

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY	
120 KPa NATIVE SOIL 20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.	90 KPa ENGINEERED FILL SOIL 24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS. 30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.
100 KPa NATIVE SOIL 22"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS. 28"x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS OR 28"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS	GENERAL NOTE : ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL FOOTING DETAIL FOR REINFORCEMENT. (REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING		
120 KPa NATIVE SOIL	90 KPa ENGINEERED FILL SOIL	100 KPa NATIVE SOIL
F1 = 42"x42"x18" CONCRETE PAD	F1 = 48"x48"x20" CONCRETE PAD	F1 = 46"x46"x20" CONCRETE PAD
F2 = 36"x36"x16" CONCRETE PAD	F2 = 40"x40"x16" CONCRETE PAD	F2 = 38"x38"x16" CONCRETE PAD
F3 = 30"x30"x12" CONCRETE PAD	F3 = 34"x34"x14" CONCRETE PAD	F3 = 32"x32"x14" CONCRETE PAD
F4 = 24"x24"x12" CONCRETE PAD	F4 = 28"x28"x12" CONCRETE PAD	F4 = 26"x26"x12" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD	F5 = 18"x18"x8" CONCRETE PAD	F5 = 17"x17"x8" CONCRETE PAD
(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)		

NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:
ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3 1/2" x 3 1/2" x 1 1/4" (90x90x6) + 2- 2" x 8" SPR.
WL2 = 4" x 3 1/2" x 5/16" (100x90x8) + 2- 2" x 8" SPR.
WL3 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 10" SPR.
WL4 = 6" x 3 1/2" x 3/8" (150x90x10) + 2- 2" x 12" SPR.
WL5 = 6" x 4" x 3/8" (150x100x10) + 2- 2" x 12" SPR.

WL6 = 5" x 3 1/2" x 5/16" (125x90x8) + 2- 2" x 8" SPR.
WL7 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 10" SPR.
WL8 = 5" x 3 1/2" x 5/16" (125x90x8) + 3- 2" x 12" SPR.
WL9 = 6" x 4" x 3/8" (150x100x10) + 3- 2" x 12" SPR.

WOOD LINTELS:

WB1 = 2- 2" x 8" SPRUCE BEAM
WB2 = 3- 2" x 8" SPRUCE BEAM
WB3 = 2- 2" x 10" SPRUCE BEAM
WB4 = 3- 2" x 10" SPRUCE BEAM
WB5 = 2- 2" x 12" SPRUCE BEAM

WB6 = 3- 2" x 12" SPRUCE BEAM
WB7 = 5- 2" x 12" SPRUCE BEAM
WB10 = 4- 2" x 8" SPRUCE BEAM
WB11 = 4- 2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3 1/2 x 3 1/2 x 1 1/4" (90 x 90 x 6)
L2 = 4" x 3 1/2" x 5/16" (100 x 90 x 8)
L3 = 5" x 3 1/2" x 5/16" (125 x 90 x 8)

L4 = 6" x 3 1/2" x 3/8" (150 x 90 x 10)
L5 = 6" x 4" x 3/8" (150 x 100 x 10)
L6 = 7" x 4" x 3/8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)

LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

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P.ENG SOILS REPORT IS REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

ENERGY PERFORMANCE LABELS FOR ALL GLAZING PRODUCTS IDENTIFYING THE CERTIFIED VALUES SHALL REMAIN ON FOR REVIEW DURING CONSTRUCTION

FINAL GRADING CERTIFICATE REQ'D BEFORE FINAL INSPECTION SIGN-OFF

P.ENG SOILS REPORT MAY BE REQ'D TO CONFIRM BEARING CAPACITY OF SOILS. SEE FIELD INSPECTOR

INSTALLATION OF FLUSH STEEL BEAMS SHALL CONFORM TO THE REQUIREMENTS OF 9.23.9.2.(3), (4) & (5)

PROVIDE P.ENG APPROVED TRUSS & FLOOR DRAWINGS AND SPECIFICATIONS TO BUILDING INSPECTOR AT FRAMING INSPECTION

REINFORCING REQUIRED IN FOUNDATION WALL OR PORCH SLAB SHALL BE REVIEWED PRIOR TO POURING CONCRETE (see inspector)

AREA CALCULATIONS EL-1	
FIRST FLOOR AREA	= 933 Sq. Ft.
SECOND FLOOR AREA	= 1127 Sq. Ft.
TOTAL FLOOR AREA	= 2060 Sq. Ft.
ADD OPEN AREAS	= 10 Sq. Ft.
ADD FIN. BASEMENT AREA	= 0 Sq. Ft.
GROSS FLOOR AREA	= 2070 Sq. Ft.
GROUND FLOOR COVERAGE	= 933 Sq. Ft.
GARAGE COVERAGE / AREA	= 223 Sq. Ft.
PORCH COVERAGE / AREA	= 147 Sq. Ft.
COVERAGE W/ PORCH	= 1303 Sq. Ft.
	= 121.05 Sq. m.
COVERAGE W/O PORCH	= 1156 Sq. Ft.
	= 107.40 Sq. m.

