

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
120 KPa NATIVE SOIL 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE : ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

P.ENG SOILS REPORT IS REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 995 Sq. Ft.
SECOND FLOOR AREA	= 1177 Sq. Ft.
TOTAL FLOOR AREA	= 2172 Sq. Ft.
ADD OPEN AREAS	= 18 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2190 Sq. Ft.
GROUND FLOOR COVERAGE	= 995 Sq. Ft.
GARAGE COVERAGE / AREA	= 242 Sq. Ft.
PORCH COVERAGE / AREA	= 74 Sq. Ft.
COVERAGE W/ PORCH	= 1311 Sq. Ft.
	= 121.80Sq. m.
COVERAGE W/O PORCH	= 1237 Sq. Ft.
	= 114.92Sq. m.

AREA CALCULATIONS EL-2	
FIRST FLOOR AREA	= 995 Sq. Ft.
SECOND FLOOR AREA	= 1177 Sq. Ft.
TOTAL FLOOR AREA	= 2172 Sq. Ft.
ADD OPEN AREAS	= 18 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2190 Sq. Ft.
GROUND FLOOR COVERAGE	= 995 Sq. Ft.
GARAGE COVERAGE / AREA	= 242 Sq. Ft.
PORCH COVERAGE / AREA	= 74 Sq. Ft.
COVERAGE W/ PORCH	= 1311 Sq. Ft.
	= 121.80Sq. m.
COVERAGE W/O PORCH	= 1237 Sq. Ft.
	= 114.92Sq. m.

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 997 Sq. Ft.
SECOND FLOOR AREA	= 1179 Sq. Ft.
TOTAL FLOOR AREA	= 2176 Sq. Ft.
ADD OPEN AREAS	= 18 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2194 Sq. Ft.
GROUND FLOOR COVERAGE	= 997 Sq. Ft.
GARAGE COVERAGE / AREA	= 242 Sq. Ft.
PORCH COVERAGE / AREA	= 74 Sq. Ft.
COVERAGE W/ PORCH	= 1313 Sq. Ft.
	= 121.98Sq. m.
COVERAGE W/O PORCH	= 1239 Sq. Ft.
	= 115.11Sq. m.

2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 1, 2 & 3
A1 PACKAGE
O.REG. 332/12
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK. JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED FOR THE ACCURACY OF THE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUING OF THE PERMIT. REFER TO THE APPROPRIATE PERMITTING AGENCIES BEFORE PROCEEDING WITH WORK. CONVERTS MUST BE VERIFIED PRIOR TO POURING CONCRETE. JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE CONTRACTOR OR SUB CONTRACTOR TO WORK IN ACCORDANCE WITH THE CONTRACT

PAD FOOTING		
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)		

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:	
WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.	WL6 = 5" x 3 1/2" x 5 1/8" (125x90x6) + 2- 2" x 12" SPR.
WL2 = 4" x 3 1/2" x 5 1/8" (100x90x8) + 2- 2" x 8" SPR.	WL7 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 10" SPR.
WL3 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2- 2" x 10" SPR.	WL8 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 12" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.	WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.	

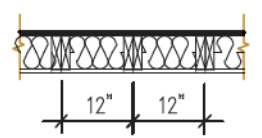
WOOD LINTELS:	
WB1 = 2- 2" x 8" SPRUCE BEAM	WB6 = 3- 2" x 12" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM	WB7 = 5- 2" x 12" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM	WB10 = 4- 2" x 8" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM	WB11 = 4- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM	

STEEL LINTELS:	
L1 = 3 1/2 x 3 1/2 x 1 1/4" (90 x 90 x 6)	L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)	L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)	L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	

MASTER PLAN
MODEL: GARDEN 1 ELEVATION: 3
BEDROOMS: 3
OPTIONS: (SAME AS ABOVE PLUS), **SUNKEN
FOYER, ALT 2ND FLOOR (4 bedroom), LOOK
OUT DECK, WALK OUT DECK/BASEMENT.**

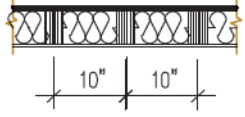
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED ROOF
TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW
BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS
GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION	FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF
ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12. MAX U-1.6, ER-25	P.ENG SOILS REPORT MAY BE REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR
FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELT-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.	INSTALLATION OF FLUSH STEEL BEAMS SHALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)
MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS	REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)
SIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CMC OR BMCC APPROVAL, OR A MINISTERS RULING	PROVIDE P.ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION
A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGHIN PLUMBING FIXTURES	NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.
A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS	
THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72	
TOTAL	3179.93 251.94 7.92 %

GARDEN 1 EL-3 (3 & 4 BEDROOM) ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	527.50	119.97	22.74 %
LEFT SIDE	1117.90	54.67	4.89 %
RIGHT SIDE	1076.39	0.00	0.00 %
REAR	494.79	121.28	24.51 %
TOTAL	3216.58	295.91	9.20 %

**CITY OF CAMBRIDGE
BUILDING DIVISION**

THESE PLANS have been examined for compliance
with the Ontario Building Code Requirements. A
Building Permit is in Order to issue subject to any
changes noted under the condition that the building will
be constructed in accordance with the code

Inspector: Thomas Weisner 2023-03-16
DATE

7		
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5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

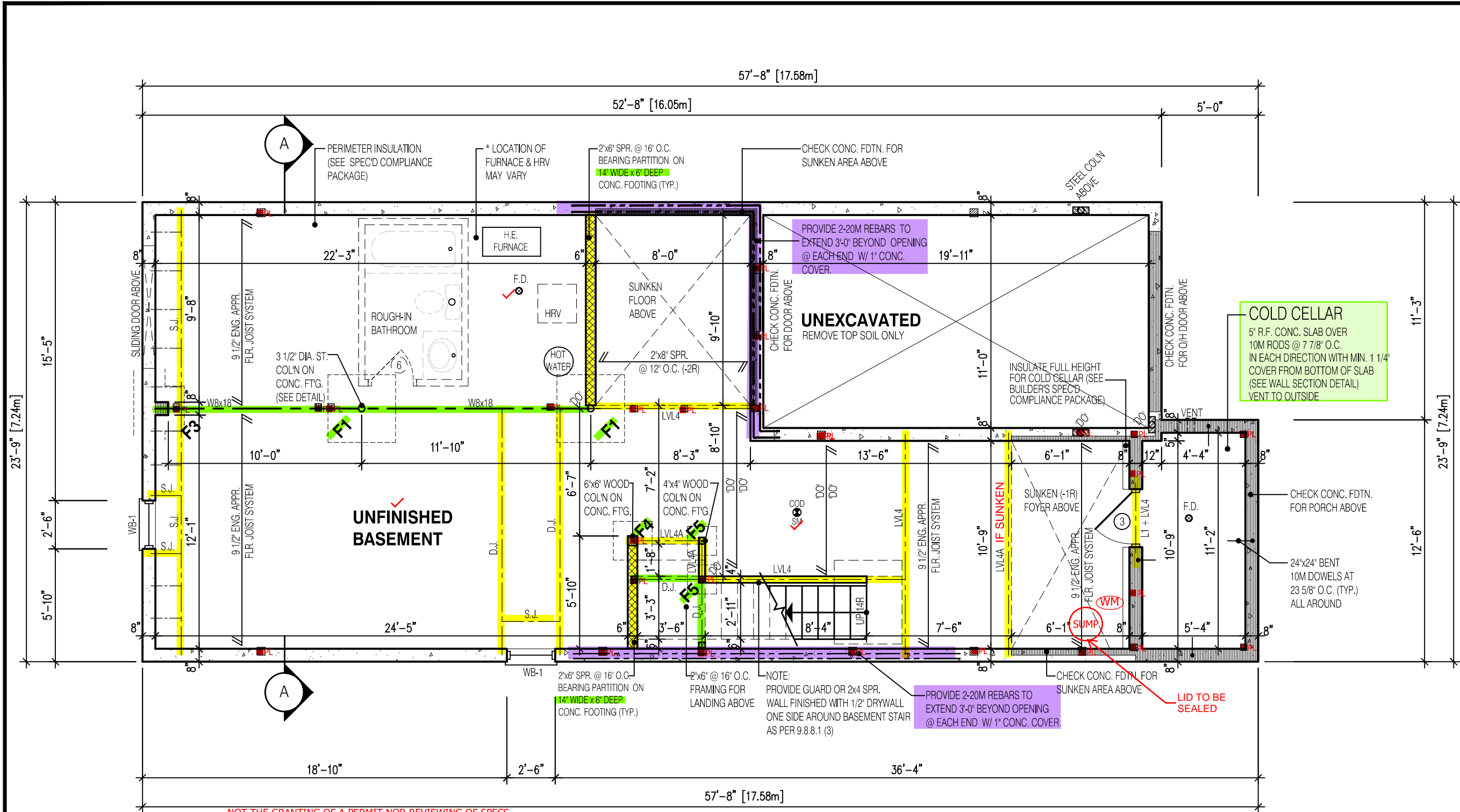
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
21-35 0

