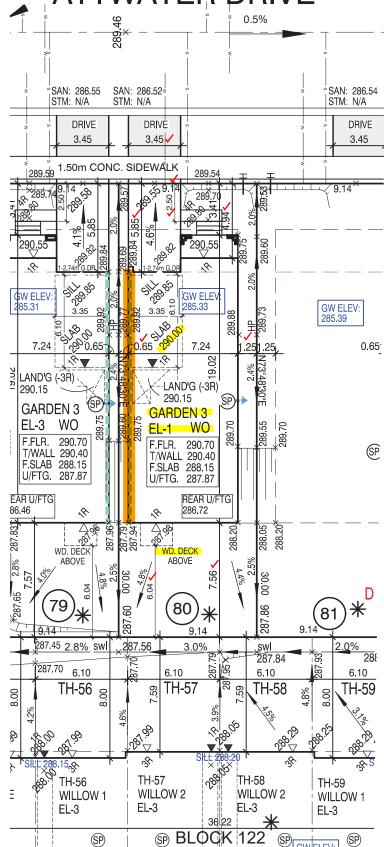


DRIVE CERTIFICATE OF U/S OF FOOTING ELEVATION AND P.ENG SOILS REPORT REQ'D AT FOOTING 3.45 3.45 INSPECTION (see inspector) 1.50m CONC. SIDEWÁLK 289.59 MIN. 4' FROST PROTECTION FOR ALL FOOTINGS ×289.7 **\**2.50 CITY OF CAMBRIDGE 29<u>0</u>55 **BUILDING DIVISION** 289 THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in Order to issue subject to any GW ELEV: GW ELEV hanges noted under the condition that the building will 285.33 3.35 3.35 · SLAB 2023-03-07 Thomas Weeshor 200.65 INSPECTOR DATE 0 65 0 7.24 7.24 **√**8.▲ Land'G (-3R) . LAND'G (-3R) 290.15 CITY OF CAMBRIDGE 290.15 (SP) **GRADING APPROVAL** GARDEN 3 **GARDEN 3** EL-3 WO EL-1 WO 02/06/2023 F.FLR. 290.70 F.FLR. 290.70 DATE T/WALL 290.40 T/WALL 290.40 F.SLAB 288.15 Clear stone must be used when the building separation F.SLAB 288.15 U/FTG. 287.87 U/FTG. 287.87 on side yards is 1.5m or less, and must be inspected

by the City prior to the placement of stone. The depth of the clear stone shall not be less than 150mm and placed on the geotextile membrane. We certify that the proposed grades at the lot

corners are correct, and that the lot grading of the subject lot is in general conformity to the approved subdivision grading plans and City of Cambridge standards.







45 MINUTE RATED WALL WITH SIDE YARD < 1.2m

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examping or approving site (bitting) plans or examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE.

JOHN G. WILLIAMS LTD., ARCHITECT AND APPROVAL APPROVED BY: . DATE: DEC 14, 2022 This stamp certifies compliance with the applicabl Design Guidelines only and bears no further professional responsibility.

## 5 ISSUED FOR ENGINEERS GRADING REVIEW DEC. 07, 2022 AND PERMIT

## **REVISIONS:**

E CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON E BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE PORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

ARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY. IRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR ONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO HE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

S CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

ARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE INTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH IE CONTRACT DOCUMENTS.

HIS DRAWING IS AN INSTRUMENT OF SERVICE, IS PROVIDED BY AND IS THE PROPERTY JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

BARLASSINA CONSTRUCTION INC.

PROJ. No. 21-35 LOT No. 80

MUNICIPAL ADDRESS

5m

**SCALE 1:250** 



10m

The undersigned has reviewed and takes responsibility for th design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

GW ELEV:



jardin design group inc.

FIRM NAME



64 JARDIN DR. SUITE 3A VAUGHAN ONT. L4K 3P3 TEL: 905 660-3377 FAX: 905 660-3713 EMAIL: info@jardindesign.ca