

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
120 KPa NATIVE SOIL 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE : ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING		
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)		

NOTE: WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE: ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.
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BRICK VENEER LINTELS:	
WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.	WL6 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2- 2" x 12" SPR.
WL2 = 4" x 3 1/2" x 5 1/8" (100x90x8) + 2- 2" x 8" SPR.	WL7 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 10" SPR.
WL3 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2- 2" x 10" SPR.	WL8 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 12" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.	WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.	

WOOD LINTELS:	
WB1 = 2- 2" x 8" SPRUCE BEAM	WB6 = 3- 2" x 12" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM	WB7 = 5- 2" x 12" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM	WB10 = 4- 2" x 8" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM	WB11 = 4- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM	

STEEL LINTELS:	
L1 = 3 1/2 x 3 1/2 x 1 1/4" (90 x 90 x 6)	L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)	L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)	L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)	
LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)	LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)	LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)	LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)	
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)	
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)	
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)	
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)	
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)	
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)	
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)	

NOT THE GRANTING OF A PERMIT NOR REVIEWING
OF SPECS & DRAWINGS NOR INSPECTIONS MADE
DURING INSTALLATION BY THE OFFICIAL HAVING
JURISDICTION SHALL RELIEVE THE OWNER FROM
REQUIREMENTS OF THE ONTARIO BUILDING CODE
AND ANY OTHER REFERENCED REQUIREMENTS.

P.ENG SOILS REPORT IS REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 1088 Sq. Ft.
SECOND FLOOR AREA	= 1312 Sq. Ft.
TOTAL FLOOR AREA	= 2400 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2400 Sq. Ft.
GROUND FLOOR COVERAGE	= 1088 Sq. Ft.
GARAGE COVERAGE / AREA	= 242 Sq. Ft.
PORCH COVERAGE / AREA	= 62 Sq. Ft.
COVERAGE W/ PORCH	= 1392 Sq. Ft. = 129.32Sq. m.
COVERAGE W/O PORCH	= 1330 Sq. Ft. = 123.56Sq. m.

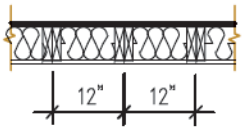
AREA CALCULATIONS EL-2	
FIRST FLOOR AREA	= 1088 Sq. Ft.
SECOND FLOOR AREA	= 1312 Sq. Ft.
TOTAL FLOOR AREA	= 2400 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2400 Sq. Ft.
GROUND FLOOR COVERAGE	= 1088 Sq. Ft.
GARAGE COVERAGE / AREA	= 242 Sq. Ft.
PORCH COVERAGE / AREA	= 62 Sq. Ft.
COVERAGE W/ PORCH	= 1392 Sq. Ft. = 129.32Sq. m.
COVERAGE W/O PORCH	= 1330 Sq. Ft. = 123.56Sq. m.

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 1088 Sq. Ft.
SECOND FLOOR AREA	= 1327 Sq. Ft.
TOTAL FLOOR AREA	= 2415 Sq. Ft.
ADD OPEN AREAS	= 0 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2415 Sq. Ft.
GROUND FLOOR COVERAGE	= 1088 Sq. Ft.
GARAGE COVERAGE / AREA	= 241 Sq. Ft.
PORCH COVERAGE / AREA	= 62 Sq. Ft.
COVERAGE W/ PORCH	= 1391 Sq. Ft. = 129.23Sq. m.
COVERAGE W/O PORCH	= 1329 Sq. Ft. = 123.47Sq. m.

2400
9.14m LOTS
GARDEN 3 (GR)
ELEVATION 1, 2 & 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
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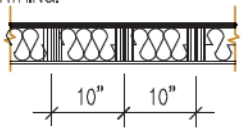
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.
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NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.
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ALL NEW WINDOWS AND SLIDING GLASS DOORS
TO COMPLY WITH THE THERMAL REQUIREMENTS
OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY,
AND STORAGE AREAS, SHALL CONSIST OF
FELTED-SYNTHETIC-FIBRE FLOOR COVERING,
CONCRETE, TILE, OR OTHER FLOORING
PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT
EXCEED 49°C (120°F) EXCEPT FOR
DISHWASHERS AND CLOTHES WASHERS

SIDING MATERIALS SHALL CONFORM TO
SECTION 9.27 OF DIVISION B OR HAVE A CCMC
OR BMCC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE
FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

A CARBON MONOXIDE DETECTOR SHALL BE
LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED
ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE
ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL
SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN
CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE
CHARACTERISTICS" OF NFPA 72

ENERGY PERFORMANCE LABELS FOR ALL
GLAZING PRODUCTS IDENTIFYING THE
CERTIFIED VALUES SHALL REMAIN ON
FOR REVIEW DURING CONSTRUCTION

FINAL GRADING CERTIFICATE REQ'D
BEFORE FINAL INSPECTION SIGN-OFF

P.ENG SOILS REPORT MAY BE REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

INSTALLATION OF FLUSH STEEL BEAMS
SHALL CONFORM TO THE REQUIREMENTS OF
9.23.9.2.(3), (4) & (5)

PROVIDE P.ENG APPROVED TRUSS & FLOOR
DRAWINGS AND SPECIFICATIONS TO BUILDING
INSPECTOR AT FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION
WALL OR PORCH SLAB SHALL BE
REVIEWED PRIOR TO POURING CONCRETE
(see inspector)

GARDEN 3 ELEV-3 (3 BEDROOM)			
ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	515.06	82.33	15.98 %
LEFT SIDE	1222.07	91.53	7.49 %
RIGHT SIDE	1196.54	0.00	0.00 %
REAR	494.79	121.27	24.51 %
TOTAL	3428.46	295.10	8.61 %

GARDEN 3 ELEV-3 (ALT. 4 BEDROOM)			
ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	515.06	82.33	15.98 %
LEFT SIDE	1222.07	102.14	8.36 %
RIGHT SIDE	1196.54	0.00	0.00 %
REAR	494.79	121.27	24.51 %
TOTAL	3428.46	305.74	8.92 %

MASTER PLAN MODEL: GARDEN 3 ELEVATION: 3 BEDROOMS: 3 OPTIONS: (SAME AS ABOVE PLUS), SUNKEN FOYER, ALT 2ND FLOOR (4 bedroom), LOOK OUT DECK, WALK OUT DECK/BASEMENT.
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CITY OF CAMBRIDGE BUILDING DIVISION THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code Inspector: Thomas Weathers Date: 2023-03-08

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.

No: DATE: WORK DESCRIPTION:

jardin DESIGN GROUP INC
64 JARDIN DR. SUITE 3A VAUGHAN ONT, L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer
Qualification Information
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter	21031
NAME	SIGNATURE BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code	
jardin design group inc.	27763
FIRM NAME	BCIN

TITLE SHEET	
BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE	

BILD	MODEL: GARDEN 3 (GR)
	SCALE: 3/16"=1'-0"
	PROJ. No. DWG. No. 21-35 0

2400
GARDEN 3 (GR)
ELEVATION 3
A1 PACKAGE
O.REG. 332/12

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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