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.



2190

9.14m LOTS

GARDEN 1 (GR)

ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A

VAUGHAN ONT, L4K 3P3

TEL: 905 660-3377 FAX: 905 660-3713

EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

27763

FIRM NAME

BCIN

BASEMENT PLAN EL-3

BARLASSINA CONSTRUCTION

CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)

SCALE:
3/16" = 1'-0"

PROJ. No.
21-35

DWG. No.
1B

REQUIRED CONTINUOUS INSULATION CANNOT BE INTERRUPTED BY FRAMING MEMBERS SUCH AS STUDS

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NON-LOAD BEARING WALLS NOT PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"

MINIMUM CEILING HEIGHT UNDER BULKHEADS 6'-5"

3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

VERIFY WATER METER AND DWHR UNIT LOCATION WITH INSPECTOR

SPRAY FOAM/RIGID INSULATION TO BE PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)

INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE

STL. PLATE FOR STEEL COL'N ABOVE

LAMINATED VENEER LUMBER

SINGLE JOIST

DOUBLE JOIST

TRIPLE JOIST

REPEAT NOTE

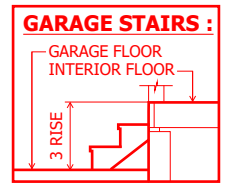
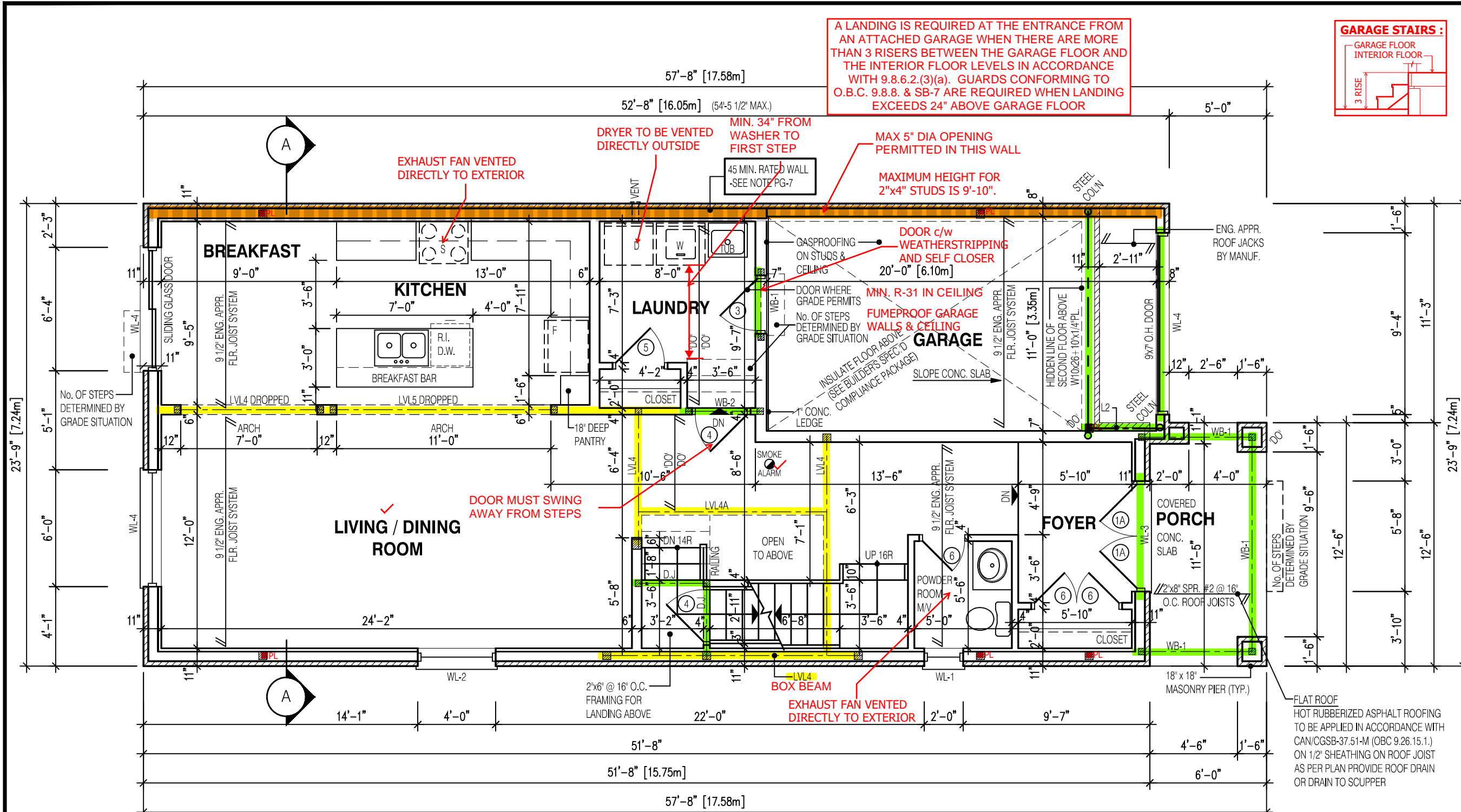
SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.

FOR STRUCTURE ONLY



2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL: GARDEN 1 (GR)
SCALE: 3/16"=1'-0"
PROJ. No. 21-35 DWG. No. 2B

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COL'N ABOVE LVL LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
--	---

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STRUDET INC.