GARDEN 11 ELEV.-1		ENERGY EFFICIENCY- A1 PACKAGE	
ELEVATION	WALL FT²	OPENING FT²	PERCENTAGE
FRONT	433.35	62.00	14.31 %
LEFT SIDE	1253.48	154.66	12.34 %
RIGHT SIDE	1175.56	0.00	0.00 %
REAR	513.99	123.66	24.06 %
TOTAL	3376.38	340.32	10.08 %

ALL NEW WINDOWS AND SLIDING GLASS DOORS TO COMPLY WITH THE THERMAL REQUIREMENTS OF SB-12. MAX U-1.6, ER-25

FLOORING IN KITCHENS, WASHROOMS, LAUNDRY, AND STORAGE AREAS, SHALL CONSIST OF FELTED-SYNTHETIC-FIBRE FLOOR COVERING, CONCRETE, TILE, OR OTHER FLOORING PROVIDING A SIMILAR WATER RESISTANCE.

MAX. HOT WATER TEMP. SHALL NOT EXCEED 49°C (120°F) EXCEPT FOR DISHWASHERS AND CLOTHES WASHERS

SIDING MATERIALS SHALL CONFORM TO SECTION 9.27 OF DIVISION B OR HAVE A CCMC OR BMCC APPROVAL, OR A MINISTERS RULING

A SEPARATE PERMIT IS REQUIRED FOR THE FINISHING OF ALL ROUGHIN PLUMBING FIXTURES

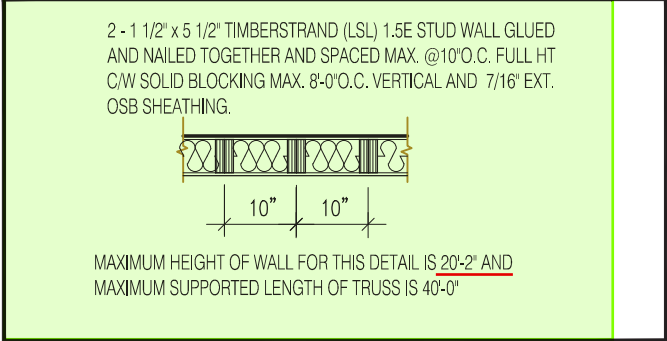
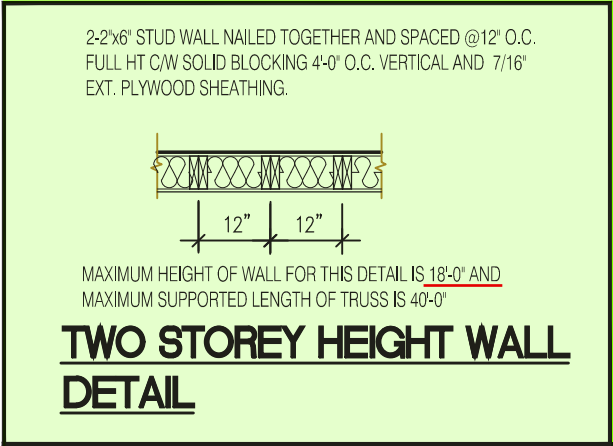
A CARBON MONOXIDE DETECTOR SHALL BE LOCATED ADJACENT TO SLEEPING AREAS

THE ONTARIO BUILDING CODE REQUIRES THAT A SMOKE ALARM BE INSTALLED ON EACH FLOOR LEVEL AND WITHIN EACH SLEEPING ROOM. ALL SMOKE ALARMS SHALL BE INTERCONNECTED. EACH DEVICE SHALL HAVE A VISUAL SIGNALING COMPONENT IN ADDITION TO THE TEMPORAL PATTERN IN CONFORMANCE WITH 18.5.3. OF "LIGHT, COLOUR AND PULSE CHARACTERISTICS" OF NFPA 72

CITY OF CAMBRIDGE
BUILDING DIVISION

THESE PLANS have been examined for compliance with the Ontario Building Code Requirements. A Building Permit is in Order to issue subject to any changes noted under the condition that the building will be constructed in accordance with the code

Thomas Walker 2023-03-09
INSPECTOR DATE



NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER .

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
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NOTE:
PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

MASTER PLAN
MODEL: **GARDEN 11** ELEVATION: **1**
BEDROOMS: **3**
OPTIONS: N/A, AS SHOWN ON THE PLANS

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8" x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

STRUDET INC.



