

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
120 KPa NATIVE SOIL 20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE : ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING		
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)		

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5 1/8" (100x90x8) + 2- 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2- 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3 3/8" (150x90x10) + 2- 2" x 12" SPR.
WL5 = 6" x 4" x 3 3/8" (150x100x10) + 2- 2" x 12" SPR.

WL6 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 2- 2" x 12" SPR.
WL7 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5 1/8" (125x90x8) + 3- 2" x 12" SPR.
WL9 = 6" x 4" x 3 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM

WB6 = 3- 2" x 12" SPRUCE BEAM
WB7 = 5- 2" x 12" SPRUCE BEAM
WB10 = 4- 2" x 8" SPRUCE BEAM
WB11 = 4- 2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5 1/8" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5 1/8" (125 x 90 x 8)

L4 = 6" x 3 1/2" x 3 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

MASTER PLAN
MODEL: GARDEN 4 ELEVATION: 1
BEDROOMS: 4
OPTIONS: (SAME AS ABOVE PLUS), LOOK
OUT DECK, WALK OUT DECK/ BASEMENT.

P.ENG SOILS REPORT IS REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 1179 Sq. Ft.
SECOND FLOOR AREA	= 1417 Sq. Ft.
TOTAL FLOOR AREA	= 2596 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2610 Sq. Ft.
GROUND FLOOR COVERAGE	= 0 Sq. Ft.
GARAGE COVERAGE / AREA	= 0 Sq. Ft.
PORCH COVERAGE / AREA	= 0 Sq. Ft.
COVERAGE W/ PORCH	= 0 Sq. Ft.
	= 0Sq. m.
COVERAGE W/O PORCH	= 0 Sq. Ft.
	= 0Sq. m.

AREA CALCULATIONS EL-2	
FIRST FLOOR AREA	= 1189 Sq. Ft.
SECOND FLOOR AREA	= 1426 Sq. Ft.
TOTAL FLOOR AREA	= 2615 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2629 Sq. Ft.
GROUND FLOOR COVERAGE	= 0 Sq. Ft.
GARAGE COVERAGE / AREA	= 0 Sq. Ft.
PORCH COVERAGE / AREA	= 0 Sq. Ft.
COVERAGE W/ PORCH	= 0 Sq. Ft.
	= 0Sq. m.
COVERAGE W/O PORCH	= 0 Sq. Ft.
	= 0Sq. m.

AREA CALCULATIONS EL-3	
FIRST FLOOR AREA	= 1189 Sq. Ft.
SECOND FLOOR AREA	= 1426 Sq. Ft.
TOTAL FLOOR AREA	= 2615 Sq. Ft.
ADD OPEN AREAS	= 14 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2629 Sq. Ft.
GROUND FLOOR COVERAGE	= 0 Sq. Ft.
GARAGE COVERAGE / AREA	= 0 Sq. Ft.
PORCH COVERAGE / AREA	= 0 Sq. Ft.
COVERAGE W/ PORCH	= 0 Sq. Ft.
	= 0Sq. m.
COVERAGE W/O PORCH	= 0 Sq. Ft.
	= 0Sq. m.

2610
9.14m LOTS
GARDEN 4 (GR)
ELEVATION 1,2 & 3
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION INFORMATION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

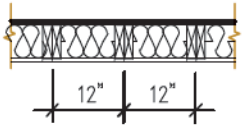
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL: GARDEN 4
SCALE: 3/16"=1'-0"
PROJ. No. 21-35 DWG. No. 0

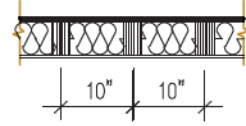
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4"x0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8"-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED ROOF
TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C.
BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW
BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS
GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN
CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE.
REFER TO FINAL GRADING PLAN.

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

GARDEN 4 ELEV.-1		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	518.36	93.34	18.01 %
LEFT SIDE	1327.90	99.00	7.46 %
RIGHT SIDE	1317.39	0.00	0.00 %
REAR	494.73	116.61	23.57 %
TOTAL	3658.38	308.95	8.44 %

GARDEN 4 ELEV. 2
ALL NEW WINDOWS AND SLIDING GLASS DOORS
TO COMPLY WITH THE THERMAL REQUIREMENTS
OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY,
AND STORAGE AREAS, SHALL CONSIST OF
FELTED-SYNTHETIC-FIBRE FLOOR COVERING,
CONCRETE, TILE, OR OTHER FLOORING
PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT
EXCEED 49°C (120°F) EXCEPT FOR
DISHWASHERS AND CLOTHES WASHERS

SIDING MATERIALS SHALL CONFORM TO
SECTION 9.27 OF DIVISION B OR HAVE A CCMC
OR BMCC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE
FINISHING OF ALL ROUGH-IN PLUMBING FIXTURES

A CARBON MONOXIDE DETECTOR SHALL BE
LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED
ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE
ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL
SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN
CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE
CHARACTERISTICS" OF NFPA 72

REINFORCING REQUIRED IN FOUNDATION
WALL OR PORCH SLAB SHALL BE
REVIEWED PRIOR TO POURING CONCRETE
(see inspector)

PROVIDE P.ENG APPROVED TRUSS & FLOOR
DRAWINGS AND SPECIFICATIONS TO BUILDING
INSPECTOR AT FRAMING INSPECTION

P.ENG SOILS REPORT MAY BE REQ'D TO
CONFIRM BEARING CAPACITY OF
SOILS. SEE FIELD INSPECTOR

INSTALLATION OF FLUSH STEEL BEAMS
SHALL CONFORM TO THE REQUIREMENTS OF
9.23.9.2.(3), (4) & (5)

CITY OF CAMBRIDGE
BUILDING DIVISION

THESE PLANS have been examined for compliance
with the Ontario Building Code Requirements. A
Building Permit is in Order to issue subject to any
changes noted under the condition that the building will
be constructed in accordance with the code

Thomas Weidner 2023-03-15
INSPECTOR DATE

ENERGY PERFORMANCE LABELS FOR ALL
GLAZING PRODUCTS IDENTIFYING THE
CERTIFIED VALUES SHALL REMAIN ON
FOR REVIEW DURING CONSTRUCTION