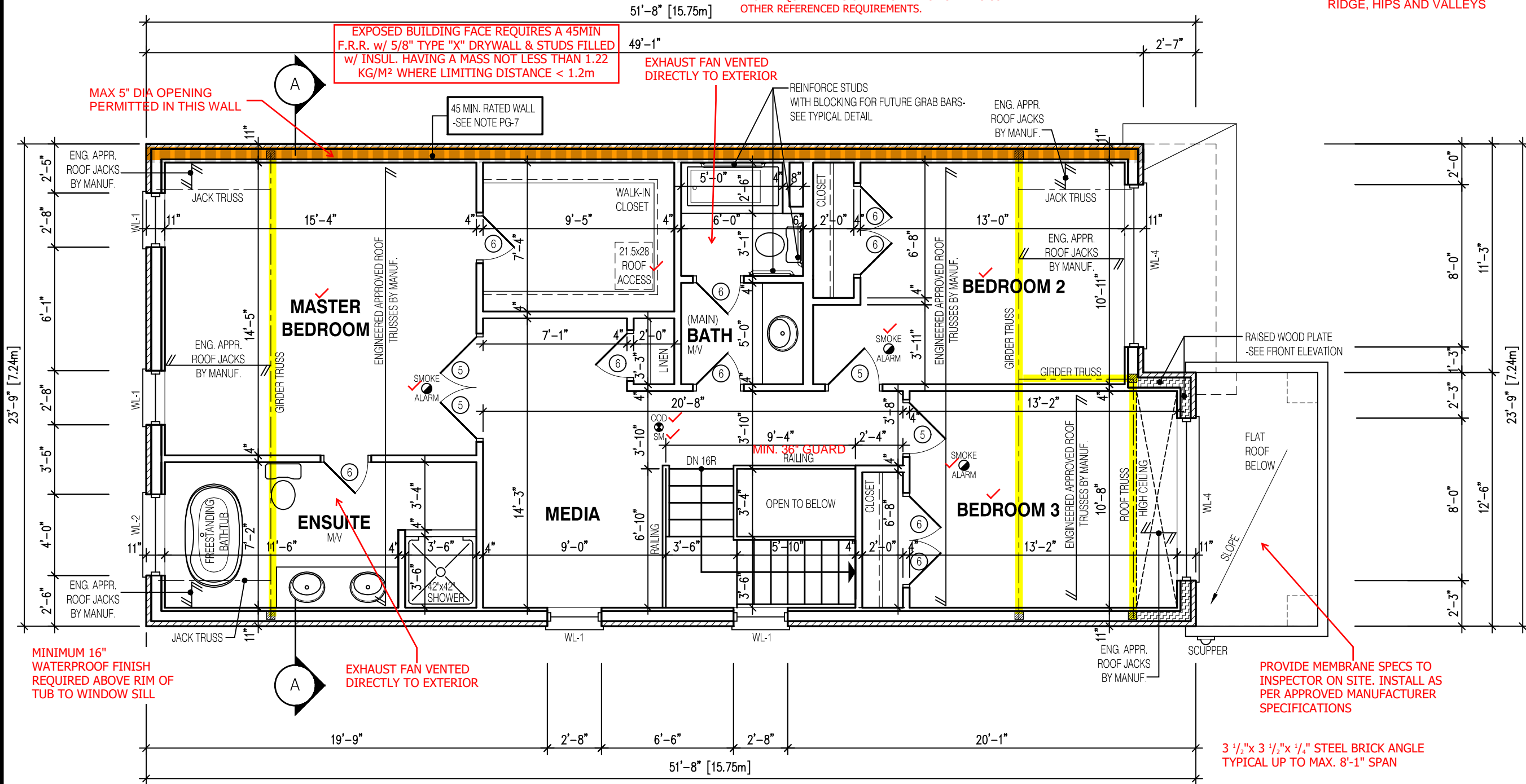
FOR STRUCTURE ONLY

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED ARE OF 3.85F w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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STRUDET INC.



FOR STRUCTURE ONLY

2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

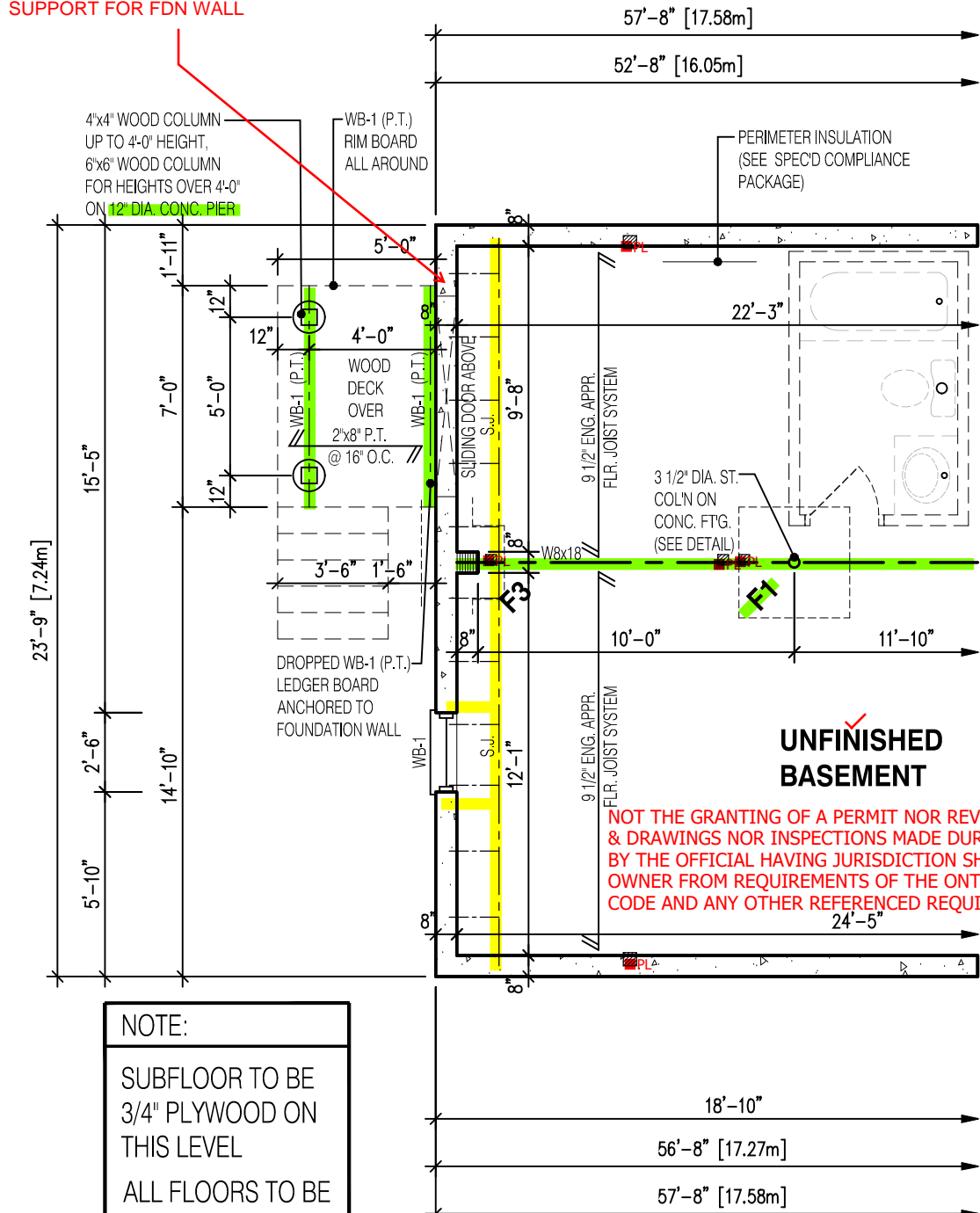
jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL:	GARDEN 1 (GR)
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	3B

REDUCTION IN FOUNDATION THICKNESS
TO COMPLY WITH 9.15.4.7.(2).