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2070
CORNER LOT
GARDEN 11-065
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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7		
6		
5	AUG. 10, 2022	ISSUED FOR BUILDING PERMIT
4	AUG. 3, 2022	COORDINATED FLOOR, ROOF AND ENGINEER COMMENTS
3	MAY 31, 2022	REVISED AS PER CLIENT COMMENTS & RE-ISSUED TO CLIENT
2	MAY 9, 2022	PREPARED TO PRE-COORDINATION STAGE & ISSUED TO CLIENT
1	APR. 27, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

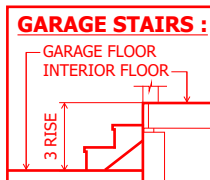
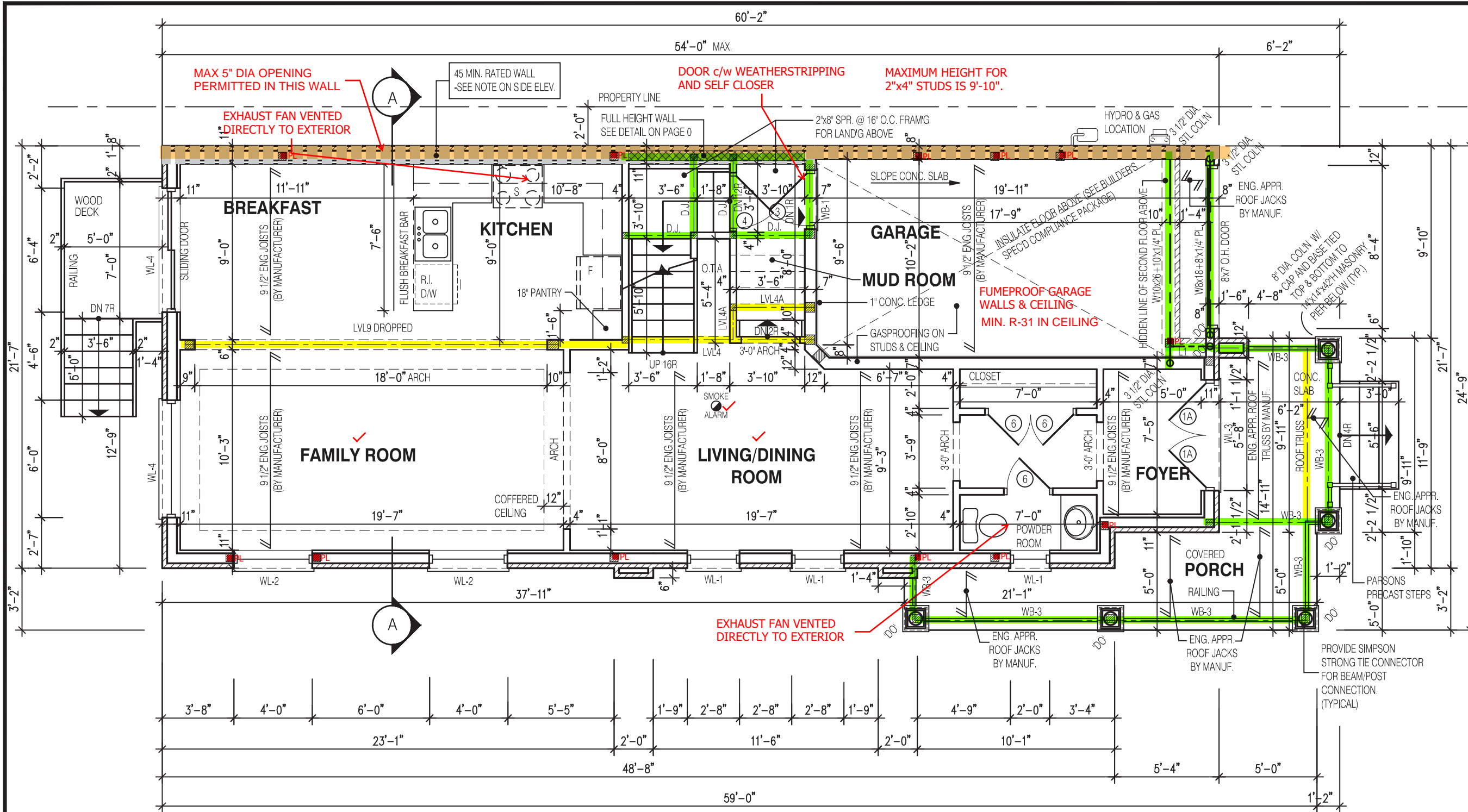
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

BILD

MODEL: GARDEN 11
SCALE: 3/16" = 1'-0"
PROJ. No. 21-35 DWG. No. 0



A LANDING IS REQUIRED AT THE ENTRANCE FROM AN ATTACHED GARAGE WHEN THERE ARE MORE THAN 3 RISERS BETWEEN THE GARAGE FLOOR AND THE INTERIOR FLOOR LEVELS IN ACCORDANCE WITH 9.8.6.2.(3)(a). GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED WHEN LANDING EXCEEDS 24" ABOVE GARAGE FLOOR

*TRACE ALL POINT LOADS THROUGH FLOOR SYSTEM TO SOLID BEARING BELOW

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NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE: SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS, PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

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NOTE: SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL

ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COL'N ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

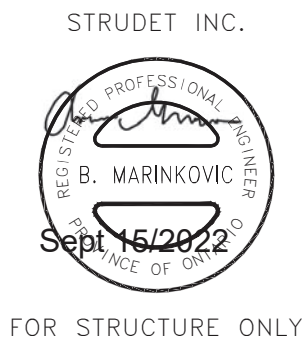
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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of CAMBRIDGE

JOHN G. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]
DATE: JAN 09, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



STRUDET INC.

