

STRIP FOOTINGS FOR SINGLES AND SEMIS UP TO 2 STOREY

120 KPa NATIVE SOIL

20'x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
24'x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

90 KPa ENGINEERED FILL SOIL

24'x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW FOUNDATION WALLS.
30'x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.

100 KPa NATIVE SOIL

22'x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.
28'x10" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS
OR
28'x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS

GENERAL NOTE:

ASSUMED 120/100 KPa NATIVE SOIL BEARING CAPACITY OR 90 KPa
FOR ENGINEERED FILL, TO BE VERIFIED ON SITE. REFER TO ENGINEERED FILL
FOOTING DETAIL FOR REINFORCEMENT.

(REFER TO ENG. FILL FOOTING DETAIL)

PAD FOOTING

120 KPa NATIVE SOIL

F1 = 42"x42"x3' CONCRETE PAD
F2 = 36"x36"x1'8" CONCRETE PAD
F3 = 30"x30"x1'8" CONCRETE PAD
F4 = 24"x24"x1'2" CONCRETE PAD
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x2'8" CONCRETE PAD
F2 = 40"x40"x2'8" CONCRETE PAD
F3 = 34"x34"x1'8" CONCRETE PAD
F4 = 28"x28"x1'4" CONCRETE PAD
F5 = 18"x18"x8" CONCRETE PAD

100 KPa NATIVE SOIL

F1 = 46"x46"x2'8" CONCRETE PAD
F2 = 38"x38"x1'8" CONCRETE PAD
F3 = 32"x32"x1'8" CONCRETE PAD
F4 = 26"x26"x1'2" CONCRETE PAD
F5 = 17"x17"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

NOTE:

WHEN VENEER CUT IS GREATER THAN 26" A 10' POURED CONC. FOUNDATION WALL IS REQUIRED.

NOTE:

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa
WITH 5-8% AIR ENTRAINMENT.

BRICK VENEER LINTELS:

WL1 = 3'1 1/2" x 3'1 1/2" x 1'4" (90x90x6) + 2-2" x 8" SPR.
WL2 = 4' x 3'1 1/2" x 5'16" (100x90x8) + 2-2" x 8" SPR.
WL3 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 2-2" x 10" SPR.
WL4 = 6' x 3'1 1/2" x 3'8" (150x90x10) + 2-2" x 12" SPR.
WL5 = 6' x 4' x 3'8" (150x100x10) + 2-2" x 12" SPR.

WL6 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 2-2" x 12" SPR.
WL7 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 3-2" x 10" SPR.
WL8 = 5' x 3'1 1/2" x 5'16" (125x90x8) + 3-2" x 12" SPR.
WL9 = 6' x 4' x 3'8" (150x100x10) + 3-2" x 12" SPR.

WOOD LINTELS:

WB1 = 2-2" x 8" SPRUCE BEAM
WB2 = 3-2" x 8" SPRUCE BEAM
WB3 = 2-2" x 10" SPRUCE BEAM
WB4 = 3-2" x 10" SPRUCE BEAM
WB5 = 2-2" x 12" SPRUCE BEAM
WB6 = 3-2" x 12" SPRUCE BEAM
WB7 = 5-2" x 12" SPRUCE BEAM
WB10 = 4-2" x 8" SPRUCE BEAM
WB11 = 4-2" x 10" SPRUCE BEAM

STEEL LINTELS:

L1 = 3'1 1/2" x 3'1 1/2" x 1'4" (90 x 90 x 6)
L2 = 4' x 3'1 1/2" x 5'16" (100 x 90 x 8)
L3 = 5' x 3'1 1/2" x 5'16" (125 x 90 x 8)
L4 = 6' x 3'1 1/2" x 3'8" (150 x 90 x 10)
L5 = 6' x 4' x 3'8" (150 x 100 x 10)
L6 = 7' x 4' x 3'8" (180 x 100 x 10)

LAMINATED VENEER LUMBER (LVL BEAMS)

LVL1A = 1-1 3/4" x 7'1 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7'1 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7'1 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7'1 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9'1 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9'1 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9'1 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9'1 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11'7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11'7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11'7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11'7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)

Door Schedule

NO.	WIDTH	HEIGHT 8' TO 9' CEILINGS	HEIGHT 10' OR MORE CEILINGS	TYPE
1	2'-10"	6'-8" (865x2033)	8'-0" (865x2439)	INSULATED ENTRANCE DOOR
1a	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	INSULATED FRONT DOORS
2	2'-8"	6'-8" (815x2033)	8'-0" (815x2439)	WOOD & GLASS DOOR
3	2'-8"	6'-8 x 1-3/4" (815x2033x45)	8'-0" x 1-3/4" (815x2439x45)	EXTERIOR SLAB DOOR
4	2'-8"	6'-8" x 1-3/8" (815x2033x35)	8'-0" x 1-3/8" (815x2439x35)	INTERIOR SLAB DOOR
5	2'-6"	6'-8" x 1-3/8" (760x2033x35)	8'-0" x 1-3/8" (760x2439x35)	INTERIOR SLAB DOOR
6	2'-2"	6'-8" x 1-3/8" (660x2033x35)	8'-0" x 1-3/8" (660x2439x35)	INTERIOR SLAB DOOR
7	1'-6"	6'-8" x 1-3/8" (460x2033x35)	8'-0" x 1-3/8" (460x2439x35)	INTERIOR SLAB DOOR
8	3'-0"	6'-8" x 1-3/8" (915x2033x35)	8'-0" x 1-3/8" (915x2439x35)	INTERIOR SLAB DOOR

AREA CALCULATIONS EL-1

FIRST FLOOR AREA	=	1158 Sq. Ft.
SECOND FLOOR AREA	=	1489 Sq. Ft.
TOTAL FLOOR AREA	=	2647 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2647 Sq. Ft.
GROUND FLOOR COVERAGE	=	1158 Sq. Ft.
GARAGE COVERAGE / AREA	=	390 Sq. Ft.
PORCH COVERAGE / AREA	=	120 Sq. Ft.
COVERAGE W/ PORCH	=	1668 Sq. Ft.
	=	154.96 Sq. m.
COVERAGE W/O PORCH	=	1548 Sq. Ft.
	=	143.81 Sq. m.

AREA CALCULATIONS EL-2

FIRST FLOOR AREA	=	1172 Sq. Ft.
SECOND FLOOR AREA	=	1485 Sq. Ft.
TOTAL FLOOR AREA	=	2657 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2657 Sq. Ft.
GROUND FLOOR COVERAGE	=	1172 Sq. Ft.
GARAGE COVERAGE / AREA	=	390 Sq. Ft.
PORCH COVERAGE / AREA	=	102 Sq. Ft.
COVERAGE W/ PORCH	=	1664 Sq. Ft.
	=	154.59 Sq. m.
COVERAGE W/O PORCH	=	1562 Sq. Ft.
	=	145.11 Sq. m.

AREA CALCULATIONS EL-3

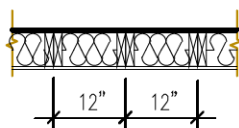
FIRST FLOOR AREA	=	1176 Sq. Ft.
SECOND FLOOR AREA	=	1511 Sq. Ft.
TOTAL FLOOR AREA	=	2687 Sq. Ft.
ADD OPEN AREAS	=	0 Sq. Ft.
ADD FIN. BASEMENT AREA	=	0 Sq. Ft.
GROSS FLOOR AREA	=	2687 Sq. Ft.
GROUND FLOOR COVERAGE	=	1176 Sq. Ft.
GARAGE COVERAGE / AREA	=	390 Sq. Ft.
PORCH COVERAGE / AREA	=	124 Sq. Ft.
COVERAGE W/ PORCH	=	1690 Sq. Ft.
	=	157.01 Sq. m.
COVERAGE W/O PORCH	=	1566 Sq. Ft.
	=	145.49 Sq. m.

PINETREE 11 ELEV.-1 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	710.67	150.83	21.22 %
LEFT SIDE	1090.83	211.00	19.34 %
RIG-TH SIDE	1090.83	0.00	0.00 %
REAR	701.25	129.42	18.46 %
TOTAL	3593.58	491.25	13.67 %

PINETREE 11 ELEV.-2 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	735.42	138.30	18.81 %
LEFT SIDE	1119.62	228.57	20.41 %
RIG-TH SIDE	1090.83	0.00	0.00 %
REAR	719.50	131.36	18.26 %
TOTAL	3665.37	498.23	13.59 %

PINETREE 11 ELEV.-3 ENERGY EFFICIENCY- A1 PACKAGE			
ELEVATION	WALL FT ²	OPENING FT ²	PERCENTAGE
FRONT	768.62	189.58	24.66 %
LEFT SIDE	1135.13	253.00	22.29 %
RIG-TH SIDE	1129.68	0.00	0.00 %
REAR	724.15	136.28	18.82 %
TOTAL	3757.58	578.86	15.41 %

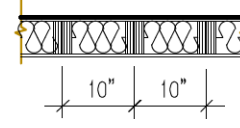
2-2x6" STUD WALL NAILED TOGETHER AND SPACED @12" O.C.
FULL HT C/W SOLID BLOCKING 4'-0" O.C. VERTICAL AND 7/16"
EXT. PLYWOOD SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 18'-0" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL
DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL GLUED
AND NAILED TOGETHER AND SPACED MAX. @10" O.C. FULL HT
C/W SOLID BLOCKING MAX. 8'-0" O.C. VERTICAL AND 7/16" EXT.
OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND
MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STOREY HEIGHT WALL DETAIL

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED
FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

City of Richmond Hill
Building Division

REVIEWED

By: KER Date: 06/01/2023

Building Permit #: RM#23-00030

All construction shall comply with the Ontario
Building Code and all other applicable
statutory regulations. The reviewed
documents must be kept on site at all times.
Building inspection line: 905-771-5465 (24 hr)
buildinginspections@richmondhill.ca
Building inquiry line 905-771-8810
building@richmondhill.ca

This review does not exempt the owner,
designer and the builder from complying
with all applicable regulations and
by-laws of the City of Richmond Hill and
the Ontario Building Code.

Refer to attached general notes and
drawings.

These drawings have been reviewed under
Compliance Option: A1
of the OBC 2012, SB-12.

Windows, sliding glass doors and
skylights shall comply with OBC 2012,
SB-12, 3.1.1.9 for maximum U-Value.

City of Richmond Hill
Building Division

INSPECTION NOTICES - HOUSING

You are required to notify the Inspection Section of the
readiness to inspect at the following construction stages:
- Footings (prior to concrete placement)
- Building sewers (laterals)
- Water service pipe (lateral)
- Foundation (prior to backfill)
- Building drains (under slab)
- Plumbing rough-in
- HVAC rough-in
- Air barrier (prior to exterior cladding)
- Structural Framing (exterior cladding completed)
- Insulation (include vapour barrier)
- Solid fuel burning appliances
- Occupancy Permit

Please contact the Inspection Section by one of the
following methods:
- E-mail: buildinginspections@richmondhill.ca
- Inspection fax line: 905-771-2528
- Inspection Request Line: 905-771-5465

A minimum of 2 business days is required.
An inspection may be refused if permit documents and a
copy of the permit are not present on site.
Please refer to other inspection information on the reverse
of the permit card.

2647
CORNER
PINETREE 11 (GR)
ELEVATION 1,2 & 3

A1 PACKAGE

O.REG. 332/12

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND
CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION.
ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP
INC. PRIOR TO COMMENCEMENT OF WORK.

JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY
OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON
THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE
ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE
ENGINEERING DRAWINGS OR OTHER PROCEEDINGS WITH WORK
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING
FOOTINGS.

JARDIN DESIGN GROUP INC. HAS NOT RETAINED TO CARRY OUT
GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY
FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO
CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT
DOCUMENTS.

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS PROVIDED BY AND IS
THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT
TO BE SCALED.

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3	APR. 5, 2023	COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
2	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No: DATE:		WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility
for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be
a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

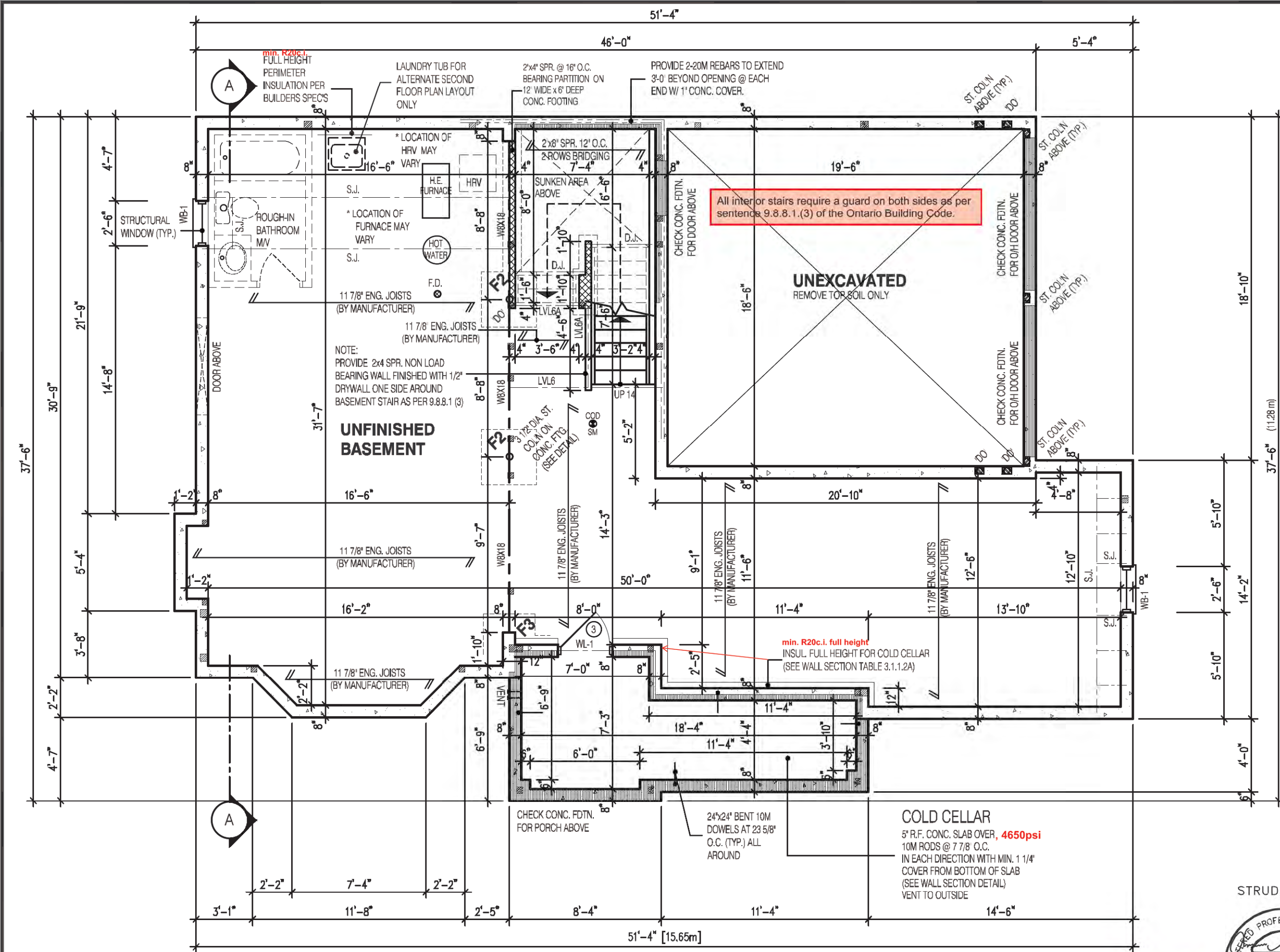
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

TITLE SHEET

ROUNDEL HOMES INC.
CH. OF RICHMOND HILL
BILD
05/24/2023
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 0
Per Joshua Nabes



2647
CORNER
PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT FL. PL. EL-1

ROUND HILL HOMES INC.
RICHMOND HILL
ELEVATION 1

MODEL: 2653
SCALE: 3/16"=1'-0"
PROJ. No. 23-01 DWG. No. 1
RECEIVED
Per: joshua.nabe

For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

NOTE:
REFER TO SHEET NO. 0-1 FOR UNTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

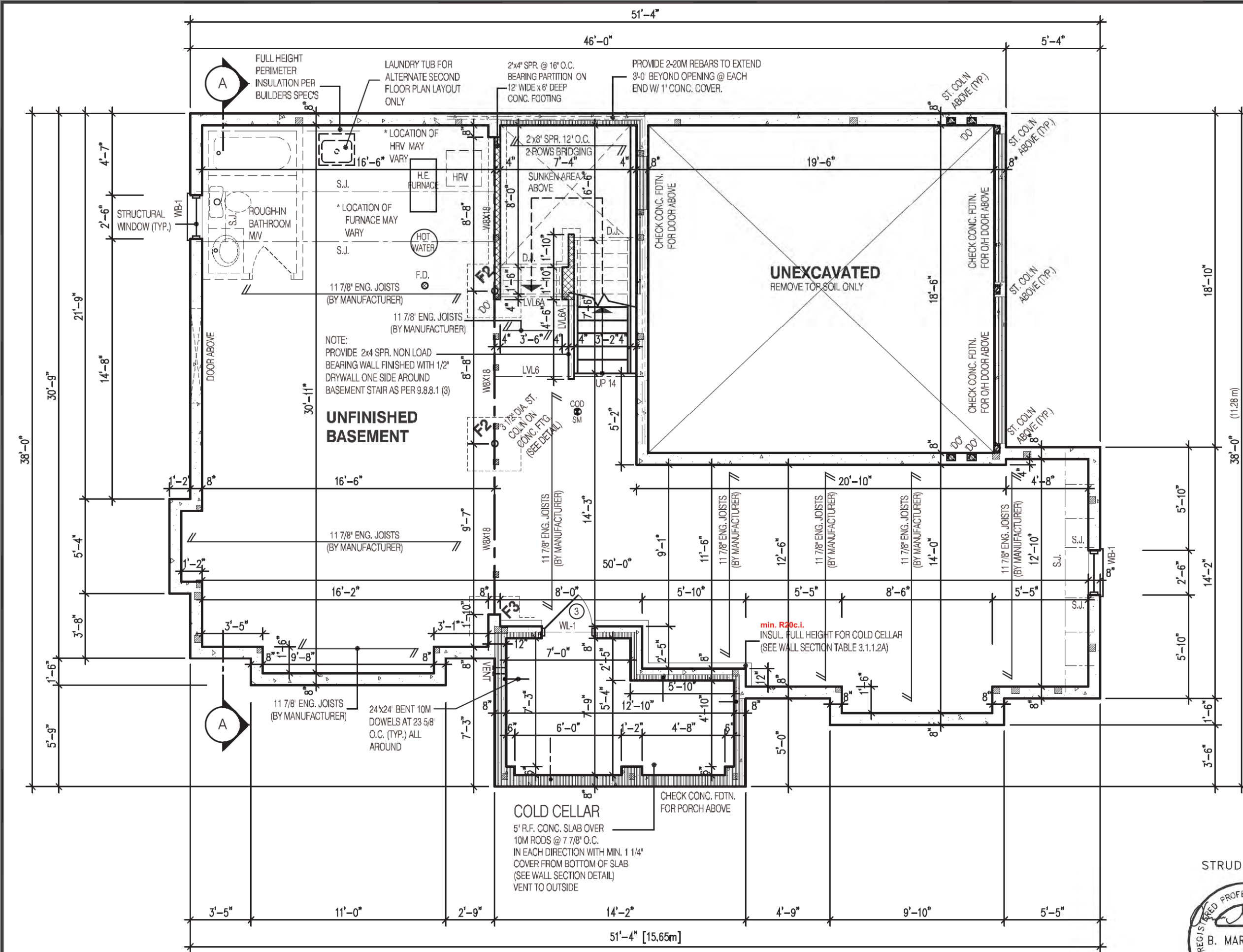
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS

STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APR 5 2023
PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.



