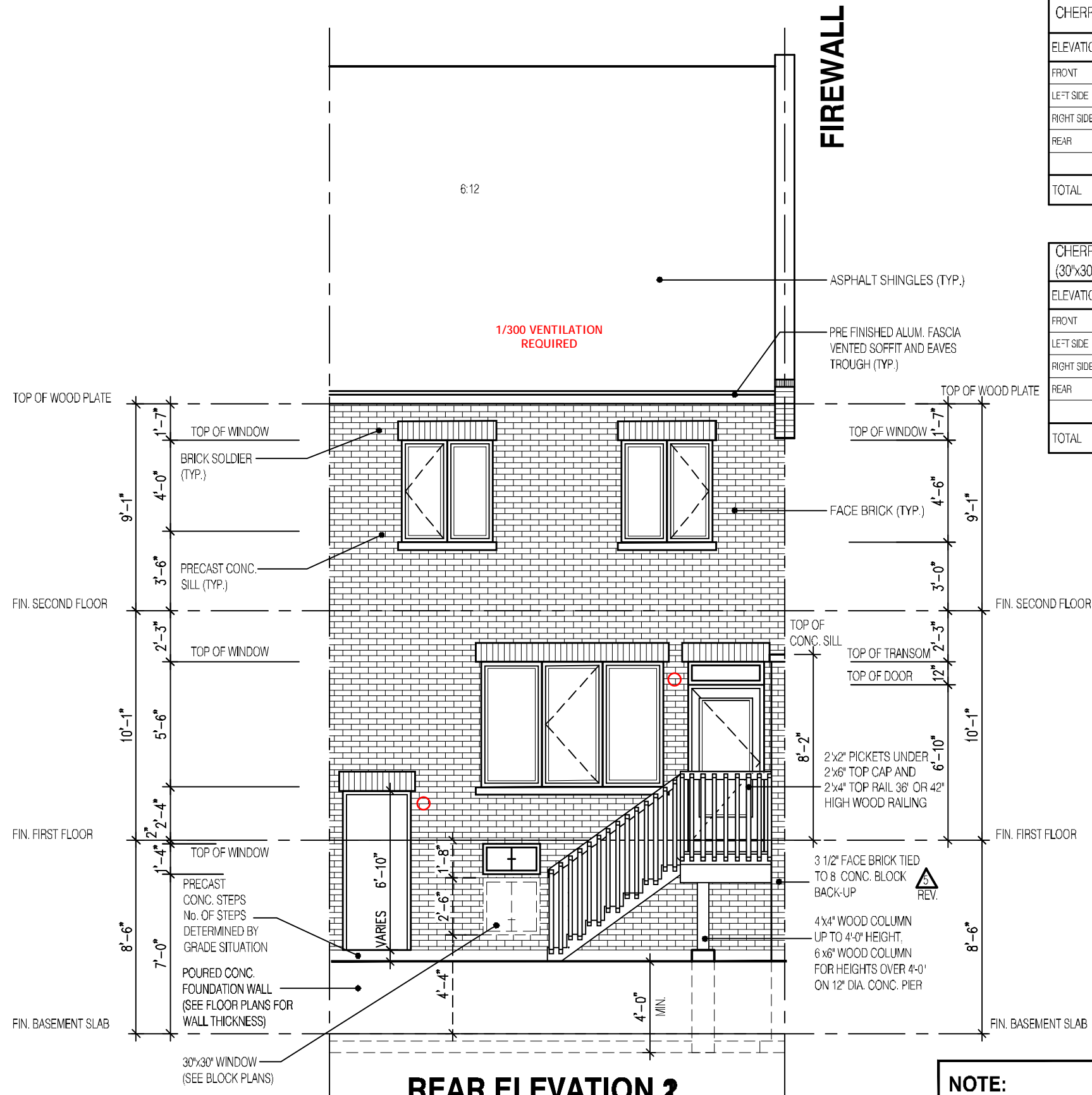
APPROVED BY:

DATE: OCT 11, 2022

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REAR ELEVATION 2  
DECK CONDITION  
(FIREWALL)