FOR STRUCTURE ONLY

2070
CORNER LOT
GARDEN 11-065
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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1	APR. 27, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

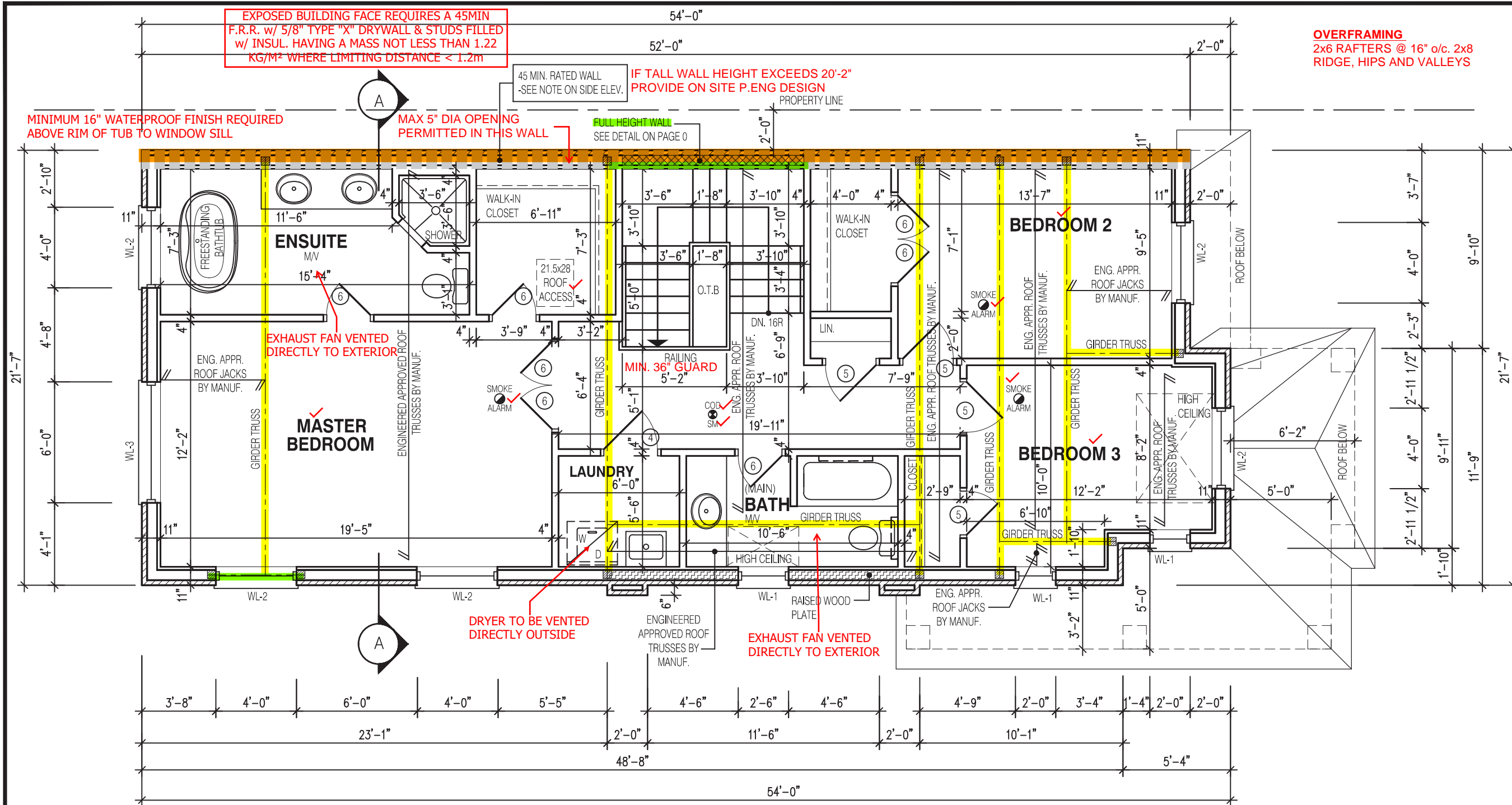
Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL: GARDEN 11
SCALE: 3/16"=1'-0"
PROJ. No. 21-35 DWG. No. 2



EXPOSED BUILDING FACE REQUIRES A 45MIN F.R.R. w/ 5/8" TYPE "X" DRYWALL & STUDS FILLED w/ INSUL. HAVING A MASS NOT LESS THAN 1.22 KG/M² WHERE LIMITING DISTANCE < 1.2m

45 MIN. RATED WALL - SEE NOTE ON SIDE ELEV.

IF TALL WALL HEIGHT EXCEEDS 20'-2" PROVIDE ON SITE P.ENG DESIGN

OVERFRAMING
2x6 RAFTERS @ 16" o/c. 2x8 RIDGE, HIPS AND VALLEYS

MINIMUM 16" WATERPROOF FINISH REQUIRED ABOVE RIM OF TUB TO WINDOW SILL

MAX 5" DIA OPENING PERMITTED IN THIS WALL

FULL HEIGHT WALL SEE DETAIL ON PAGE 0

ENSUITE

EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

MASTER BEDROOM

LAUNDRY

BATH

BEDROOM 2

BEDROOM 3

DRYER TO BE VENTED DIRECTLY OUTSIDE

EXHAUST FAN VENTED DIRECTLY TO EXTERIOR

3 1/2"x 3 1/2"x 1/4" STEEL BRICK ANGLE TYPICAL UP TO MAX. 8'-1" SPAN

MAIN BATHROOM TO HAVE STUD BLOCKING FOR FUTURE INSTALLATION OF GRAB BARS ADJACENT TO SHOWER/TUB AND TOILET.