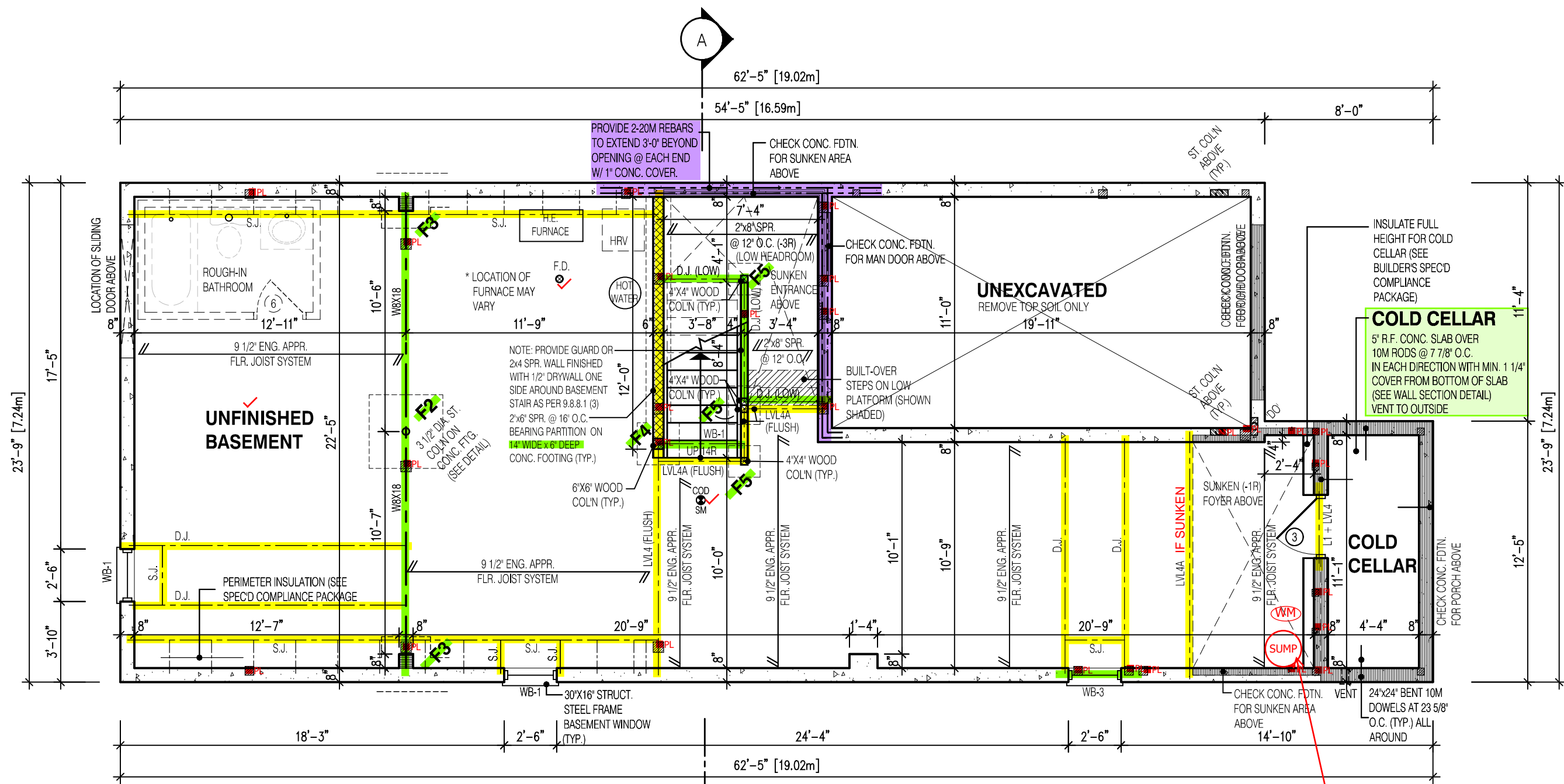
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 3 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. 21-35 DWG. No. 1B



REQUIRED CONTINUOUS INSULATION CANNOT BE INTERRUPTED BY FRAMING MEMBERS SUCH AS STUDS

NON-LOAD BEARING WALLS NOT PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"
MINIMUM CEILING HEIGHT UNDER BULKHEADS 6'-5"

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

VERIFY WATER METER AND DWHR UNIT LOCATION WITH INSPECTOR

SPRAY FOAM/RIGID INSULATION TO BE PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.

REG. PROF. ENGINEER
B. MARINKOVIC
Sept 13/2022
FOR STRUCTURE ONLY

2400
GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE
O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

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VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

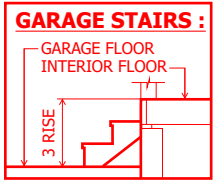
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NAME SIGNATURE BCIN

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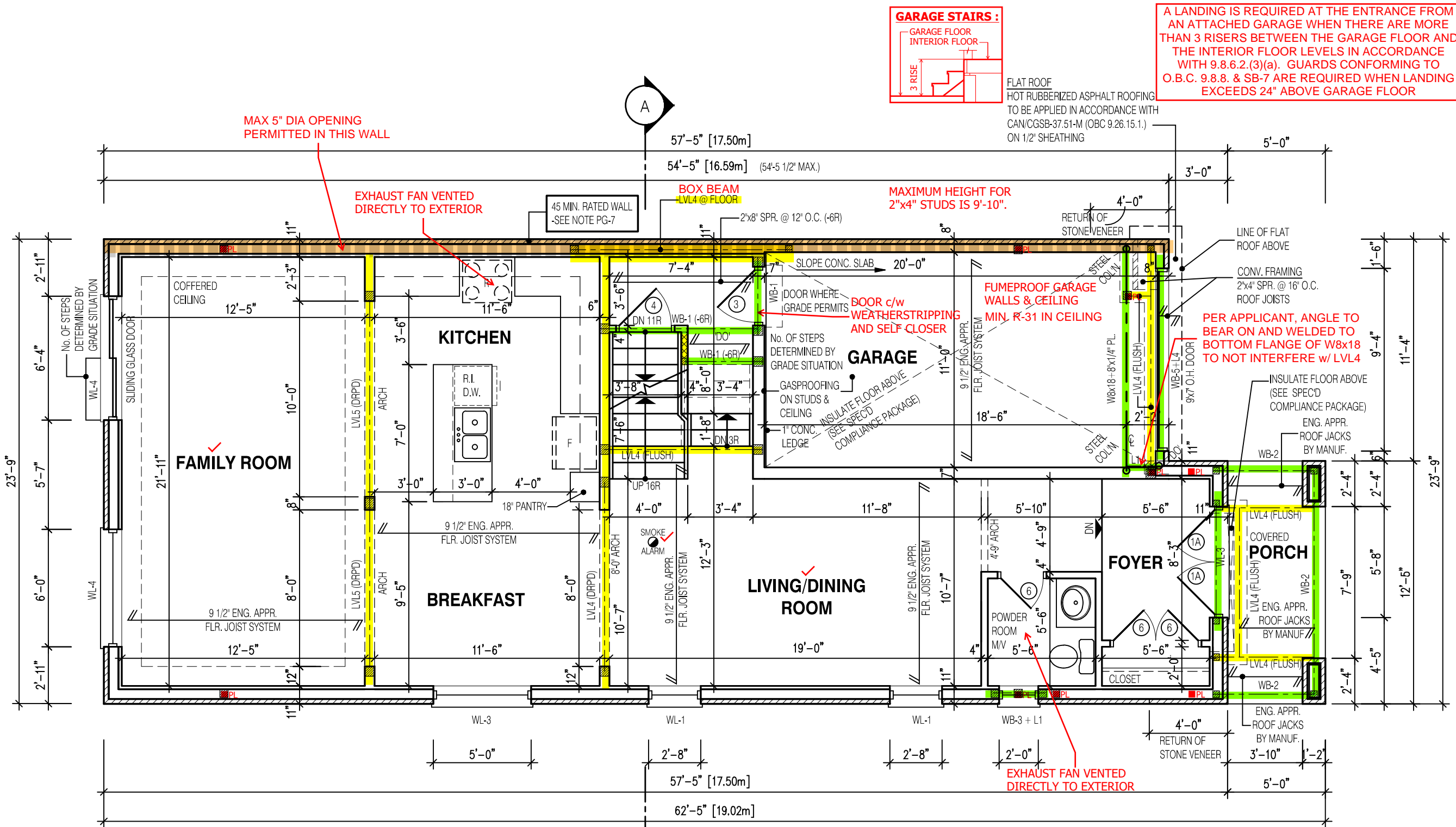
FIRST FLOOR PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:	GARDEN 3 (GR)
SCALE:	3/16" = 1'-0"
PROJ. No.	21-35
DWG. No.	2B



A LANDING IS REQUIRED AT THE ENTRANCE FROM AN ATTACHED GARAGE WHEN THERE ARE MORE THAN 3 RISERS BETWEEN THE GARAGE FLOOR AND THE INTERIOR FLOOR LEVELS IN ACCORDANCE WITH 9.8.6.2.(3)(a). GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED WHEN LANDING EXCEEDS 24" ABOVE GARAGE FLOOR

