

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

P.ENG SOILS REPORT IS REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

SIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CCMC OR BMCC APPROVAL, OR A MINISTER'S RULING

FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF

P.ENG SOILS REPORT MAY BE REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

INSTALLATION OF FLUSH STEEL BEAMS SHALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)

PROVIDE P.ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)

ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12, MAX U-1.6, ER-25

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1140 Sq. Ft.
SECOND FLOOR AREA	=	1350 Sq. Ft.
TOTAL FLOOR AREA	=	2490 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2490 Sq. Ft.
GROUND FLOOR COVERAGE	=	1140 Sq. Ft.
GARAGE COVERAGE / AREA	=	241 Sq. Ft.
PORCH COVERAGE / AREA	=	47 Sq. Ft.
COVERAGE W/ PORCH	=	1428 Sq. Ft.
COVERAGE W/O PORCH	=	1381 Sq. Ft.
	=	128.30 Sq. m.

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELTED-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72

A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

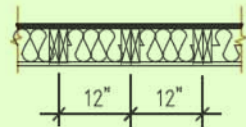
F1 = 48"x48"x20" CONCRETE PAD
F2 = 40"x40"x16" CONCRETE PAD
F3 = 34"x34"x14" CONCRETE PAD
F4 = 28"x28"x12" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x20" CONCRETE PAD
F2 = 38"x38"x16" CONCRETE PAD
F3 = 32"x32"x14" CONCRETE PAD
F4 = 26"x26"x12" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

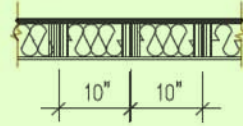
2-2"x6" STUD WALL NAILED TOGETHER AND SPACED @ 12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16" EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

2-1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED AND NAILED TOGETHER AND SPACED MAX. @ 10" O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

WHEN VENEER CUT IS GREATER THAN 26° A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2-2" x 12" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2-2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2-2" x 12" SPR.

WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2-2" x 8" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3-2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM

WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB10 = 4-2" x 8" SPRUCE BEAM
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2" x 3 1/2" x 1 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)
L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

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NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

MASTER PLAN

MODEL: GARDEN 9 ELEVATION: 1
BEDROOMS: 3
OPTIONS: N/A, ALT 2ND FLOOR (4 BEDROOM)

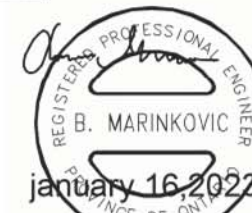
Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9'	HEIGHT 10' OR MORE	HEIGHT CEILINGS	HEIGHT CEILINGS	TYPE
1	2'-10"	6'-8"	(865x2033)	8'-0"	(865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8"	(815x2033)	8'-0"	(815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8"	(815x2033)	8'-0"	(815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4"	(815x2033x45)	8'-0" x 1-3/4"	(815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8"	(815x2033x35)	8'-0" x 1-3/8"	(815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8"	(760x2033x35)	8'-0" x 1-3/8"	(760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8"	(660x2033x35)	8'-0" x 1-3/8"	(660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8"	(460x2033x35)	8'-0" x 1-3/8"	(460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8"	(915x2033x35)	8'-0" x 1-3/8"	(915x2439x35)	INTERIOR SLAB DOOR

CITY OF CAMBRIDGE BUILDING DIVISION

THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in Order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code

Thomas Weisker 2023-03-15
INSPECTOR DATE



FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2490 CORNER LOTS GARDEN 9 (GR) ELEVATION 1 A1 PACKAGE O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE RECAL'D.

7	OCT. 17, 2022	CUT 6" IN LIVING/DINING & MAIN BATH; REISSUED FOR PERMIT
6	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
5	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 9, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	FEB. 23, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No. DATE: WORK DESCRIPTION:

jardin DESIGN GROUP INC.
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL: GARDEN 9
SCALE: 3/16" = 1'-0"
PROJ. No. 21-35 DWG. No. 0

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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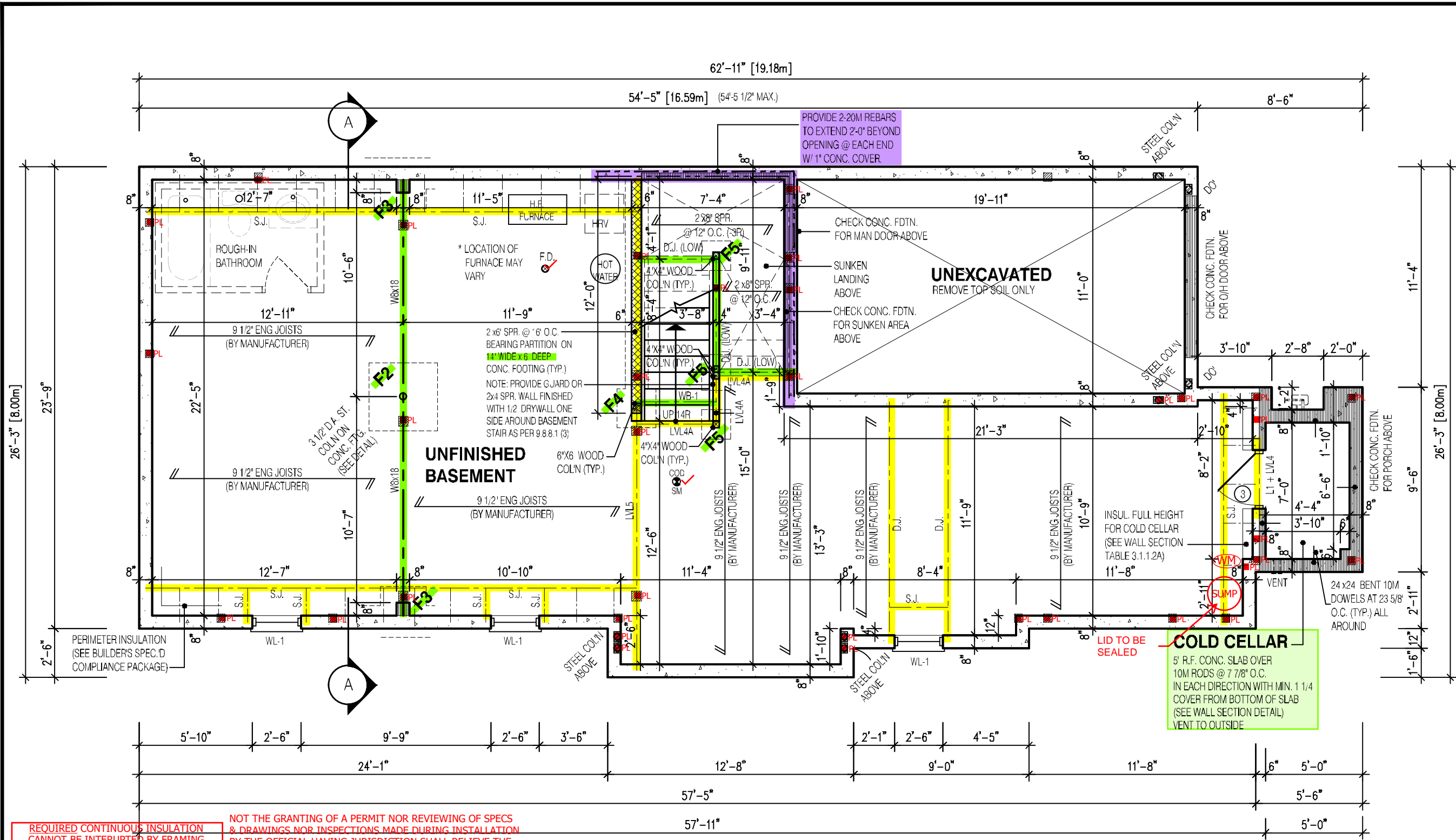
Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