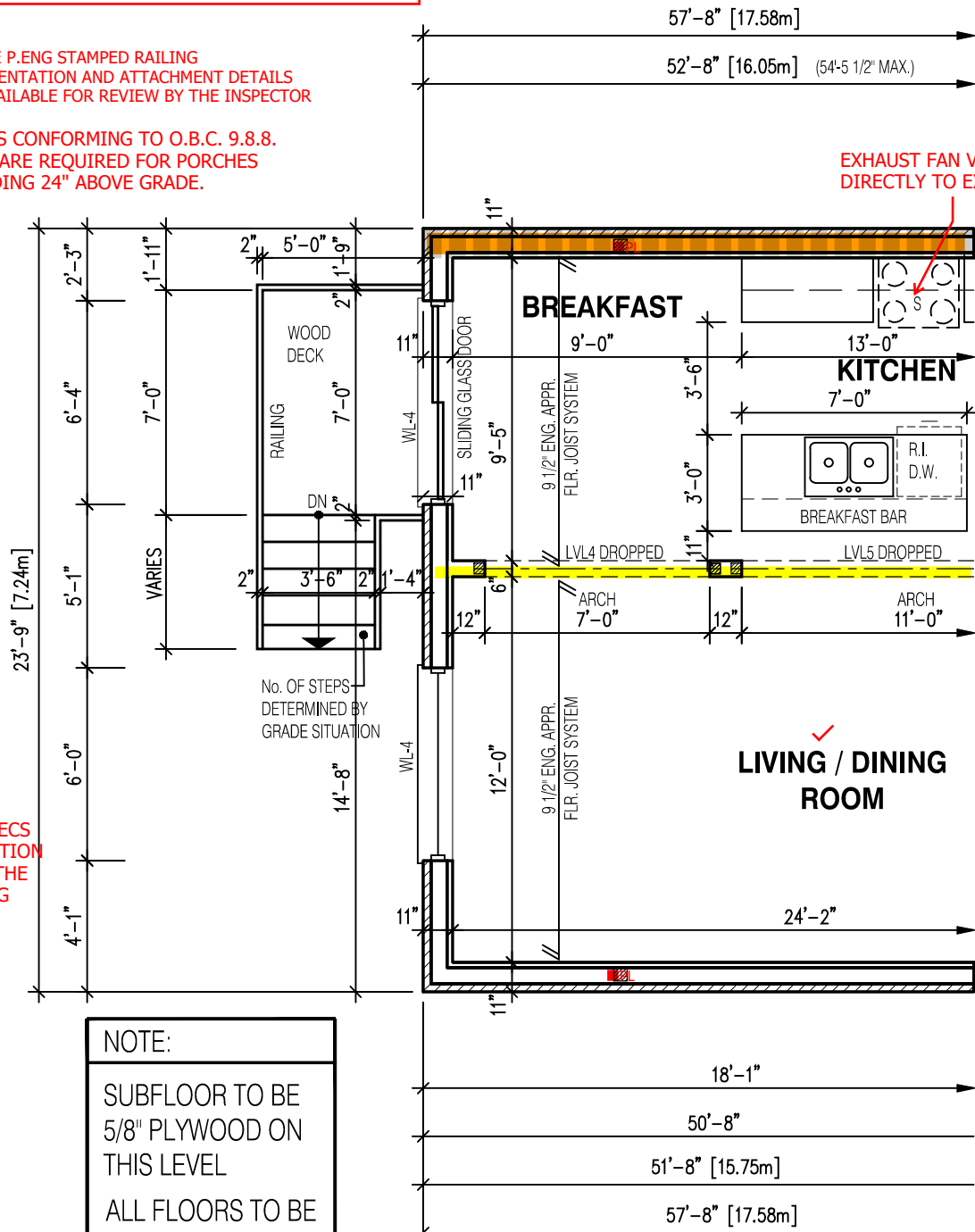
BRICK LEDGE TO PROVIDE LATERAL
SUPPORT FOR FDN WALL



ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.



STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Cambridge.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:

WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:

REFER TO SHEET NO. 0 - FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

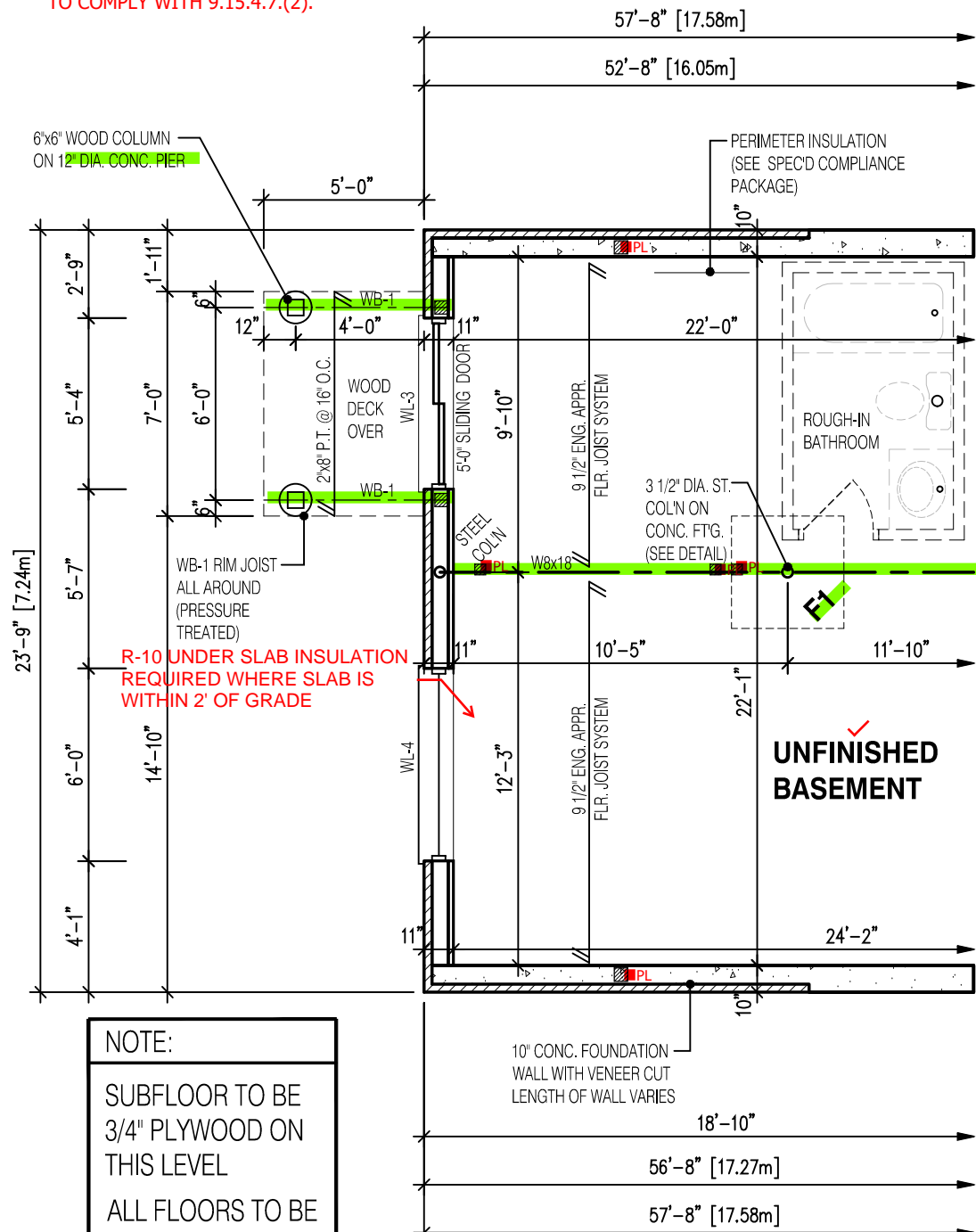
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. 21-35 DWG. No. 3B-1