For approved engineered floor joist systems, including beams and their support, reference shall be made to the approved engineered floor layout attached to these drawings. Follow the manufacturers specifications and bearing requirements as stated.

NOTE:
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2647
CORNER
PINETREE 11 (GR)
ELEVATION 2

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

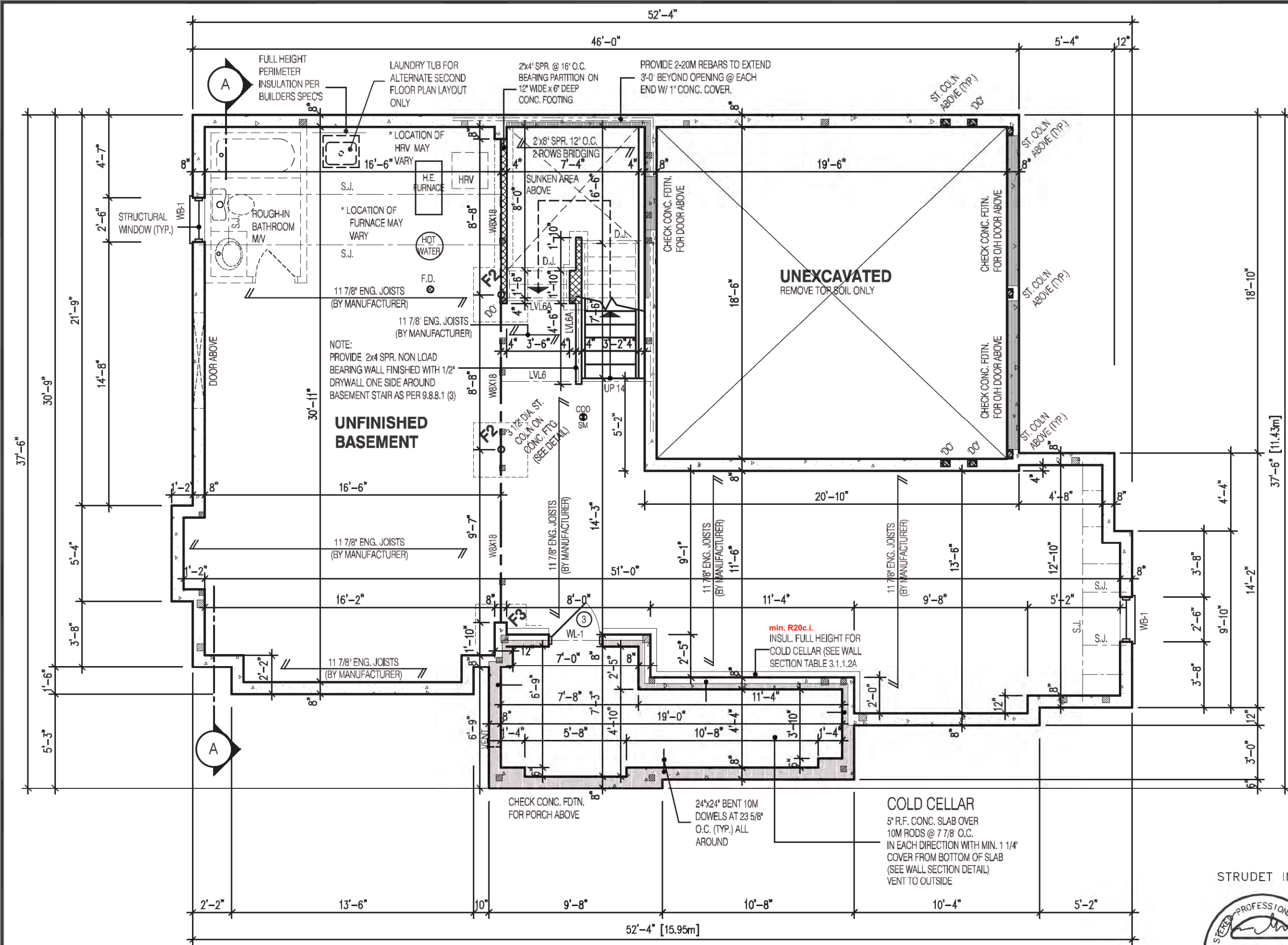
Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT FL. PL. EL-2

ROUNDLE HOMES INC.
RICHMOND HILL
ELEVATION 2

MODEL: 2653
SCALE: 3/16"=1'-0"

PROJ. No. DWG. No.
23-01 1A



2647
CORNER
PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.

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4	APR. 5, 2023	COORDINATED ENG. COMMENTS. ISSUED FOR BUILDING PERMIT
3	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
2	MAR. 13, 2023	CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

BASEMENT FL. PL. EL-3

ROUNDLE HOMES INC.
RICHMOND HILL
ELEVATION 3

MODEL: 2653
SCALE: 3/16"=1'-0"

PROJ. No. DWG. No.
23-01 1B

STRUDET INC.



FOR STRUCTURE ONLY

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NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

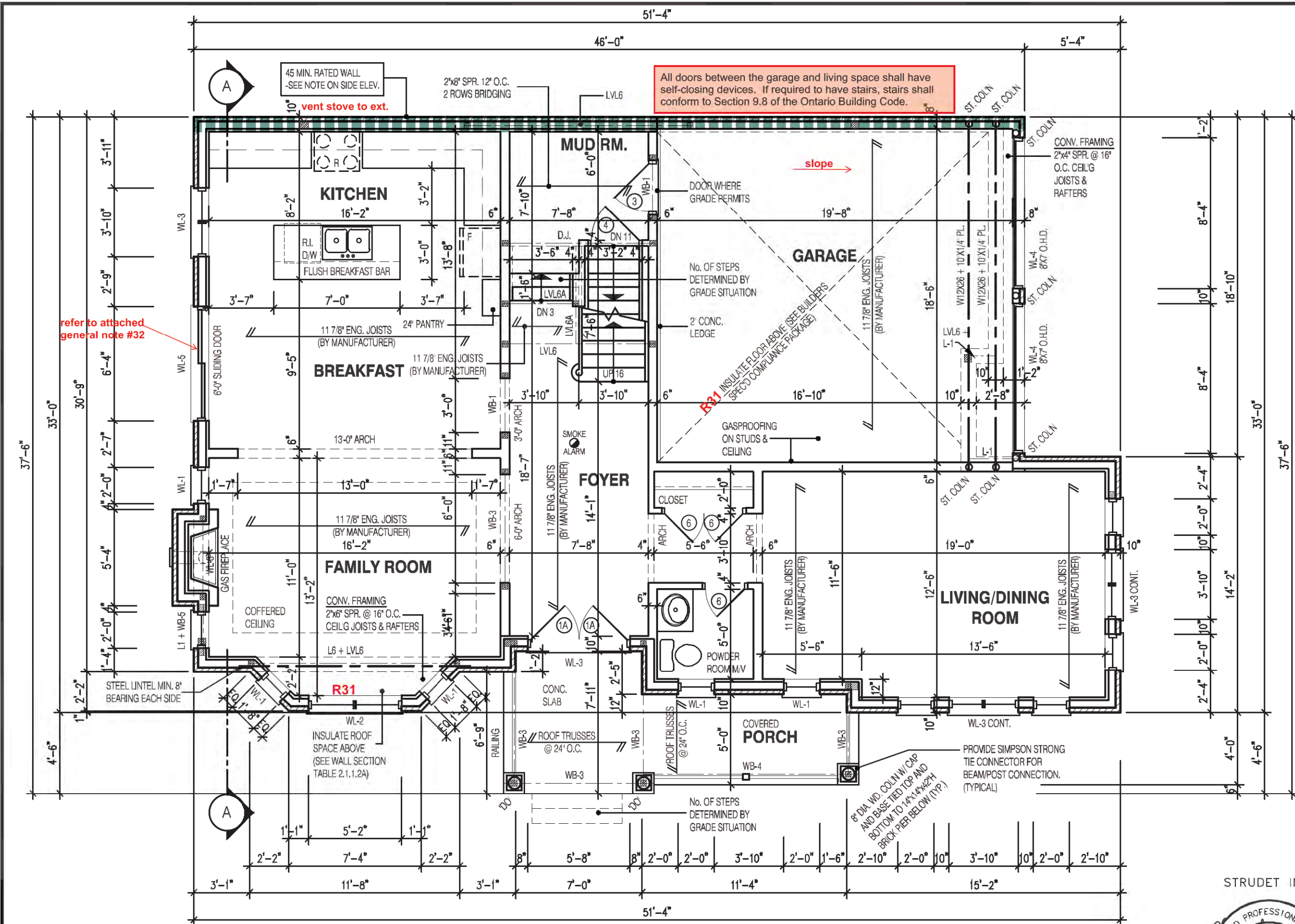
NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:
SUBFLOOR TO BE 3/4" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE
- LVL LAMINATED VENEER LUMBER
- S.J. SINGLE JOIST
- D.J. DOUBLE JOIST
- T.J. TRIPLE JOIST
- REPEAT NOTE
- SHOWER WEEPERS



2647
CORNER
PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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APR. 5, 2023
MAR. 28, 2023
FEB. 22, 2023

COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

STRUDET INC.



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NOTE: REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE	NOTE: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8" PLYWOOD ON THIS LEVEL
ALL FLOORS TO BE NAILED AND GLUED ON THIS LEVEL

LEGEND:

■	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
■	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
■	STL. PLATE FOR STEEL COL'N ABOVE
LVL	LAMINATED VENEER LUMBER
S.J.	SINGLE JOIST
D.J.	DOUBLE JOIST
T.J.	TRIPLE JOIST
DO	REPEAT NOTE
○	SHOWER WEEPERS

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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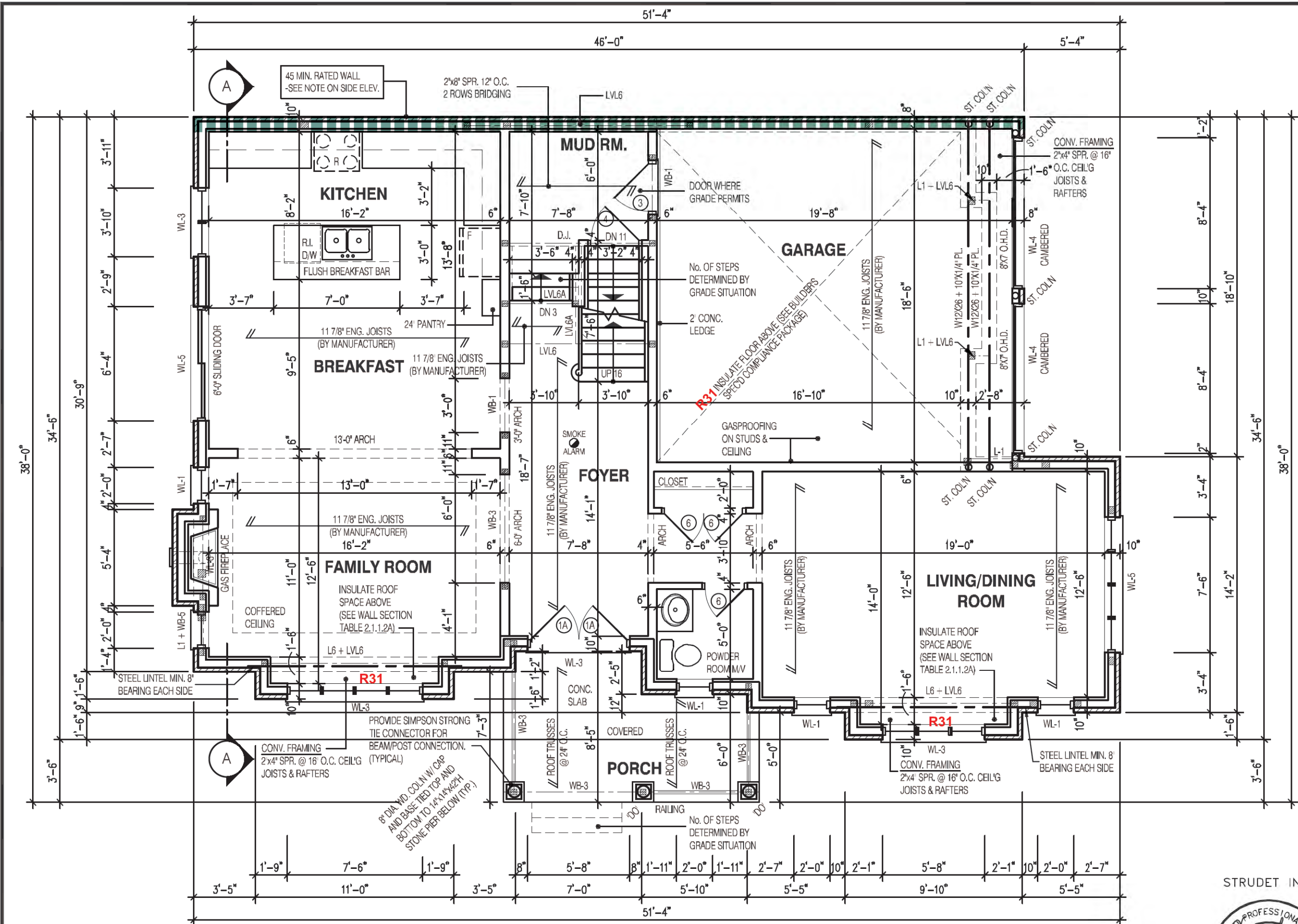
jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-1

ROUND HILL
RICHMOND HILL
BURNHAMTHORPE

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 2

RECEIVED
Per: joshua.mab...



2647
CORNER
PINETREE 11 (GR)
ELEVATION 2

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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3 APR. 5, 2023 COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT

2 MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT

1 FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

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1 FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

STRUDET INC.



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NOTE:
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NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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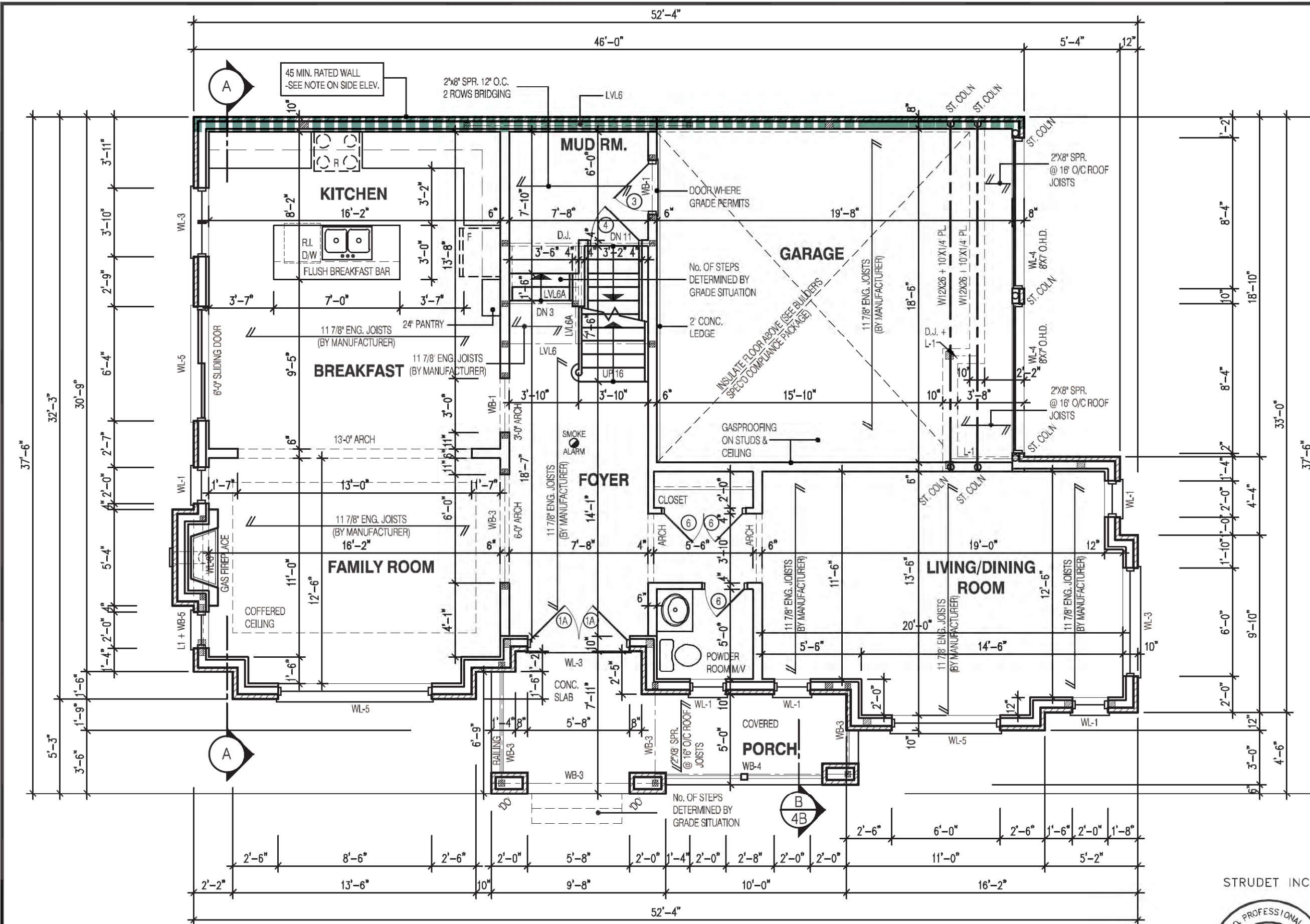
NOTE:
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NOTE:

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LEGEND:

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- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
- STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
- LVL SINGLE JOIST
- S.J. DOUBLE JOIST
- D.J. TRIPLE JOIST
- T.J. REPEAT NOTE
- SHOWER WEEPERS



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NOTE:
REFER TO SHEET NO. 0-1 FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

NOTE:

SUBFLOOR TO BE 5/8\"/>

LEGEND:

- BUILDING FACE < THAN 4'-0\"/>
- INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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2647

CORNER

PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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4	APR. 5, 2023 COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
3	MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
2	MAR. 13, 2023 CUT 12\"/>
1	FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