BASEMENT PLAN EL-1
BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

MODEL: GARDEN 9
 SCALE: 3/16"=1'-0"
 PROJ. No. 21-35 DWG. No. 1



REQUIRED CONTINUOUS INSULATION CANNOT BE INTERRUPTED BY FRAMING MEMBERS SUCH AS STUDS

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NON-LOAD BEARING WALLS NOT PERMITTED TO BE FRAMED (TYP.)

MINIMUM CEILING HEIGHT 6'-11"
MINIMUM CEILING HEIGHT UNDER BULKHEADS 6'-5"

3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN
VERIFY WATER METER AND DWHR UNIT LOCATION WITH INSPECTOR
SPRAY FOAM/RIGID INSULATION TO BE PROTECTED AS PER 9.10.17.10.(1)

WATER METER TO BE INSTALLED WITHIN 2m (6'-6") FROM THE POINT THE WATER SERVICE PIPE MEETS THE BUILDING LINE

NOTE:
 REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
 SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
 THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
 SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL

NOTE:
 ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

STRUDET INC.

B. Marinkovic
 B. MARINKOVIC
 REGISTERED PROFESSIONAL ENGINEER
 OCT 19 2022
 PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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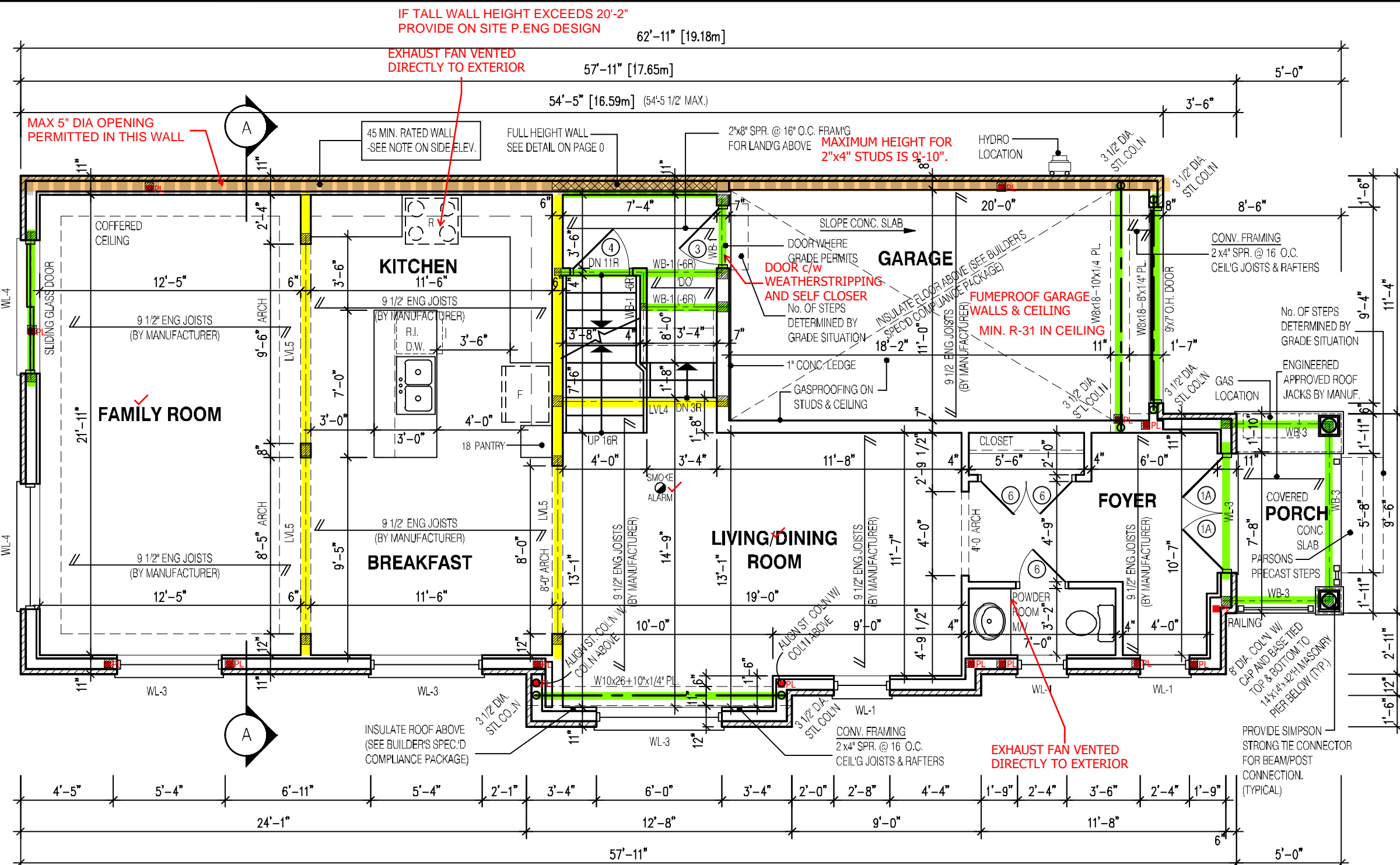
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jardin
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Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
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 jardindesigngroupinc. 27763
 FIRM NAME BCIN
FIRST FLOOR PLAN EL-1
 BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