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CHERRY 1 ELEV.-2 (DECK CONDITION)		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	393.78	51.00	12.95 %
LEFT SIDE	1237.04	0.00	0.00 %
RIGHT SIDE	1237.04	21.00	1.70 %
REAR	435.94	109.45	25.11 %
TOTAL	3303.80	181.45	5.49 %

CHERRY 1 ELEV.-2 (DECK CONDITION) (30"x30" WINDOW)		ENERGY EFFICIENCY- SB12	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	393.78	51.00	12.95 %
LEFT SIDE	1237.04	0.00	0.00 %
RIGHT SIDE	1237.04	21.00	1.70 %
REAR	435.94	112.35	25.77 %
TOTAL	3303.80	184.35	5.58 %

FOR ADDITIONAL DECK STRUCTURE  
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:  
WHEN VENEER CUT IS GREATER THAN  
26" A 10" POURED CONC. FOUNDATION  
WALL IS REQUIRED.  
(FOUNDATION PLAN TO BE REVIEWED  
IN CONJUNCTION WITH SITE PLAN)

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1951

6.10m LOTS

CHERRY 1 (GR)  
ELEVATION 2

A1 PACKAGE

O.REG. 332/12

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No:      DATE:      WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR, SUITE 3A  
VAUGHAN ONT. L4K 3P3  
TEL: 905 660-3377 FAX: 905 660-3713  
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the Building Code

Walter Botte  
NAME      SIGNATURE      21037 BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the Building Code