1 WINDOW SHALL PROVIDE AN UNOBSTRUCTED AREA OF 3.8SF w/ NO DIMENSION LESS THAN 15". WINDOW SILL TO BE MAX 39-3/8" ABOVE FINISHED FLOOR.

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ARCHITECTURAL CONTROL REVIEW AND APPROVAL
APPROVED BY: [Signature]
DATE: JAN 09, 2023
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Qualification Information
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter [Signature] 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:	GARDEN 11
SCALE:	3/16"=1'-0"
PROJ. No.	21-35
DWG. No.	3

2070

CORNER LOT

GARDEN 11-065

ELEVATION 1

A1 PACKAGE

O.REG. 332/12

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1	APR. 27, 2022	ISSUED TO CLIENT FOR PRELIMINARY REVIEW

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT, L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code


Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

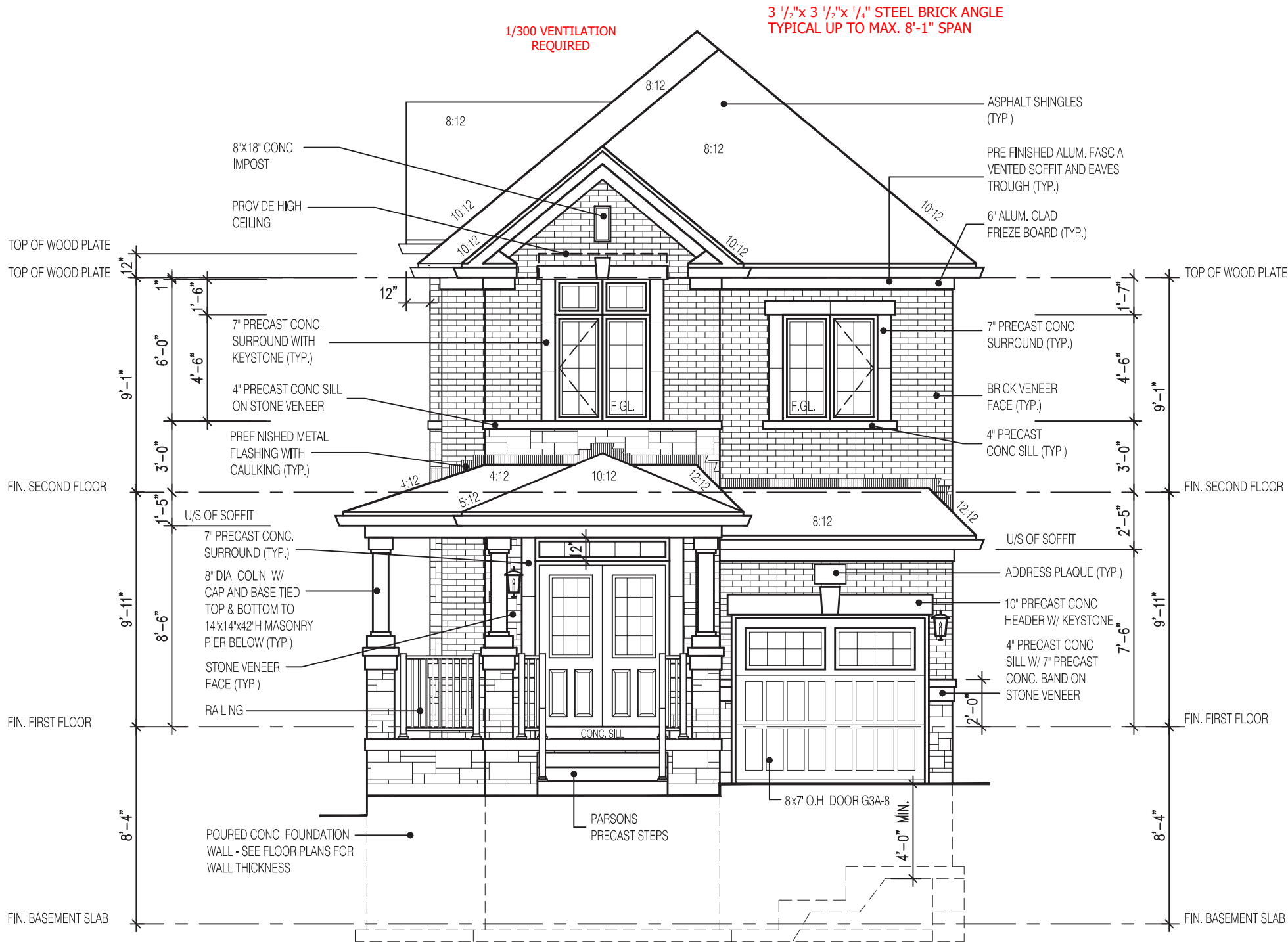
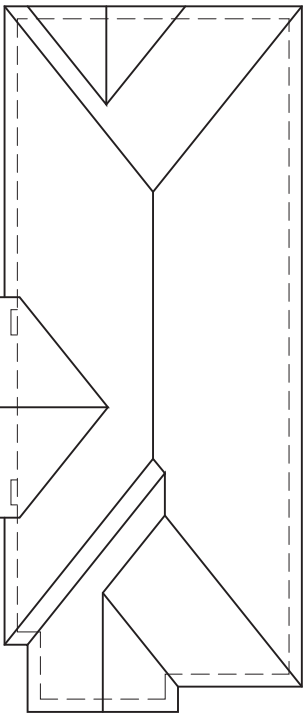
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION 1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL:	GARDEN 11
	SCALE:	3/16" = 1'-0"
	PROJ. No.	21-35
	DWG. No.	4