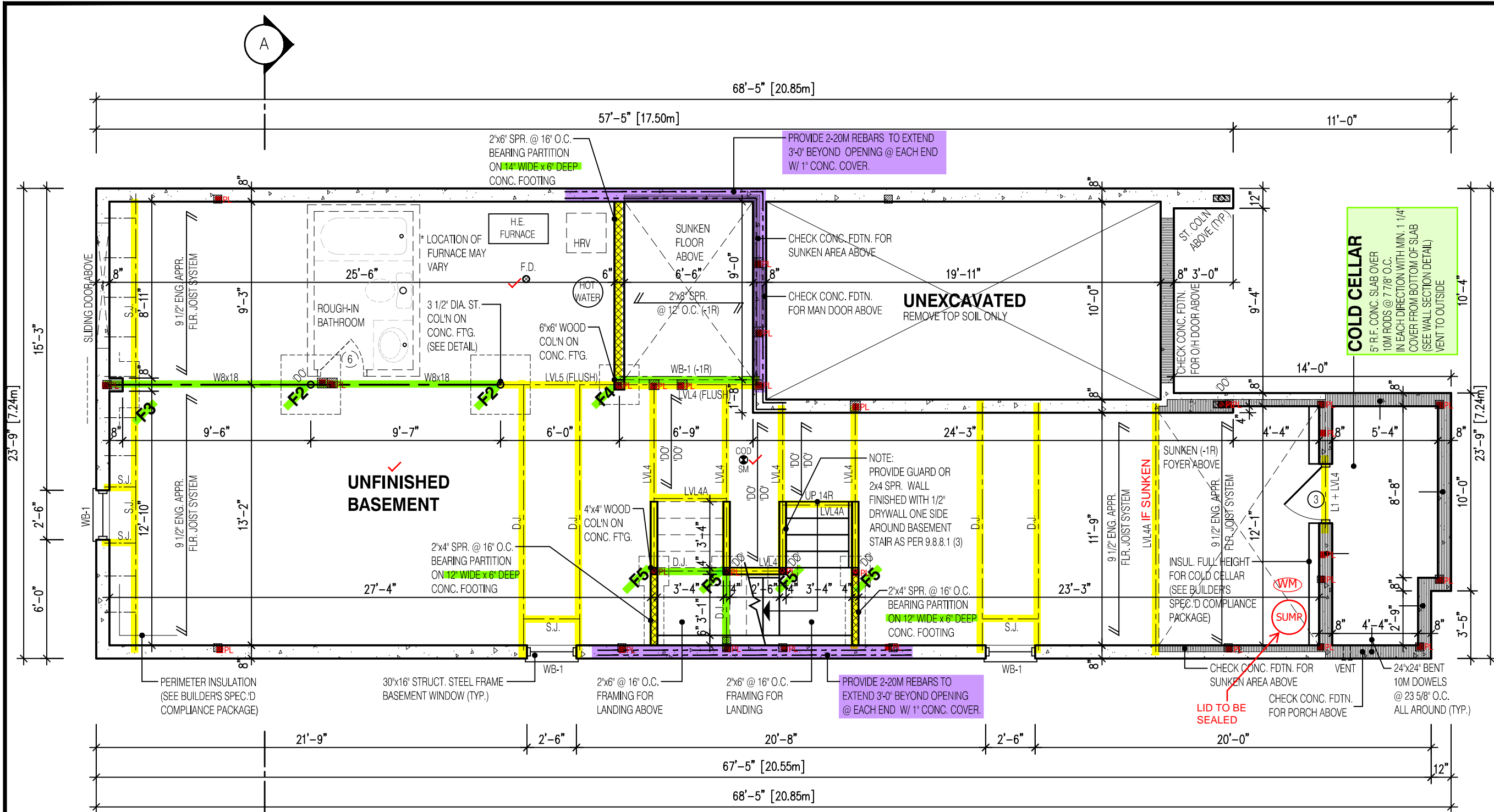
FINAL GRADING CERTIFICATE REQ'D
BEFORE FINAL INSPECTION SIGN-OFF

18.33 %
7.40 %
0.00 %
23.57 %

STRUDET INC.
B. MARINKOVIC
REGISTERED PROFESSIONAL ENGINEER
PROVINCE OF ONTARIO
january 16, 2023
FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the Town of
RICHMOND HILL.



REQUIRED CONTINUOUS INSULATION
CANNOT BE INTERRUPTED BY FRAMING
MEMBERS SUCH AS STUDS

NON-LOAD BEARING WALLS NOT
PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"
MINIMUM CEILING HEIGHT
UNDER BULKHEADS 6'-5"

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE
TYPICAL UP TO MAX. 8'-1" SPAN

VERIFY WATER METER AND DWHR
UNIT LOCATION WITH INSPECTOR

SPRAY FOAM/RIGID INSULATION TO BE
PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m
(6'-6") FROM THE POINT THE WATER SERVICE
PIPE MEETS THE BUILDING LINE

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING
CODE AND ANY OTHER REFERENCED REQUIREMENTS.

NOTE:

REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply with
the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE

STRUDET INC.



FOR STRUCTURE ONLY

2610
9.14m LOTS
GARDEN 4 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

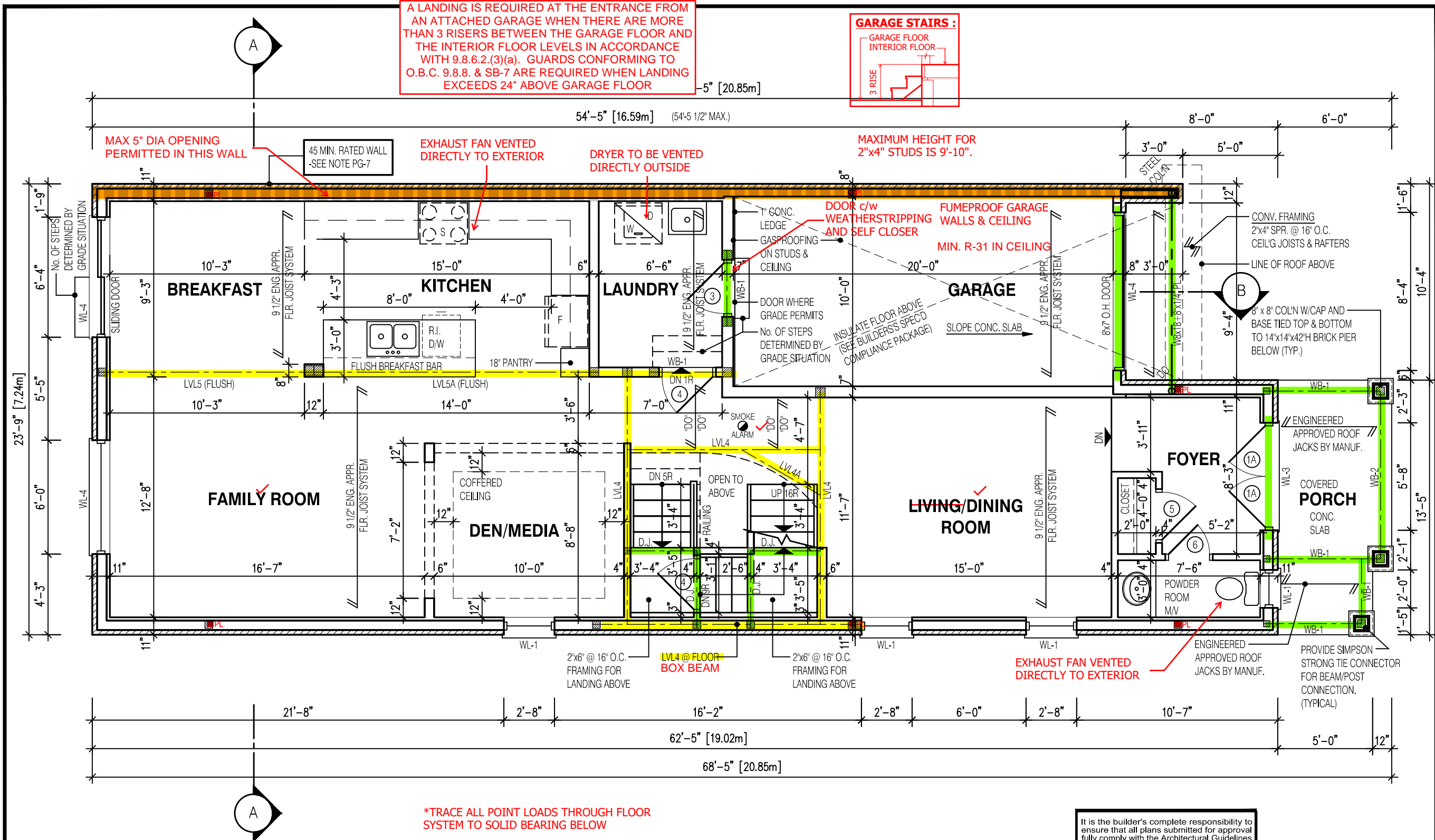
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 4
SCALE:
3/16" = 1'-0"
PROJ. No. 21-35 DWG. No. 1