jardin design group inc.      27763 BCIN  
FIRM NAME

DECK CONDITION EL-2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

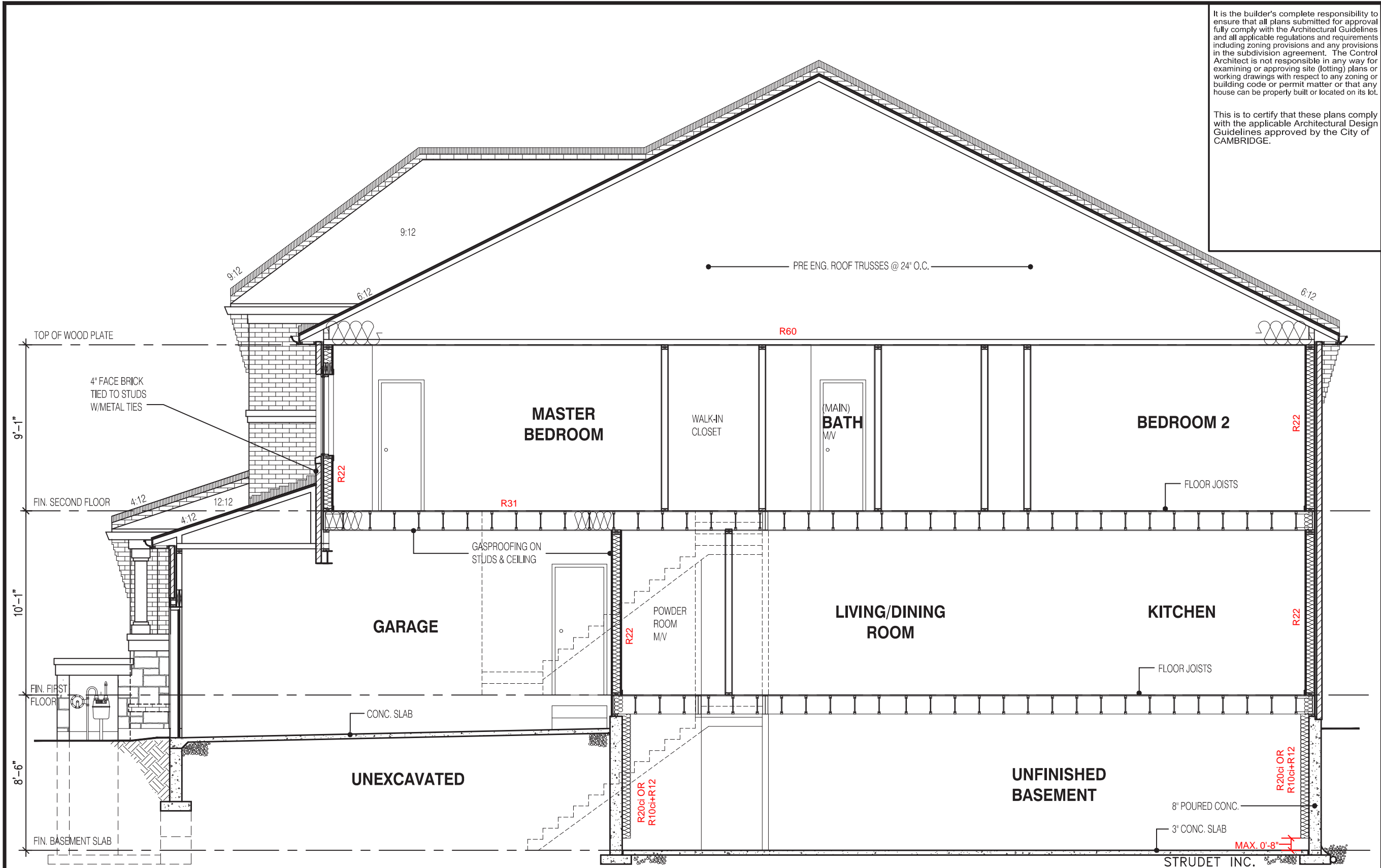
MODEL:  
CHERRY 1

SCALE:  
3/16" = 1'-0"

PROJ. No.  
21-35

DWG. No.  
5A-1





SECTION A-A ELEVATION 2

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1951
6.10m LOTS
CHERRY 1 (GR) ELEVATION 2
A1 PACKAGE
O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

**jardin**  
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64 JARDIN DR. SUITE 3A  