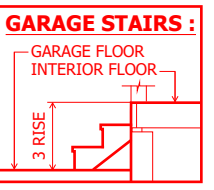
MODEL: GARDEN 9
 SCALE: 3/16"=1'-0"
 PROJ. No. 21-35 DWG. No. 2



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*TRACE ALL POINT LOADS THROUGH FLOOR SYSTEM TO SOLID BEARING BELOW

A LANDING IS REQUIRED AT THE ENTRANCE FROM AN ATTACHED GARAGE WHEN THERE ARE MORE THAN 3 RISERS BETWEEN THE GARAGE FLOOR AND THE INTERIOR FLOOR LEVELS IN ACCORDANCE WITH 9.8.6.2.(3)(a). GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED WHEN LANDING EXCEEDS 24" ABOVE GARAGE FLOOR



NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.	NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'
NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL	LEGEND:
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STRUDET INC.

 FOR STRUCTURE ONLY

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

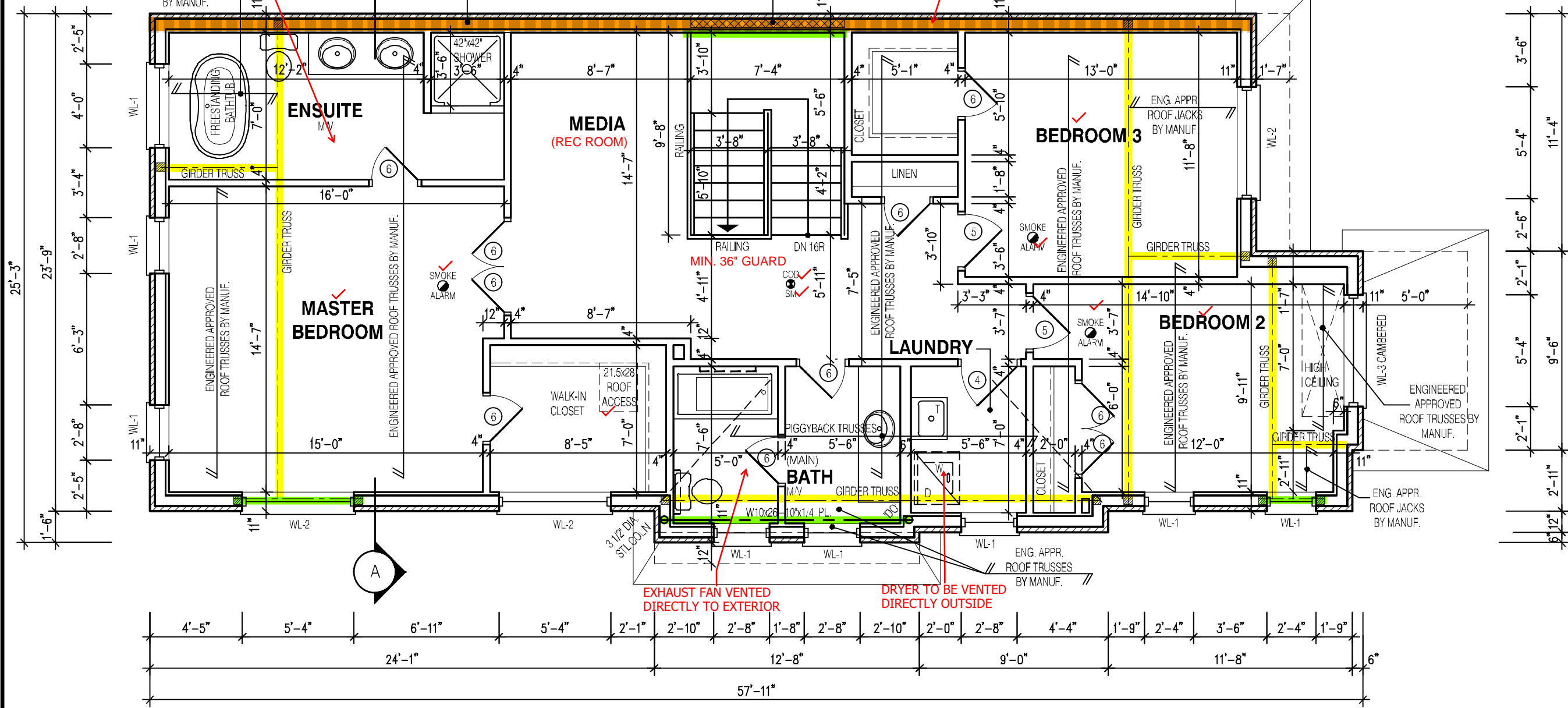
MINIMUM 16" WATERPROOF FINISH REQUIRED ABOVE RIM OF TUB TO WINDOW SILL

EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

45 MIN. RATED WALL - SEE NOTE ON SIDE ELEV.

IF TALL WALL HEIGHT EXCEEDS 20'-2" PROVIDE ON SITE P.ENG DESIGN

MAX 5" DIA OPENING PERMITTED IN THIS WALL



EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

DRYER TO BE VENTED DIRECTLY OUTSIDE

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
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4	JUN. 2, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
3	MAY 9, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	FEB. 23, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
jardin design group inc. 27763
FIRM NAME BCIN

SEC. FLOOR PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 9
SCALE:
3/16"=1'-0"
PROJ. No. DWG. No.
21-35 3