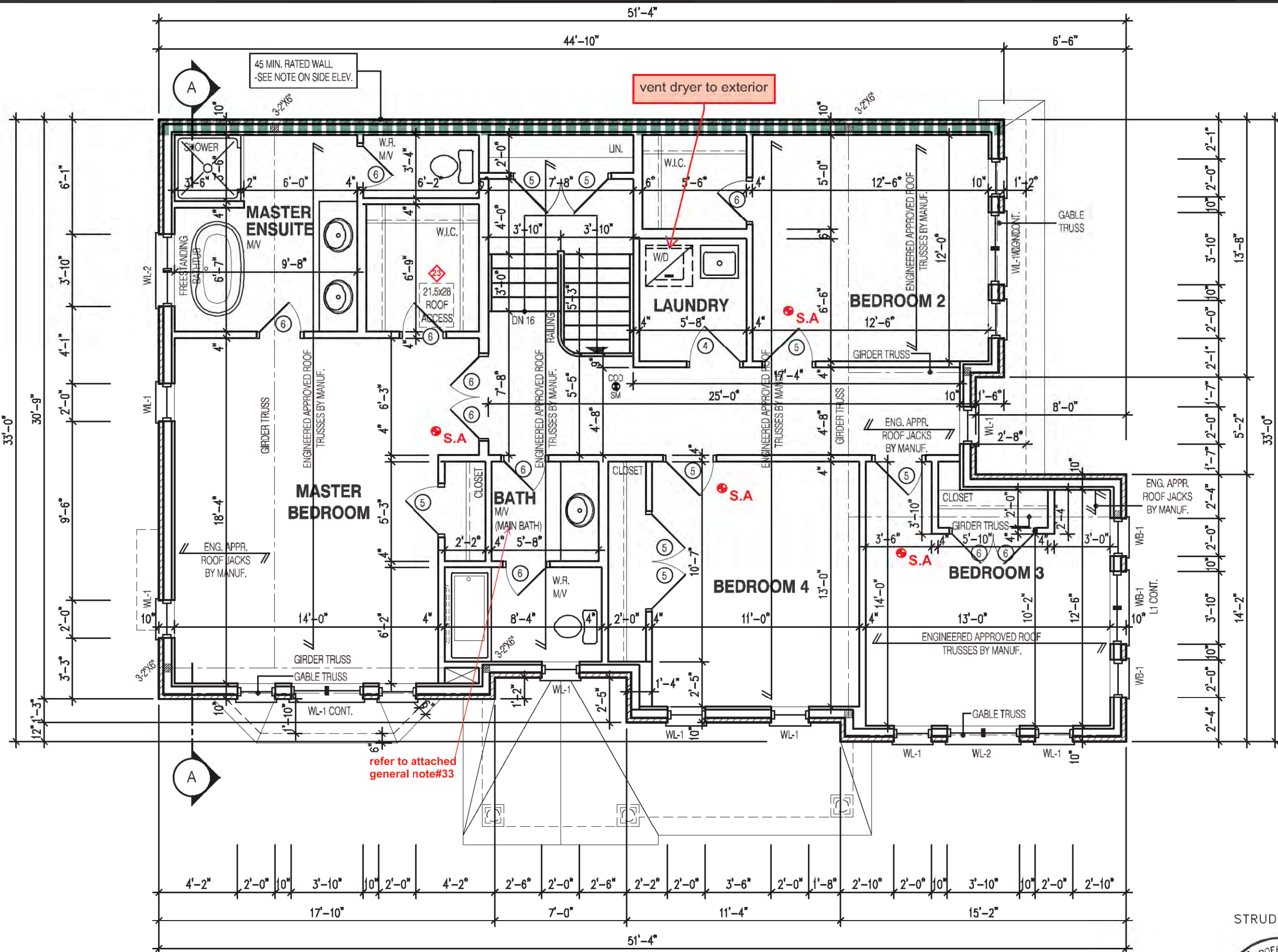
Jardin design group inc. 27763
FIRM NAME BCIN

FIRST FLOOR PLAN EL-3

ROUNDEL HOMES INC.
CHERRY HILL
RICHMOND HILL
BUILDING DIVISION

MODEL: 2653
SCALE: 3/16\"/>

PROJ. No. 23-01 DWG. No. 2B
RECEIVED
Per Joshua Nabors



2647
CORNER
PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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2 MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT

1 FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

jardin
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VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

FOR STRUCTURE ONLY



FOR STRUCTURE ONLY

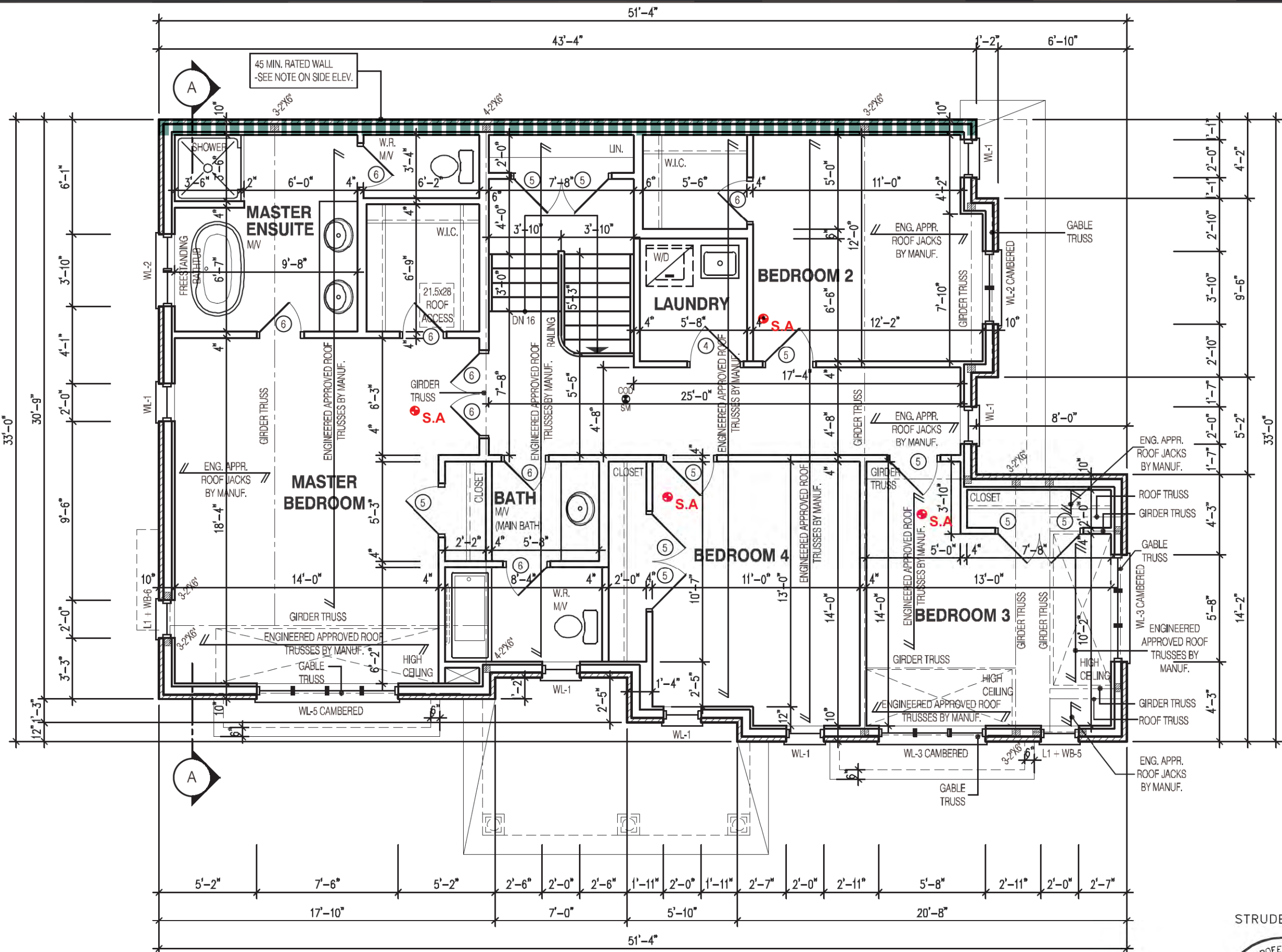
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 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
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ROUND HILL HOMES INC.
CH. RICHMOND HILL
RICHMOND HILL
MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3
BILD. RECEIVED
Per Joshua Mabe



- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - ▨ INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APR 5 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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2647
CORNER
PINETREE 11 (GR)
ELEVATION 2

2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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1	FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-2

ROUNDEL HOMES INC.
CHERRY HILL
RICHMOND HILL
MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3A
RECEIVED
Per: Joshua Mabe

2647
CORNER
PINETREE 11 (GR)
ELEVATION 3
2012 CODE /ENG JOIST
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4	APR. 5, 2023 COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
3	MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
2	MAR. 13, 2023 CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

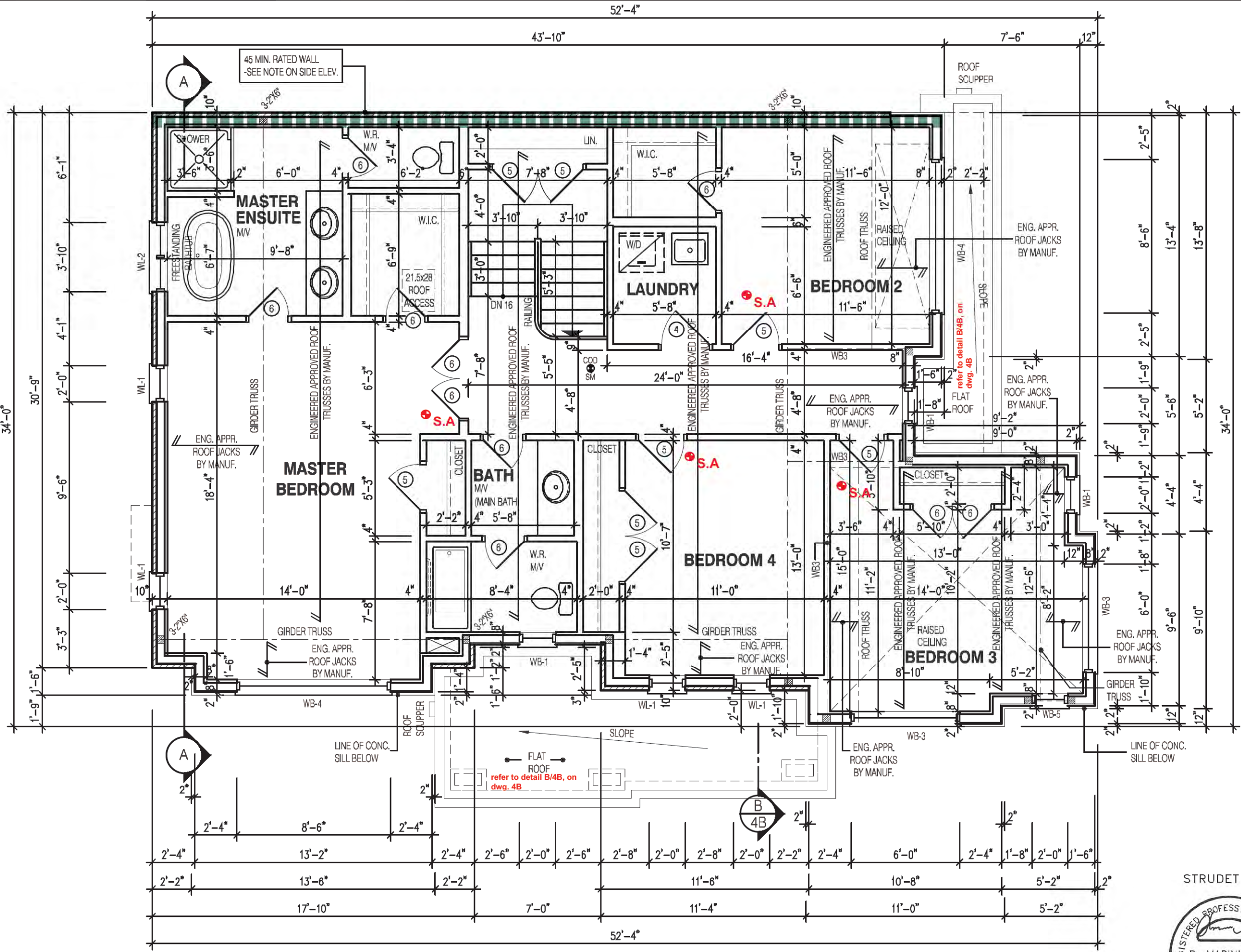
Jardin design group inc. 27763
FIRM NAME BCIN

SECOND FL. PLAN EL-3

ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW HILL

MODEL: 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 3B
RECEIVED
Per Joshua Mabe



STRUDET INC.



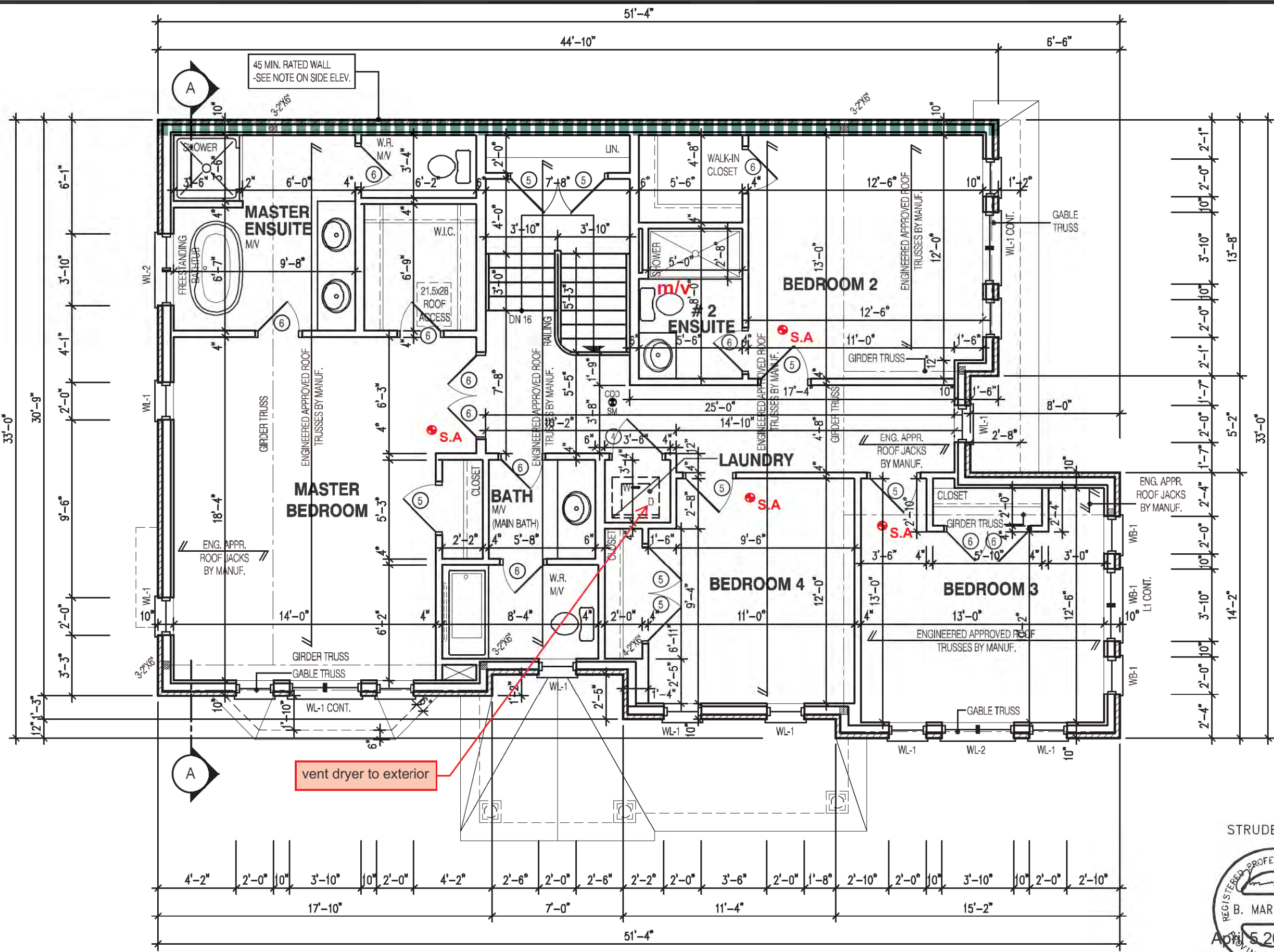
FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of Richmond Hill.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLN ABOVE LAMINATED VENEER LUMBER
 - LVL
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.



STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APR 5 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

ALTERNATE
SECOND FLOOR PLAN

- LEGEND:**
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 - STL. PLATE FOR STEEL COL'N ABOVE
LAMINATED VENEER LUMBER
 - LVL
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 - REPEAT NOTE
 - SHOWER WEEPERS

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

2647
CORNER
PINETREE 11 (GR)
ELEVATION 1
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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INC. PRIOR TO COMMENCEMENT OF WORK.
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7		
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5		
4	APR. 5, 2023	COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
3	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
2	MAR. 23, 2023	ADDED ALT. SECOND FLOOR PLAN
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No.	DATE:	WORK DESCRIPTION:

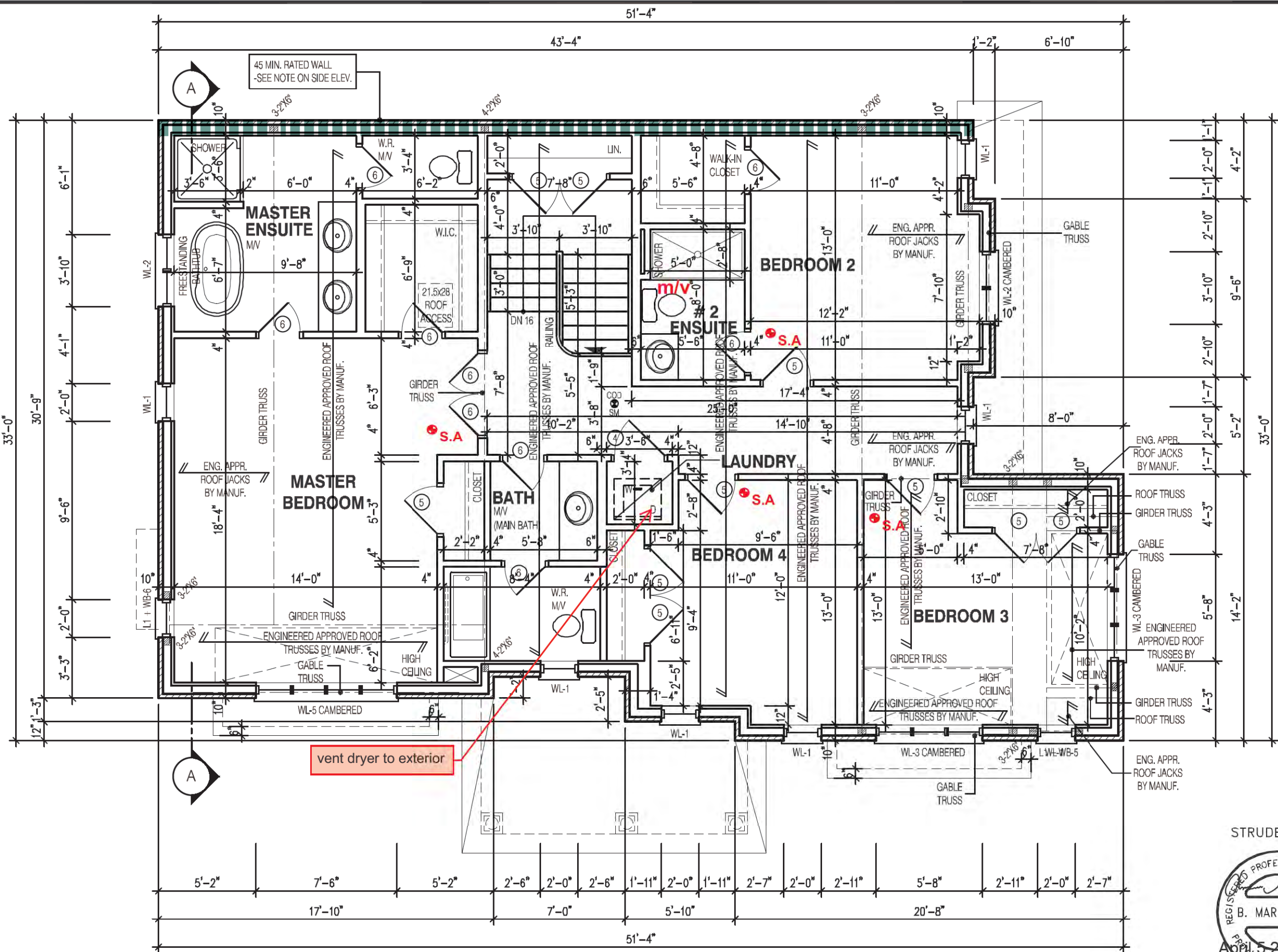
jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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for this design and has the qualifications and meets the
requirements set out in the Ontario Building Code to be a
designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection
3.2.4 of the building code
jardin design group inc. 27763
FIRM NAME BCIN