FLAT ROOF
HOT RUBBERIZED ASPHALT ROOFING
TO BE APPLIED IN ACCORDANCE WITH
CAN/CGSB-37.51-M (OBC 9.26.15.1.)
ON 1/2" SHEATHING



NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

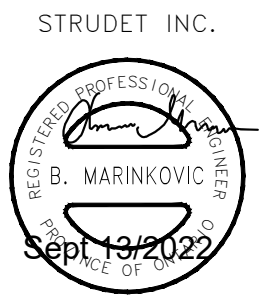
*TRACE ALL POINT LOADS THROUGH FLOOR SYSTEM TO SOLID BEARING BELOW

NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7"
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND: BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D) INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE STL. PLATE FOR STEEL COL'N ABOVE LVL LAMINATED VENEER LUMBER S.J. SINGLE JOIST D.J. DOUBLE JOIST T.J. TRIPLE JOIST REPEAT NOTE SHOWER WEEPERS
--	--

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FOR STRUCTURE ONLY

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

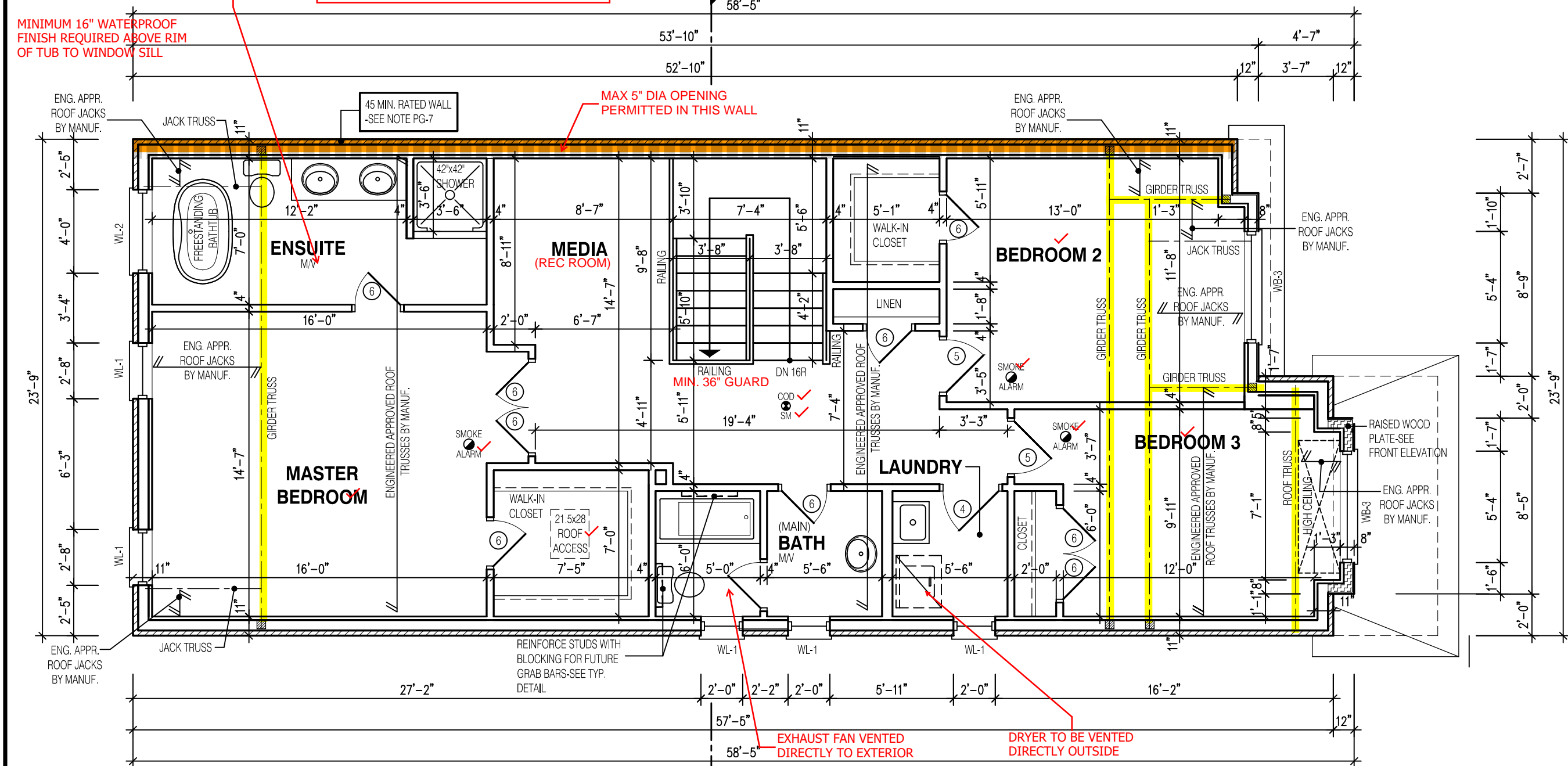
EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

MINIMUM 16" WATERPROOF FINISH REQUIRED ABOVE RIM OF TUB TO WINDOW SILL

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3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



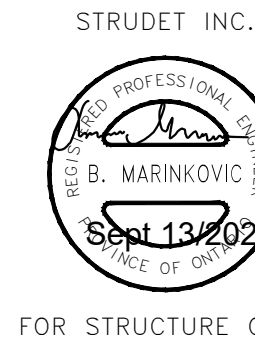
DRAWN BY: DRAWING NAME:

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
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 - REPEAT NOTE
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2400
**GARDEN 3 (GR)
ELEVATION 3**
A1 PACKAGE
O.REG. 332/12

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7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

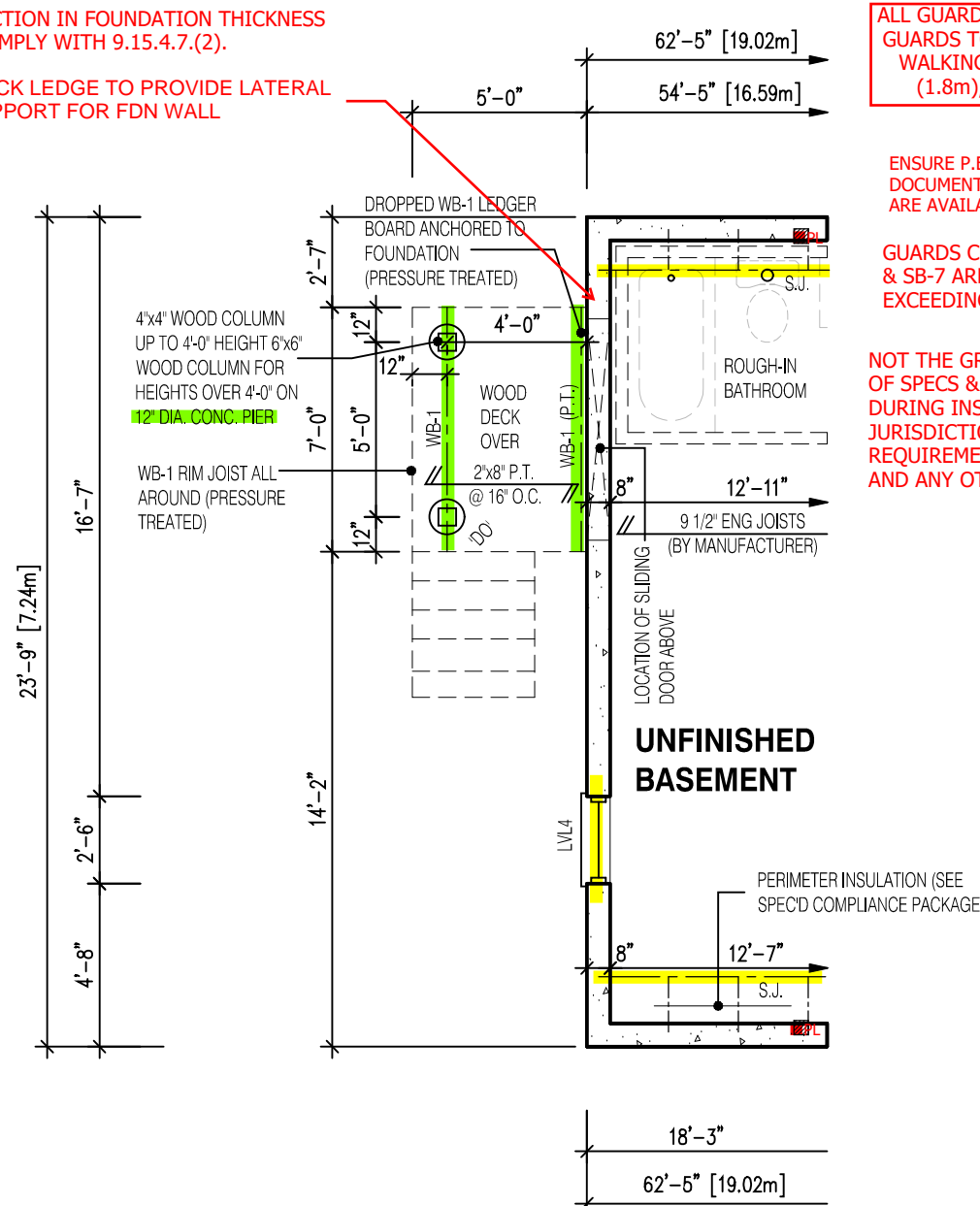
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. DWG. No.
21-35 3B