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

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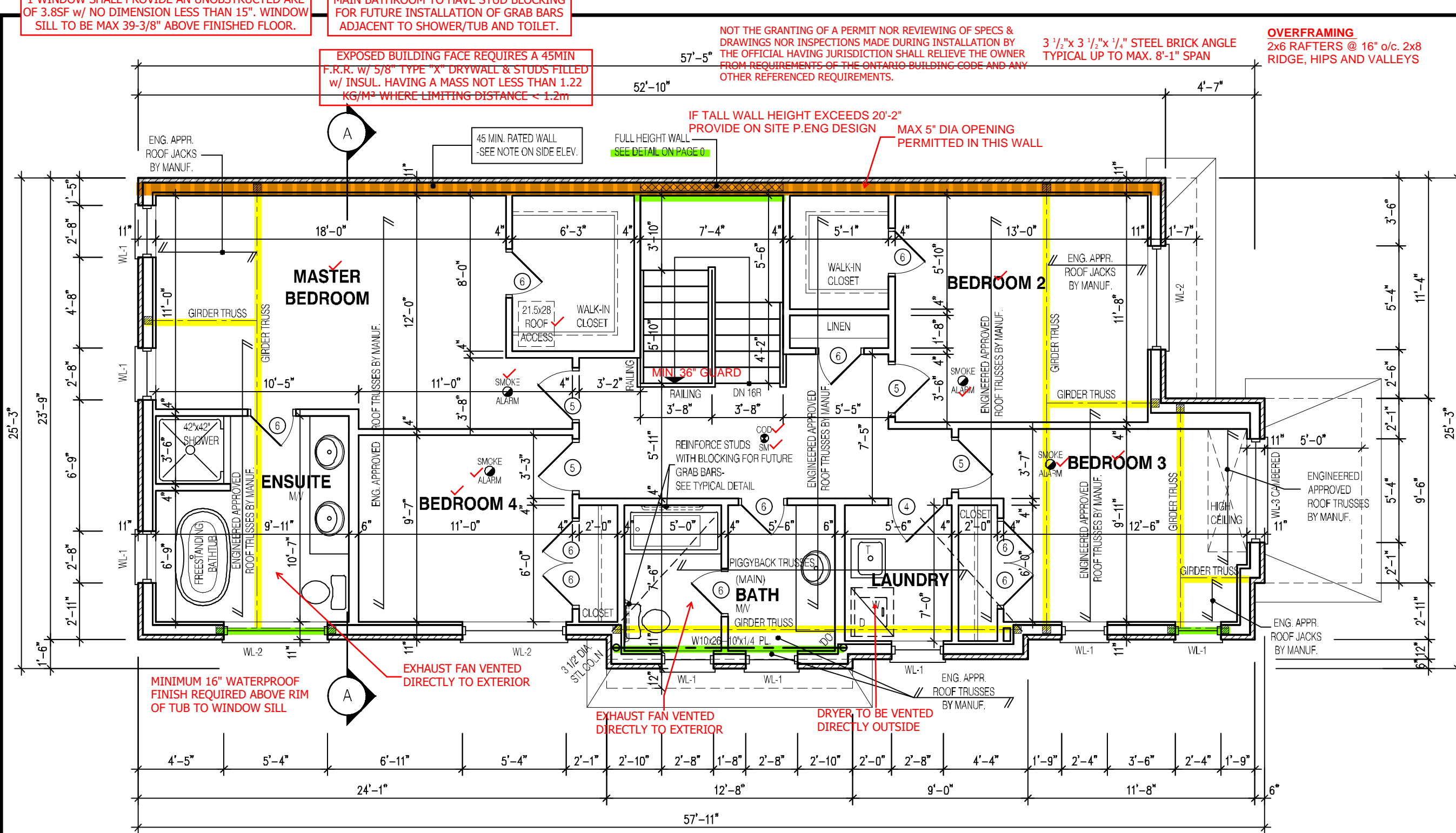
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EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. W/ 5/8" TYPE "X" DRYWALL & STUDS FILLED W/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

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3 1/2" x 3 1/2" x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS



ALT. - 4 BEDROOM LAYOUT

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COL'N ABOVE
 - LVL LAMINATED VENEER LUMBER
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STRUDET INC.

 B. MARINKOVIC
 January 16, 2023
 FOR STRUCTURE ONLY

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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 JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT OR FINAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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7		
6		
5		
4		
3		
2		
1	JAN. 11, 2023	ADDED 4 BEDROOM LAYOUT PER CLIENT REQUEST

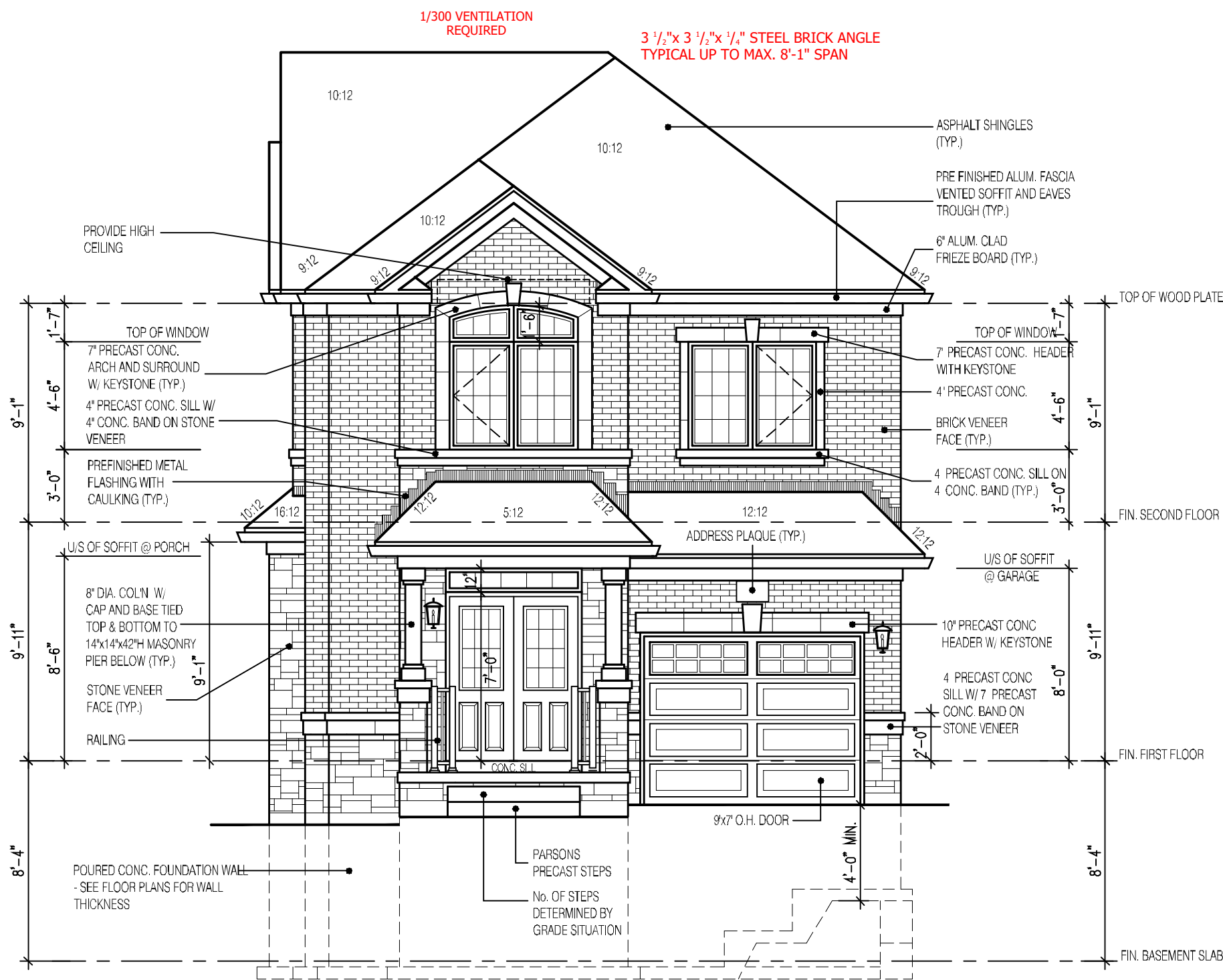
No: DATE: WORK DESCRIPTION:
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
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Walter Botter
 NAME SIGNATURE BCIN 21031
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.
Jardin design group inc. 27763
 FIRM NAME BCIN