ALT. SECOND FL. PL. EL-1

ROUNDEL HOMES INC.
CHERRY HILL
RICHMOND HILL
BILD
05/24/2023
SCALE: 3/16" = 1'-0"
PROJ. No. 2653
DWG. No. 23-01
3-1



STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
APR 5, 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

ALTERNATE
SECOND FLOOR PLAN

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 - REPEAT NOTE
 - SHOWER WEEPERS

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

2647
CORNER
PINETREE 11 (GR)
ELEVATION 2
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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jardin
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VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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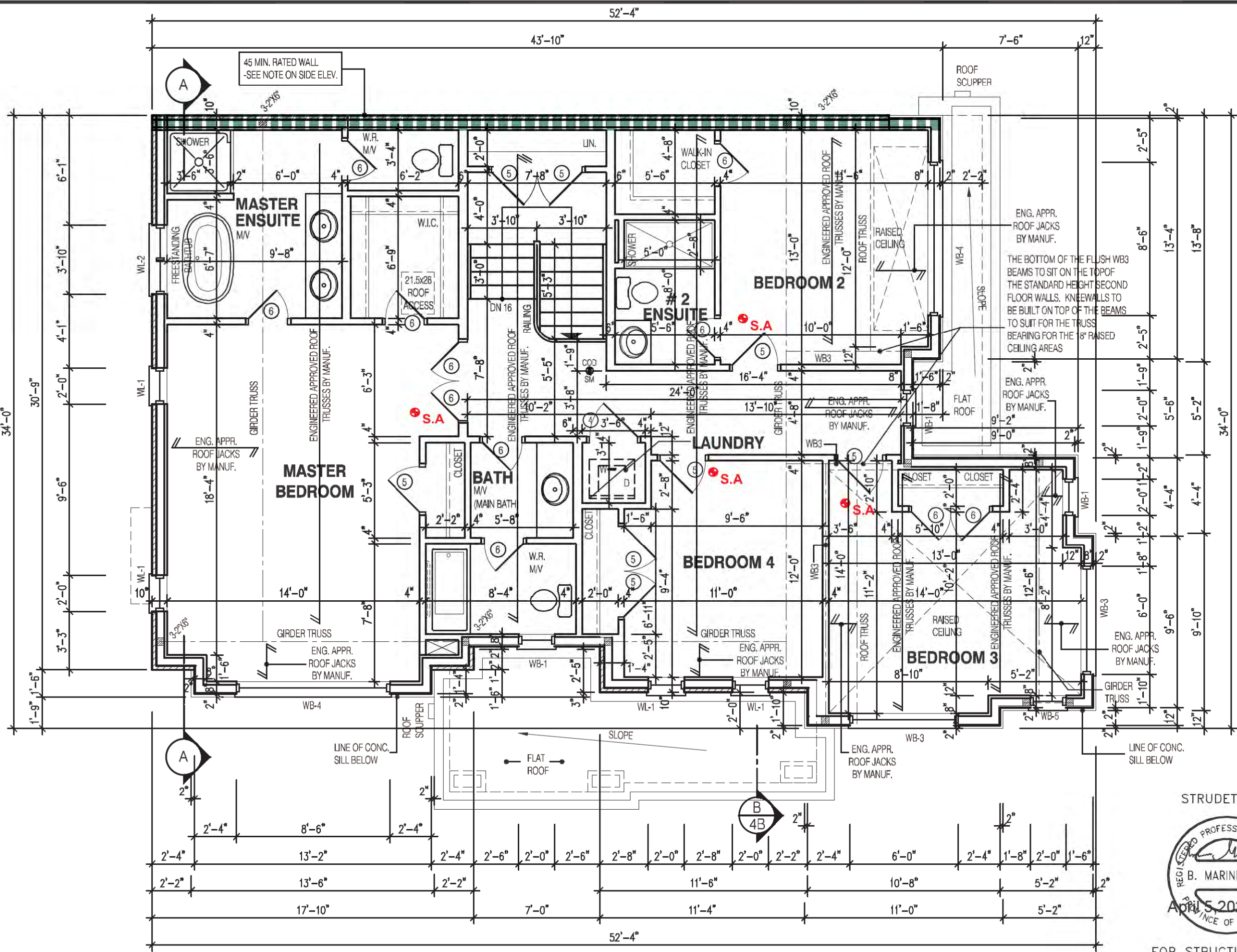
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

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3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

ALT. SECOND FL. PL. EL-2

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL
MODEL: 2653
DATE: 05/24/2023
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3A-1
BILD RECEIVED
Per Joshua Mabe



ALTERNATE
SECOND FLOOR PLAN

- LEGEND:**
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(45 MIN. FIRE RATING REQ'D)
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 - STL. PLATE FOR STEEL COL'N ABOVE
LAMINATED VENEER LUMBER
 - LVL
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

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ROOF TRUSS DRAWINGS BY MANUFACTURER.

2647
CORNER
PINETREE 11 (GR)
ELEVATION 3
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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3	MAR. 23, 2023	ADDED ALT. SECOND FLOOR PLAN
2	MAR. 13, 2023	CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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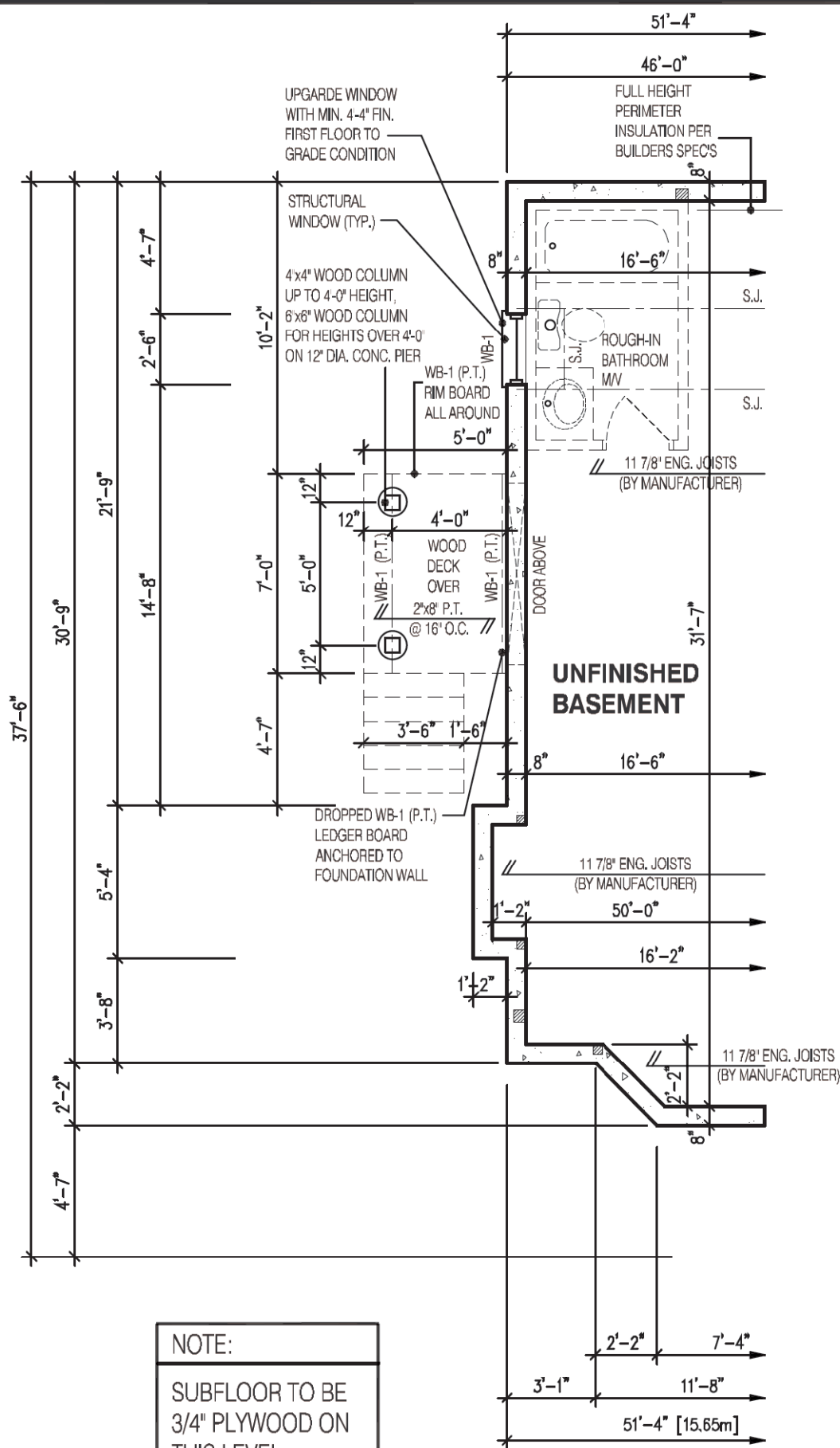
Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

ALT. SECOND FL. PL. EL-3

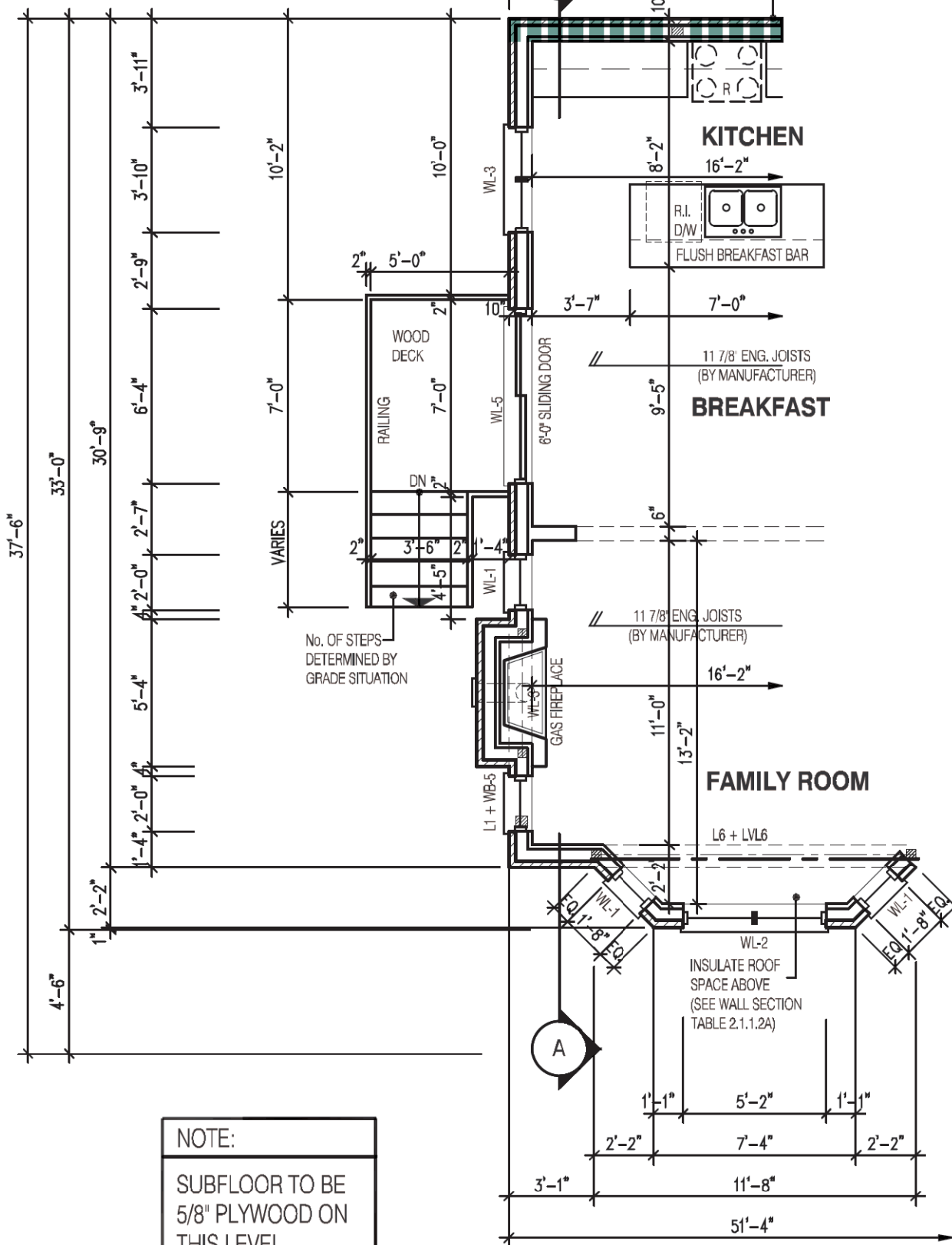
ROUNDEL HOMES INC.
RICHMOND HILL
BILDER
15/24/2023
SCALE: 3/16" = 1'-0"
PROJ. No. 2653
DWG. No. 23-01
BILD
Per Joshua Mabe



NOTE:
SUBFLOOR TO BE 3/4\"/>

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-1

Deck and guard construction shall
comply with attached details.



NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-1

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:
WHEN VENEER CUT IS GREATER THAN 26\"/>

NOTE:
REFER TO SHEET NO. C - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

- LEGEND:
- BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
 - S.J. SINGLE JOIST
 - D.J. DOUBLE JOIST
 - T.J. TRIPLE JOIST
 - REPEAT NOTE
 - SHOWER WEEPERS

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2647
CORNER
PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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7
6
5
4
3 APR. 5, 2023 COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
2 MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
1 FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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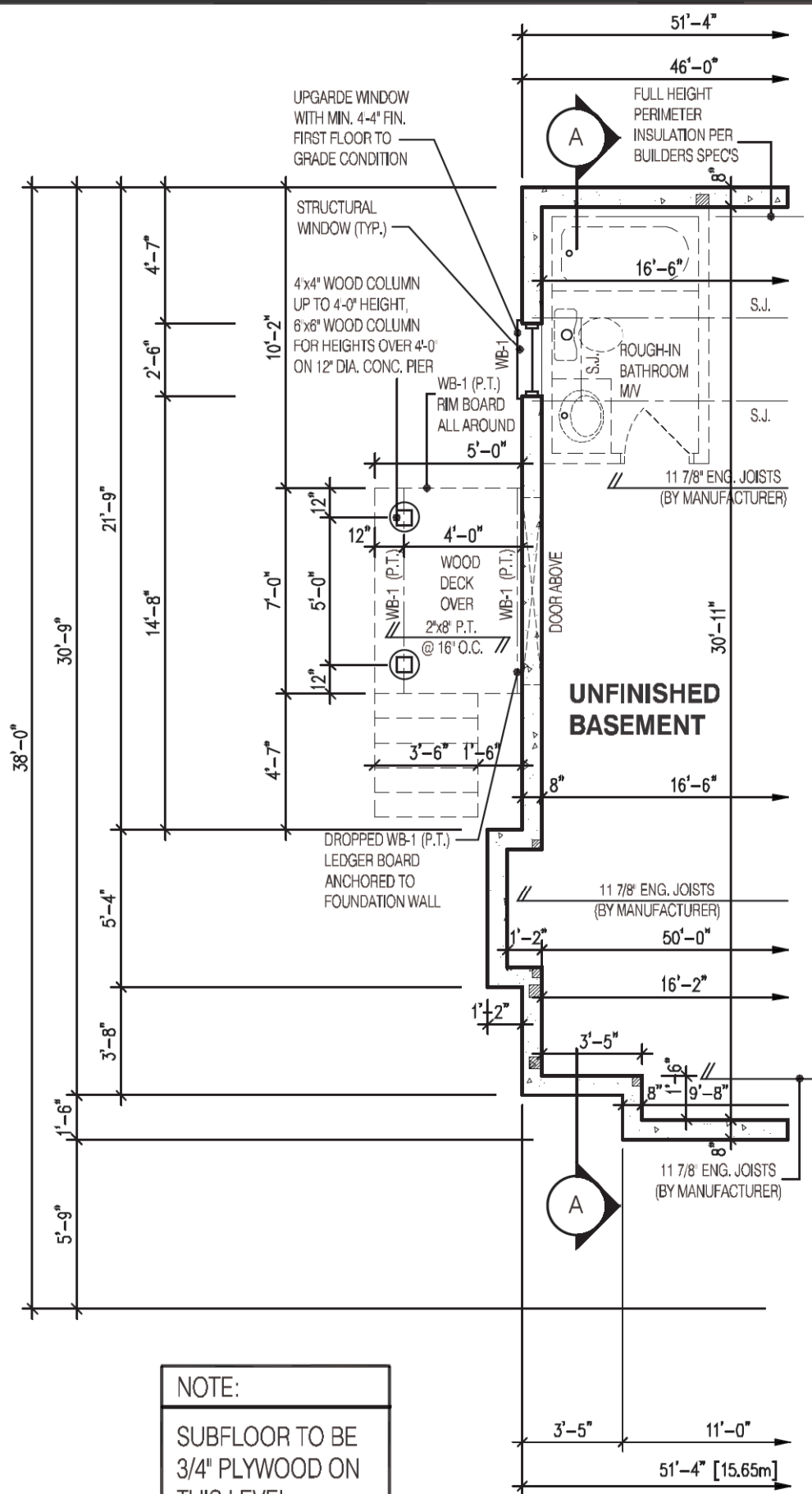
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