REDUCTION IN FOUNDATION THICKNESS
TO COMPLY WITH 9.15.4.7.(2).



NOTE:
SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

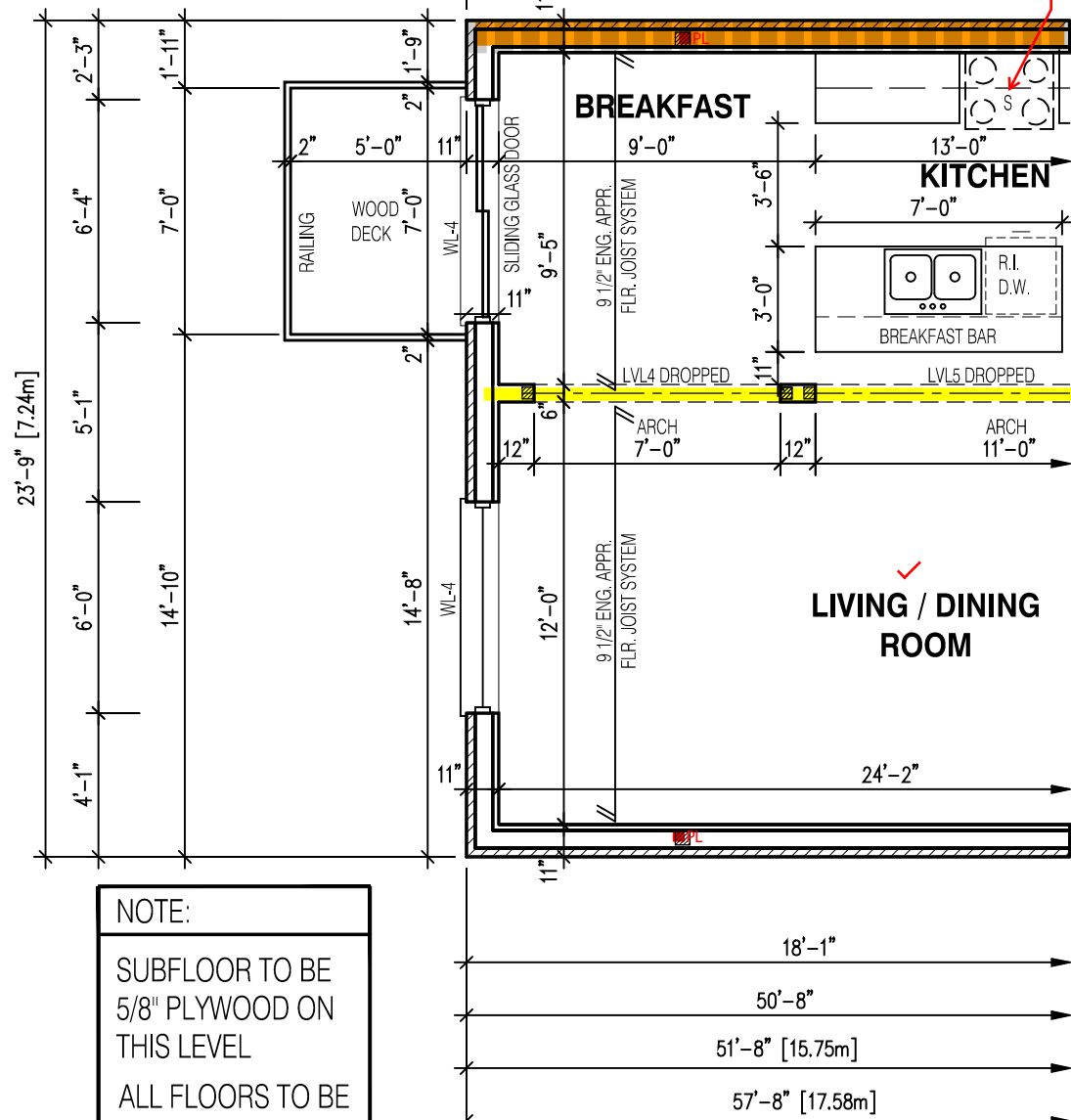
PARTIAL BASEMENT LAYOUT
FOR DECK/WALK-OUT CONDITION EL-3

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING
CODE AND ANY OTHER REFERENCED REQUIREMENTS.

*FOUNDATION WALL
4'-7" MAX. FROM GRADE TO SLAB FOR 10" UNSUPPORTED SOLID CONC. WALL
3'-11" MAX. FROM GRADE TO SLAB FOR 8" UNSUPPORTED SOLID CONC. WALL
2'-7" MAX. FROM GRADE TO SLAB FOR 6" UNSUPPORTED SOLID CONC. WALL
(AS PER O.B.C. 9.15.4.2)



NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT
FOR DECK/WALK-OUT CONDITION EL-3

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

EXHAUST FAN VENTED
DIRECTLY TO EXTERIOR

STRUDET INC.



FOR STRUCTURE ONLY

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ensure that all plans submitted for approval
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and all applicable regulations and requirements
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house can be properly built or located on its lot.

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with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.

2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
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INC. PRIOR TO COMMENCEMENT OF WORK.
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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer
Qualification Information
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

DECK/WALK-OUT CONDITION EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

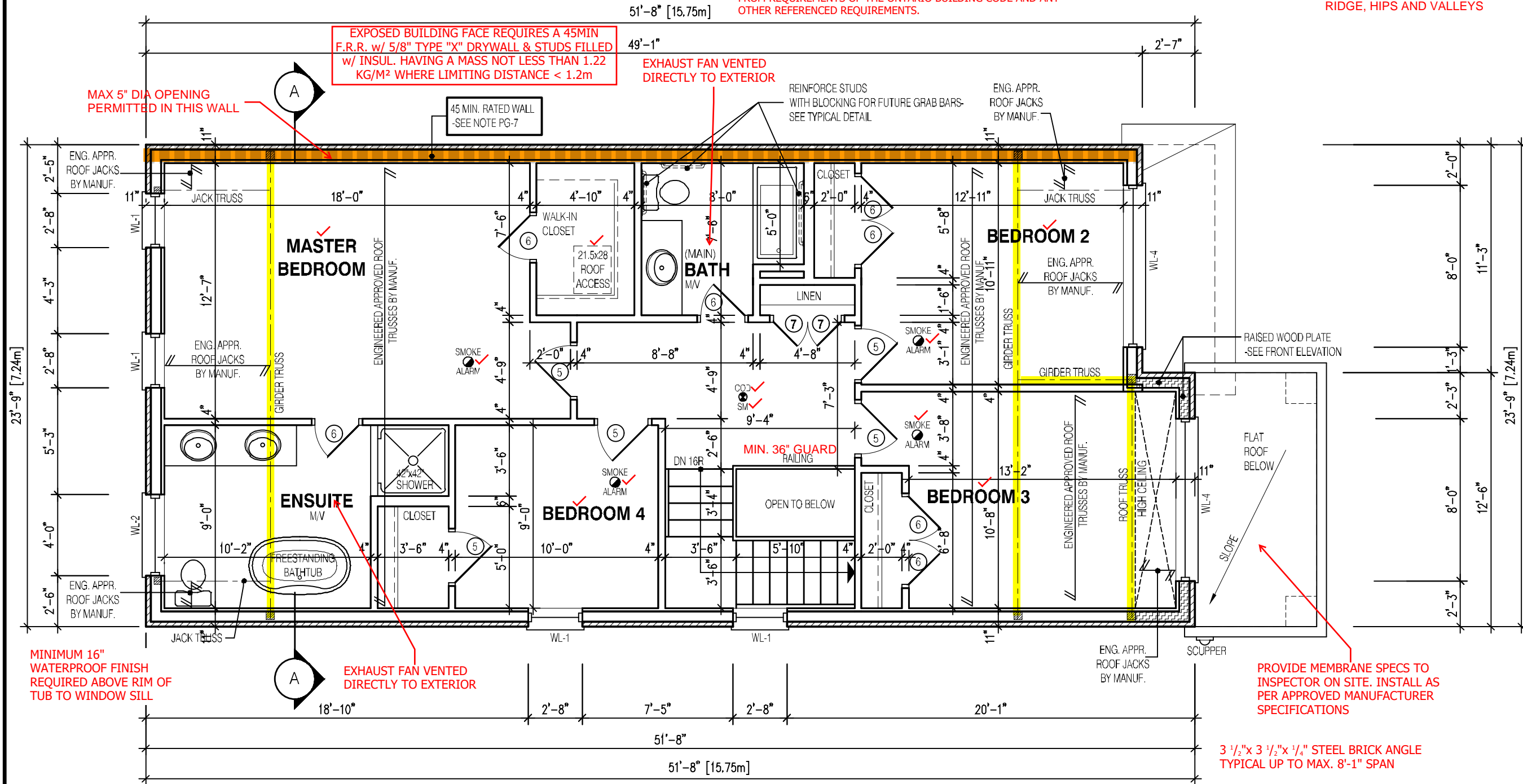
MODEL:
GARDEN 1 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
21-35 3B-2

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.85SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

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OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



ALT. - 4 BEDROOM LAYOUT

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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STRUDET INC.



FOR STRUCTURE ONLY

2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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7		
6		
5		
4		
3		
2		
1	JAN. 11, 2023	ADDED 4 BEDROOM LAYOUT PER CLIENT REQUEST

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
Qualification Information
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

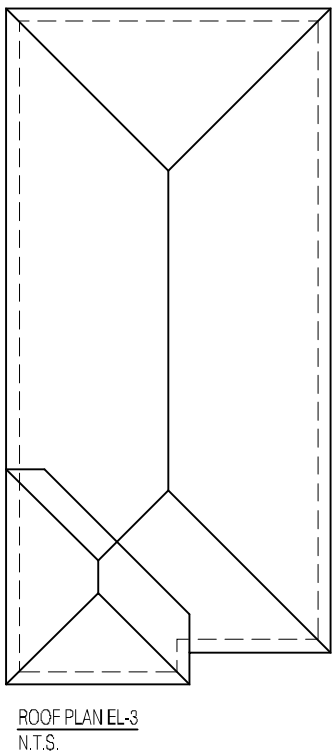
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN


REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

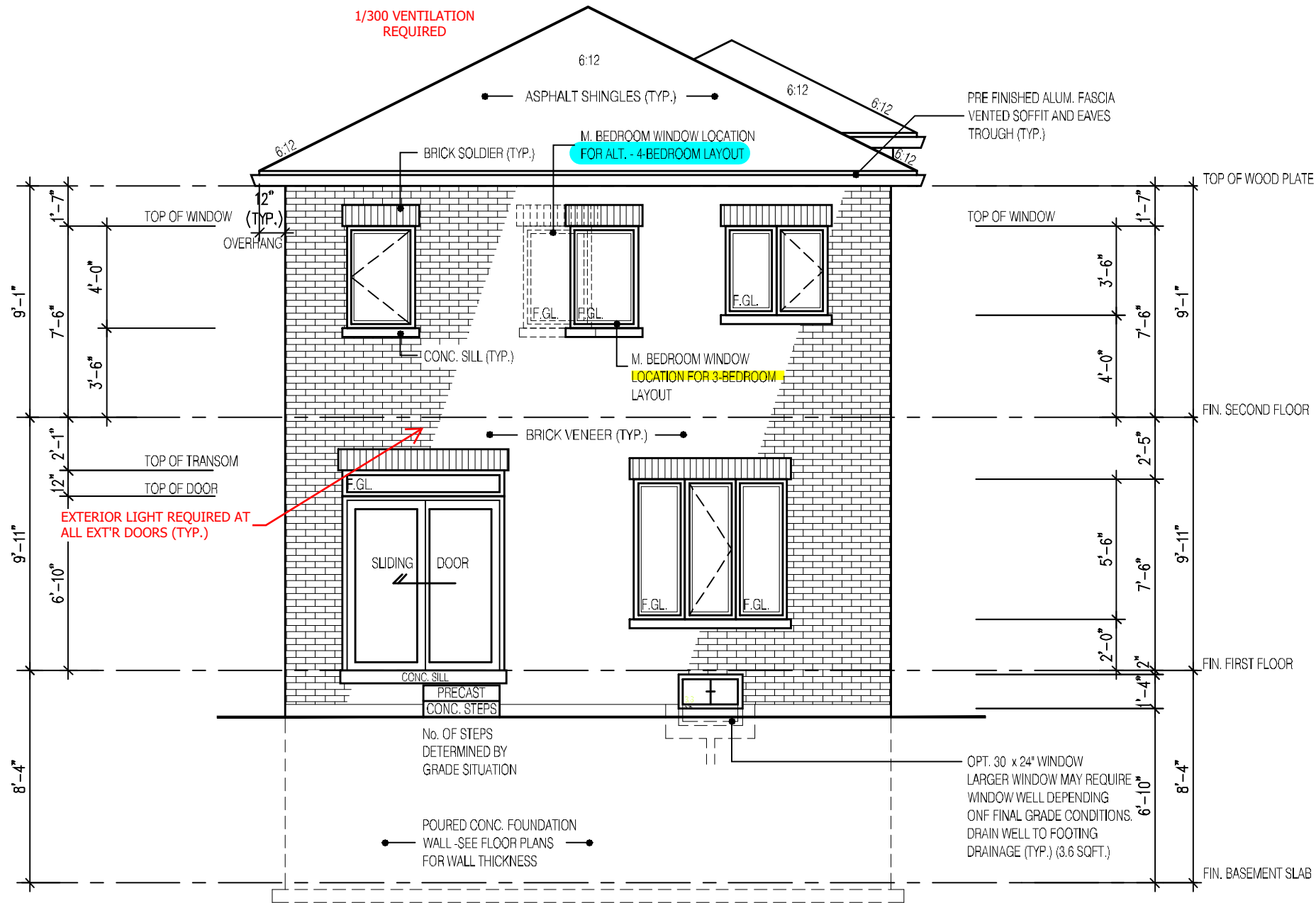
Jardin design group inc. 27763
FIRM NAME BCIN

ALT. SEC. FL. PL. EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. 21-35 DWG. No. 3B-3



 BILD®	MODEL:	
	GARDEN 1 (GR)	
	SCALE:	
	3/16" = 1'-0"	
	PROJ. No.	DWG. No.
	21-35	4B



EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAX. 4".

REAR ELEVATION 3

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

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2190

9.14m LOTS

GARDEN 1 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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7	JAN. 12, 2023	SHOWED WINDOW LOCATION FOR ALT. 4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 3

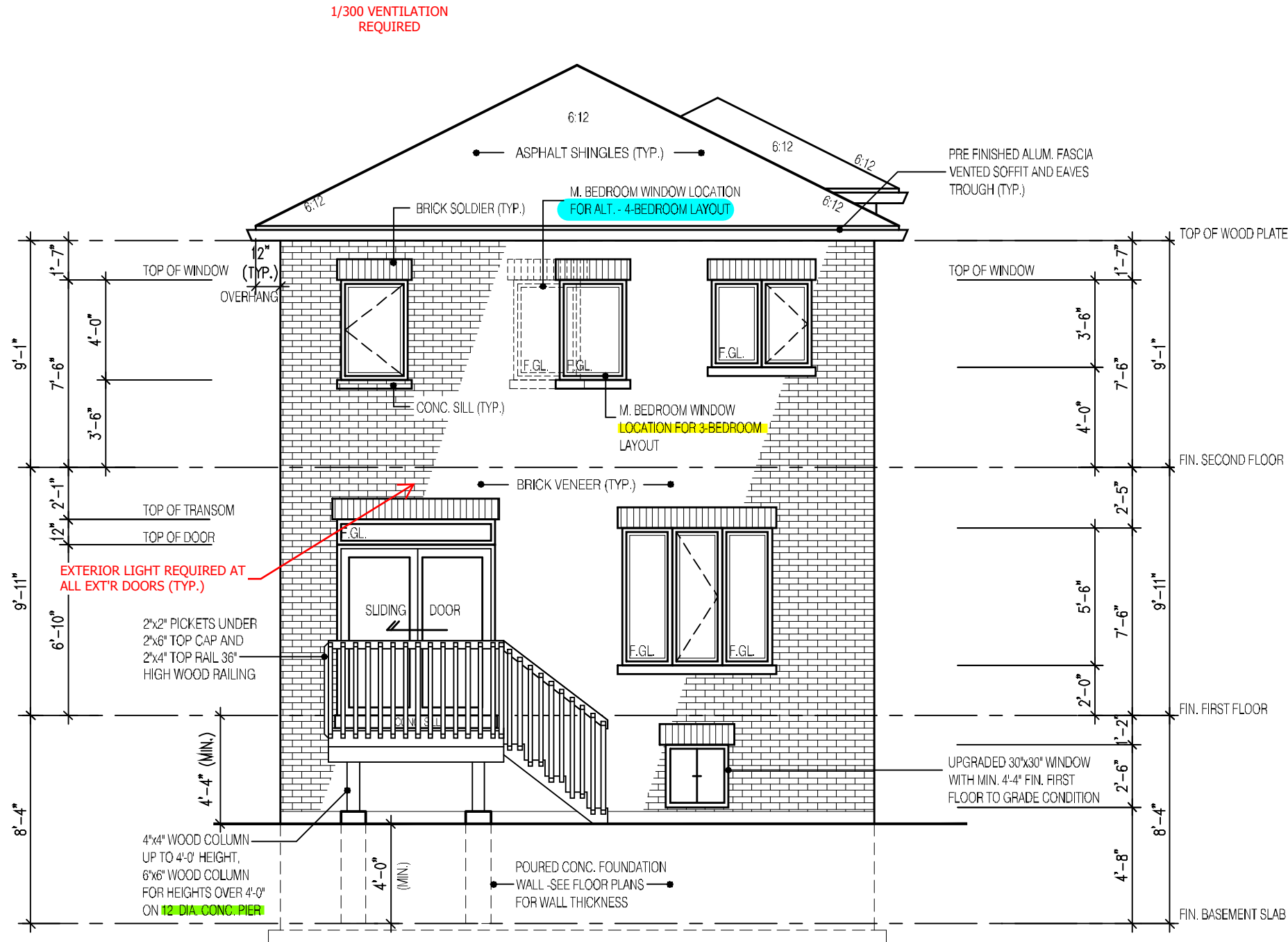
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



MODEL:
GARDEN 1 (GR)

SCALE:
3/16" = 1'-0"

PROJ. No. DWG. No.
21-35 6B



PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAX. 4".

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

REAR ELEVATION 3 DECK CONDITION

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

FOR ADDITIONAL DECK STRUCTURE REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED DETAILS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OFFICIAL REVIEW OF THIS WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB-CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.

7	JAN. 12, 2023	SHOWED WINDOW LOCATION FOR ALT. 4 BEDROOM LAYOUT PER CLIENT REQUEST
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
FIRM NAME BCIN