<p>NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.</p> <p>NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE</p>		<p>NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'</p> <p>NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.</p>		<p>NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL</p> <p>ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL</p>		<p>LEGEND:</p> <p>BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)</p> <p>INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE</p> <p>STL. PLATE FOR STEEL COL'N ABOVE</p> <p>LVL LAMINATED VENEER LUMBER</p> <p>S.J. SINGLE JOIST</p> <p>D.J. DOUBLE JOIST</p> <p>T.J. TRIPLE JOIST</p> <p>REPEAT NOTE</p> <p>SHOWER WEEPERS</p>		<p>It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.</p> <p>This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE</p>		<p>STRUDET INC.</p> <p>REGISTERED PROFESSIONAL ENGINEER B. MARINKOVIC Sept 15/2022 FOR STRUCTURE ONLY</p>	
---	--	--	--	--	--	---	--	--	--	---	--

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2610

9.14m LOTS

GARDEN 4 (GR) ELEVATION 1

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No:	DATE:	WORK DESCRIPTION:
-----	-------	-------------------

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Ulbe* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

<i>jardin design group inc.</i>	<i>27763</i>
FIRM NAME	BCIN

DECK CONDITION EL-1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

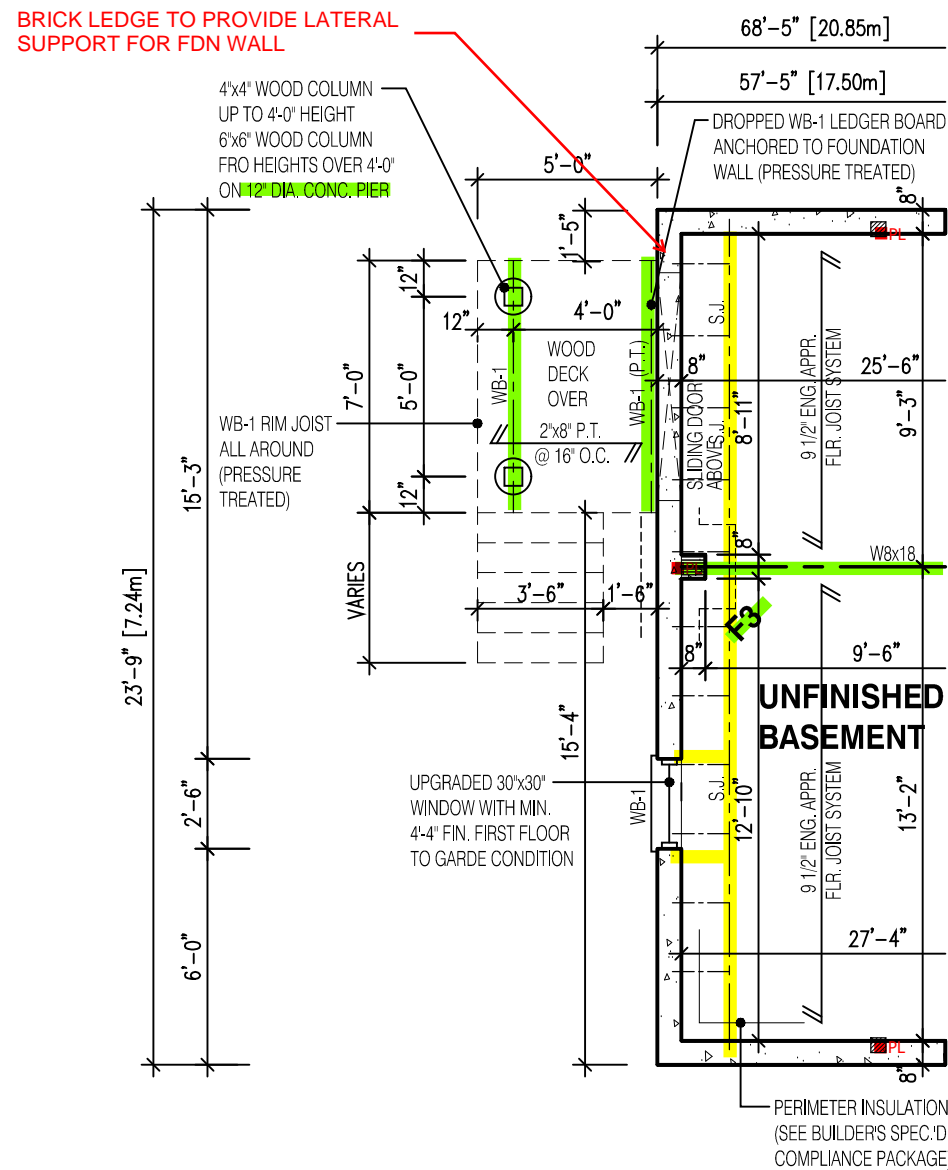
	MODEL: GARDEN 4
---	--------------------



SCALE:
3/16" = 1'-0"

BILD ®	PROJ. No.	DWG. No.
	21-35	3-1

	11.00	0.1
--	-------	-----



NOTE:

SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL

ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

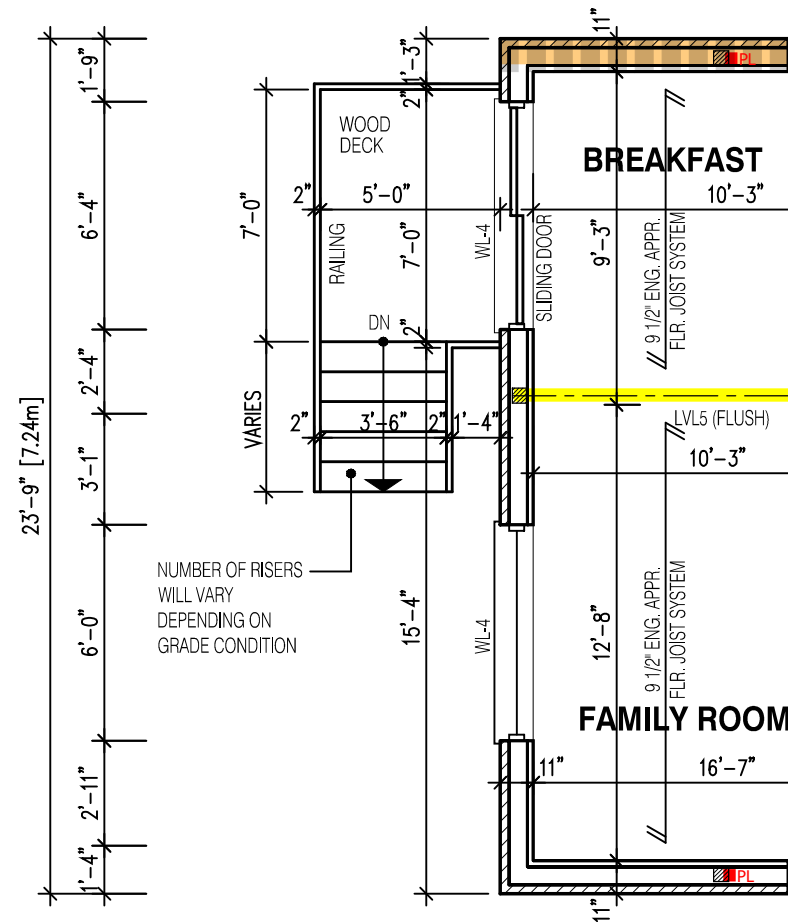
NOTE:

REFER TO SHEET NO. 0 - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER .

GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.








NOTE:

SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL

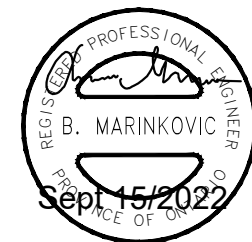
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL

PARTIAL FIRST FLOOR LAYOUT FOR DECK CONDITION EL-1

LEGEND:

- | | |
|---|--|
|  | BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D) |
|  | INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE |
|  | STL. PLATE FOR STEEL COL'N ABOVE |
| LVL | LAMINATED VENEER LUMBER |
| S.J. | SINGLE JOIST |
| D.J. | DOUBLE JOIST |
| T.J. | TRIPLE JOIST |
|  | REPEAT NOTE |
|  | SHOWER WEEPERS |

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE

NOTE:

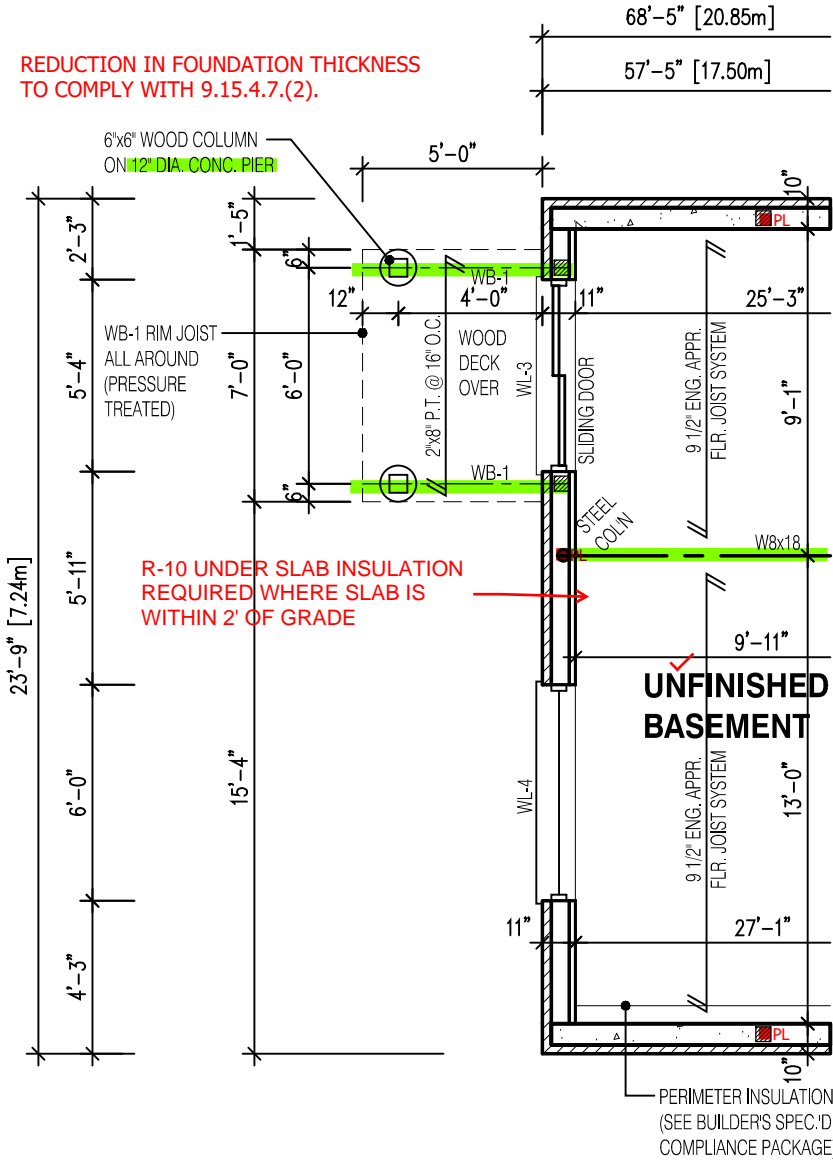
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED. (FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

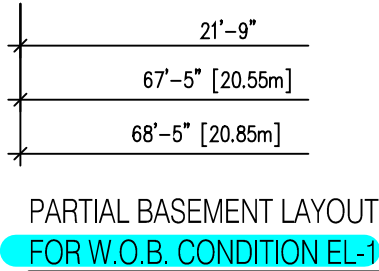
ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

GUARDS CONFORMING TO O.B.C. 9.8.8.
& SB-7 ARE REQUIRED FOR PORCHES
EXCEEDING 24" ABOVE GRADE.