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Walter Botte *Walter Botte* 21031  
NAME SIGNATURE BCIN

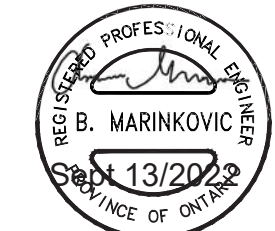
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jardin design group inc. 27763  
FIRM NAME BCIN

SECTION A-A EL-2  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE


	MODEL:	CHERRY 1
	SCALE:	3/16" = 1'-0"
	PROJ. No.	21-35
	DWG. No.	6A

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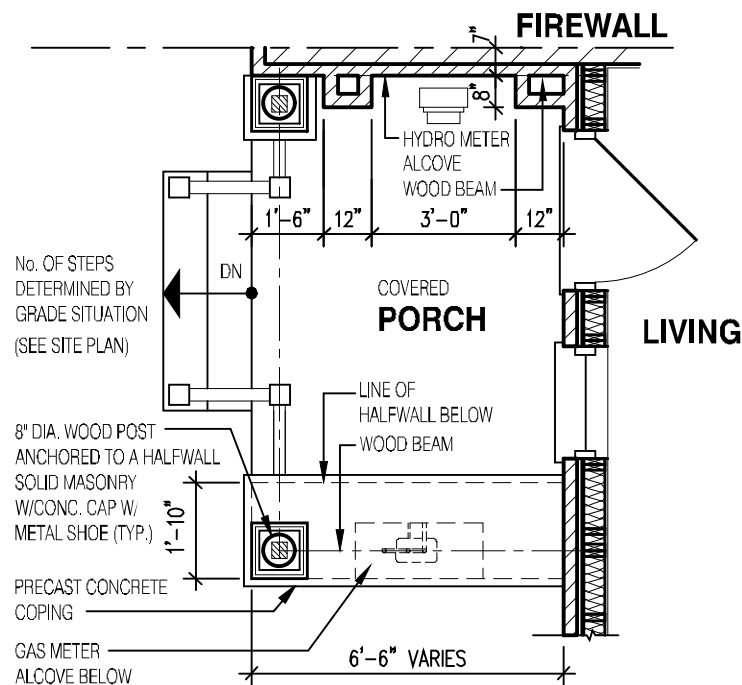