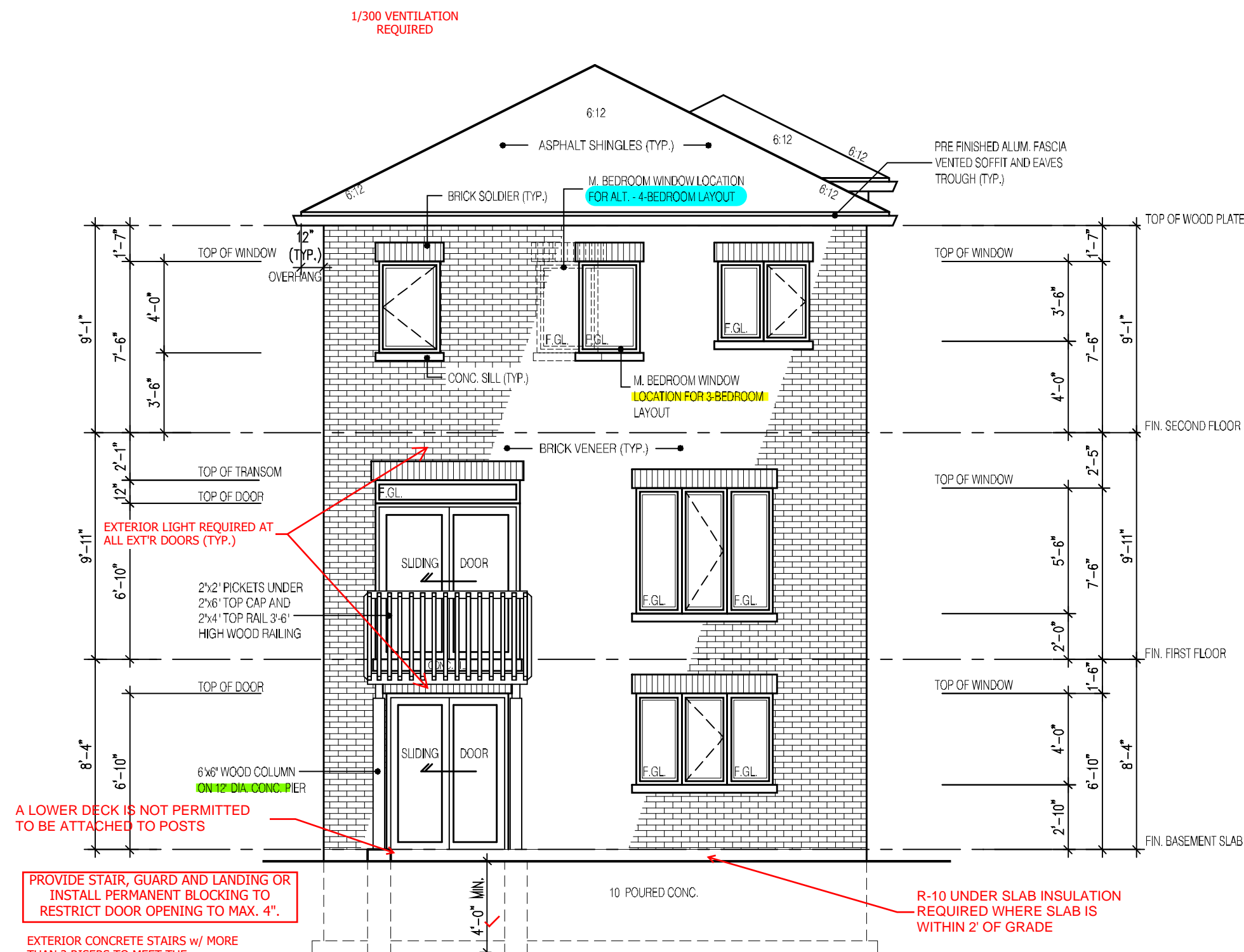
DECK CONDITION EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 1 (GR)

SCALE:
3/16" = 1'-0"

PROJ. No. DWG. No.
21-35 6B-1



REAR ELEVATION 3
WALK-OUT CONDITION

2190

9.14m LOTS

GARDEN 1 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin

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Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
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Jardin design group inc.

27763

FIRM NAME

BCIN

DECK/WALK-OUT CONDITION EL-2

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)

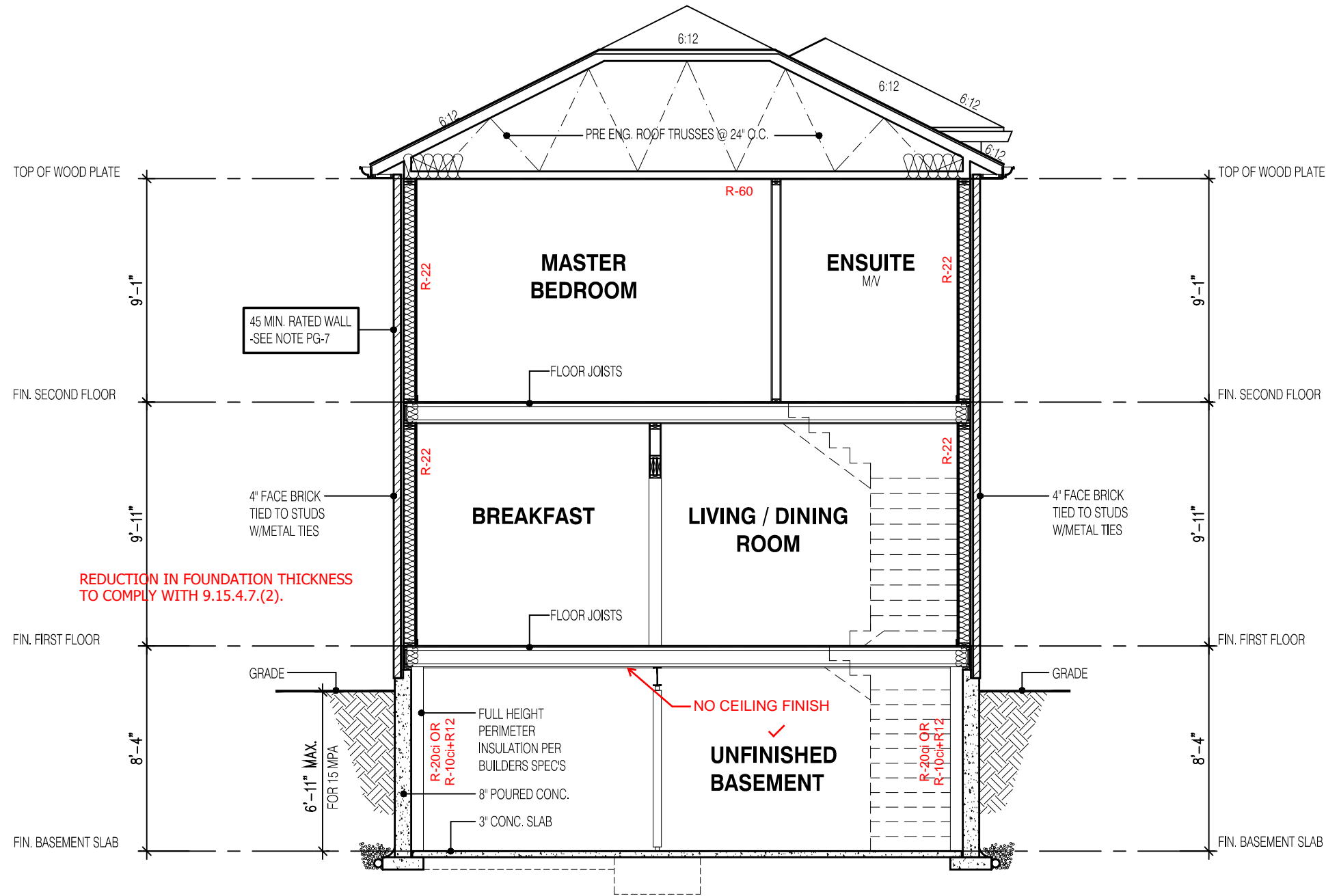
SCALE:
3/16"=1'-0"

PROJ. No.
21-35

DWG. No.
6B-2

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SECTION A-A
ELEVATION 3

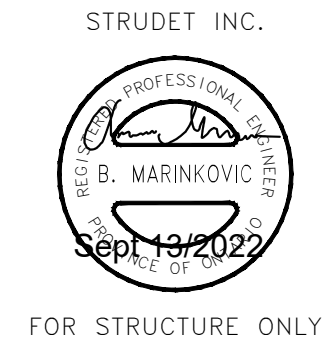
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2190
9.14m LOTS
GARDEN 1 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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7		
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jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION 3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 1 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. DWG. No.
21-35 8B