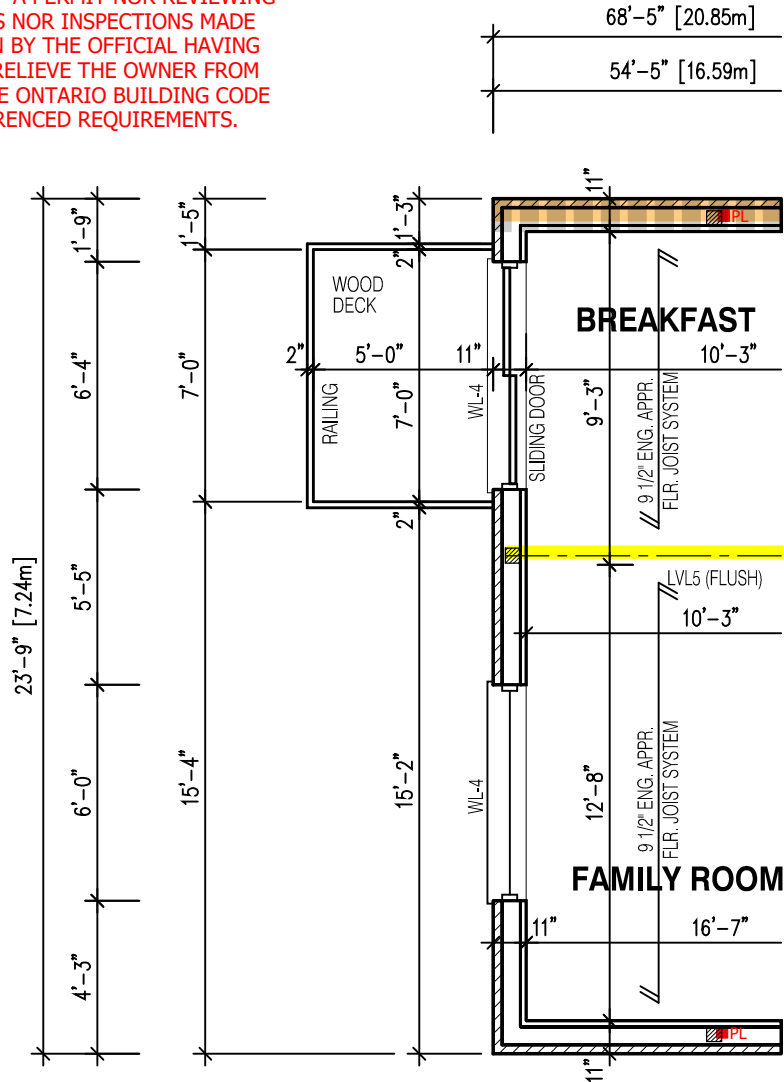
NOT THE GRANTING OF A PERMIT NOR REVIEWING
OF SPECS & DRAWINGS NOR INSPECTIONS MADE
DURING INSTALLATION BY THE OFFICIAL HAVING
JURISDICTION SHALL RELIEVE THE OWNER FROM
REQUIREMENTS OF THE ONTARIO BUILDING CODE
AND ANY OTHER REFERENCED REQUIREMENTS.



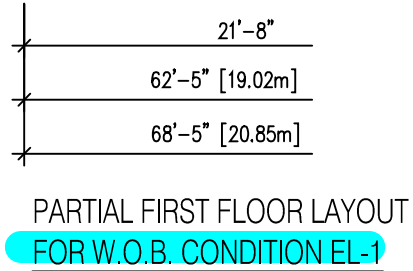
NOTE:
SUBFLOOR TO BE
3/4" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL



PARTIAL BASEMENT LAYOUT
FOR W.O.B. CONDITION EL-1

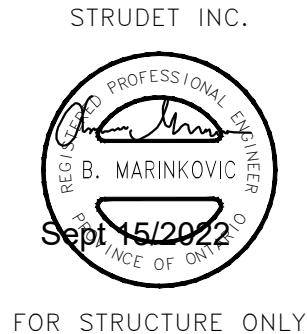


NOTE:
SUBFLOOR TO BE
5/8" PLYWOOD ON
THIS LEVEL
ALL FLOORS TO BE
NAILED AND GLUED
ON THIS LEVEL



PARTIAL FIRST FLOOR LAYOUT
FOR W.O.B. CONDITION EL-1

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS



FOR STRUCTURE ONLY

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE

2610
9.14m LOTS
GARDEN 4 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

W.O.B. CONDITION EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 4
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
21-35 3-2

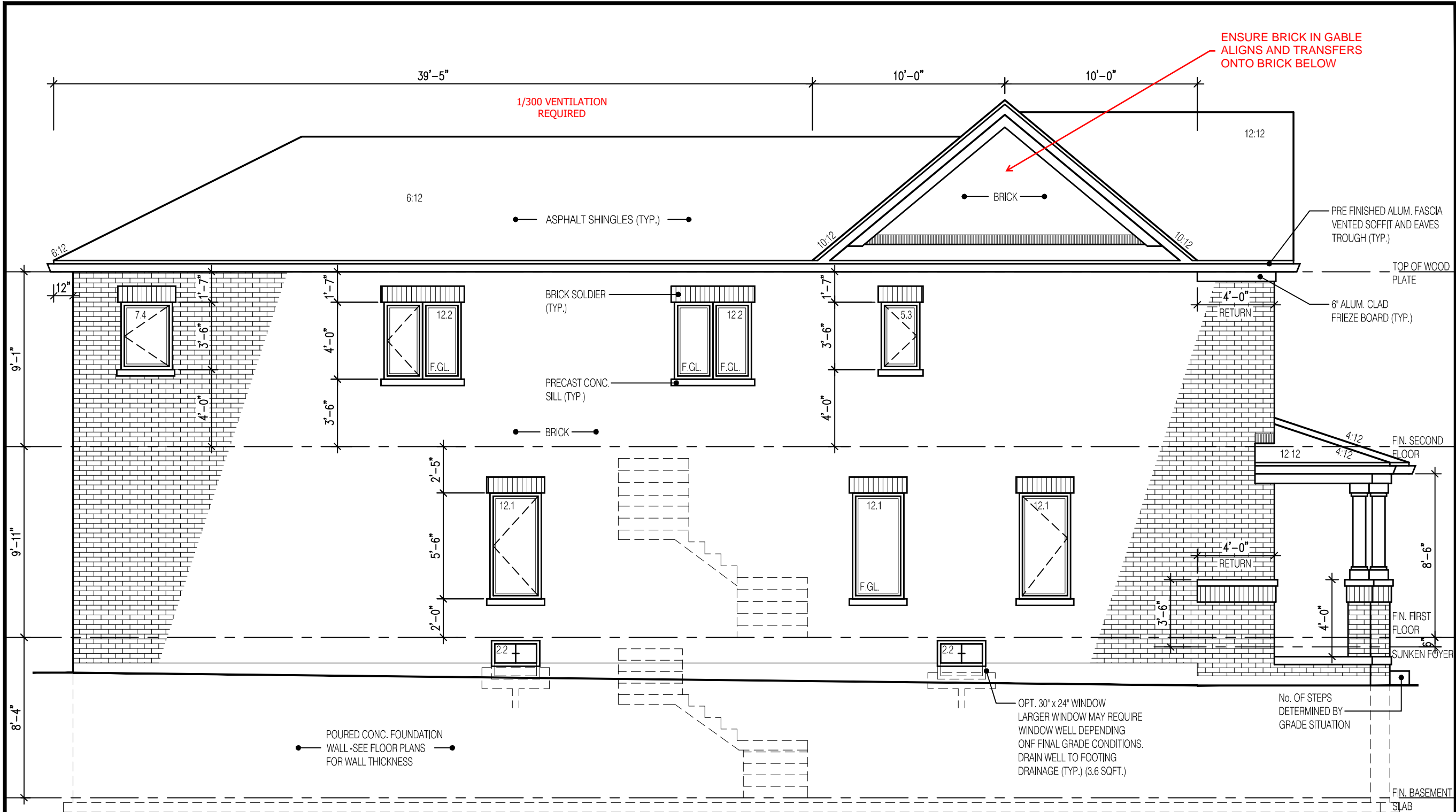
NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED. (FOUNDATION PLAN
TO BE REVIEWED IN CONJUNCTION WITH
SITE PLAN)