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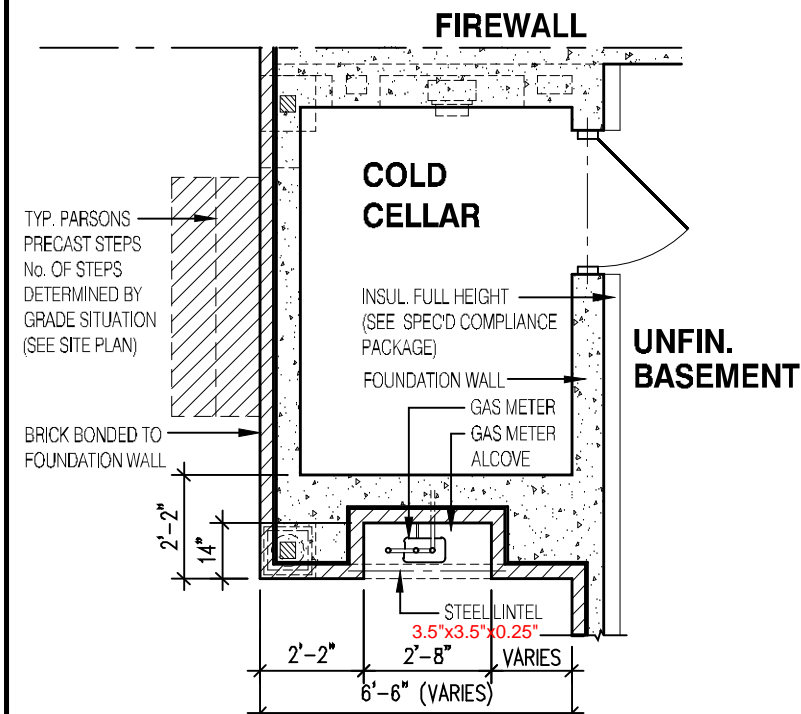
**S**  REV. 5  
Scale: 3/8" = 1'-0"


**D-1**



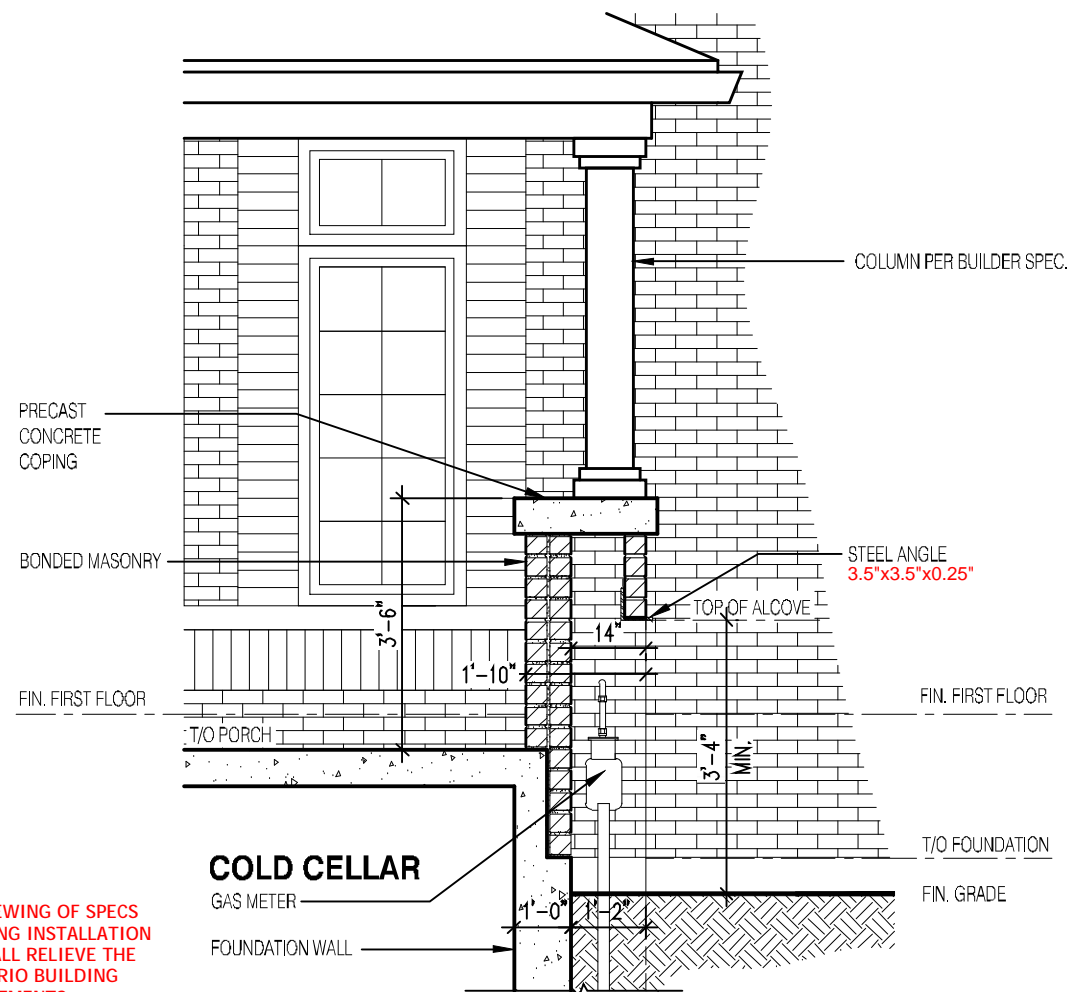
**FOR**  **REV.**  
Scale: 1/4" = 1'-0"