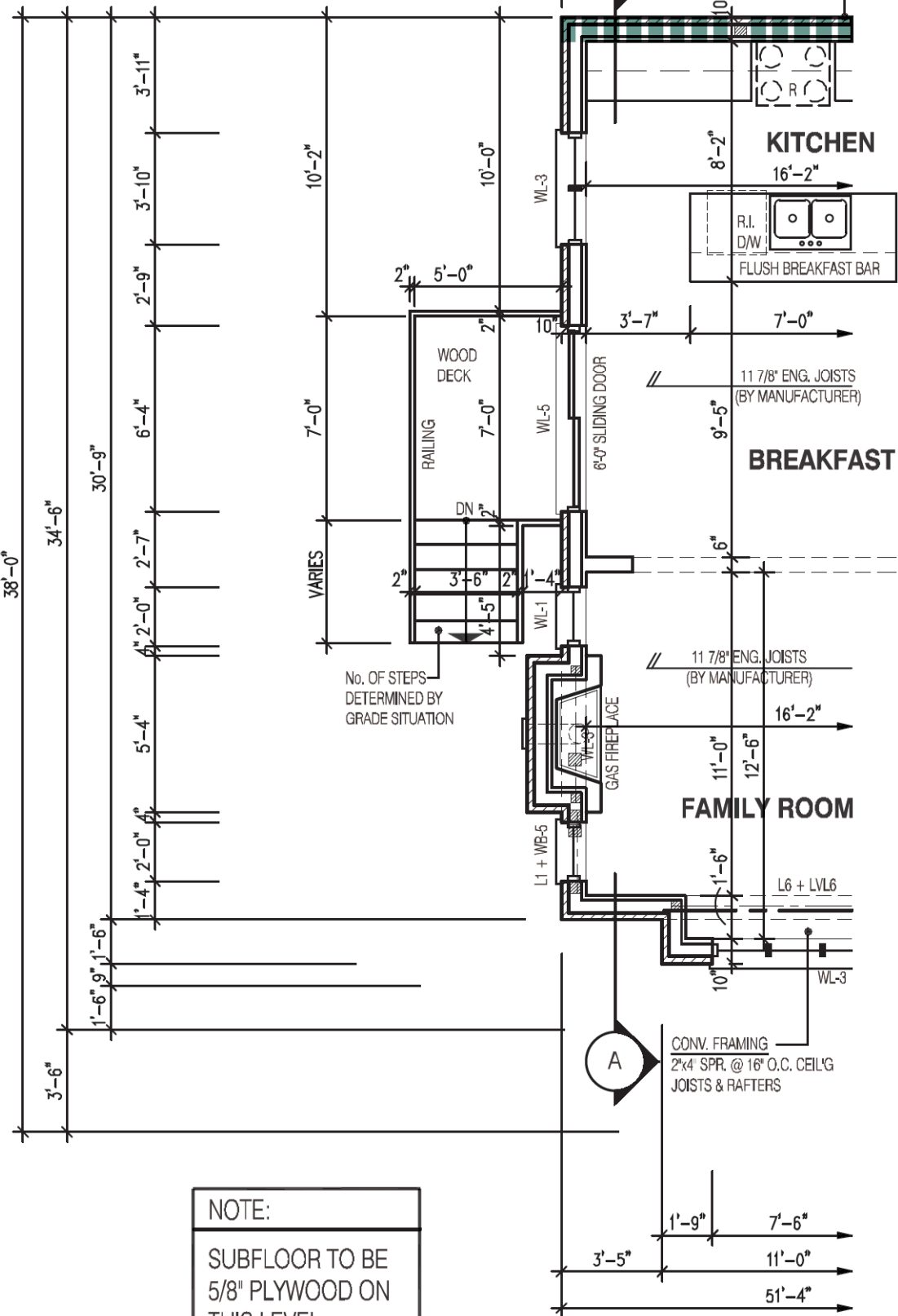
PARTIAL DECK EL-1

ROUND HILL
RICHMOND HILL
BILD
05/24/2023
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3-2



NOTE:
SUBFLOOR TO BE 3/4\"/>

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-2



NOTE:
SUBFLOOR TO BE 5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-2

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:
WHEN VENEER CUT IS GREATER THAN 26\"/>

NOTE:
REFER TO SHEET NO. C - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER APPROVED FLOOR TRUSS LAYOUT BY MANUFACTURER.

LEGEND:	
	BUILDING FACE < THAN 4'-0" (1.2m) (45 MIN. FIRE RATING REQ'D)
	INDICATES SOLID BEARING REQUIRED OR POINT LOAD FROM ABOVE
	STL. PLATE FOR STEEL COLUMN ABOVE
	LAMINATED VENEER LUMBER
	SINGLE JOIST
	DOUBLE JOIST
	TRIPLE JOIST
	REPEAT NOTE
	SHOWER WEEPERS

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2647
CORNER
PINETREE 11 (GR)
ELEVATION 2
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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jardin
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NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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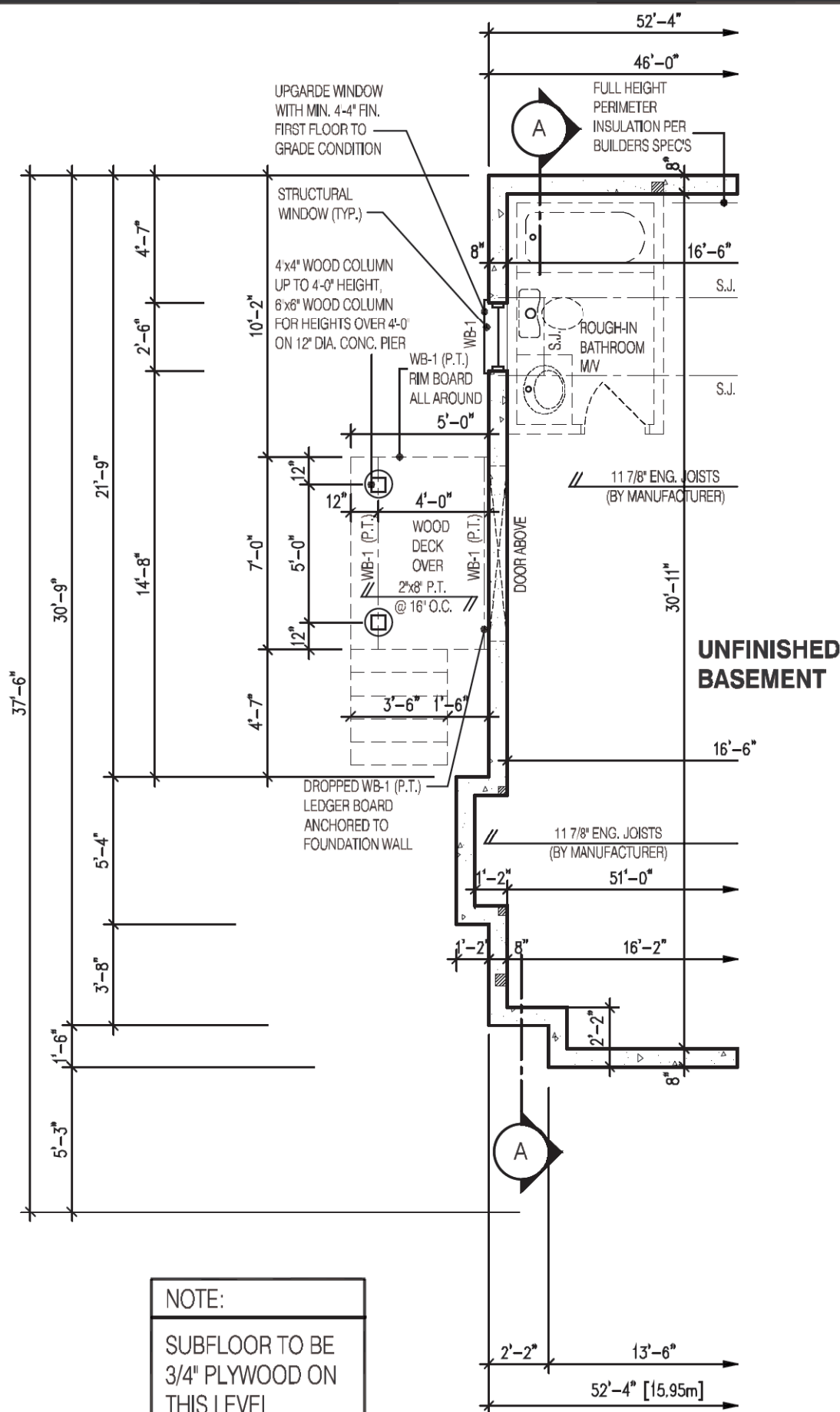
Jardin design group inc. 27763
FIRM NAME BCIN

PARTIAL DECK EL-2

ROUND HILL HOMES INC.
RICHMOND HILL
BAYVIEW HILL
BAYVIEW HILL

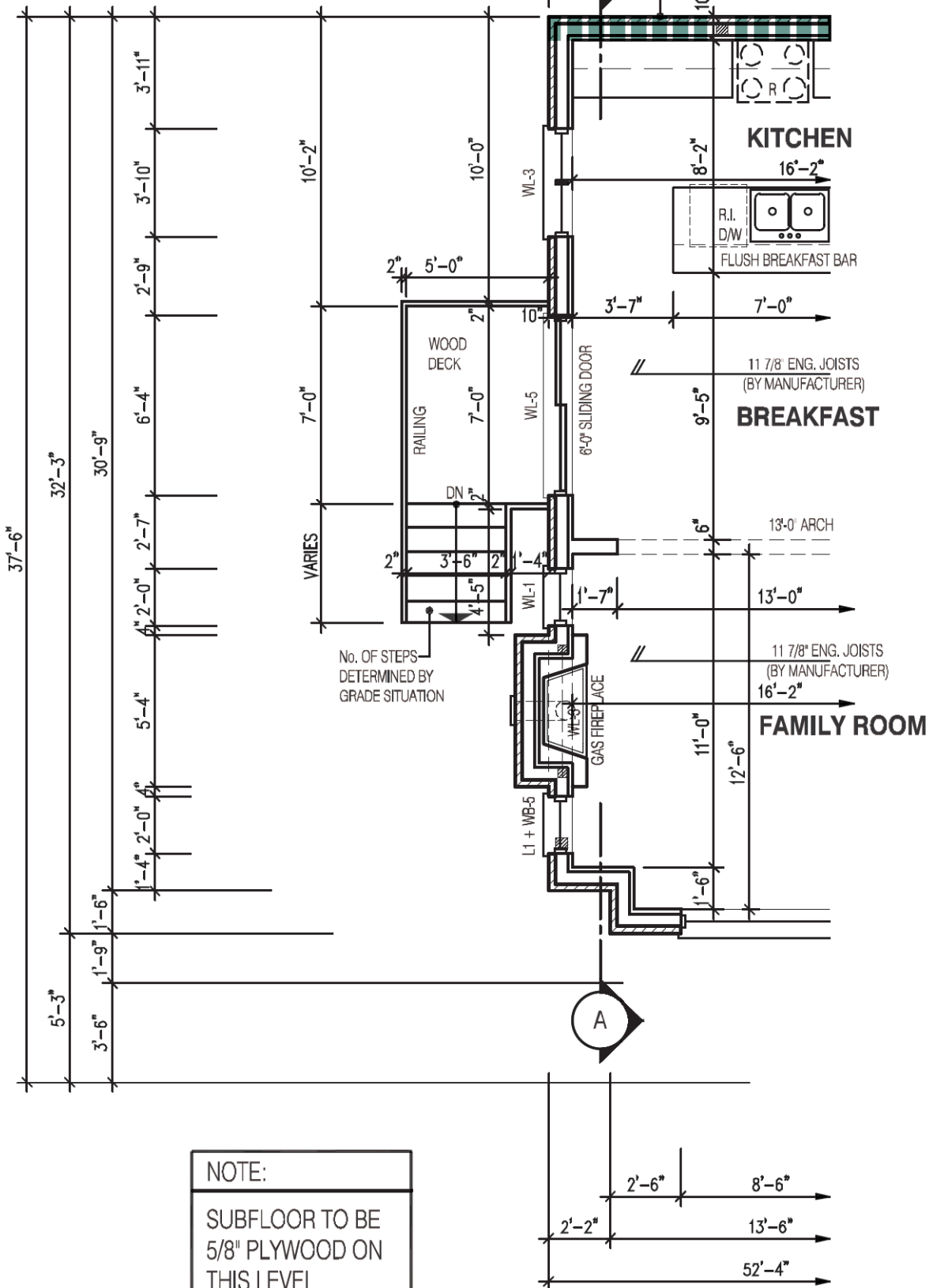
MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3A-2

BILD RECEIVED
Per Joshua Mabe



NOTE:
SUBFLOOR TO BE
3/4\"/>

PARTIAL BASEMENT LAYOUT
FOR DECK CONDITION EL-3



NOTE:
SUBFLOOR TO BE
5/8\"/>

PARTIAL FIRST FLOOR LAYOUT
FOR DECK CONDITION EL-3

STRUDET INC.



FOR STRUCTURE ONLY

NOTE:
WHEN VENEER CUT IS GREATER THAN
26\"/>

NOTE:
REFER TO SHEET NO. C - FOR LINTEL, BEAMS AND DOOR SIZE

NOTE:
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ROOF TRUSS DRAWINGS BY MANUFACTURER.

NOTE:
SPACE CONVENTIONAL FLOOR JOISTS @ 12\"/>

NOTE:
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FLOOR TRUSS LAYOUT BY MANUFACTURER.

- LEGEND:**
- BUILDING FACE < THAN 4'-0" (1.2m)
(45 MIN. FIRE RATING REQ'D)
 - INDICATES SOLID BEARING REQUIRED
OR POINT LOAD FROM ABOVE
 - STL. PLATE FOR STEEL COLUMN ABOVE
 - LVL LAMINATED VENEER LUMBER
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 - D.J. DOUBLE JOIST
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2647
CORNER
PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1

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4	APR. 5, 2023	COORDINATED ENG. COMMENTS. ISSUED FOR BUILDING PERMIT.
3	MAR. 28, 2023	COORDINATED FLOOR & ROOF. REISSUED TO CLIENT
2	MAR. 13, 2023	CUT 12' FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No. DATE:		WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

PARTIAL DECK EL-3

ROUND HILL INC.
RICHMOND HILL
BURNHAMTHORPE

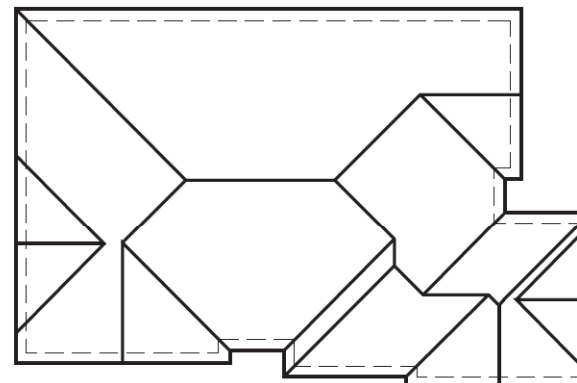
MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 3B-2

BILD RECEIVED
Per Joshua Mabe



PINETREE 11 (2647 sq.ft.)
FLANKAGE
ELEVATION 1

Attic ventilation min. 1 square foot / 300 square foot of ceiling area. Locate 50% of ventilation near ridge.



ROOF PLAN
N.T.S.

Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.

2647

CORNER

PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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7		
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3	APR. 5, 2023	COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
2	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

FLANKAGE ELEV.-1

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01
DWG. No. 4

BILD RECEIVED
Per Joshua Mabe

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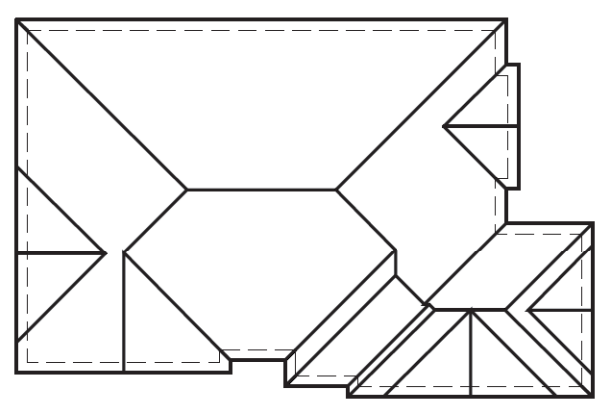
This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W Architect Inc.*

This stamp is only for the purposes of design control and carries no other professional obligations.



PINETREE 11 (2657 sq.ft.)
FLANKAGE
ELEVATION 2



ROOF PLAN
N.T.S.

Refer to approved truss drawings
for roof framing layout and
specifications for correct bearing,
uplift and anchorage.

2647

CORNER

PINETREE 11 (GR)
ELEVATION 2

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

FLANKAGE ELEV.-2

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 4A
BILD RECEIVED
Per: joshua.mabala

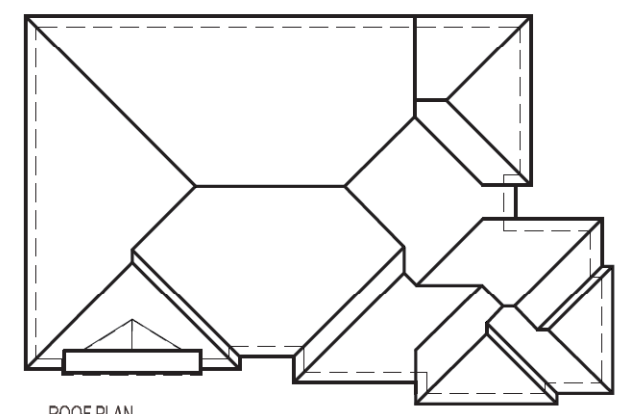
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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W Architect Inc.*

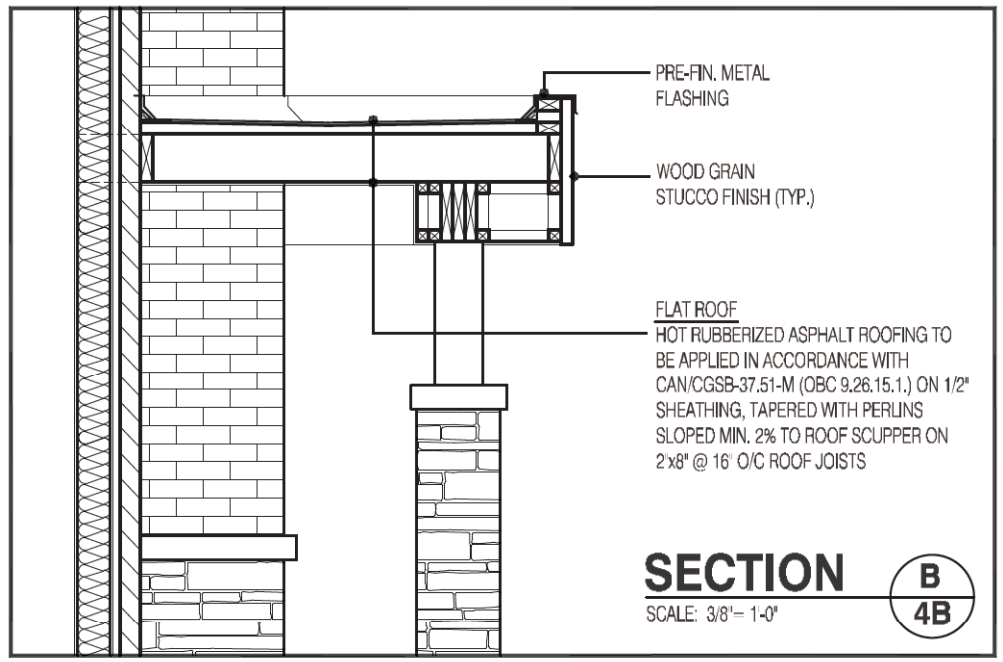
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PINETREE 11 (2687 sq.ft.)
FLANKAGE
ELEVATION 3



Refer to approved truss drawings for roof framing layout and specifications for correct bearing, uplift and anchorage.