ALT.-SEC. FL. PL. EL-1
BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

MODEL: GARDEN 9
 SCALE: 3/16"=1'-0"
 PROJ. No. DWG. No.
BILD
 21-35 3-1



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A LIGHT IS REQUIRED AT ALL ENTRANCES TO A SINGLE FAMILY DWELLING

GARDEN 9 FRONT ELEVATION 1

GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

STEP FOOTINGS. MAX 24" RISE, MIN 24" RUN

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1	FEB. 23, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *WBe* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

jardin design group inc. 27763
 FIRM NAME BCIN

FRONT ELEVATION 1

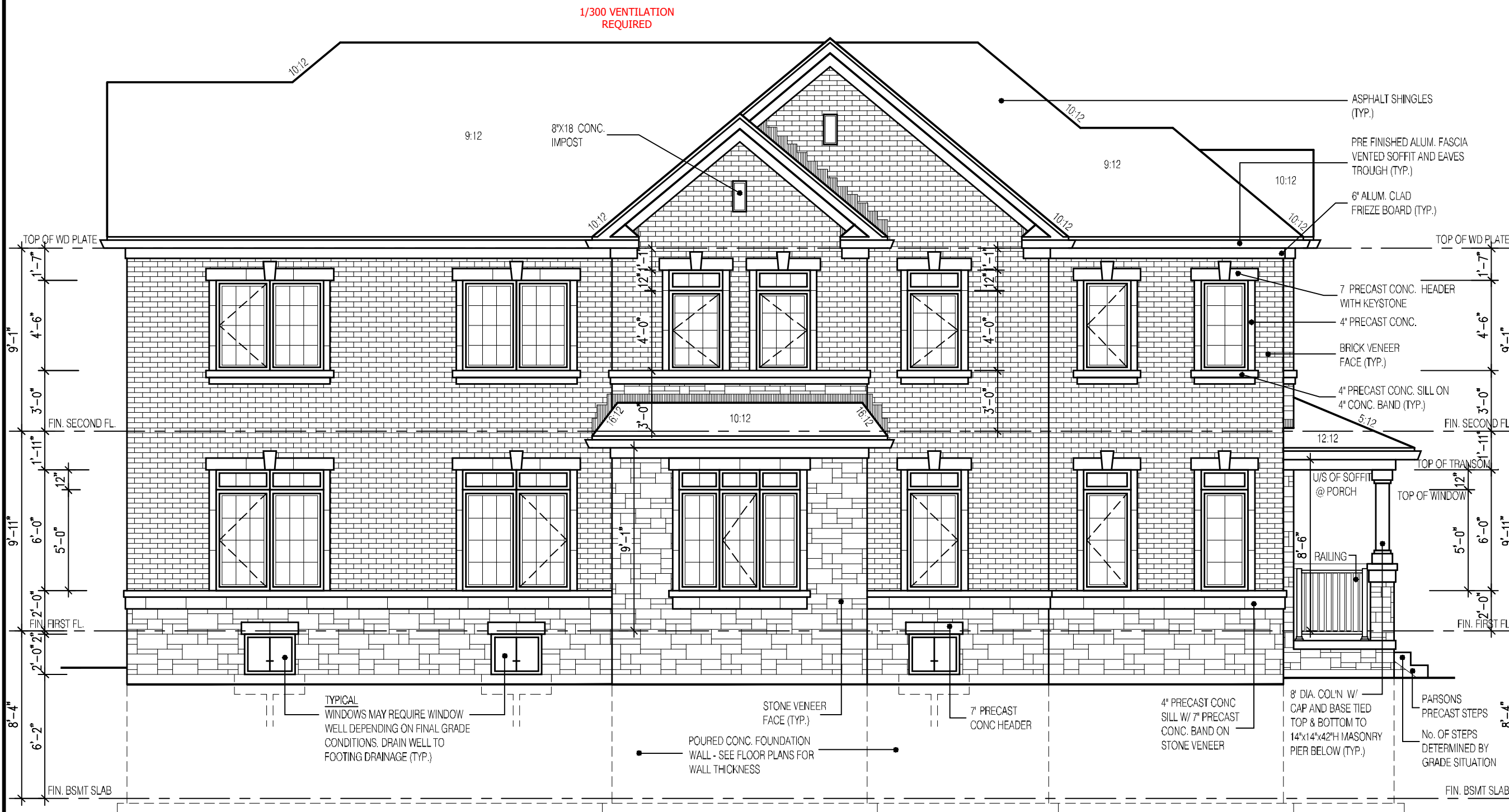
BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

	MODEL:	GARDEN 9
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	4

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2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



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3	MAY 9, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	FEB. 23, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
 FIRM NAME BCIN