BRICK LEDGE TO PROVIDE LATERAL
SUPPORT FOR FDN WALL

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

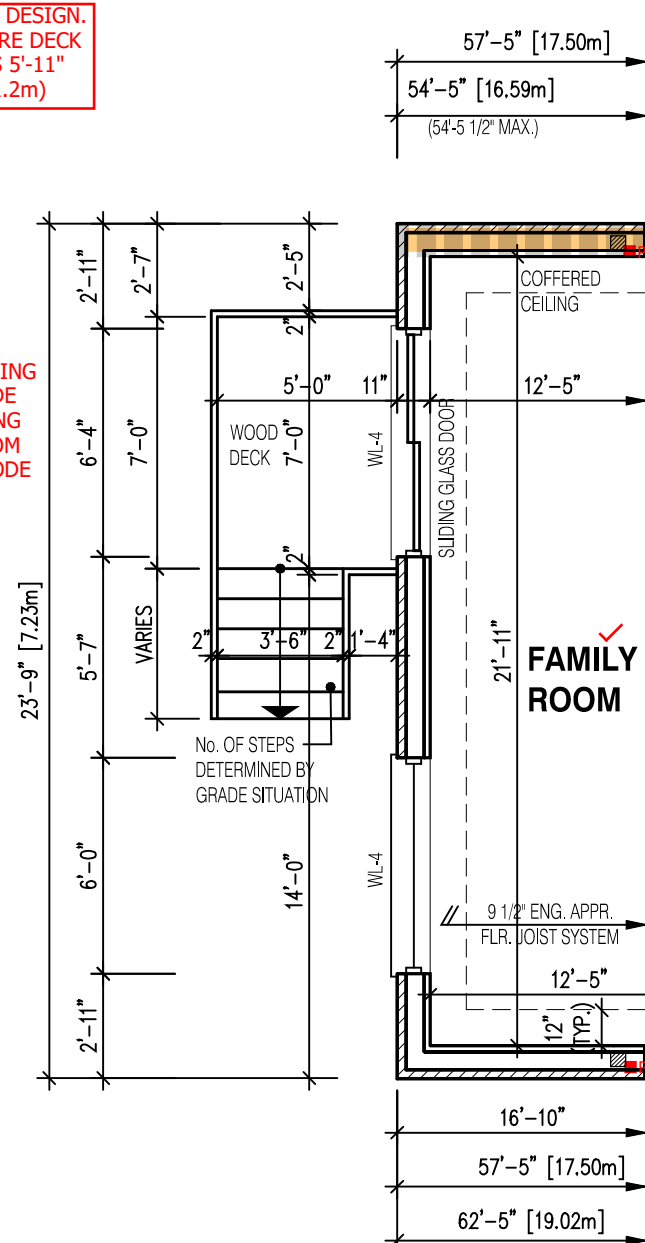
LOOK OUT DECK

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.

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




SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LOOK OUT DECK

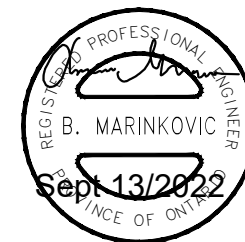
LEGEND:

- | | |
|---|--|
|  | BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D) |
|  | INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE |
|  | STL. PLATE FOR STEEL COL'N ABOVE |
| LVL | LAMINATED VENEER LUMBER |
| S.J. | SINGLE JOIST |
| D.J. | DOUBLE JOIST |
| T.J. | TRIPLE JOIST |
|  | REPEAT NOTE |
|  | SHOWER WEEPERS |

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STRUDET INC.



FOR STRUCTURE ONLY

2400

GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No:	DATE:	WORK DESCRIPTION:
-----	-------	-------------------

jardin
DESIGN GROUP INC
64 JARDIN DR, SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3777
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBotter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

FIRM NAME	jardin design group inc.	27763
		BCIN

DECK CONDITION EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



BILD

MODEL:
GARDEN 3 (GR)

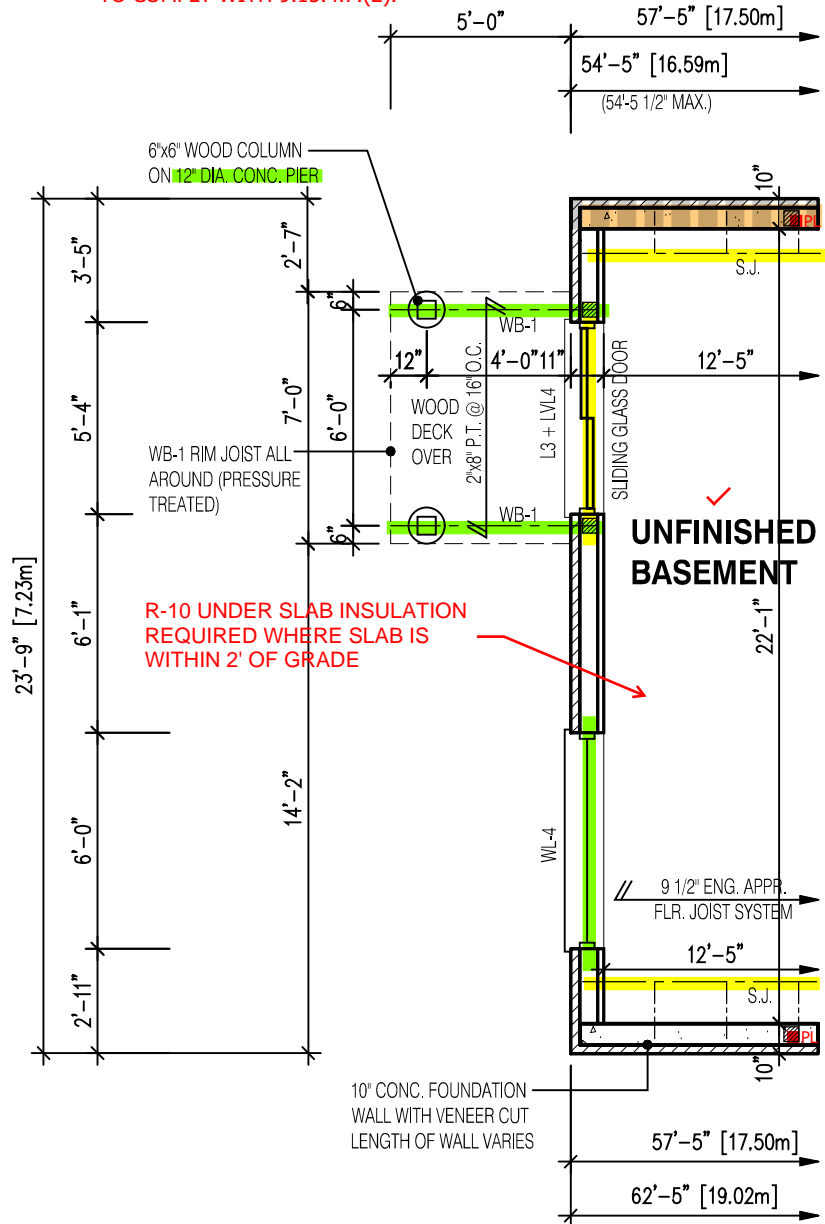
SCALE:
 $3/16" = 1'-0"$

PROJ. No.	DWG. No.
21-35	3B-1

DRAWN BY:

DRAWING NAME

REDUCTION IN FOUNDATION THICKNESS
TO COMPLY WITH 9.15.4.7.(2).



NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

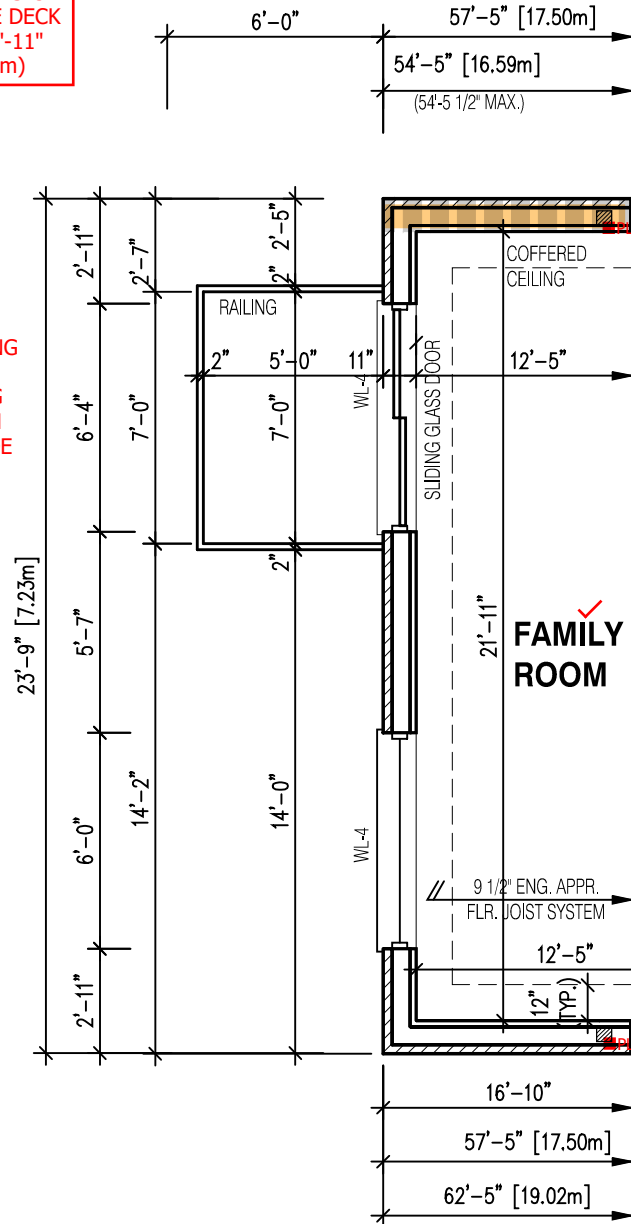
PARTIAL BASEMENT LAYOUT
FOR WALK-OUT EL-3

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8.
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OF SPECS & DRAWINGS NOR INSPECTIONS MADE
DURING INSTALLATION BY THE OFFICIAL HAVING
JURISDICTION SHALL RELIEVE THE OWNER FROM
REQUIREMENTS OF THE ONTARIO BUILDING CODE
AND ANY OTHER REFERENCED REQUIREMENTS.



NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT
WITH BASEMENT WALK-OUT EL-3

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

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and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
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house can be properly built or located on its lot.

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with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE.

STRUDET INC.



FOR STRUCTURE ONLY

2400

GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

WALK-OUT CONDITION EL-3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No. 21-35
DWG. No. 3B-2

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

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FLOOR TRUSS LAYOUT BY MANUFACTURER .

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED ARE OF 3.85F w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

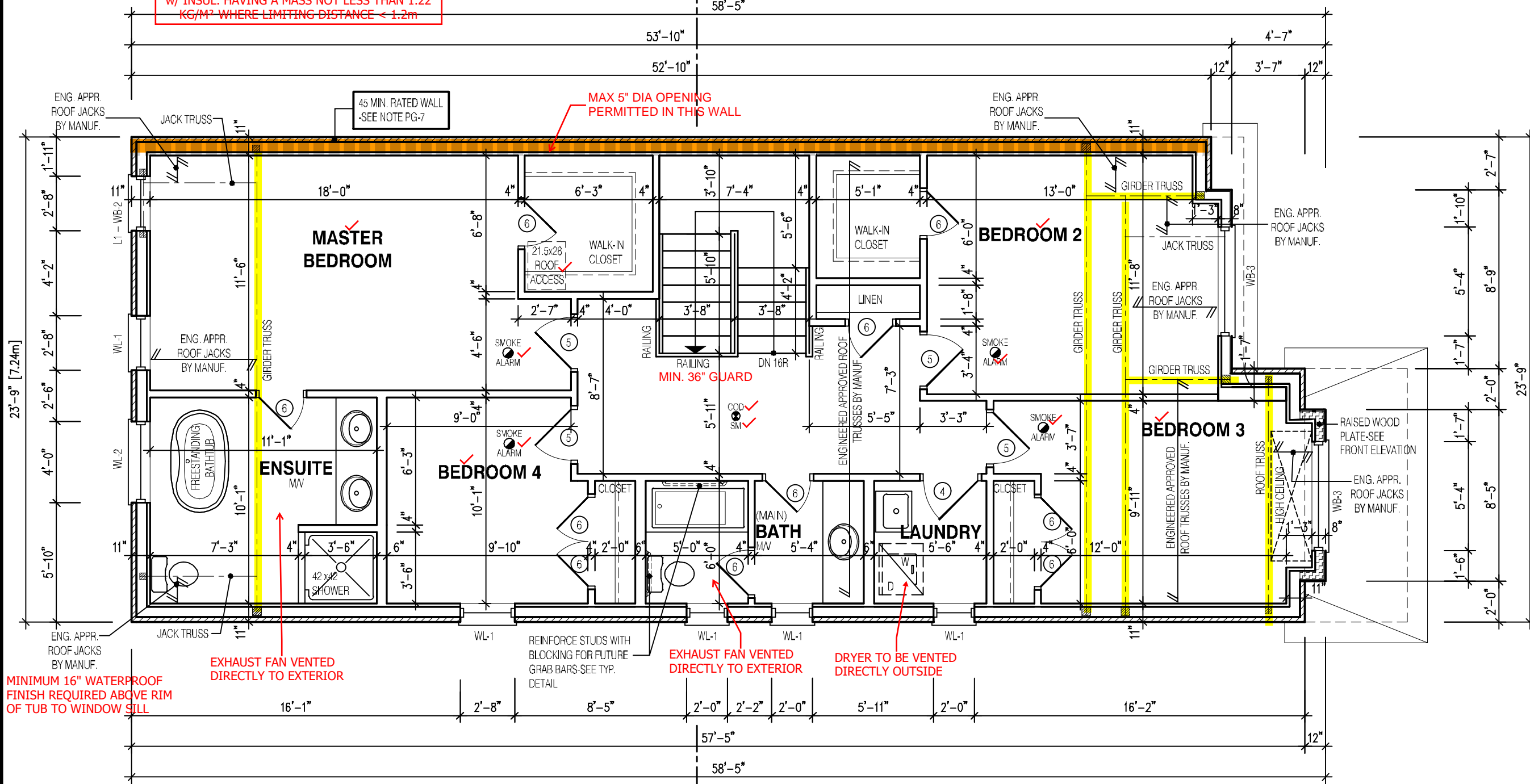
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3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m



MINIMUM 16" WATERPROOF FINISH REQUIRED ABOVE RIM OF TUB TO WINDOW SILL

EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

DRYER TO BE VENTED DIRECTLY OUTSIDE

REINFORCE STUDS WITH BLOCKING FOR FUTURE GRAB BARS-SEE TYP. DETAIL

ALT. - 4 BEDROOM LAYOUT

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

LEGEND:

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- LVL LAMINATED VENEER LUMBER
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STRUDET INC.