2647
CORNER
PINETREE 11 (GR)
ELEVATION 3
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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2	MAR. 13, 2023	CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC

64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

FLANKAGE ELEV.-3

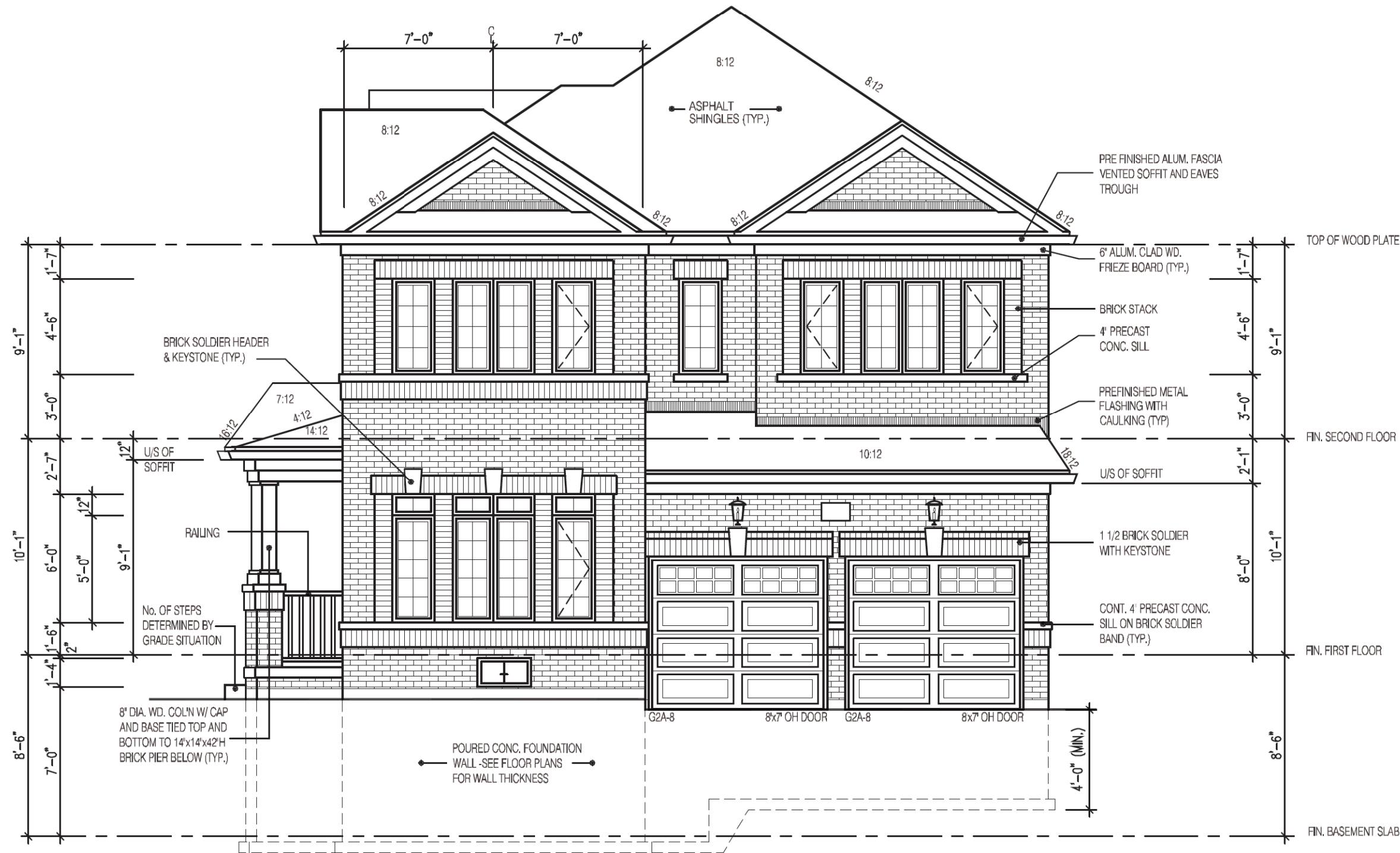
ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL
BURLINGTON

MODEL: T 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01
DWG. No. 4B

05/24/2023
BILD
RECEIVED
Per Joshua Mabe

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W Architect Inc.*

This stamp is only for the purposes of design control and carries no other professional obligations.



PINETREE 11
FRONT
ELEVATION 1

2647

CORNER

PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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3 APR. 5, 2023 COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT

2 MAR. 28, 2023 COORDINATED FLOOR & ROOF, REISSUED TO CLIENT

1 FEB. 22, 2023 FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No. DATE: WORK DESCRIPTION:

1

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION-1

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL
BURLINGTON

MODEL: 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 5

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W*
This stamp is only for the purposes of design control and carries no other professional obligations.



PINETREE 11
FRONT
ELEVATION 3

2647

CORNER

PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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4	APR. 5, 2023	COORDINATED ENG. COMMENTS, ISSUED FOR BUILDING PERMIT
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1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code.

Jardin design group inc. 27763
FIRM NAME BCIN

FRONT ELEVATION-3

ROUNDEL HOMES INC.
CH. OF RICHMOND HILL
RICHMOND HILL

MODEL: T 2653
SCALE: 3/16" = 1'-0"

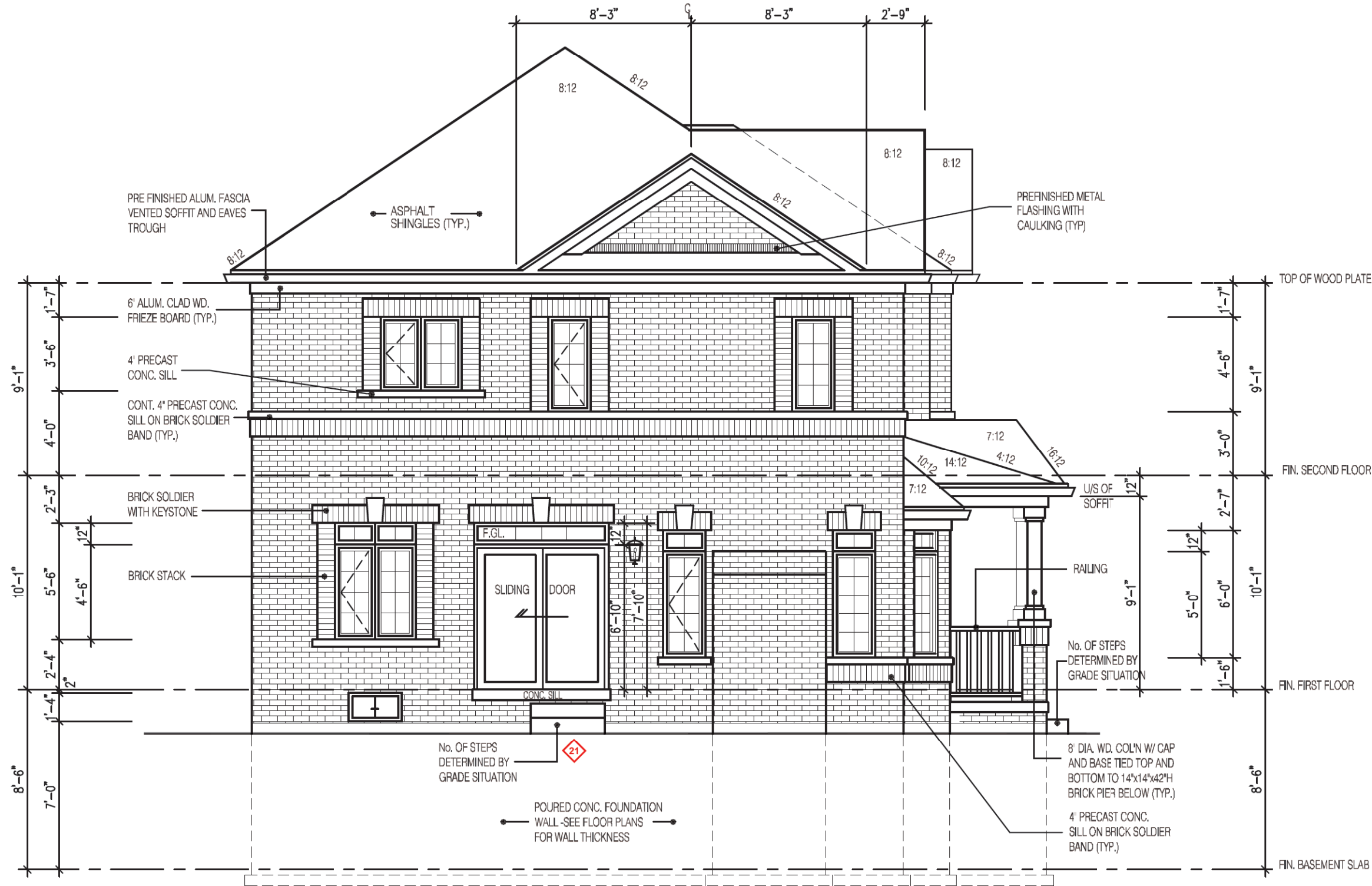
PROJ. No. 23-01 DWG. No. 5B
BILD RECEIVED
Per: joshua.mabala

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W Architect Inc.*

This stamp is only for the purposes of design control and carries no other professional obligations.



PINETREE 11
REAR ELEVATION 1

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

2647

CORNER

PINETREE 11 (GR)
ELEVATION 1

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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QUALIFICATION INFORMATION
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-1

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL

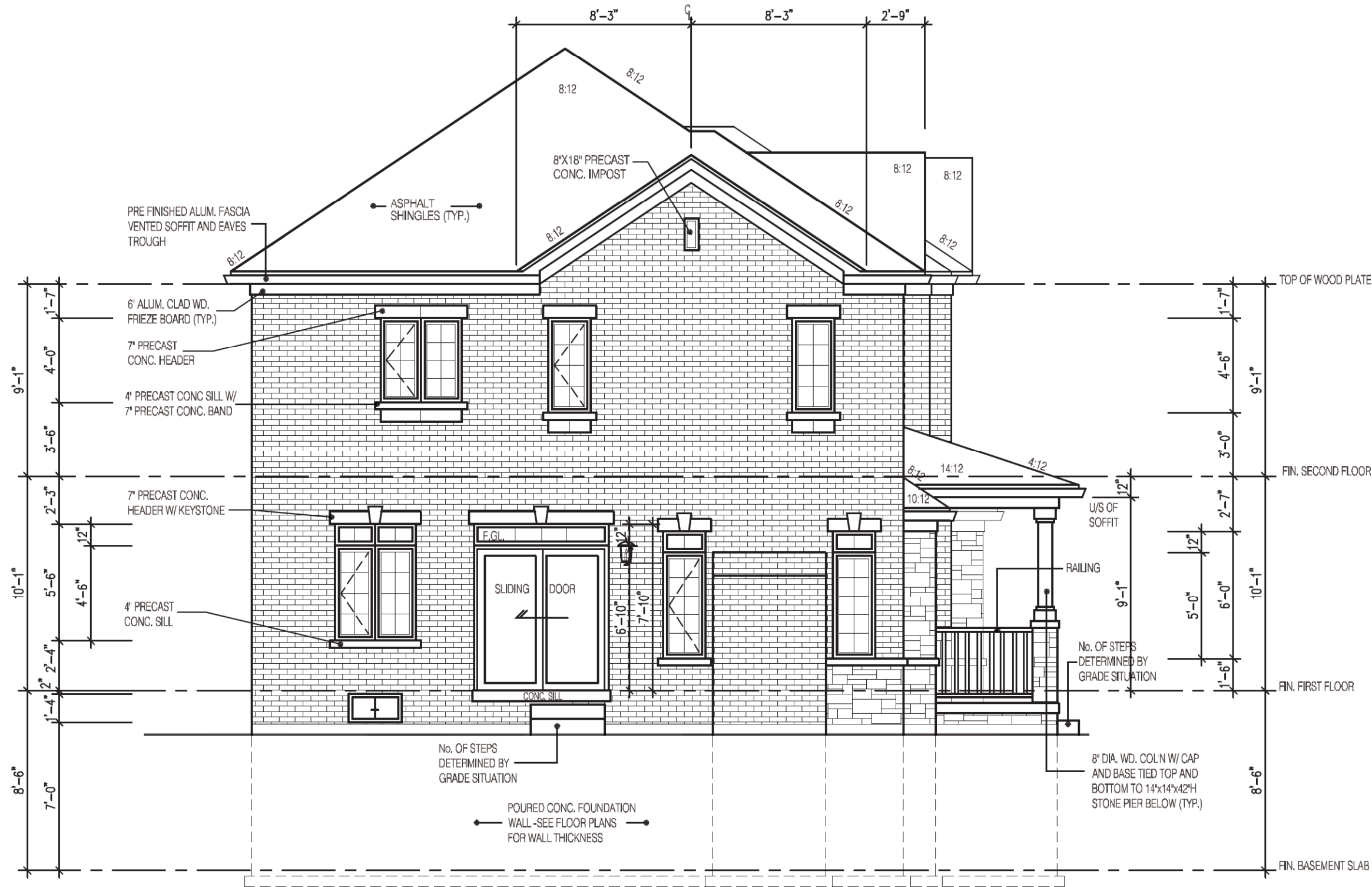
MODEL: T 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 6
BILD RECEIVED
Per: joshua.mabala

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W Architect Inc.*
This stamp is only for the purposes of design control and carries no other professional obligations.



PINETREE 11
REAR ELEVATION 2

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

2647

CORNER

PINETREE 11 (GR)
ELEVATION 2

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-2

ROUNDEL HOMES INC.
CH. RICHMOND HILL
RICHMOND HILL

MODEL: T 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 6A

BILD RECEIVED
Per Joshua Mabe

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W Architect Inc.
DESIGN CONTROL REVIEW

APRIL 14, 2023

FINAL BY: *W Architect Inc.*

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PINETREE 11
REAR ELEVATION 3

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

2647

CORNER

PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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4	APR. 5, 2023	COORDINATED ENG. COMMENTS. ISSUED FOR BUILDING PERMIT.
3	MAR. 28, 2023	COORDINATED FLOOR & ROOF. REISSUED TO CLIENT
2	MAR. 13, 2023	CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

Walter Botter *Walter Botter* 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

REAR ELEVATION-3

ROUNDEL HOMES INC.
CHESHAM HILL
RICHMOND HILL
BURLINGTON

MODEL: T 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 6B

BILD RECEIVED
Per Joshua Nabala

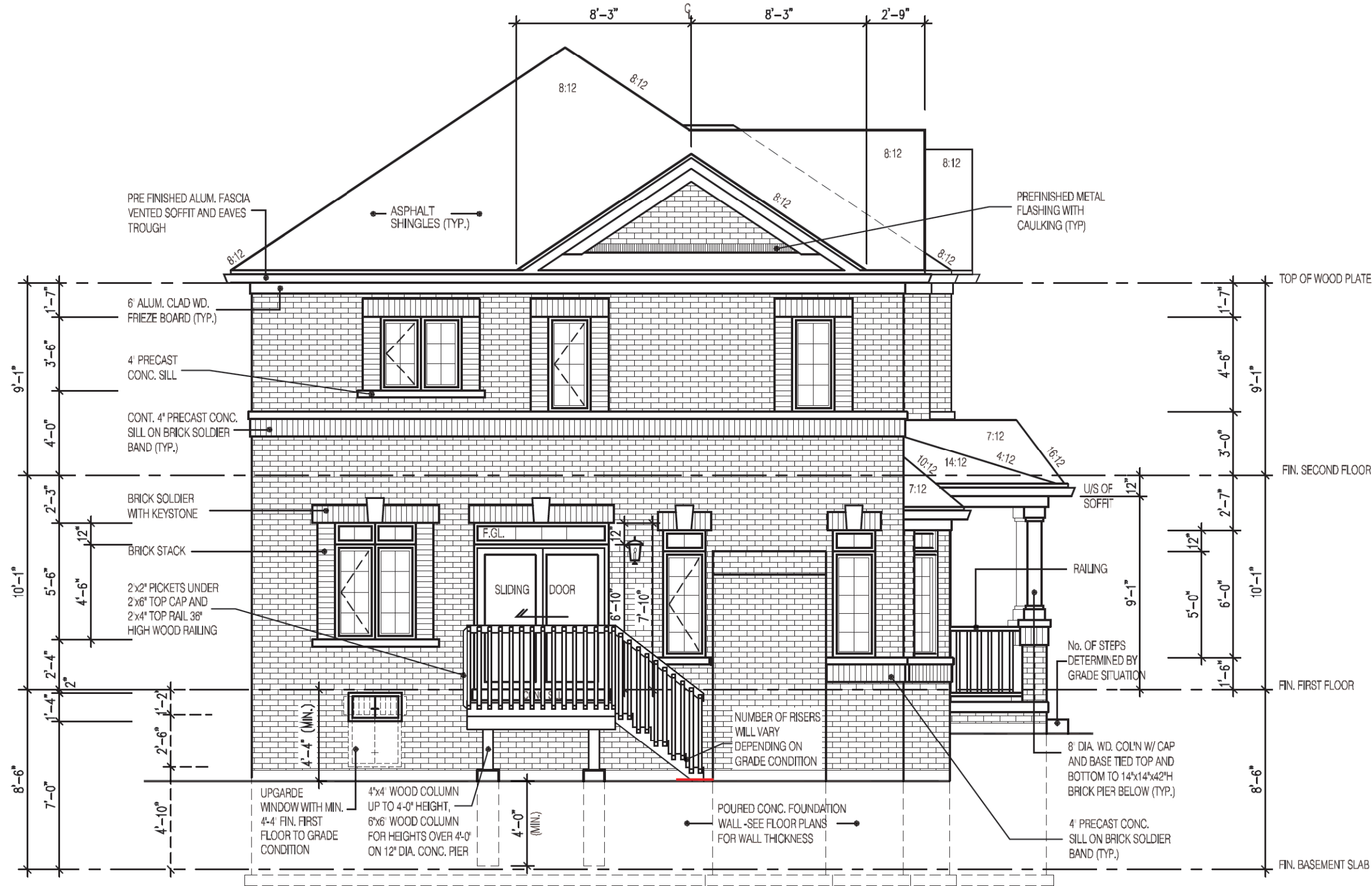
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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023

FINAL BY: *W Architect Inc.*

This stamp is only for the purposes of design control and carries no other professional obligations.