NOTE:
REFER TO SHEET NO. 0 - FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7"; 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER .



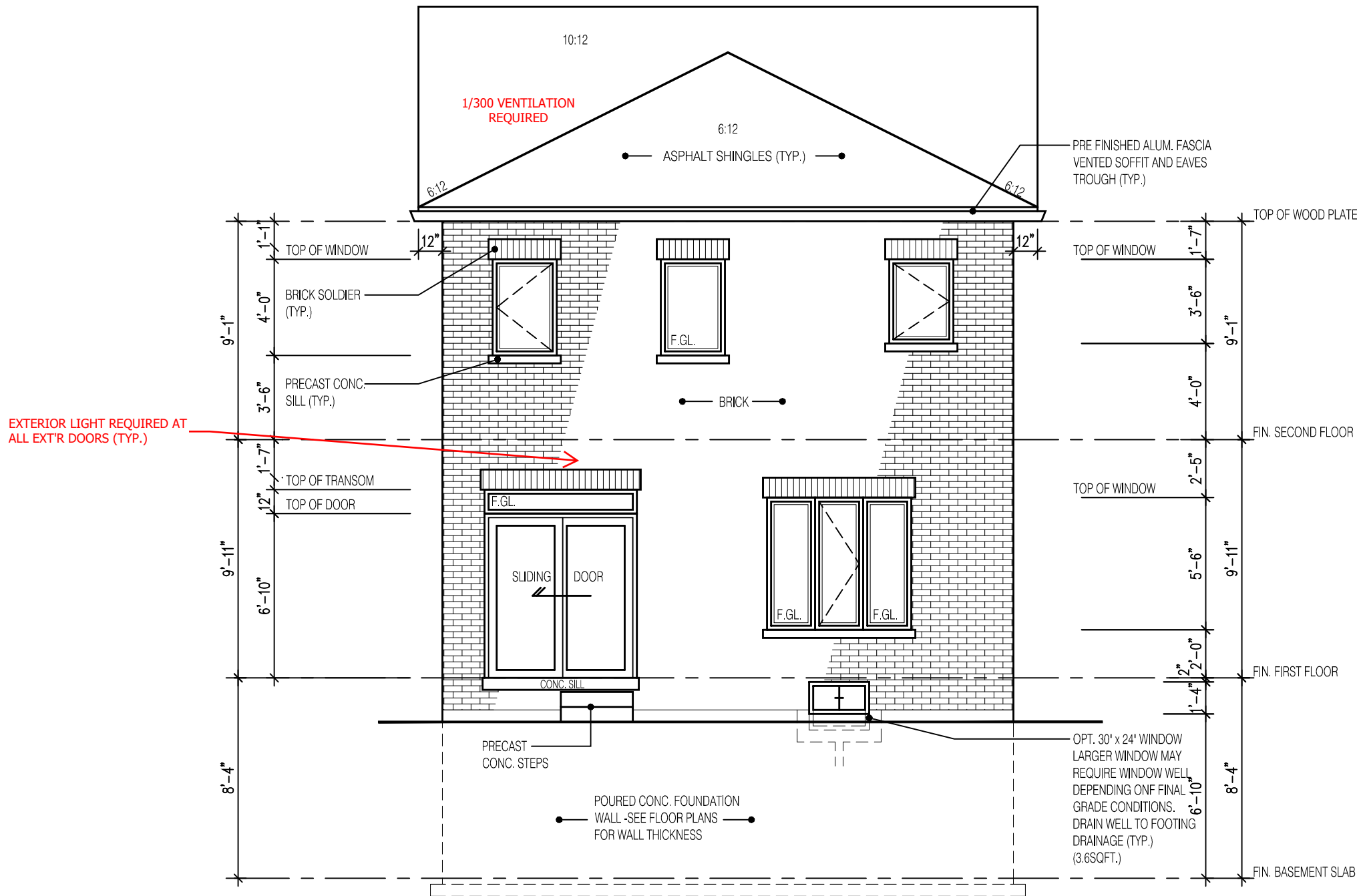
LEFT SIDE ELEVATION 1

UNPROTECTED OPENINGS

WALL AREA	1330	⌀
ALLOWABLE WINDOW AREA @ 7.0% (1.2m SIDEYARD)	93.1	⌀
ACTUAL GLAZED AREA	77.8	⌀
WITH OPTIONAL 30"x24" BASEMENT WINDOWS		
ACTUAL GLASS AREA	80.6	⌀ ✓

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2610		
9.14m LOTS		
GARDEN 4 (GR) ELEVATION 1		
A1 PACKAGE		
O.REG. 332/12		
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.		
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.		
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.		
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.		
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.		
7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW
No:	DATE:	WORK DESCRIPTION:
<div>jardin</div> <div>DESIGN GROUP INC</div> <div>64 JARDIN DR, SUITE 3A</div> <div>VAUGHAN ONT, L4K 3P3</div> <div>TEL: 905 660-3377 FAX: 905 660-3713</div> <div>EMAIL: info@jardindesign.ca</div>		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer		
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code		
Walter Botter		21031
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code		
jardin design group inc.		27763
FIRM NAME		BCIN
SIDE ELEVATION 1		
BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE		
	MODEL: GARDEN 4	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 21-35	DWG. No. 5



REAR ELEVATION 1

PROVIDE STAIR, GUARD AND LANDING OR
INSTALL PERMANENT BLOCKING TO
RESTRICT DOOR OPENING TO MAX. 4".