FOR STRUCTURE ONLY

2400 GARDEN 3 (GR) ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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7		
6		
5		
4		
3		
2		
1	JAN. 11, 2023	ADDED 4 BEDROOM LAYOUT PER CLIENT REQUEST

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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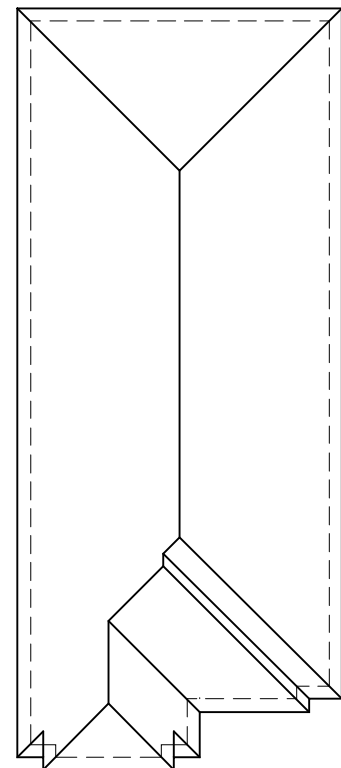
Jardin design group inc. 27763
FIRM NAME BCIN

ALT.-SEC. FL. PL. EL-3

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

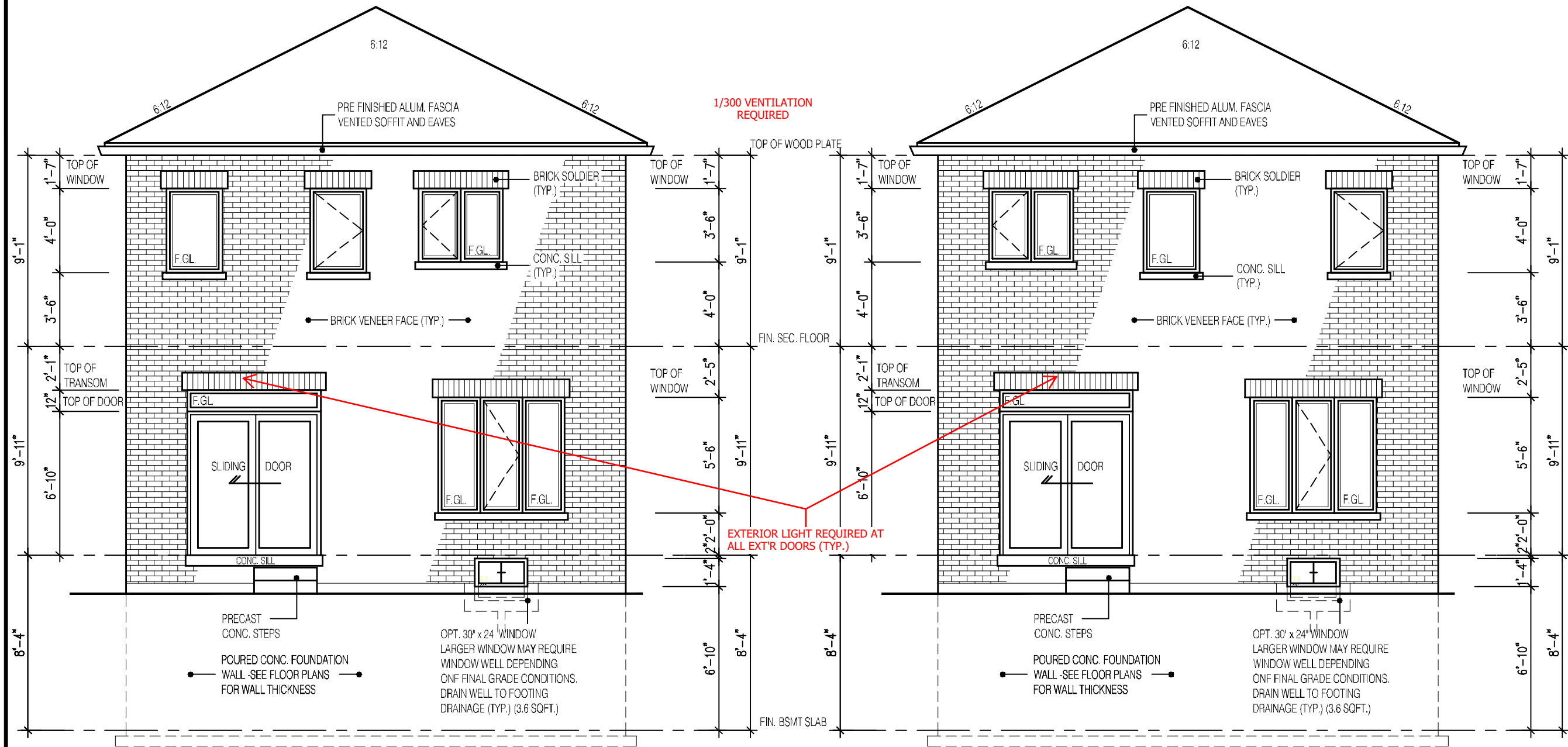


MODEL:
GARDEN 3 (GR)
SCALE:
3/16"=1'-0"
PROJ. No. 21-35
DWG. No. 3B-3



N.T.S.

DRAWN BY:	DRAWING NAME:
-----------	---------------



REAR ELEVATION 3
ALT.- 4-BEDROOM LAYOUT

PROVIDE STAIR, GUARD AND LANDING OR
INSTALL PERMANENT BLOCKING TO
RESTRICT DOOR OPENING TO MAX. 4".

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
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REAR ELEVATION 3
3-BEDROOM LAYOUT

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2400

GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter

21031

NAME

SIGNATURE

BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc.

27763

FIRM NAME

BCIN

REAR ELEVATION 3

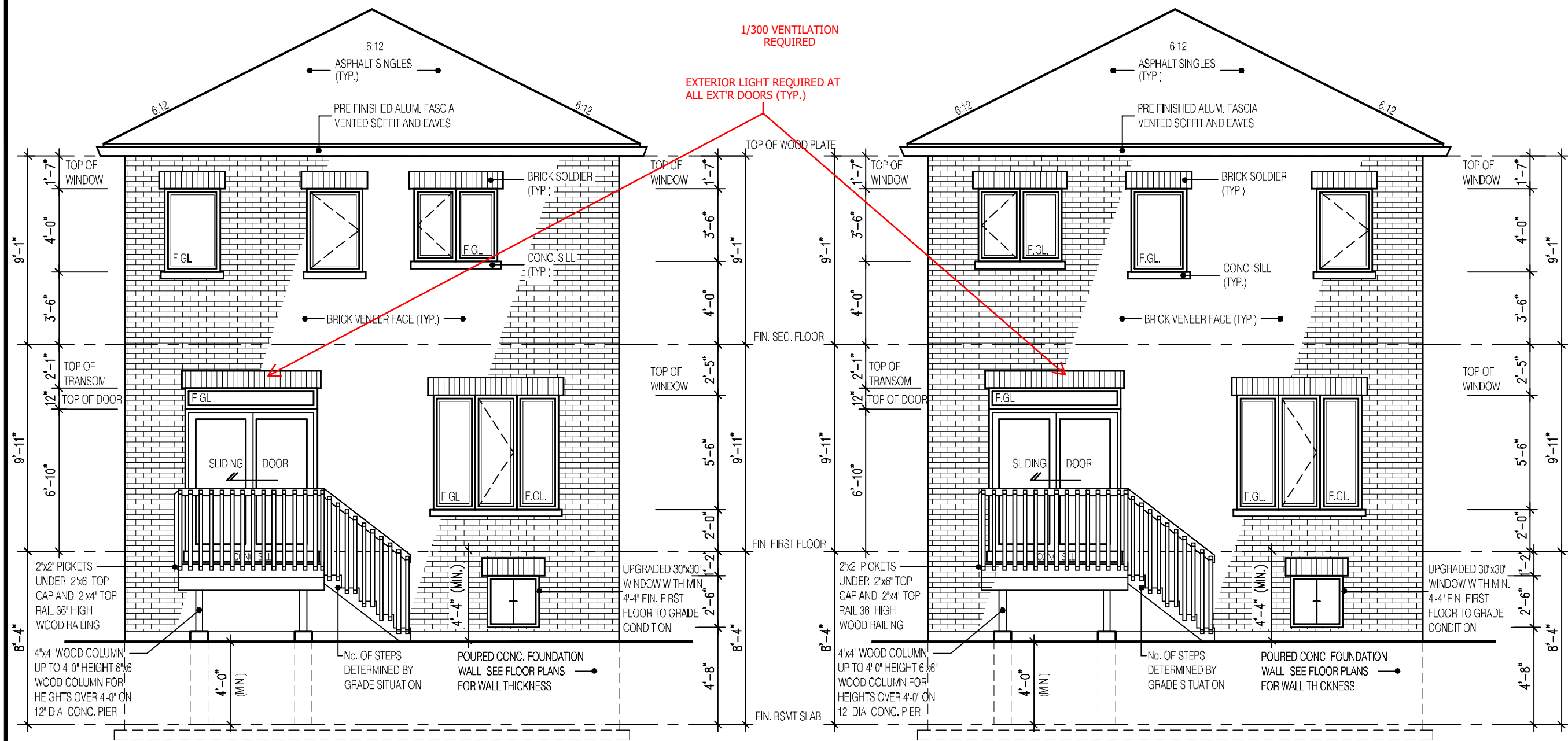
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 3 (GR)