**D-2**



**FOR**  REV.  
Scale: 1/4" = 1'-0"

**D-3**



Scale:  $3/8'' = 1'-0''$

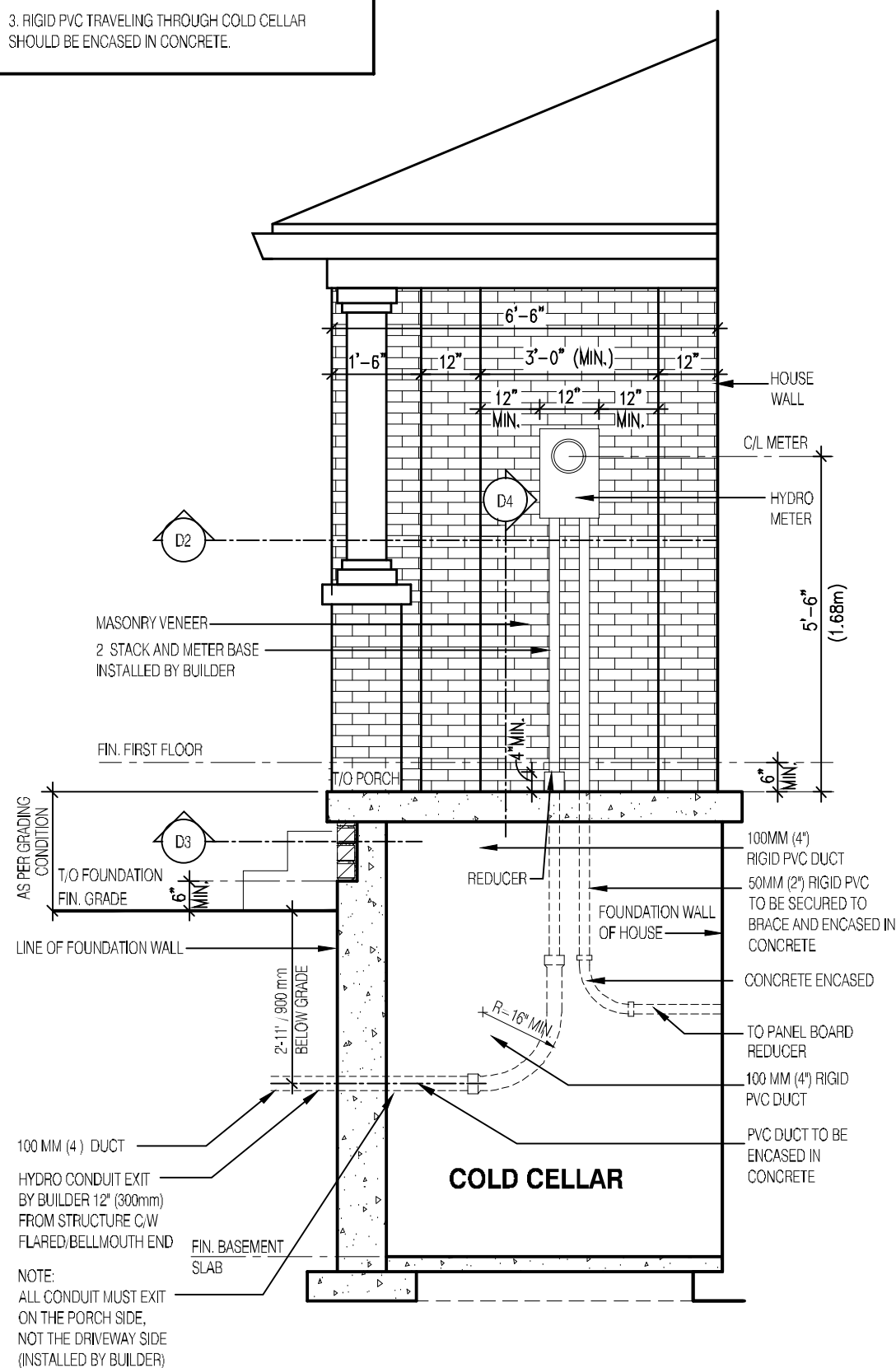
**D-4**

<b>1951</b>	
<b>6.10m LOTS</b>	
<b>CHERRY 1 (GR)</b>	
<b>ELEV- 1 &amp; 2</b>	
<b>A1 PACKAGE</b>	
<b>O.REG. 332/12</b>	
<p>THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.</p> <p>JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.</p> <p>AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.</p> <p>JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.</p>	
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6	
5	JAN. 5, 2023      REV. AS PER CITY COMMENTS; REISSUED FOR PERMIT
4	
3	
2	AUG. 31, 2022      ISSUED BUILDING PERMIT
1	FEB. 15, 2022      PREPARED AND ISSUED TO CLIENT FOR REVIEW
No:      DATE:      WORK DESCRIPTION:	
<p><b>JARDIN</b> DESIGN GROUP INC</p> <p>64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3</p> <p>TEL: 905 660-3377    FAX: 905 660-3713</p> <p>EMAIL: info@jardindesign.ca</p>	
<p>The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer</p> <p style="text-align: center;">QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p> <span style="float: left;">Walter Botter</span> <span style="float: right;">21031</span> </p> <p> <span style="float: left;">NAME</span> <span style="float: right;">SIGNATURE</span> <span style="float: right;">BCIN</span> </p> <p style="text-align: center;">REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code</p> <p> <span style="float: left;">jardin design group inc.</span> <span style="float: right;">27763</span> </p> <p> <span style="float: left;">FIRM NAME</span> <span style="float: right;">BCIN</span> </p>	
<p><b>GAS METER DETAIL</b></p> <p><b>BARLASSINA CONSTRUCTION</b></p> <p><b>CITY OF CAMBRIDGE</b></p>	
<p><b>BILD</b></p>	<p>MODEL:</p> <hr/> <p>SCALE:      AS NOTED</p> <hr/> <p>PROJ. No.      DWG. No.</p> <p style="text-align: center;">21-35      7</p>

NOTE:

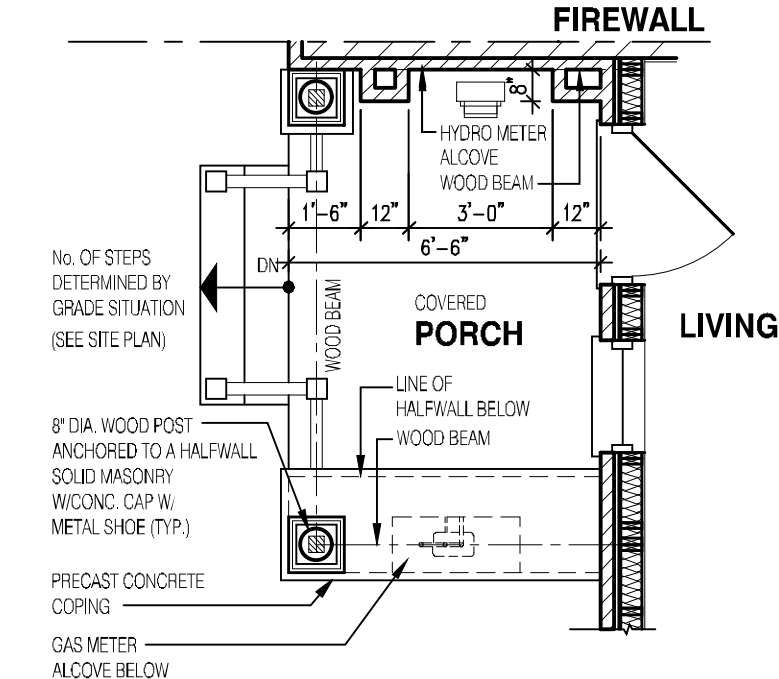
- METER BASES TO BE SURFACE MOUNTED
- FOR ALLOWABLE METER BASES REFER TO PAGE 2-13 SECTION 2.5.1 OF THE "ENERGY + MATERIALS AND CONSTRUCTION SPECIFICATIONS"
- RIGID PVC TRAVELING THROUGH COLD CELLAR SHOULD BE ENCASED IN CONCRETE.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.



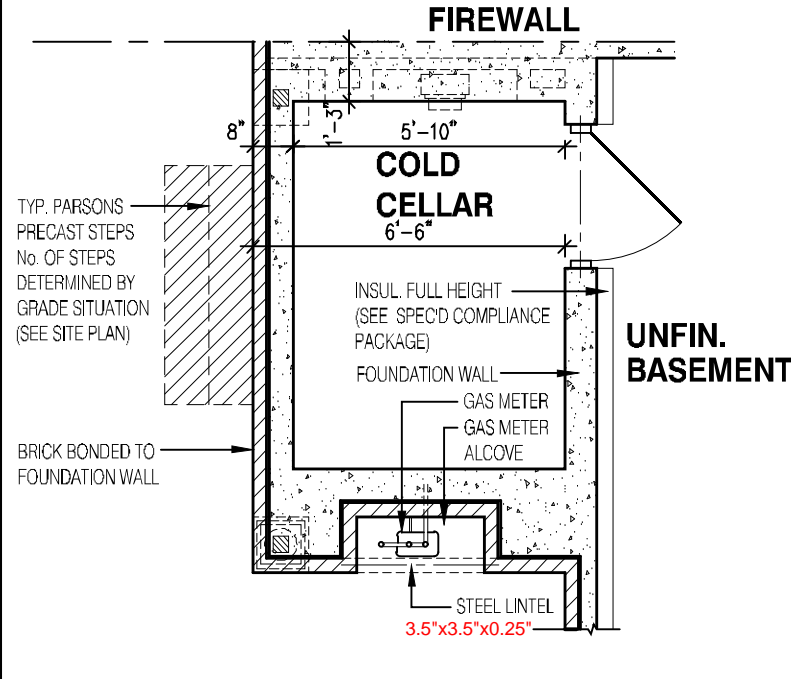
ELEVATION OF RECESSED WALL FOR HYDRO METER AT PORCH Scale: 3/8" = 1'-0"

D-1



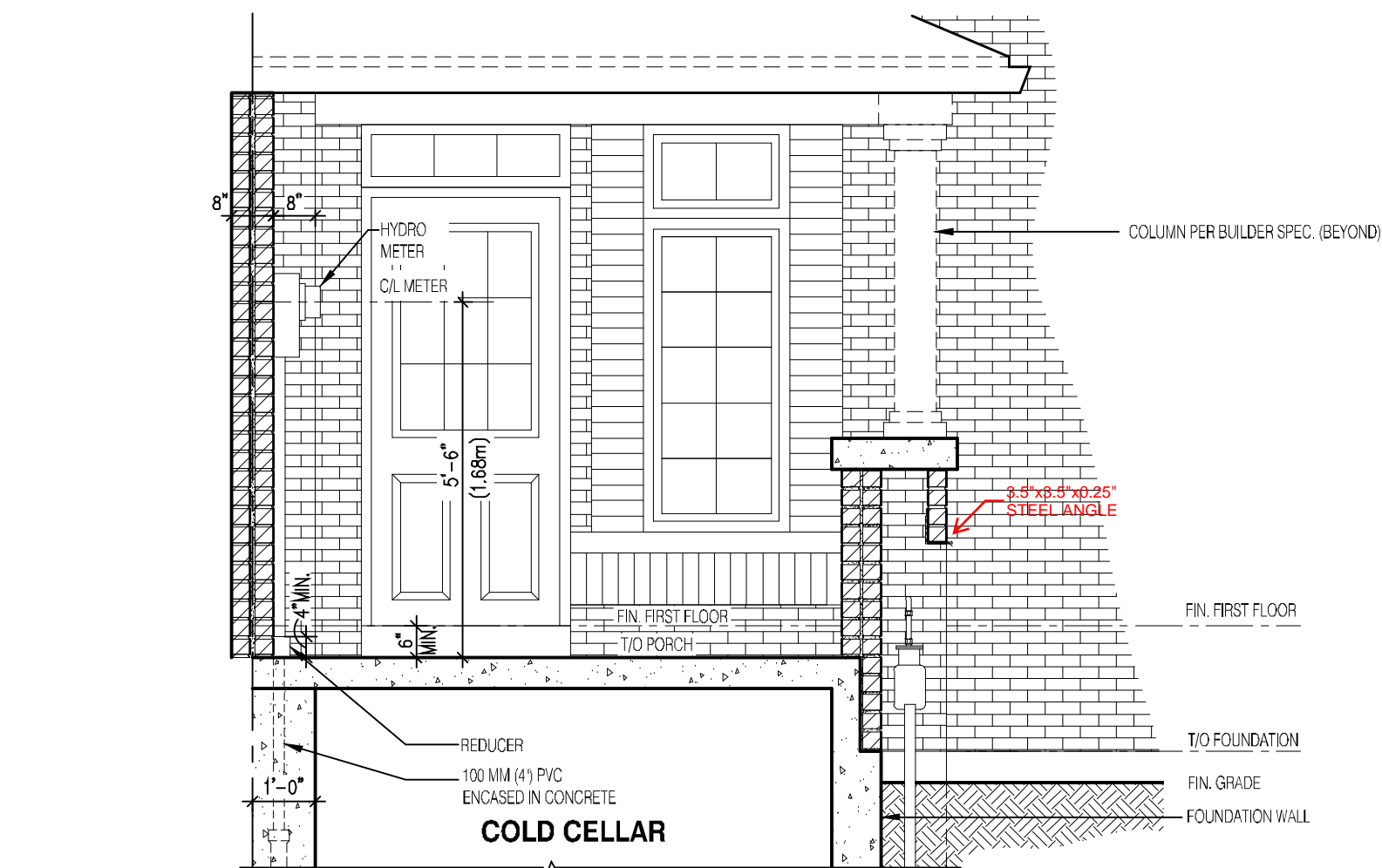
PLAN OF RECESSED WALL FOR HYDRO METER AT PORCH Scale: 1/4" = 1'-0"

D-2



PLAN OF RECESSED WALL FOR HYDRO METER AT PORCH Scale: 1/4" = 1'-0"

D-3



SECTION OF RECESSED WALL FOR HYDRO METER AT PORCH

Scale: 3/8" = 1'-0"

D-4

1951  
6.10m LOTS  
CHERRY 1 (GR)  
ELEV- 1 & 2  
A1 PACKAGE  
O.REG. 332/12

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**jardin**  
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Walter Botter 21031  
NAME SIGNATURE BCIN

REGISTRATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763  
FIRM NAME BCIN

HYDRO METER DETAIL  
BARLASSINA CONSTRUCTION  
CITY OF CAMBRIDGE

MODEL:  
SCALE: AS NOTED  
PROJ. No. DWG. No.  
21-35 8