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS
& DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION
BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE
OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING
CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2610

9.14m LOTS

GARDEN 4 (GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



BILD

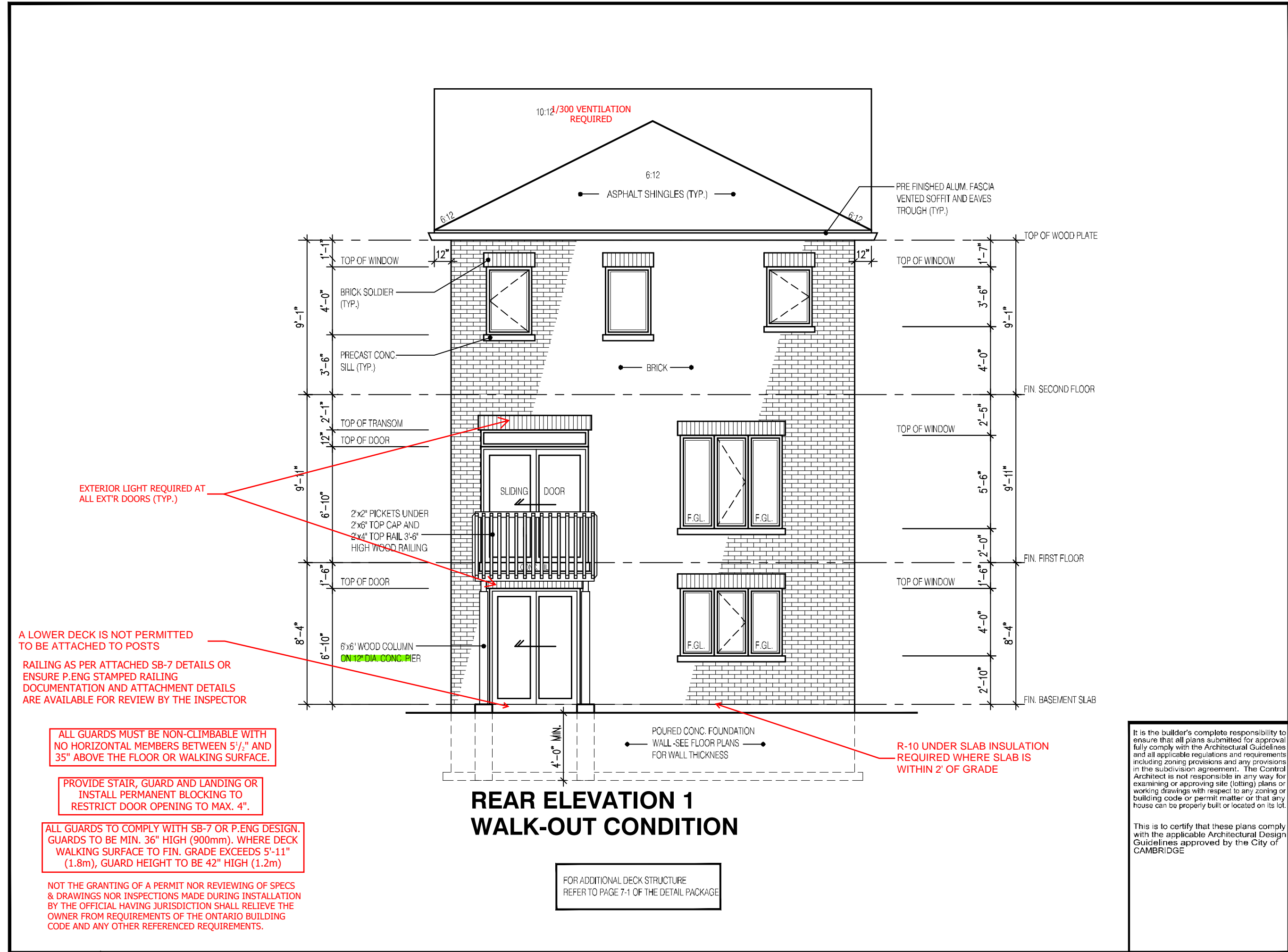
MODEL:
GARDEN 4

SCALE:
3/16" = 1'-0"