SCALE:
3/16"=1'-0"

PROJ. No.
21-35

DWG. No.
6B



REAR ELEVATION 3
DECK CONDITION
ALT.- 4 -BEDROOM LAYOUT

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

REAR ELEVATION 3
DECK CONDITION
3-BEDROOM LAYOUT

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

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CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

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GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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No: DATE: WORK DESCRIPTION:

jardin

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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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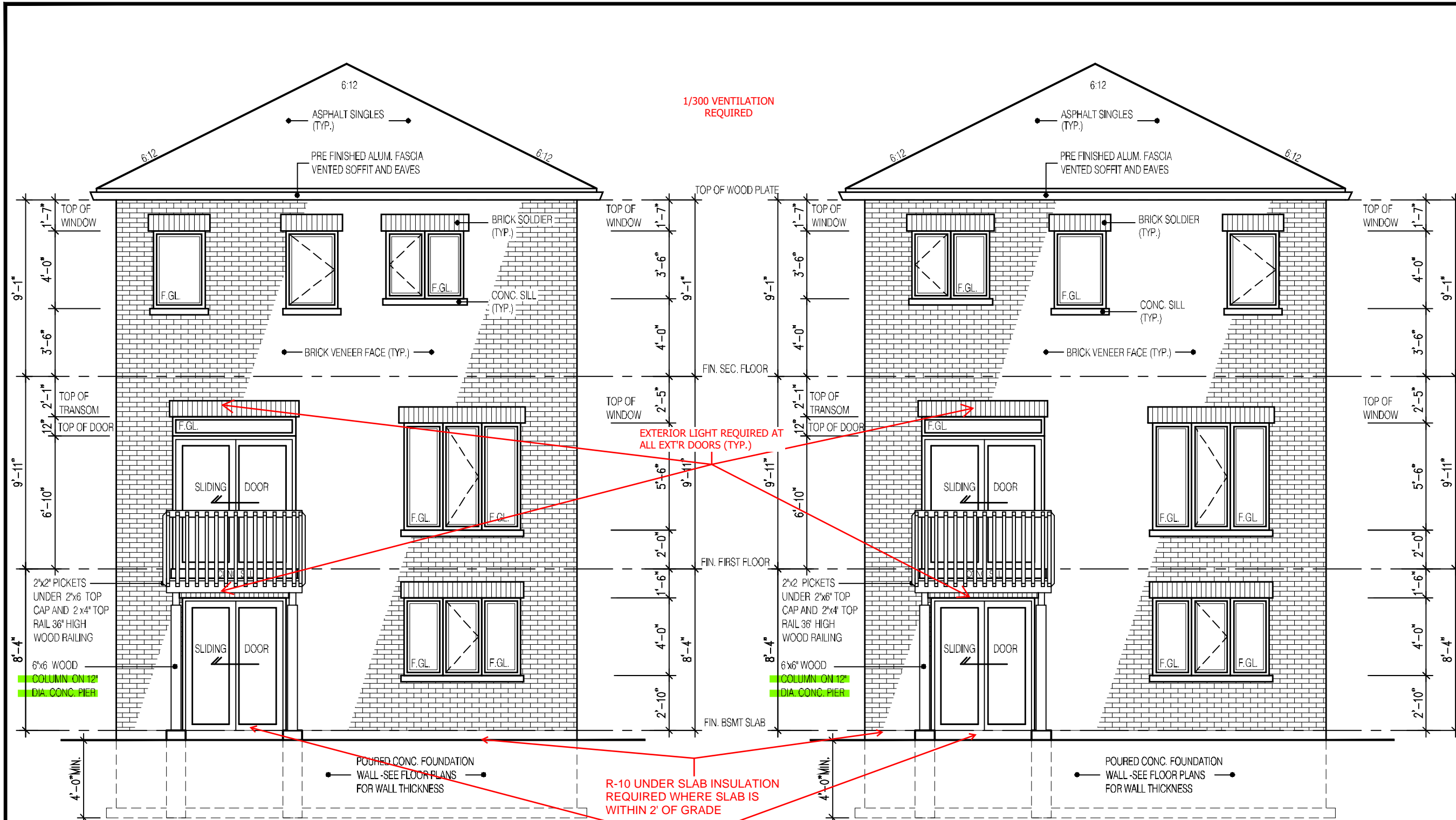
jardin design group inc. 27763
FIRM NAME BCIN

DECK CONDITION EL-3

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 3 (GR)
SCALE:
3/16"=1'-0"
PROJ. No.
21-35
DWG. No.
6B-1



**REAR ELEVATION 3
WALK-OUT CONDITION
ALT.- 4 -BEDROOM LAYOUT**

**REAR ELEVATION 3
WALK-OUT CONDITION
3-BEDROOM LAYOUT**

ALL GUARDS MUST BE NON-CLIMBABLE WITH NO HORIZONTAL MEMBERS BETWEEN 5 1/2" AND 35" ABOVE THE FLOOR OR WALKING SURFACE.

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PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAX. 4".

A LOWER DECK IS NOT PERMITTED TO BE ATTACHED TO POSTS

R-10 UNDER SLAB INSULATION REQUIRED WHERE SLAB IS WITHIN 2' OF GRADE

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN. GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11" (1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

RAILING AS PER ATTACHED SB-7 DETAILS OR ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

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2400

GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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7 JAN. 12, 2023

ADDED ELEV. FOR ALT.-4 BEDROOM LAYOUT PER CLIENT REQUEST

6 AUG. 10, 2022

ISSUED FOR BUILDING PERMIT

5 AUG. 3, 2022

COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS

4 JUN. 2, 2022

REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT

3 MAY 10, 2022

PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT

2 MAR. 23, 2022

REVISED AS PER CLIENT & ISSUED FOR BROCHURE

1 JAN. 26, 2022

ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin

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21031

SIGNATURE

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jardin design group inc.