FRONT ELEVATION 1

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A LIGHT IS REQUIRED AT ALL ENTRANCES TO A SINGLE FAMILY DWELLING

STEP FOOTINGS. MAX 24" RISE, MIN 24" RUN

GUARDS CONFORMING TO O.B.C. 9.8.8. & SB-7 ARE REQUIRED FOR PORCHES EXCEEDING 24" ABOVE GRADE.

ENSURE P.ENG STAMPED RAILING DOCUMENTATION AND ATTACHMENT DETAILS ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

EXTERIOR CONCRETE STAIRS w/ MORE THAN 2 RISERS TO MEET THE REQUIREMENTS OF 9.8.9.2.(1)

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of Cambridge

CAMBRIDGE WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: *[Signature]*
DATE: JAN 09, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

2070
CORNER LOT
GARDEN 11-065
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.


NAME	Walter Botter	21031
SIGNATURE	<i>Walter Botter</i>	BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

<i>jardin design group inc.</i>	27763
FIRM NAME	BCIN

FLANKAGE ELEVATION 1

BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

 BILD®	MODEL:	
	GARDEN 11	
	SCALE:	
	3/16" = 1'-0"	
	PROJ. No.	DWG. No.
	21-35	5

1/300 VENTILATION REQUIRED

Roof and Gable:

- 10:12 (Main Roof Pitch)
- 8:12 (Gable Roof Pitch)
- 8"x18" CONC. IMPOST
- PROVIDE HIGH CEILING
- ASPHALT SHINGLES (TYP.)
- PRE FINISHED ALUM. FASCIA VENTED SOFFIT AND EAVES TROUGH (TYP.)
- 6" ALUM. CLAD FRIEZE BOARD (TYP.)

Second Floor:

- TOP OF WOOD PLATE
- 7" PRECAST CONC. SURROUND WITH KEYSTONE (TYP.)
- 4" PRECAST CONC SILL (TYP.)
- 4" PRECAST CONC SILL W/ 7" PRECAST CONC. BAND ON STONE VENEER
- FIN. SECOND FLOOR
- BRICK VENEER FACE (TYP.)
- 4" PRECAST CONC SILL ON STONE VENEER
- PREFINISHED METAL FLASHING WITH CAULKING (TYP.)
- 5:12 (Roof Pitch for Porch)
- 4:12 (Roof Pitch for Porch)
- FIN. SECOND FLOOR
- U/S OF SOFFIT

First Floor:

- FIN. FIRST FL.
- 2"x2" PICKETS UNDER 2"x6" TOP CAP AND 2"x4" TOP RAIL 36" HIGH WOOD RAILING
- STONE VENEER FACE (TYP.)
- RAILING
- FIN. FIRST FL.

Foundation and Details:

- 4"x4" WOOD COLUMN UP TO 4'-0" HEIGHT 6"x6" WOOD COLUMN FOR HEIGHTS OVER 4'-0" ON 12" DIA. CONC. PIER
- POURED CONC. FOUNDATION WALL - SEE FLOOR PLANS FOR WALL THICKNESS
- OPT. 30" x 24" WINDOW LARGER WINDOW MAY REQUIRE WINDOW WELL HEIGHT DEPENDING ON FINAL GRADE CONDITIONS. DRAIN WELL TO FOOTING DRAINAGE (TYP.) (3.6SQFT.)
- 8" DIA. COL'N W/ CAP AND BASE TIED TOP & BOTTOM TO 14"x14"x42"H MASONRY PIER BELOW (TYP.)
- PARSONS PRECAST STEPS
- FIN. BASEMENT SLAB

Dimensions:

- 9'-1" (Overall Height to Second Floor)
- 4'-6" (Second Floor Window Height)
- 3'-0" (Second Floor Window Spacing)
- 1'-11" (Second Floor Window Depth)
- 5'-0" (First Floor Window Height)
- 4'-0" (First Floor Window Spacing)
- 1'-4" (First Floor Window Depth)
- 6'-10" (Overall Height to First Floor)
- 4'-0" (First Floor Window Depth)
- 8'-4" (Overall Height to Foundation)
- 8'-6" (Overall Height to Porch)
- 9'-11" (Overall Height to Porch)
- 8'-4" (Overall Height to Foundation)