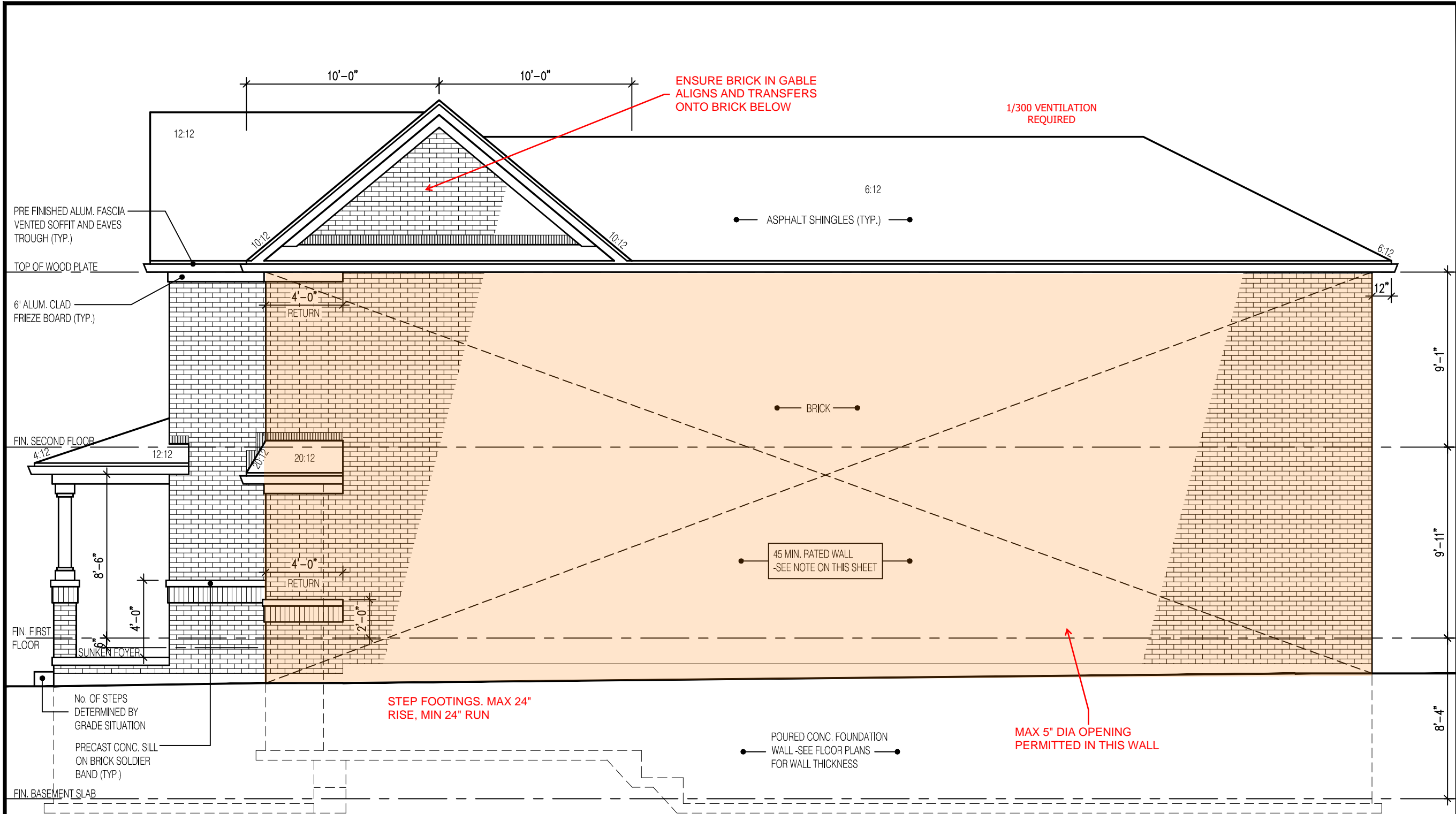
PROJ. No. 21-35
DWG. No. 6

It is the builder's complete responsibility to
ensure that all plans submitted for approval
fully comply with the Architectural Guidelines
and all applicable regulations and requirements
including zoning provisions and any provisions
in the subdivision agreement. The Control
Architect is not responsible in any way for
examining or approving site (lotting) plans or
working drawings with respect to any zoning or
building code or permit matter or that any
house can be properly built or located on its lot.

This is to certify that these plans comply
with the applicable Architectural Design
Guidelines approved by the City of
CAMBRIDGE



2610		
9.14m LOTS		
GARDEN 4 (GR)		
ELEVATION 1		
A1 PACKAGE		
O.REG. 332/12		
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.		
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.		
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.		
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OFFICIAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.		
THIS DRAWING IS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE REPRODUCED.		
7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW
No: DATE: WORK DESCRIPTION:		
jardin DESIGN GROUP INC 64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca		
The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.		
QUALIFICATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.		
Walter Botter <i>Walter Botter</i> 21031 NAME SIGNATURE BCIN		
REGISTRATION INFORMATION Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.		
jardin design group inc. 27763 FIRM NAME BCIN		
W.O.B. CONDITION EL 1		
BARLASSINA CONSTRUCTION CITY OF CAMBRIDGE		
	MODEL: GARDEN 4	
	SCALE: 3/16" = 1'-0"	
	PROJ. No. 21-35	DWG. No. 6-2



RIGHT SIDE ELEVATION 1

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE

2610

9.14m LOTS

GARDEN 4 (GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION 1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE



BILD

MODEL:

GARDEN 4

SCALE:

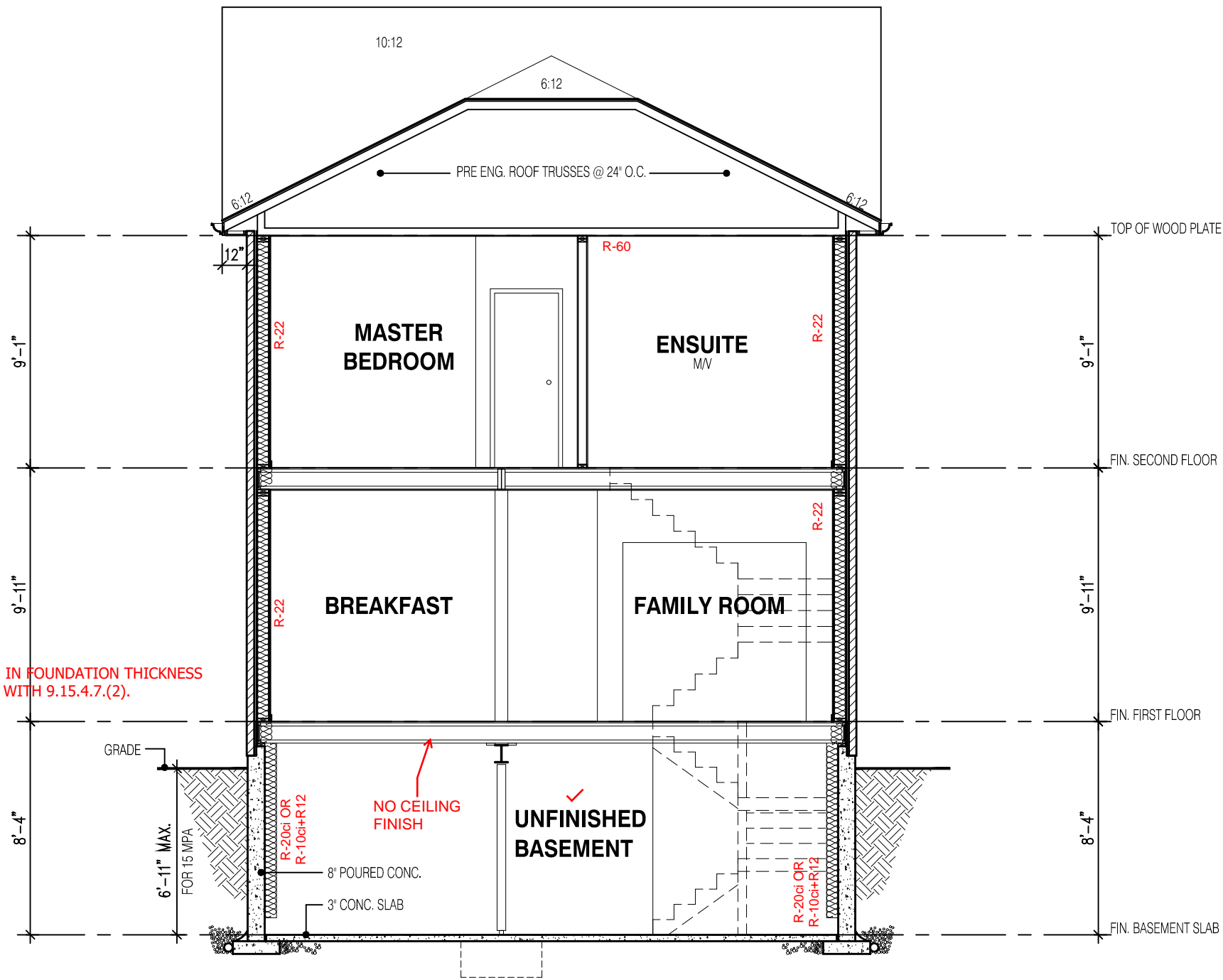
3/16" = 1'-0"

PROJ. No.

21-35

DWG. No.

7



SECTION A-A
ELEVATION 1

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

2610

9.14m LOTS

GARDEN 4 (GR)
ELEVATION 1

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

7		
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 10, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	JAN. 26, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

STRUDET INC.



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE

jardin

DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter

NAME

SIGNATURE

BCIN

21031

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc.

FIRM NAME

27763

BCIN

SECTION ELEV-1

BARLASSINA CONSTRUCTION

CITY OF CAMBRIDGE

BILD

MODEL:
GARDEN 4

SCALE:
3/16"= 1'-0"

PROJ. No.
21-35

DWG. No.
8