GARDEN 9
FLANKAGE ELEVATION 1

UPO OK, FACES STREET

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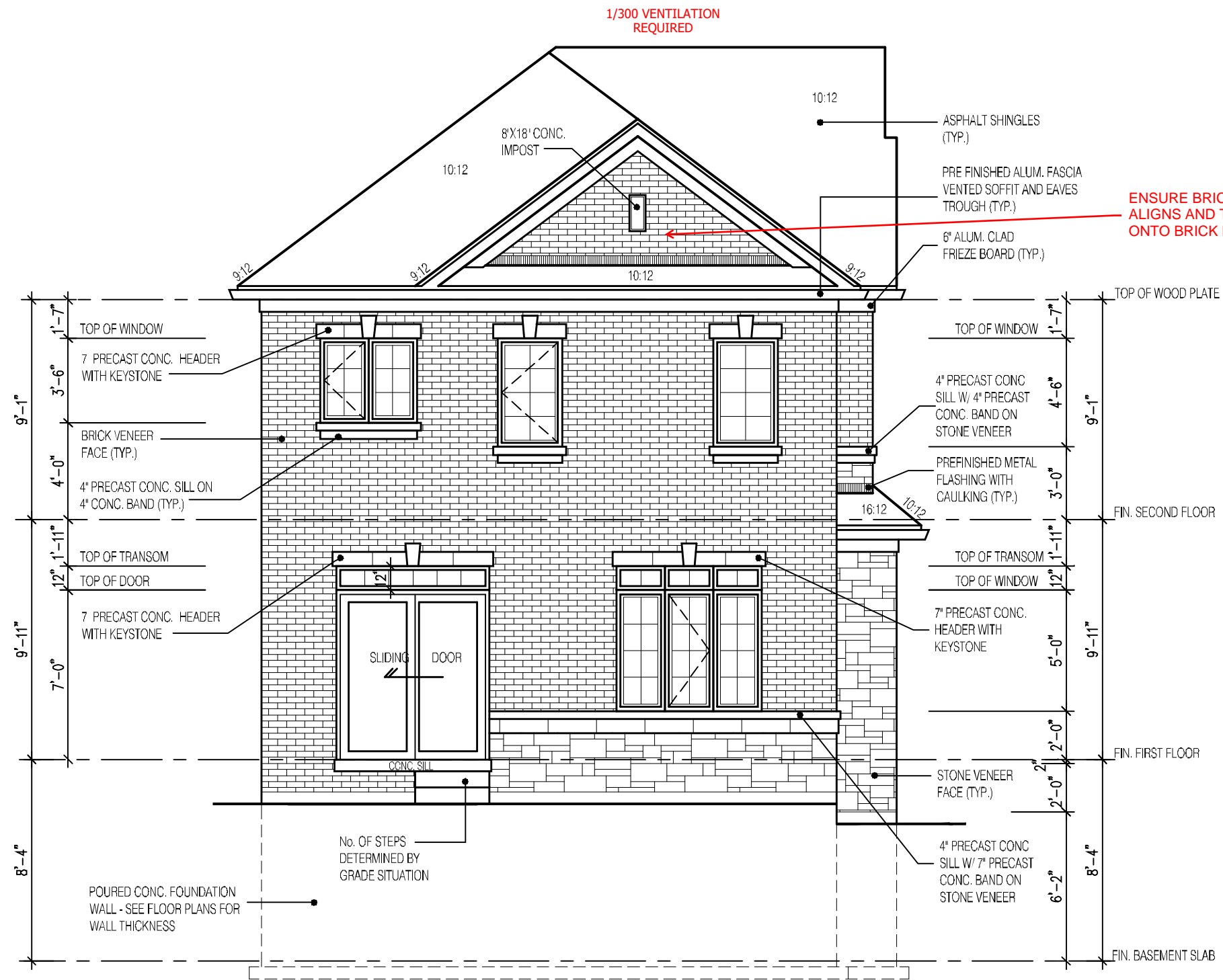
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FLANKAGE ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL:	GARDEN 9
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	5

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



1/300 VENTILATION REQUIRED

ENSURE BRICK IN GABLE ALIGNS AND TRANSFERS ONTO BRICK BELOW

A LIGHT IS REQUIRED AT ALL ENTRANCES TO A SINGLE FAMILY DWELLING

GARDEN 9 REAR ELEVATION 1

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN

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jardin design group inc. 27763
 FIRM NAME BCIN

REAR ELEVATION 1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

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	MODEL:	GARDEN 9
	SCALE:	3/16" = 1'-0"
	PROJ. No.	21-35
	DWG. No.	6

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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7	
6	
5	
4	
3	
2	
1	JAN. 12, 2023 ADDED 4 BEDROOM REAR ELEV. PER CLIENT REQUEST

No: DATE: WORK DESCRIPTION:

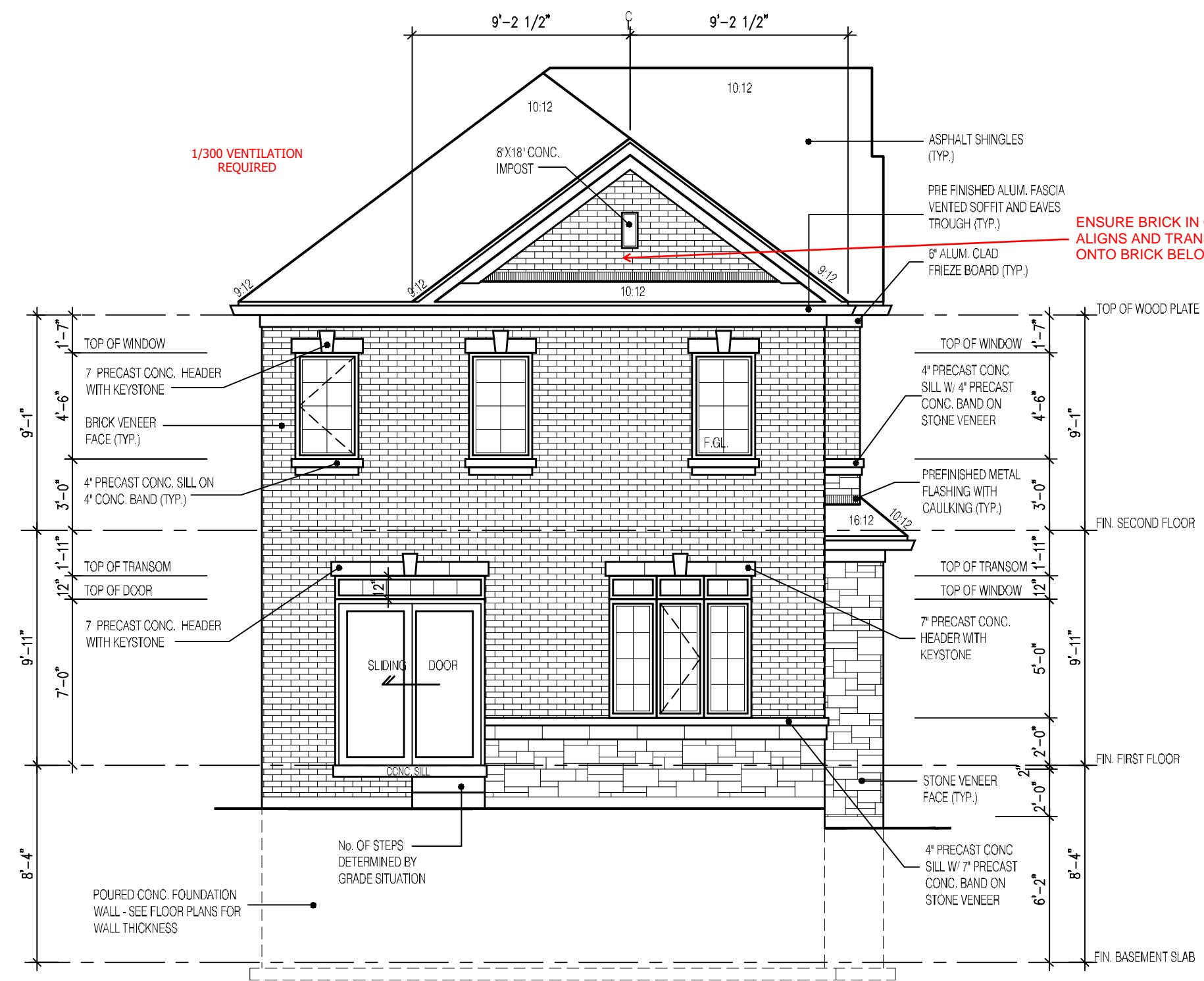
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
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 EMAIL: info@jardindesign.ca

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Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
 Jardin design group inc. 27763
 FIRM NAME BCIN

ALT.-REAR ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:	GARDEN 9
SCALE:	3/16"=1'-0"
PROJ. No.	21-35
DWG. No.	6-1



A LIGHT IS REQUIRED AT ALL ENTRANCES TO A SINGLE FAMILY DWELLING

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

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GARDEN 9
REAR ELEVATION 1
FOR ALT. - 4 BEDROOM LAYOUT

PROVIDE STAIR, GUARD AND LANDING OR INSTALL PERMANENT BLOCKING TO RESTRICT DOOR OPENING TO MAXIMUM 4" WHEN DOOR SILL EXCEEDS 24" ABOVE GRADE.

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY DECK GREATER THAN 24" ABOVE FINISHED GRADE.

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2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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3	MAY 9, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
2	MAR. 23, 2022	REVISED AS PER CLIENT & ISSUED FOR BROCHURE
1	FEB. 23, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

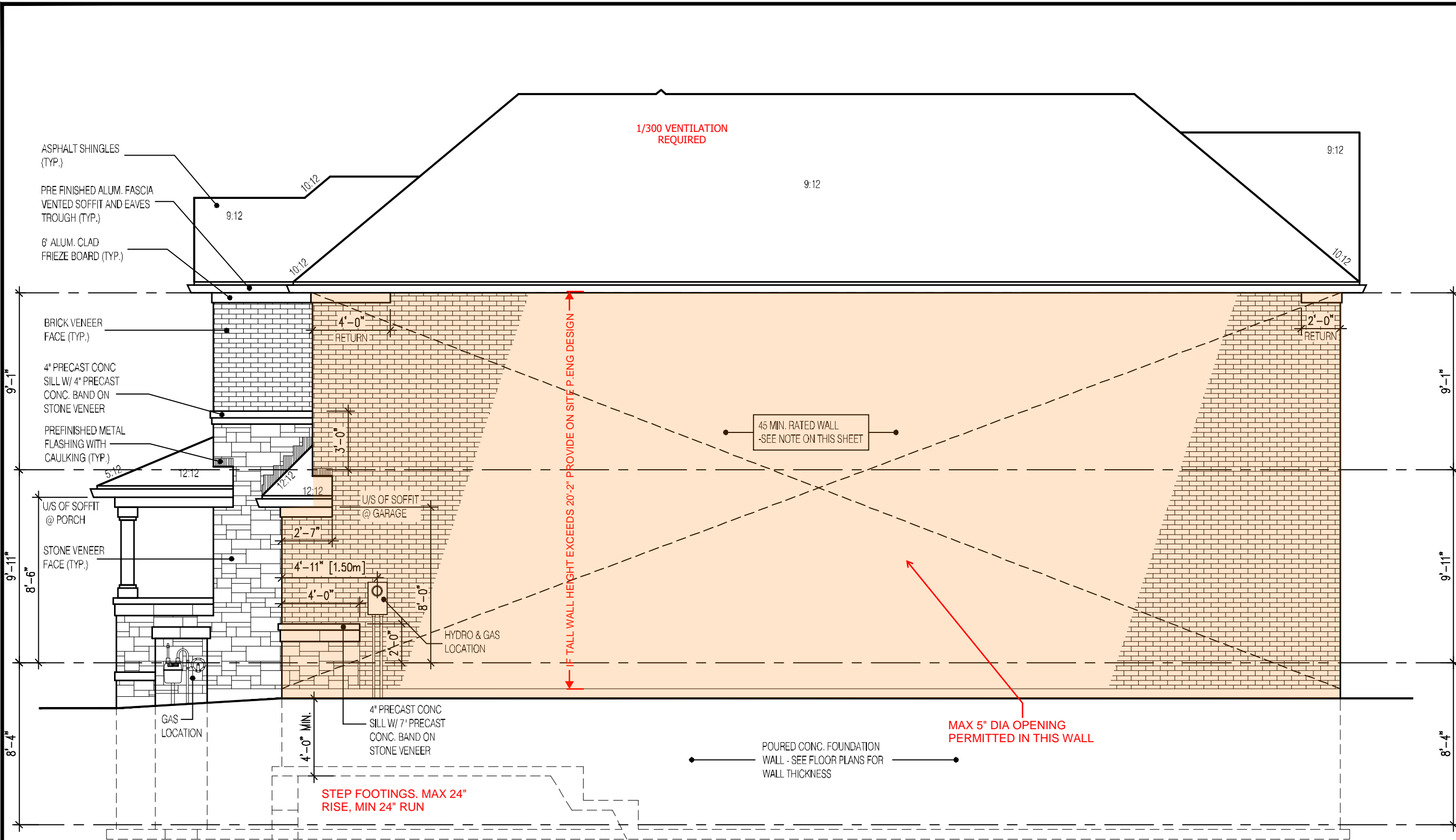
jardin
 DESIGN GROUP INC
 64 JARDIN DR. SUITE 3A
 VAUGHAN ONT. L4K 3P3
 TEL: 905 660-3377 FAX: 905 660-3713
 EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
 QUALIFICATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
 NAME SIGNATURE BCIN
 REGISTRATION INFORMATION
 Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
 Jardin design group inc. 27763
 FIRM NAME BCIN