FLANKAGE ELEVATION 1

UPO OK, FACES STREET

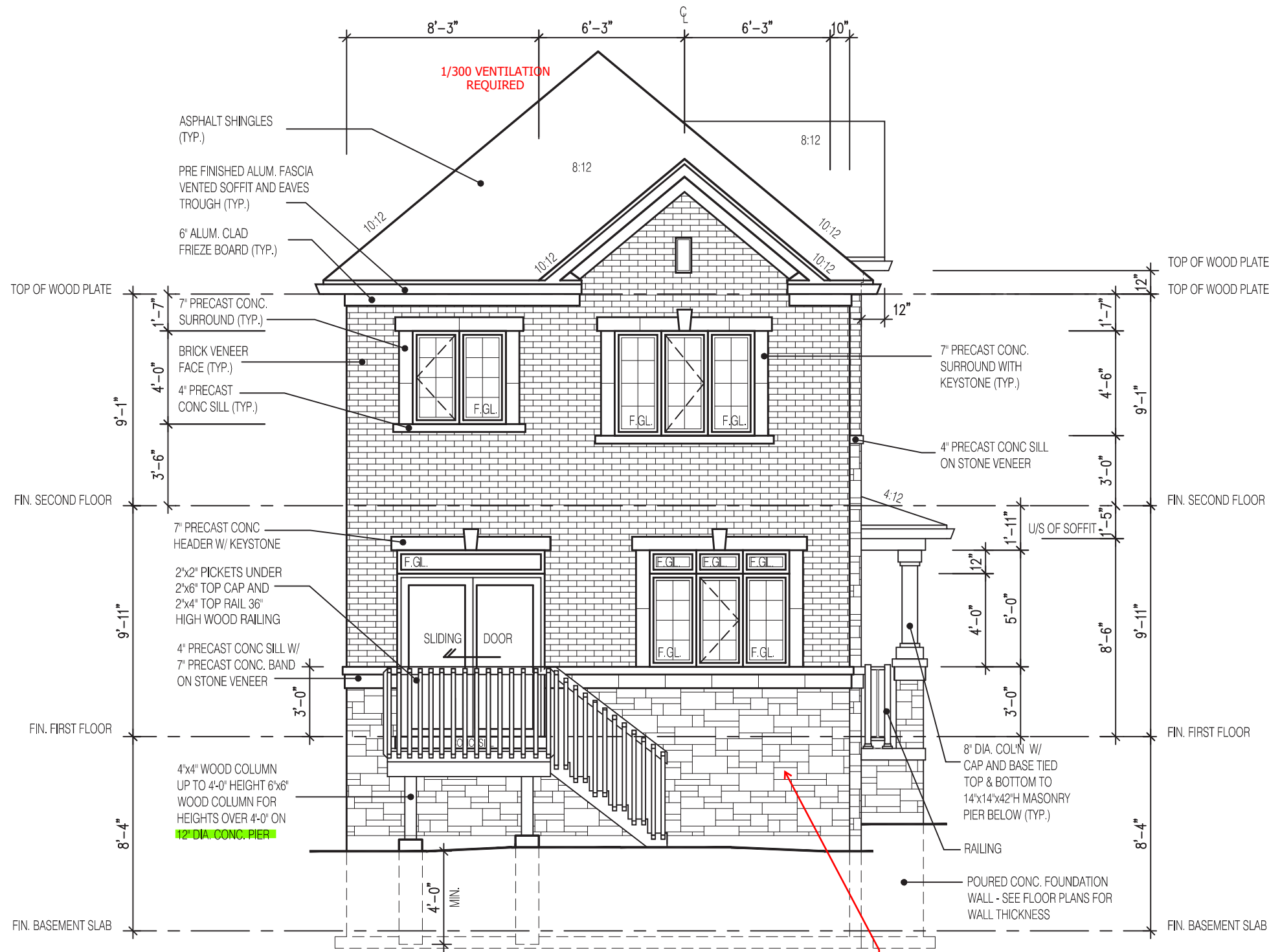
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NOTE:
WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FOUNDATION WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED IN CONJUNCTION WITH SITE PLAN)

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Guidelines approved by the City of
CAMBRIDGE
JOHN F. WILLIAMS LTD., ARCHITECT
ARCHITECTURAL CONTROL REVIEW
AND APPROVAL
APPROVED BY: 
DATE: JAN 09, 2023

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REAR ELEVATION 1 UPGRADE

BRICK LEDGE TO PROVIDE LATERAL
SUPPORT FOR FDN WALL

REDUCTION IN FOUNDATION THICKNESS
TO COMPLY WITH 9.15.4.7.(2).