**PINETREE 11
REAR ELEVATION 1
DECK CONDITION**

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
WHEN VENEER CUT IS GREATER THAN
26" A 10" POURED CONC. FOUNDATION
WALL IS REQUIRED.
(FOUNDATION PLAN TO BE REVIEWED
IN CONJUNCTION WITH SITE PLAN)

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W*
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2647

CORNER

**PINETREE 11 (GR)
ELEVATION 1**

2012 CODE /ENG JOIST

**SB-12 COMPLIANCE
PACKAGE 'A1'**

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2	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No.	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter *W* 21031
NAME SIGNATURE BCIN

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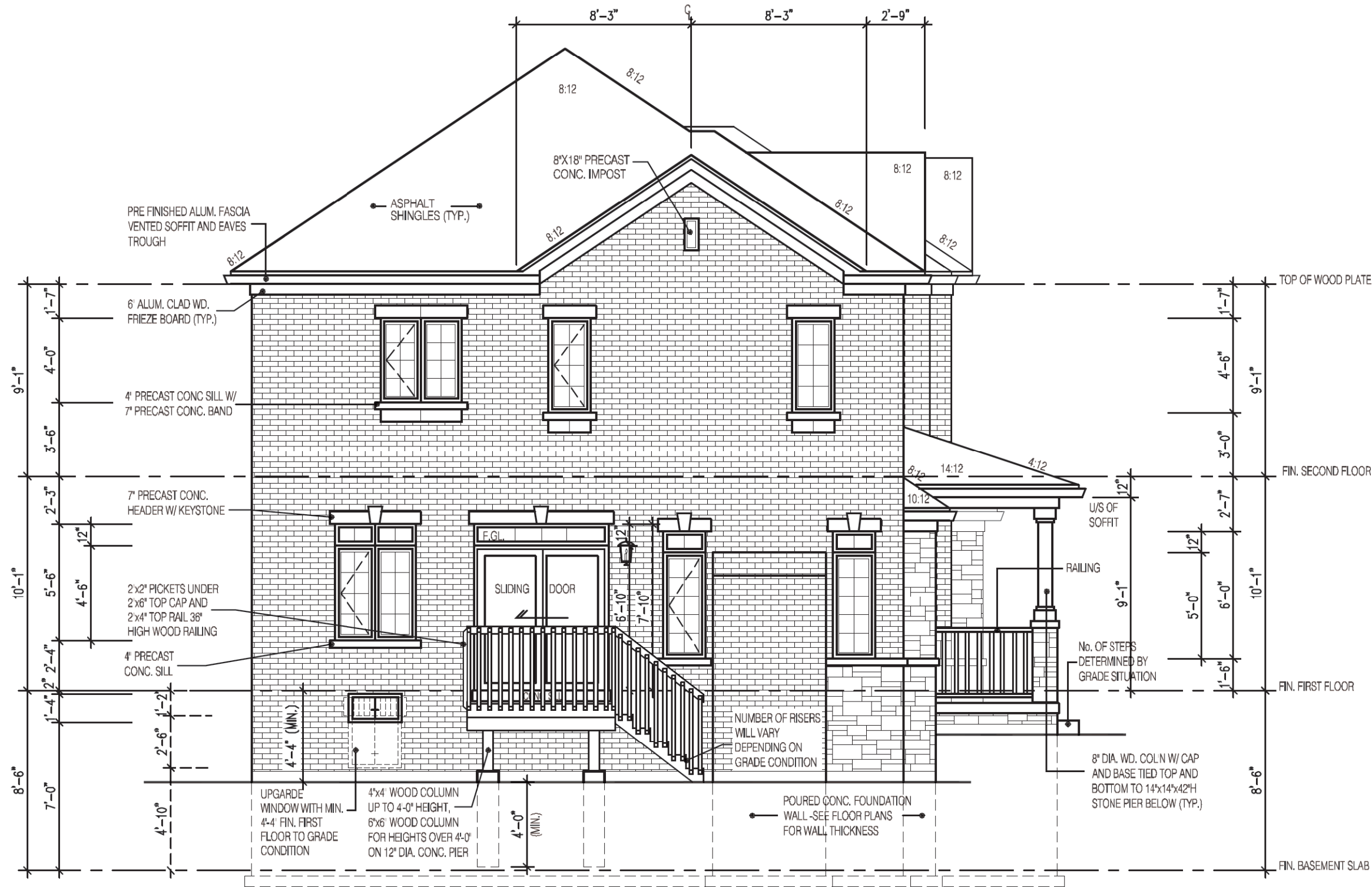
Jardin design group inc. 27763
FIRM NAME BCIN

REAR DECK EL-1

ROUNDEL HOMES INC.
CH. RICHMOND HILL
BILDMOND HILL

MODEL: T 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 6-1
BILD. RECEIVED
Per: *johannab*



**PINETREE 11
REAR ELEVATION 2
DECK CONDITION**

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W*

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2647

CORNER

**PINETREE 11 (GR)
ELEVATION 2**

2012 CODE /ENG JOIST

**SB-12 COMPLIANCE
PACKAGE 'A1'**

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jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
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Walter Botter *W* 21031
NAME SIGNATURE BCIN

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Jardin design group inc. 27763
FIRM NAME BCIN

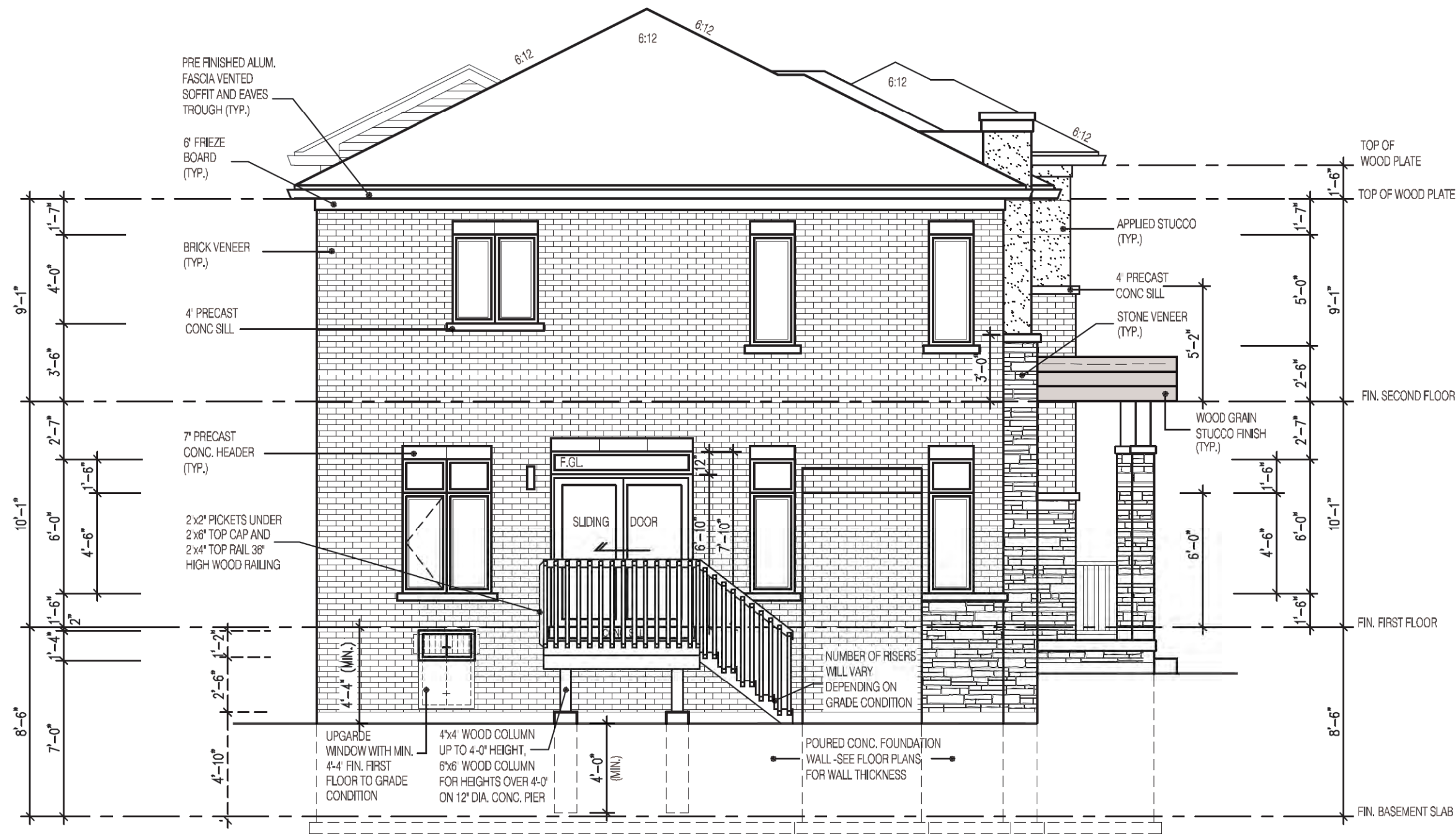
REAR DECK EL-2

ROUNDEL HOMES INC.
CH. RICHMOND HILL
RICHMOND HILL

MODEL: T 2653
SCALE: 3/16" = 1'-0"

PROJ. No. 23-01 DWG. No. 6A-1

BILD RECEIVED
Per: *joshua.mabius*



**PINETREE 11
REAR ELEVATION 3
DECK CONDITION**

FOR ADDITIONAL DECK STRUCTURE
REFER TO PAGE 7 OF THE DETAIL PACKAGE

NOTE:
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26" A 10" POURED CONC. FOUNDATION
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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W. Architect*

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2647
CORNER
PINETREE 11 (GR)
ELEVATION 3
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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No: DATE: WORK DESCRIPTION:

jardin
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64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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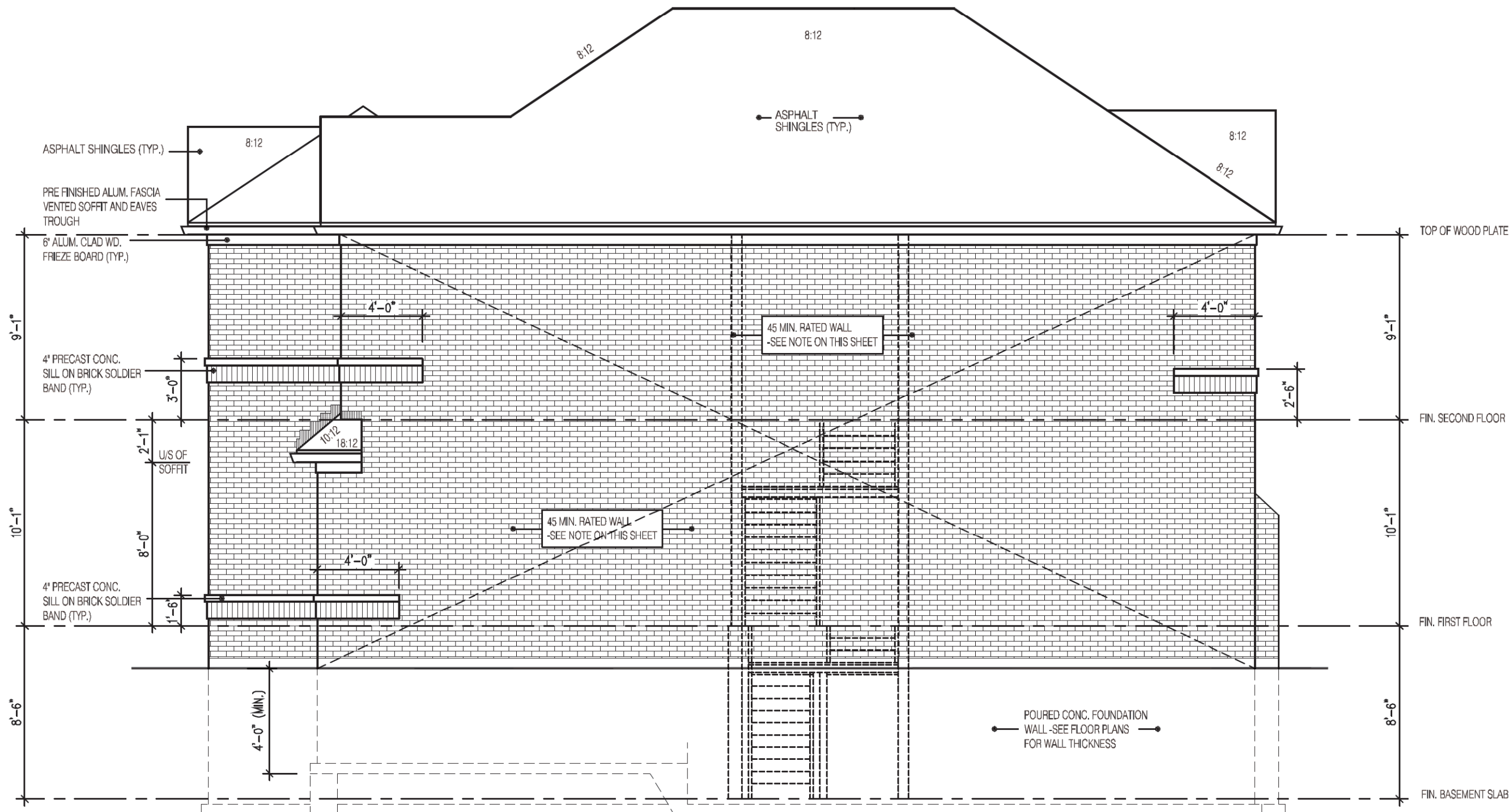
Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

Jardin design group inc. 27763
FIRM NAME BCIN

REAR DECK EL-3

ROUNDEL HOMES INC.
CH. RICHMOND HILL
RICHMOND HILL
BILD. RECEIVED
05/24/2023
PROJ. No. 23-01 DWG. No. 6B-1
Per: *johannabusa*



**PINETREE 11
SIDE ELEVATION 1**

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

**HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)**
**45 MINUTE FIRE RATED AT
HEADER**

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

**BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)**
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2") TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *W. Architect*
This stamp is only for the purposes of design control and carries no other professional obligations.

2647

CORNER

**PINETREE 11 (GR)
ELEVATION 1**

2012 CODE /ENG JOIST

**SB-12 COMPLIANCE
PACKAGE 'A1'**

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2	MAR. 28, 2023	COORDINATED FLOOR & ROOF, REISSUED TO CLIENT
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT
No:	DATE:	WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

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Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

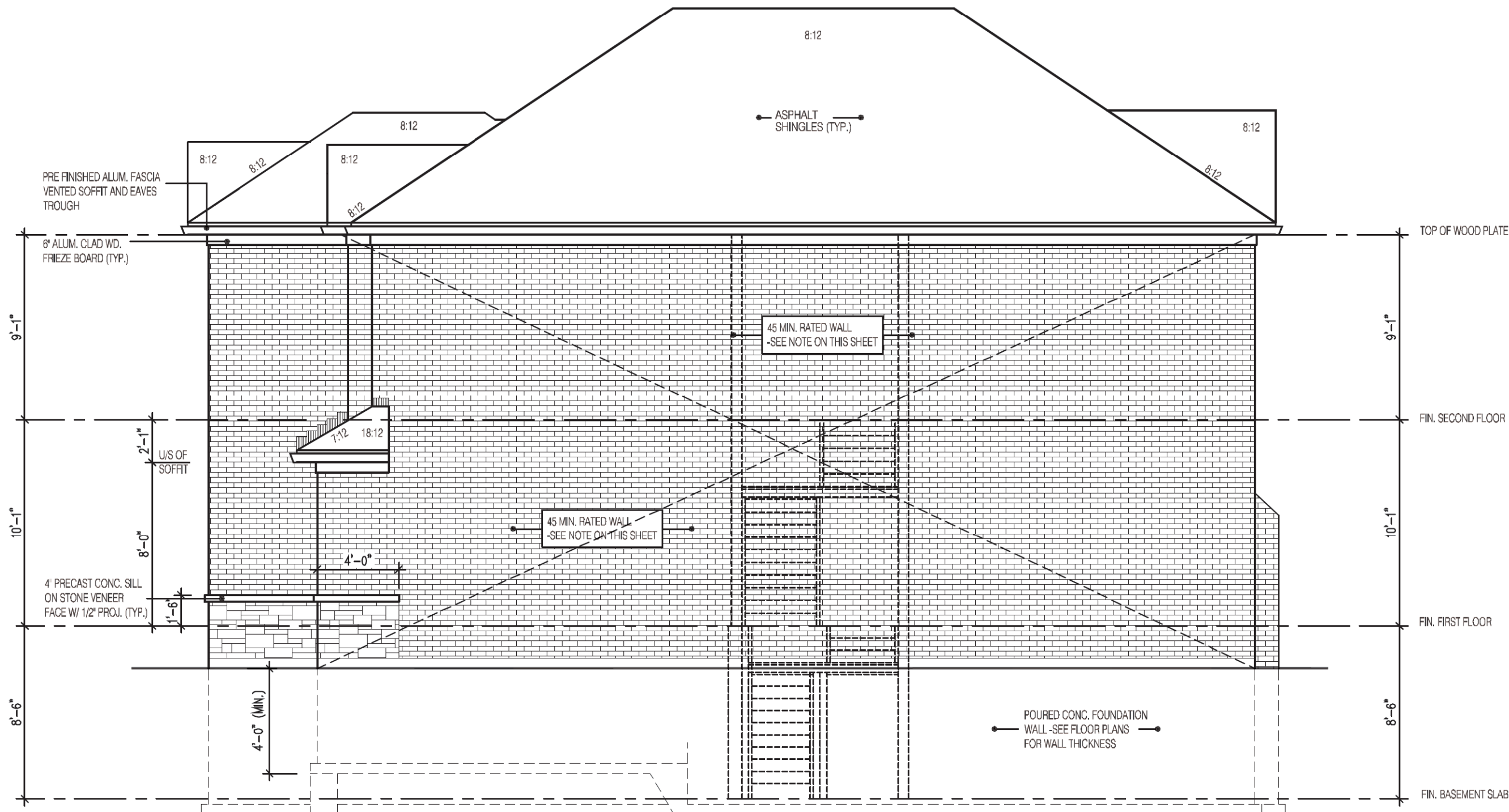
Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-1

ROUNDEL HOMES INC.
RICHMOND HILL
BUILDING DIVISION

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01
DWG. No. 7

BILD
RECEIVED
Per: *joshua.mabala*



PINETREE 11
SIDE ELEVATION 2

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

HEADER/RIM JOIST LEVEL
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED AT HEADER

PROVIDE 15.9mm (5/8") TYPE 'X' GYPSUM BOARD BETWEEN FLOOR JOIST AT THE HEADER OR CONTINUOUSLY ALONG THE RIM JOIST WHEN FLOOR JOISTS ARE PARALLEL TO RIM JOIST TO MAINTAIN 45 MINUTE FIRE RATING.

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.