SIDE ELEVATION 1
 BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

MODEL: GARDEN 9
 SCALE: 3/16"=1'-0"
 PROJ. No. 21-35 DWG. No. 7



GARDEN 9
SIDE ELEVATION 1

NOT THE GRANTING OF A PERMIT NOR REVIEWING OF SPECS & DRAWINGS NOR INSPECTIONS MADE DURING INSTALLATION BY THE OFFICIAL HAVING JURISDICTION SHALL RELIEVE THE OWNER FROM REQUIREMENTS OF THE ONTARIO BUILDING CODE AND ANY OTHER REFERENCED REQUIREMENTS.

EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

HEADER/RIM JOIST LEVEL

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE "X" GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

BRICK VENEER CONSTRUCTION

(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)

45 MINUTE FIRE RATED WALL

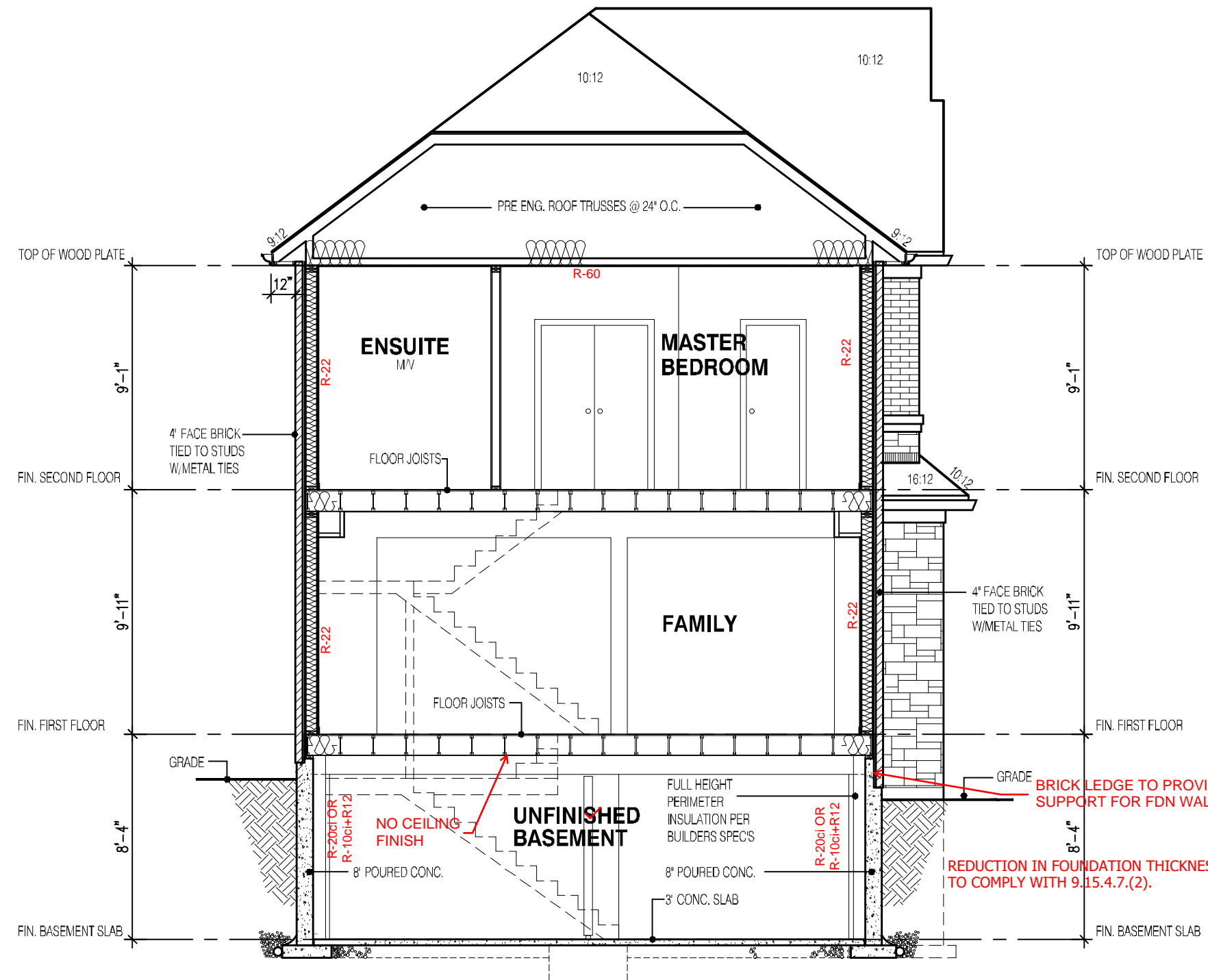
PROVIDE A CONTINUOUS LAYER 12.7mm (1/2") TYPE "X" GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE "X" & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTIONS. MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE "X" IS INSTALLED IN GARAGE EXTERIOR WALLS.

(REFER TO SECTION 2.3 OF SUPPLEMENTARY GUIDELINES)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

2490
CORNER LOTS
GARDEN 9 (GR)
ELEVATION 1
A1 PACKAGE
O.REG. 332/12



SECTION A ELEVATION 1

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STRUDET INC.

 FOR STRUCTURE ONLY

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SECTION A ELEVATION 1
 BARLASSINA CONSTRUCTION
 CITY OF CAMBRIDGE

	MODEL:	GARDEN 9
	SCALE:	3/16"=1'-0"
	PROJ. No.	21-35
	DWG. No.	8