EXTERIOR CONCRETE STAIRS w/ MORE
THAN 2 RISERS TO MEET THE
REQUIREMENTS OF 9.8.9.2.(1)

A LIGHT IS REQUIRED AT ALL ENTRANCES
TO A SINGLE FAMILY DWELLING

ALL GUARDS TO COMPLY WITH SB-7 OR P.ENG DESIGN.
GUARDS TO BE MIN. 36" HIGH (900mm). WHERE DECK
WALKING SURFACE TO FIN. GRADE EXCEEDS 5'-11"
(1.8m), GUARD HEIGHT TO BE 42" HIGH (1.2m)

ENSURE P.ENG STAMPED RAILING
DOCUMENTATION AND ATTACHMENT DETAILS
ARE AVAILABLE FOR REVIEW BY THE INSPECTOR

NOTE:

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WALL IS REQUIRED.
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2070 CORNER LOT GARDEN 11-065 ELEVATION 1 A1 PACKAGE O.REG. 332/12

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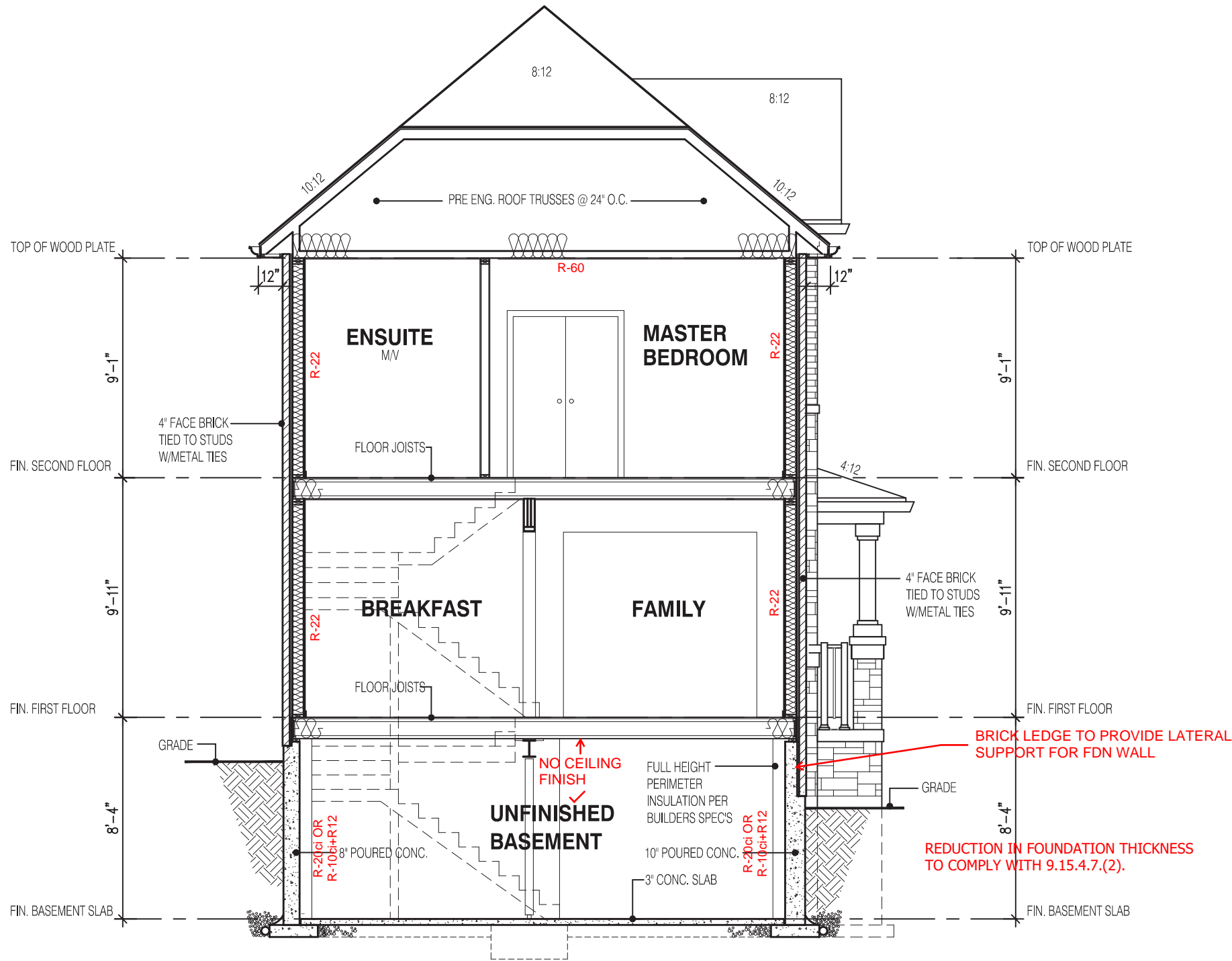
jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION 1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

MODEL:
GARDEN 11

SCALE:
3/16" = 1'-0"

PROJ. No. DWG. No.
21-35 6



SECTION A ELEVATION 1

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STRUDET INC.



FOR STRUCTURE ONLY

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2070
CORNER LOT
GARDEN 11-065
ELEVATION 1
A1 PACKAGE
O.REG. 332/12

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NAME SIGNATURE BCIN

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jardin design group inc. 27763
FIRM NAME BCIN

SECTION A ELEV-1
BARLASSINA CONSTRUCTION
CITY OF CAMBRIDGE

	MODEL:	GARDEN 11
	SCALE:	3/16" = 1'-0"
	PROJ. No.	21-35
	DWG. No.	8