27763

FIRM NAME

BCIN

REAR WALK-OUT EL-3

BARLASSINA CONSTRUCTION

CITY OF CAMBRIDGE

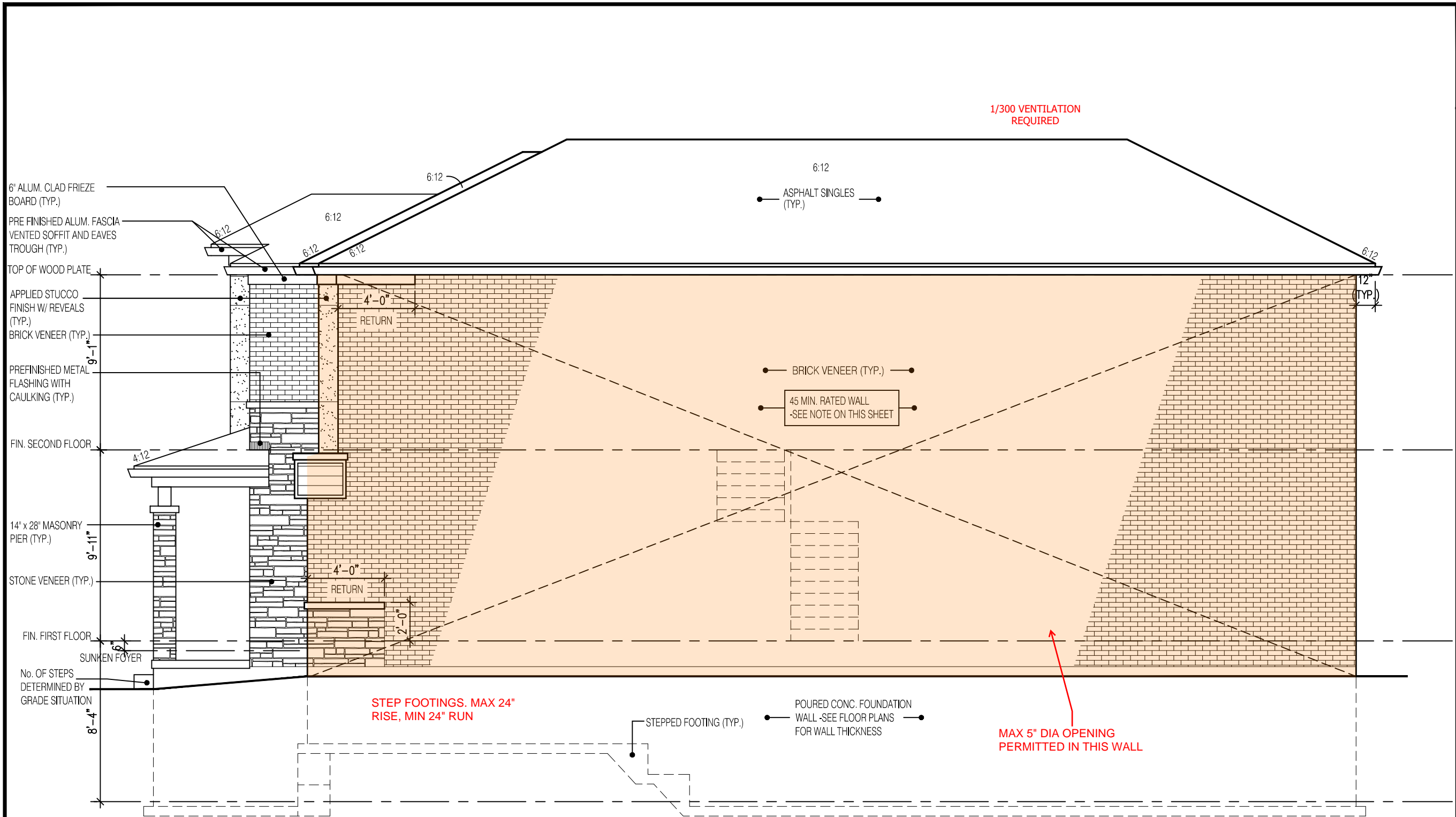
BILD

MODEL:
GARDEN 3 (GR)

SCALE:
3/16"=1'-0"

PROJ. No.
21-35

DWG. No.
6B-2



RIGHT SIDE ELEVATION 3

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

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HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90%% OF THE CAVITY THICKNESS. THE TYPE " X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

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GARDEN 3 (GR)
ELEVATION 3

A1 PACKAGE

O.REG. 332/12

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jardin
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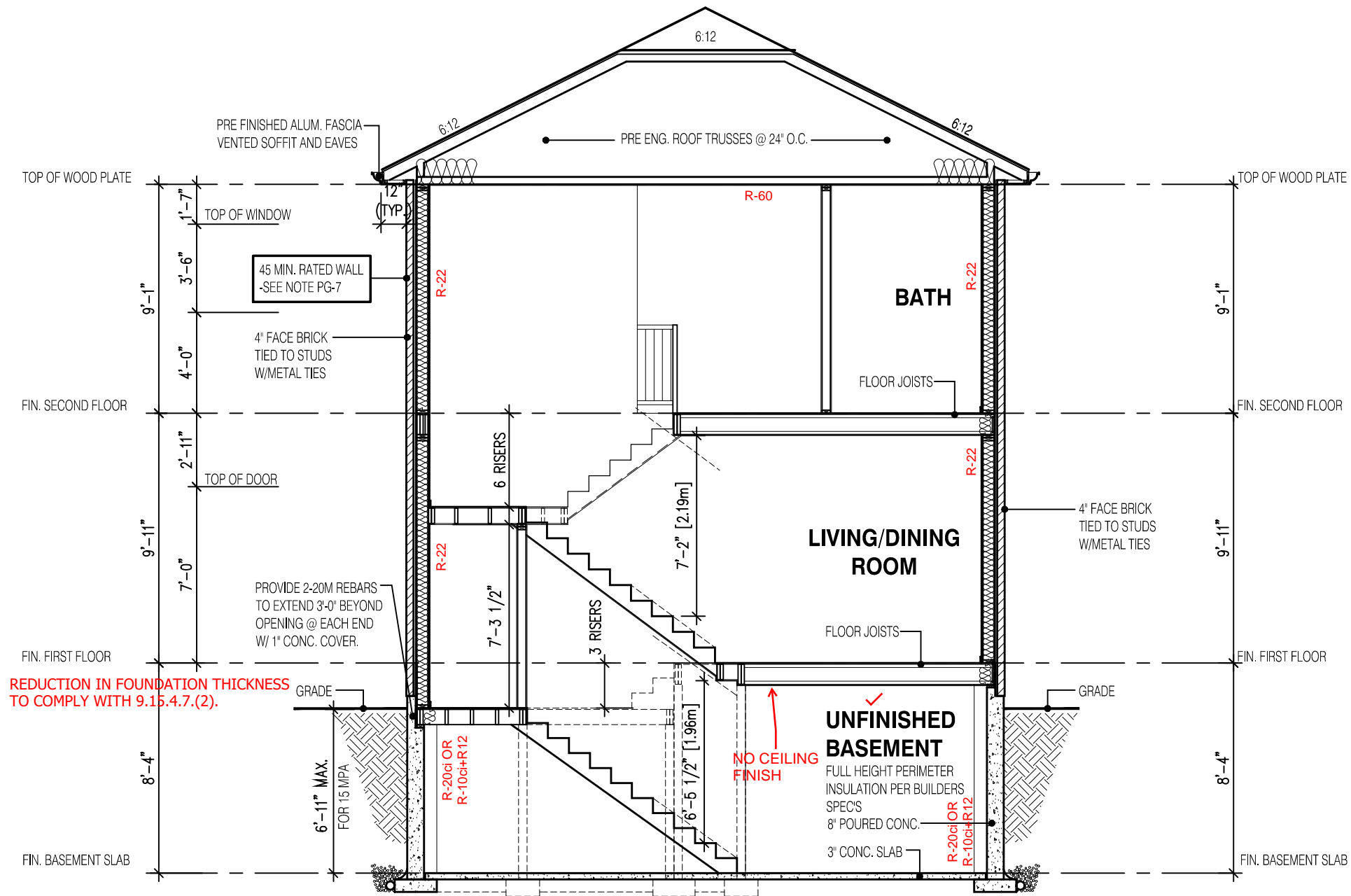
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 3
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD
MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No.
21-35
DWG. No.
7B



SECTION A-A ELEVATION 3

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STRUDET INC.



FOR STRUCTURE ONLY

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GARDEN 3 (GR)
ELEVATION 3

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SECTION ELEVATION 3

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



MODEL:
GARDEN 3 (GR)
SCALE:
3/16" = 1'-0"
PROJ. No.
21-35
DWG. No.
8B