BRICK VENEER CONSTRUCTION
(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
45 MINUTE FIRE RATED WALL

PROVIDE A CONTINUOUS LAYER OF 12.7mm (1/2) TYPE 'X' GYPSUM BOARD (INTERIOR SIDE) INSTALLED SO THAT ALL EDGES ARE SUPPORTED, TAPED AND FILLED. SPACE BETWEEN WOOD STUDS TO BE FILLED WITH PREFORMED MINERAL FIBRE INSULATION WITH A MASS OF NOT LESS THAN 1.22 Kg/SQ.M. AND MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS. THE TYPE 'X' & INSULATION MUST BE RUN CONTINUOUSLY BEHIND ALL INTERSECTING PARTITIONS, MECHANICAL CHASES, BATHTUBS, SHOWERS, ETC. ENSURE INSULATION & TYPE 'X' IS INSTALLED IN GARAGE EXTERIOR WALLS

(REFER TO SUPPLEMENTARY STANDARD SB-2 2.3.5.(2)

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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *ALL*
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2647
CORNER
PINETREE 11 (GR)
ELEVATION 2
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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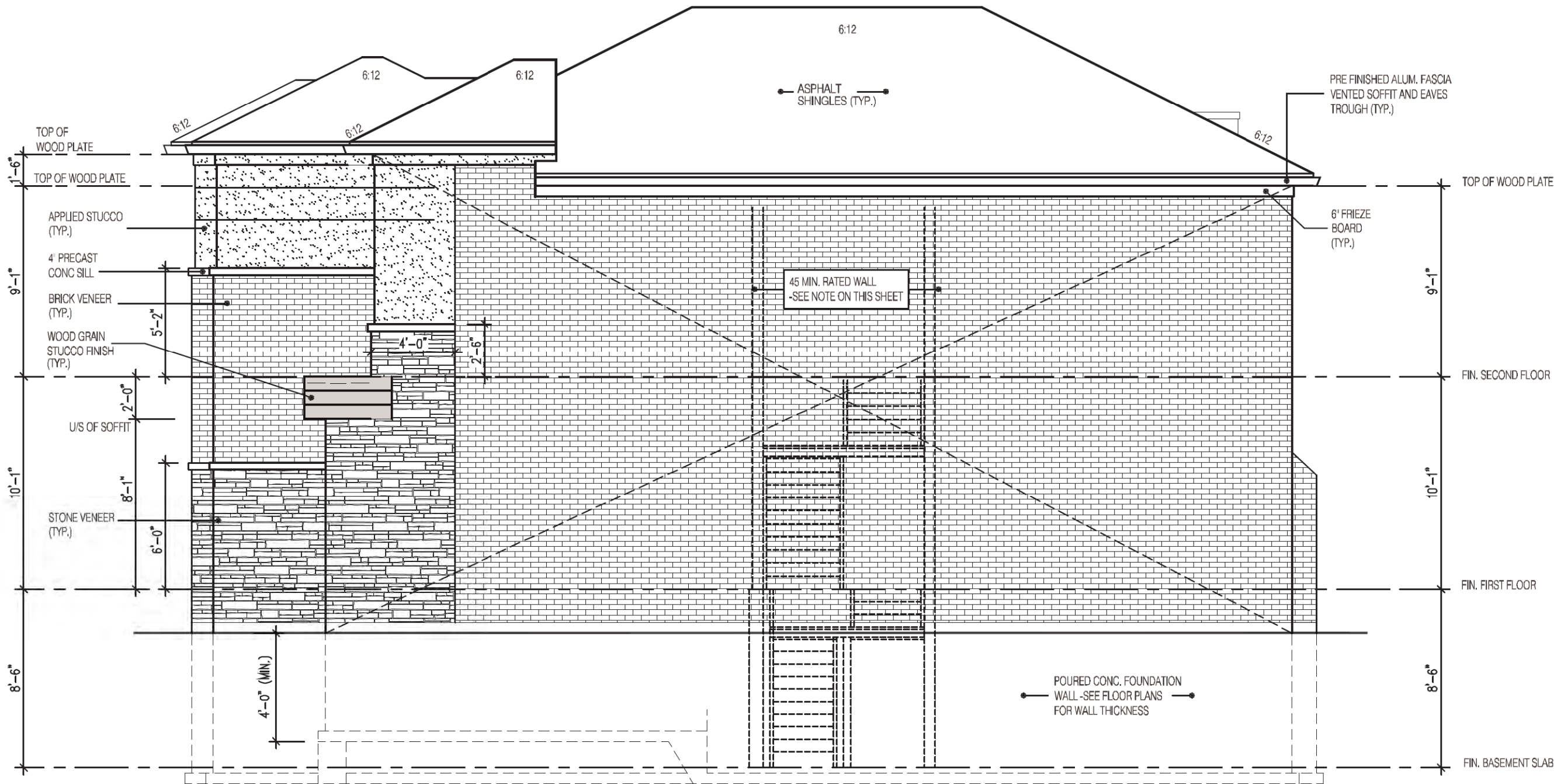
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Walter Botter 21031
NAME SIGNATURE BCIN
REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code
Jardin design group inc. 27763
FIRM NAME BCIN

ROUND HILL HOMES INC.
CHERRY HILL
BUILDING DIVISION
MODEL: T 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 7A
BILD RECEIVED
Per: *joshua.mabala*



PINETREE 11
SIDE ELEVATION 3

No unprotected openings permitted within 1.2 metres of the lot line as per 9.10.14 of the Ontario Building Code.

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(FOR WALLS LESS THAN 1.2m (3'-11") FROM LOT LINE)
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W Architect Inc.
DESIGN CONTROL REVIEW
APRIL 14, 2023
FINAL BY: *ALL*
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2647

CORNER

PINETREE 11 (GR)
ELEVATION 3

2012 CODE /ENG JOIST

SB-12 COMPLIANCE
PACKAGE 'A1'

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2	MAR. 13, 2023	CUT 12" FROM BEDROOM 2
1	FEB. 22, 2023	FROM LENTELLA HEIGHTS 11-68 REVISED- MOVED INTO PROJECT

No: DATE: WORK DESCRIPTION:

jardin
DESIGN GROUP INC
64 JARDIN DR. SUITE 3A
VAUGHAN ONT. L4K 3P3
TEL: 905 660-3377 FAX: 905 660-3713
EMAIL: info@jardindesign.ca

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer
QUALIFICATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code.

Walter Botter 21031
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under Division C, Subsection 3.2.4 of the building code

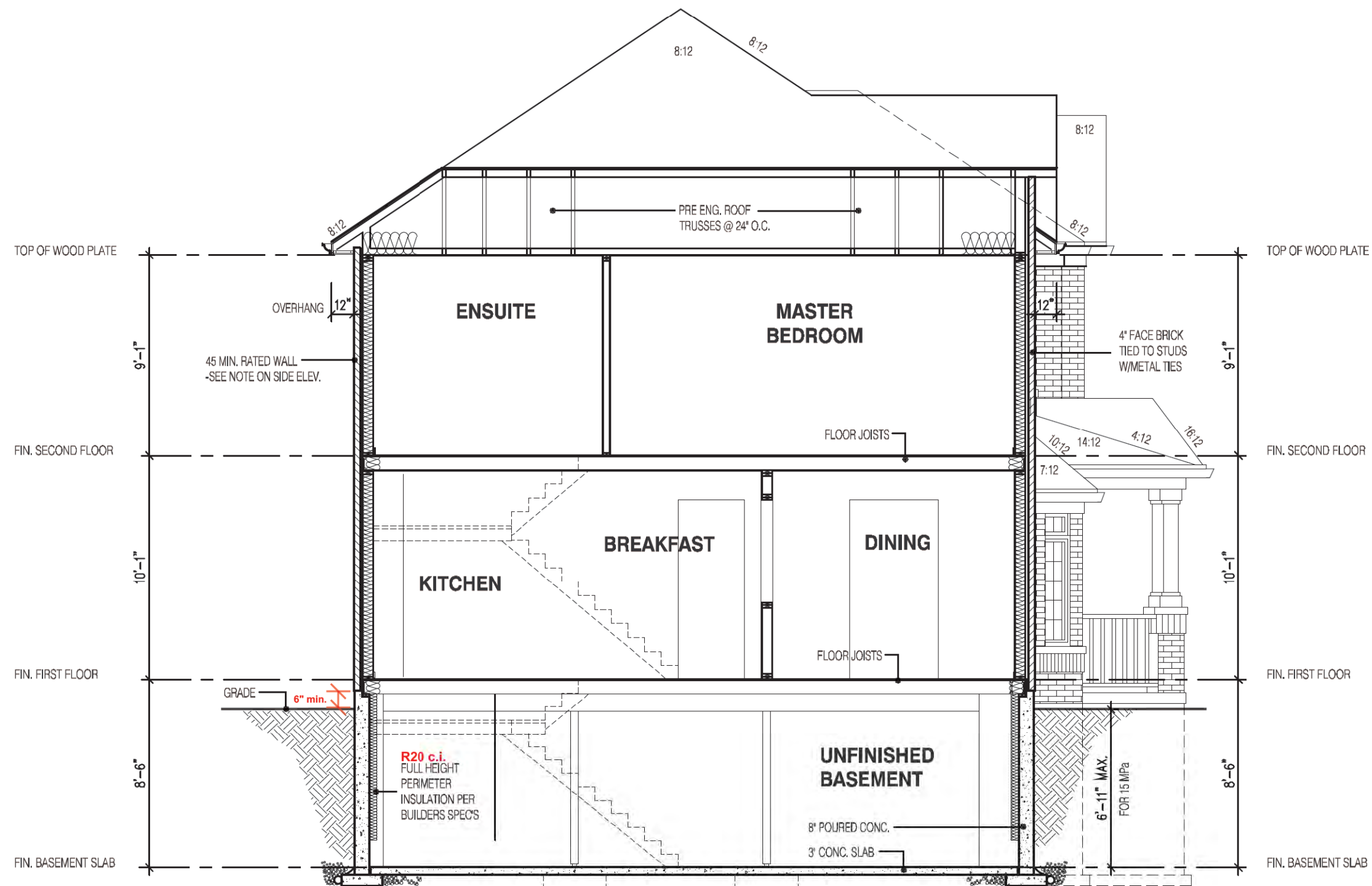
Jardin design group inc. 27763
FIRM NAME BCIN

SIDE ELEVATION-3

ROUNDEL HOMES INC.
CHURCH AND HILL
RICHMOND HILL
BUILDING DIVISION

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01
DWG. No. 7B

BILD RECEIVED
Per: *joshua.mabala*



Maximum backfill height for a 8"
15 MPa 20 MPa Poured Block
foundation wall
laterally supported shall be: 7'-0"
laterally unsupported shall be: 4'-0"

SECTION A-A
ELEVATION 1



FOR STRUCTURE ONLY

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This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the Town of RICHMOND HILL.

2647
CORNER
PINETREE 11 (GR)
ELEVATION 1
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO JARDIN DESIGN GROUP INC. PRIOR TO COMMENCEMENT OF WORK.
JARDIN DESIGN GROUP INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL OR ENGINEERING INFORMATION SHOWN ON THESE DRAWINGS OR FOR CONSTRUCTION STARTED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
AS CONSTRUCTED INVERTS MUST BE VERIFIED PRIOR TO POURING FOOTINGS.
JARDIN DESIGN GROUP INC. HAS NOT BEEN RETAINED TO CARRY OUT GENERAL REVIEW OF THE WORK AND ASSUMES NO RESPONSIBILITY FOR THE FAILURE OF THE CONTRACTOR OR SUB CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
THIS DRAWING IS AN INSTRUMENT OF SERVICE. IS PROVIDED BY AND IS THE PROPERTY OF JARDIN DESIGN GROUP INC. THIS DRAWING IS NOT TO BE SCALED.

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Walter Botter 21031
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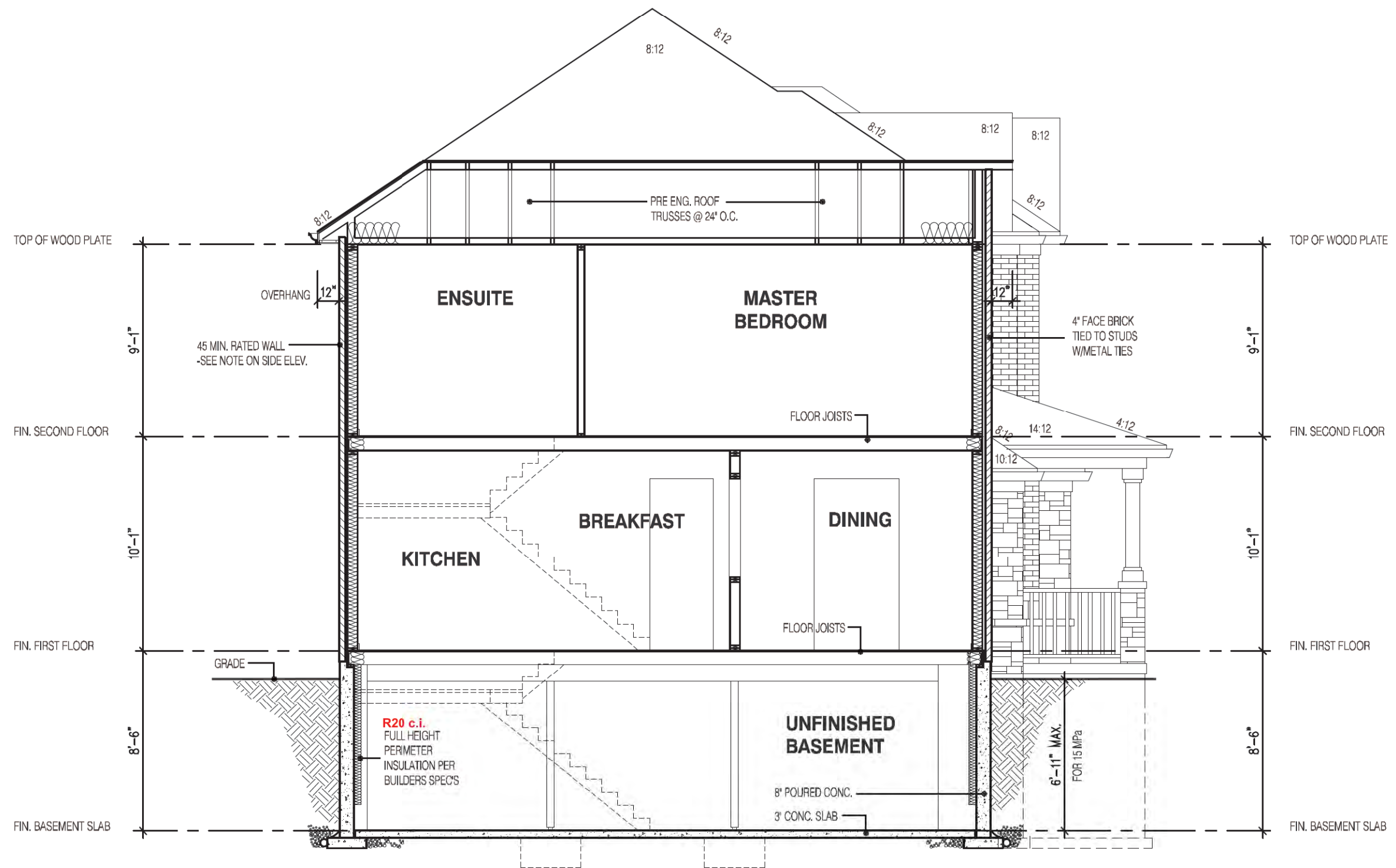
Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION-1

ROUNDEL HOMES INC.
RICHMOND HILL
BAYVIEW HILL

MODEL: 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 8

RECEIVED
Per Joshua Mabe



SECTION A-A
ELEVATION 2

STRUDET INC.



APR 5 2023

FOR STRUCTURE ONLY

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2647
CORNER
PINETREE 11 (GR)
ELEVATION 2
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
PACKAGE 'A1'

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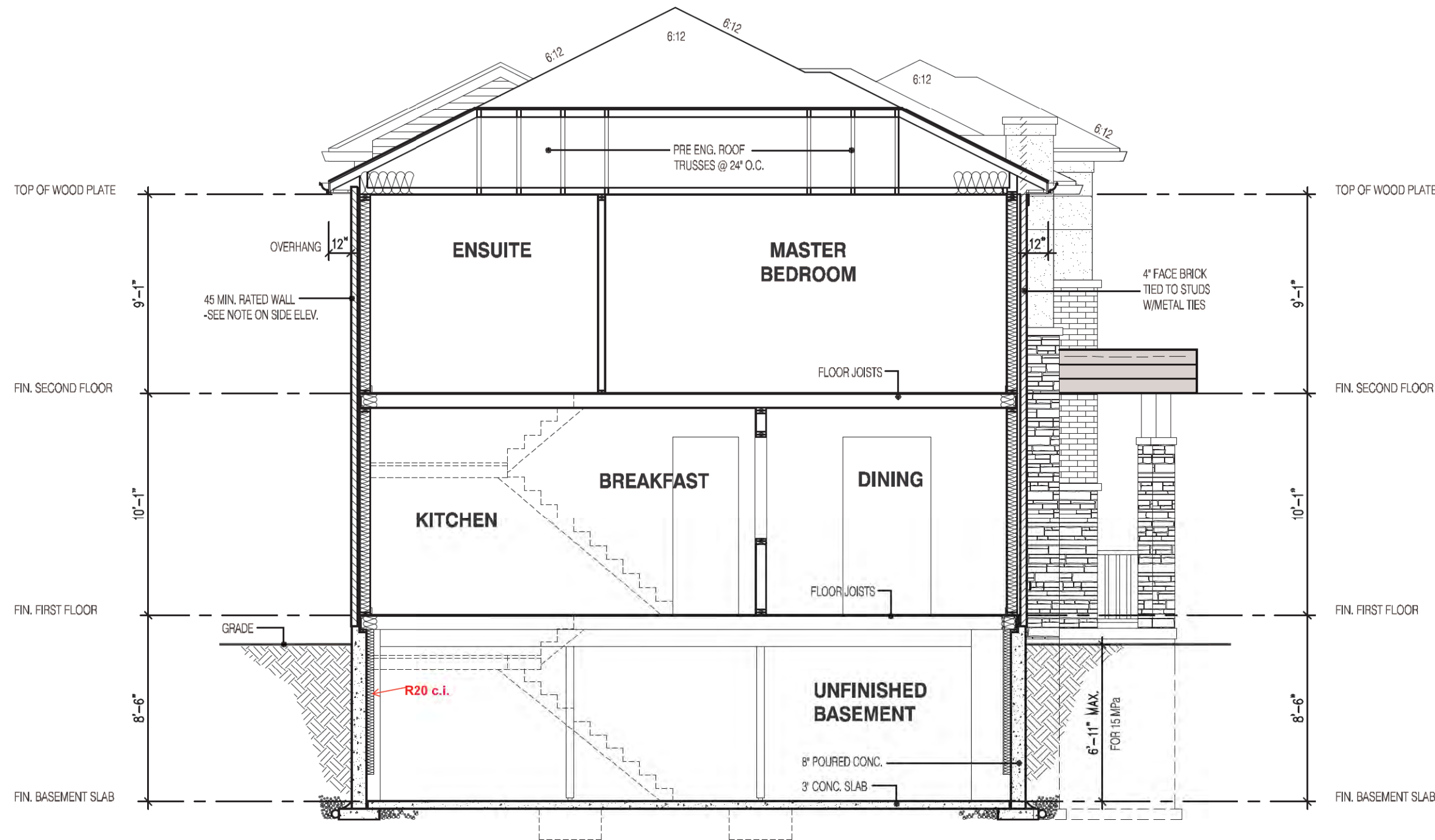
REGISTRATION INFORMATION
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Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION-2

ROUNDEL HOMES INC.
CHERRYBOND HILL
RICHMOND HILL
BUILDING DIVISION

MODEL: T 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 8A
BILD RECEIVED
Per: joshua.mabala



SECTION A-A
ELEVATION 3

STRUDET INC.

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CORNER
PINETREE 11 (GR)
ELEVATION 3
2012 CODE /ENG JOIST
SB-12 COMPLIANCE
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Jardin design group inc. 27763
FIRM NAME BCIN

SECTION ELEVATION-3

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CHERRYBOND HILL
RICHMOND HILL
BAYVIEW HILL

MODEL: T 2653
SCALE: 3/16" = 1'-0"
PROJ. No. 23-01 DWG. No. 8B

BILD
RECEIVED
Per: