



CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER:   
CHIEF BUILDING OFFICIAL

BUILDING PERMIT COVER PAGE

MHP 23024

Development Services Department  
Building Permit and Inspection Services

BUILDING PERMIT PLANS REVIEW	ACCEPTED AS NOTED	
	REVIEWED BY	DATE
ZONING		
PLANNING		
ARCHITECTURAL	CM	NOV 4, 2023
STRUCTURAL		
FIRE		
PLUMBING	CARD	
MECHANICAL		
PLANS REVIEW COMPLETED	CM	NOV 4, 2023

SOIL CONDITIONS

SOIL CONDITIONS SHALL BE VERIFIED BY A PROFESSIONAL ENGINEER COMPETENT IN THE FIELD OF SOIL ENGINEERING, PRIOR TO PLACING ANY FOUNDATION.

THE PERMIT PLANS HAVE BEEN REVIEWED FOR ONE (1) DWELLING UNIT. ANY FUTURE CHANGES WILL REQUIRE A SEPARATE BUILDING PERMIT

PLUMBING INSTALLATIONS

ALL PLUMBING INSTALLATIONS ARE TO BE DONE BY A PLUMBING CONTRACTOR POSSESSING AN ONTARIO COLLEGE OF TRADES MEMBERSHIP. NO PLUMBING IS TO BE COVERED UNTIL INSPECTED AND APPROVED BY A PLUMBING INSPECTOR. TELEPHONE 905-436-5658 WHEN READY FOR AN INSPECTION AND TESTING.

ALL STANDARDS REFERRED TO IN THESE BUILDING PERMIT DOCUMENTS SHALL BE THE EDITION DESIGNATED IN OBC 2012 AS AMENDED.

RAIN WATER DOWNSPOUTS ARE TO BE DISCHARGED AT GRADE AND NOT CONNECTED TO WEEPING TILES.

FUTURE ALTERATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR ANY PROPOSED INTERIOR PARTITIONS AND/OR ALTERATIONS.

NOTE:

IT IS RECOMMENDED THAT CRUSHED CONCRETE OR SLAG AGGREGATE **NOT** TO BE USED FOR BACKFILL UNDER CONCRETE SLABS, AROUND SEWER LATERALS OR WEEPERS.

AS BUILT SURVEY

UPON COMPLETION OF THE FOUNDATION, A SURVEY PREPARED BY AN ONTARIO LAND SURVEYOR INDICATING THE LOCATION OF THE BUILDING TO ALL PROPERTY LINES IS REQUIRED TO BE SUBMITTED TO THE BUILDING DEPARTMENT

COPY OF THE STAMPED/REVIEWED DRAWINGS MUST REMAIN ON SITE DURING CONSTRUCTION.

MHP CERTIFICATION

ALL MARKUPS AND STAMPS APPLIED TO BASE MODEL AND BASE ELEVATION SHALL APPLY AS APPLICABLE TO THE ENTIRE MODEL HOUSE PLAN

IMPORTANT NOTE

NEITHER THE ISSUANCE OF A PERMIT NOR THE CARRYING OUT OF INSPECTIONS BY THE CITY RELIEVE THE APPLICANT FROM FULL RESPONSIBILITY FOR COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE ACT AND THE ONTARIO BUILDING CODE, BOTH AS AMENDED, AS WELL AS OTHER APPLICABLE STATUTES AND REGULATIONS OF THE PROVINCE OF ONTARIO AND ALL RELEVANT BY-LAWS OF THE CITY OF OSHAWA AND THE REGIONAL MUNICIPALITY OF DURHAM.

OBC 9.10.14.5 - CLADDING

CLADDING ON THE EXPOSING BUILDING FACE IS PERMITTED TO BE VINYL WHEN WITHIN 600mm OF PROPERTY LINE, PROVIDED THAT THE VINYL CONFORMS TO OBC DIV. B. 9.27.13. IS INSTALLED OVER SHEATHING PAPER AND 12.7mm DRYWALL, HAS A FLAME SPREAD RATING NOT GREATER THAN 25, AND IS NOT MORE THAN 2mm THICK AND THE ENTIRE EXTERIOR WALL HAS A MINIMUM FIRE RESISTANCE RATING OF ¾ HOURS.

PREFABRICATED WOOD TRUSSES

FABRICATION AND ERECTION DRAWINGS WITH DESIGN DATA, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER, MUST BE AVAILABLE ON SITE FOR REVIEW BY THE BUILDING INSPECTOR

ROOF CEILING INSULATION

ROOF FRAMING OR TRUSS HEEL JOINT MUST PERMIT SUFFICIENT SPACE FOR THE EXTENSION OF THE ROOF-CEILING INSULATION OVER EXTERIOR WALLS MINIMIZE THERMAL BRIDGES. AN UNOBSTRUCTED VENTILATION SPACE MUST BE PROVIDED OVER EXTERIOR WALLS TO ALLOW UNIMPEDED AIR FLOW FORM SOFFIT VENTS TO ROOF VENTS.

ALL ELECTRICAL WIRING MUST BE INSPECTED BY THE ELECTRICAL SAFETY AUTHORITY. SEPARATE INSPECTION APPLICATIONS (PERMITS) MUST BE FILED. WE RECOMMEND YOU USE A QUALIFIED ELECTRICAL CONTRACTOR. FOR MORE INFORMATION PLEASE CALL:



ELECTRICAL  
SAFETY  
AUTHORITY

1-877-ESA-SAFE  
OR VISIT  
WWW.ESASAFE.COM

BEDROOM WINDOWS

- (1) EVERY FLOOR LEVEL CONTAINING BEDROOMS IN A *SUITE* SHALL BE PROVIDED WITH AT LEAST 1 OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS, AND EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 0.35M<sup>2</sup> (3.8 SQ.FT.) WITH NO DIMENSION LESS THAN 380 MM (15 IN).
- (2) EXCEPT FOR *BASEMENT* AREAS, THE WINDOW DESCRIBED IN SENTENCE (1) SHALL HAVE A MAXIMUM SILL HEIGHT OF 1M (3 FT 3 IN) ABOVE THE FLOOR.
- (3) WHEN SLIDING WINDOWS ARE USED, THE MINIMUM DIMENSION DESCRIBED IN SENTENCE (1) SHALL APPLY TO THE OPENABLE PORTION OF THE WINDOW.

ATTIC HATCHES SHALL NOT BE LESS THAN 550mm (21 5/8") BY 900mm (35")

OBC 9.26.4.1.

FLASHING REQUIRED AT ALL ROOF-WALL JUNCTIONS

INTERIOR FINISH OF EXITS

THE FLAME SPREAD RATING OF WALL OR CEILING FINISH IN AN EXIT MUST NOT EXCEED 25.

INTERIOR FINISH (EXCEPT EXITS)

FLAME SPREAD RATING OF INTERIOR FINISH MATERIALS SHALL NOT EXCEED 150 ON WALLS AND 150 ON CEILINGS. COMBUSTIBLE WALL AND CEILING FINISHES SUCH AS WOOD, PLYWOOD, PLASTIC, FABRIC, CARPET, ETC. MUST BE APPROVED BY THE INSPECTOR PRIOR TO THE INSTALLATION.

DIV.B. 9.10.14.1 EXPOSING BUILDING FACE OF HOUSES

UNPROTECTED OPENINGS IN THE EXPOSING BUILDING FACE SHALL NOT BE PERMITTED IF THE LIMITING DISTANCE IS LESS THAN 1.2m (3'11") AND SHALL BE LIMITED IN CONFORMANCE WITH THE REQUIREMENTS FOR UNPROTECTED OPENINGS IN DIV. B ARTICLE 9.10.15.1. WHERE THE LIMITING DISTANCE IS 1.2m (3'11") OR GREATER.

THE EXPOSING BUILDING FACE SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MINUTES WHERE THE LIMITING DISTANCE IS LESS THAN 1.2m.

RESISTANCE TO FORCED ENTRY  
2012 O.B.C. DIV B. 9.7.5.2. & 9.7.5.3.

A return air inlet shall be located in any room where at least 1/2 of the floor area is located over an unconditioned space (e.g. room over a garage)

1. SWINGING DOORS PROVIDING ACCESS TO DWELLING UNITS SHALL SATISFY THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN SUBSECTION 9.7.5.2.
2. WINDOWS IN DWELLING UNITS THAT ARE LOCATED WITHIN 2M OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 5.3.5.OF AAMA/WDMA/CSA 101/1.S.2/A440.

2012 Code

9.8.8.1.(8)(a)(b) Windows over Stairs, Ramps and Landings

- (2) In *dwelling units*, glazing installed over stairs, ramps and landings that extend to less than 900 mm (2 ft 11 in) above the surface to the treads, ramp or landing shall be,
- (a) protected by *guards*, in accordance with this Subsection, or
  - (b) non-openable and designed to withstand the specified lateral loads for *guards* as provided in Article 4.1.5.14.

2012 OBC DIV. B, 9.8.2.1. to 9.8.4.7. STAIR DIMENSIONS						
STAIR TYPE	MAX. RISE, mm, ALL STEPS	MIN. RISE, mm, ALL STEPS	MAX. RUN, mm RECTANGULAR TREADS	MIN. RUN, mm RECTANGULAR TREADS	STAIR WIDTH, mm	HEADROOM, mm
PRIVATE STAIRS	200	125	355	255	860	1950
PUBLIC STAIRS	180	125	NO LIMIT	280	900	2050
SERVICE STAIRS	NO LIMIT	125	355	NO LIMIT	900	2050
STAIR TO UNOCCUPIED ATTIC SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS TO CRAWL SPACE	NO LIMIT	125	355	NO LIMIT	860	1950
STAIRS THAT SERVE MEZZANINES NOT EXCEEDING 20 m <sup>2</sup> WITHIN LIVE/WORK UNITS	NO LIMIT	125	355	NO LIMIT	WIDTH AS PER DIV B 9.8.2.1.(3)	2050
<b>NOTE:</b> THE CURVED EDGES OF TREADS SHALL NOT REDUCE THE REQUIRED TREAD DEPTH BY MORE THAN 15mm AND SHALL NOT EXCEED 25mm HORIZONTALLY.						

STRUCTURAL ALTERATIONS

ALL STRUCTURAL ALTERATIONS MUST BE FIELD REVIEWED BY A PROFESSIONAL ENGINEER IF REQUIRED BY THE BUILDING INSPECTOR

FINISHED SITE GRADING

THE BUILDING SHALL BE LOCATED AND THE BUILDING SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ANY ADJACENT PROPERTIES.

A CURSORY REVIEW OF THE STRUCTURAL ELEMENTS HAS BEEN COMPLETED AND IS RELIANT ON ENGINEER'S CERTIFICATION OF DRAWINGS.

9.5.2.3. STUD WALL REINFORCEMENT

- (1) IF WOOD WALL STUDS OR SHEET STEEL WALL STUDS ENCLOSE THE MAIN BATHROOM IN A DWELLING UNIT, REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR ON A WALL ADJACENT TO,
- (a) A WATER CLOSET IN THE LOCATION REQUIRED BY CLAUSE 3.8.3.8.(1)(d), AND
  - (b) A SHOWER OR BATHTUB IN THE LOCATION BY CLAUSE 3.8.3.13.(1)(f).

(SEE APPENDIX A.)



CORPORATION OF THE CITY OF OSHAWA  
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Nov 04 2023  
MHP 23024

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0) + 2-2"x10"x1/2" SPR. No.2  
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0) + 2-2"x10"x1/2" SPR. No.2  
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0) + 2-2"x10"x1/2" SPR. No.2  
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0) + 2-2"x12" SPR. No.2  
WL5 = 6"x4"x3/8"L (150x100x10.0) + 2-2"x12" SPR. No.2  
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0) + 2-2"x12" SPR. No.2  
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0) + 3-2"x10" SPR. No.2  
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0) + 3-2"x12" SPR. No.2  
WL9 = 6"x4"x3/8"L (150x100x10.0) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)  
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)  
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)  
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)  
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)  
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)  
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)  
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)  
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)  
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)  
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)  
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)  
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)  
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)  
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)  
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)  
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)  
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)  
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)  
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)  
LVL8 = 2-1 3/4" x 14" (2-45x356)  
LVL9 = 3-1 3/4" x 14" (3-45x356)  
LVL10 = 2-1 3/4" x 18" (3-45x456)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0)  
L2 = 4"x3-1/2"x5/16"L (100x90x8.0)  
L3 = 5"x3-1/2"x5/16"L (125x90x8.0)  
L4 = 6"x3-1/2"x3/8"L (150x90x10.0)  
L5 = 6"x4"x3/8"L (150x100x10.0)  
L6 = 7"x4"x3/8"L (175x100x10.0)

DOOR SCHEDULE

1 = 2'-10" x 6'-8" (865x2033) - INSULATED ENTRANCE DOOR  
1a = 2'-8" x 6'-8" (815x2033) - INSULATED FRONT DOORS  
2 = 2'-8" x 6'-8" (815x2033) - WOOD & GLASS DOOR  
3 = 2'-8" x 6'-8" x 1-3/4" (815x2033x45) - EXTERIOR SLAB DOOR  
4 = 2'-8" x 6'-8" x 1-3/8" (815x2033x35) - INTERIOR SLAB DOOR  
5 = 2'-6" x 6'-8" x 1-3/8" (760x2033x35) - INTERIOR SLAB DOOR  
6 = 2'-2" x 6'-8" x 1-3/8" (660x2033x35) - INTERIOR SLAB DOOR  
7 = 1'-6" x 6'-8" x 1-3/8" (460x2033x35) - INTERIOR SLAB DOOR

WHEN VENEER CUT IS GREATER THAN 26" A 10" POURED CONC. FDTN. WALL IS REQUIRED.

ALL GARAGE SLABS, PORCH SLABS, STAIRS (EXPOSED CONC. FLAT WORK) TO BE 32 MPa WITH 5-8% AIR ENTRAINMENT

MHP 23024

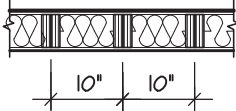
SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7', 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO ROOF TRUSS SHOP DRAWINGS FOR ALL ROOF FRAMING INFORMATION

PLANS NOT DRAWN TO ACTUAL GRADE. REFER TO FINAL GRADING PLAN.

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

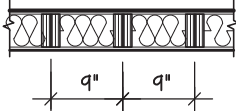
2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL, GLUED AND NAILED TOGETHER AND SPACED MAX. @10"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 20'-2" AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

2 - 1 1/2" x 5 1/2" TIMBERSTRAND (LSL) 1.5E STUD WALL, GLUED AND NAILED TOGETHER AND SPACED MAX. @9"O.C. FULL HT C/W SOLID BLOCKING MAX. 8'-0"O.C. VERTICAL AND 7/16" EXT. OSB SHEATHING.



MAXIMUM HEIGHT OF WALL FOR THIS DETAIL IS 21'-5" AND AND MAXIMUM SUPPORTED LENGTH OF TRUSS IS 40'-0"

TWO STORY HEIGHT WALL DETAIL

THE MINIMUM THERMAL PERFORMANCE OF BUILDING ENVELOPE AND EQUIPMENT SHALL CONFORM TO THE FOLLOWING

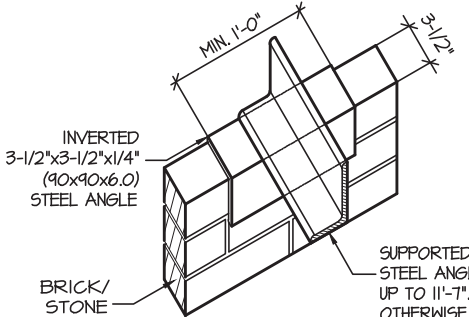
COMPLIANCE PACKAGE "A1"

COMPONENT	NOTE
CEILING WITH ATTIC SPACE MINIMUM RSI (R) VALUE	10.51 (R60)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R) VALUE	5.46 (R31)
EXPOSE FLOOR MINIMUM RSI (R) VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R) VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R) VALUE	3.52 (R20 BLANKET)
HEATED SLAB OR SLAB ≤ 600mm BELOW GRADE MINIMUM RSI (R) VALUE	1.76 (R10)
WINDOWS & SLIDING GLASS DOORS MAXIMUM U-VALUE	ENERGY RATING = 25, MAX. U=0.28
SPACE HEATING EQUIPMENT MINIMUM AFUE	96%
HRV MINIMUM EFFICIENCY	75%
HOT WATER TANK	MIN. EF 0.80

SUPPORTED STEEL ANGLE UP TO 11'-7". OTHERWISE TO BE REVIEWED BY ENGINEER.

BRICK/STONE VENEER

INVERTED 3-1/2"x3-1/2"x1/4" (90x90x6.0) STEEL ANGLE



INVERTED STEEL ANGLE DETAIL

SUPPORTED STEEL ANGLE UP TO 11'-7". OTHERWISE TO BE REVIEWED BY ENGINEER.

STRIP FOOTINGS -

FOR SINGLES & SEMIS UP TO 2 STOREY

8" OR 10" FOUNDATION WALLS WITH 2"x8" / 2"x10" FLOOR JOISTS  
20"x6" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.  
24"x8" CONCRETE STRIP FOOTINGS BELOW PARTY WALLS.

FOUNDATION WALLS WITH ENGINEEED JOISTS OVER 16' SPANS  
24"x8" CONCRETE STRIP FOOTINGS BELOW FOUNDATION WALLS.

FOOTINGS ON ENGINEERED FILL

24"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW EXTERIOR WALLS.  
30"x8" CONCRETE STRIP FOOTINGS WITH REINFORCING BELOW PARTY WALLS.  
(REFER TO FOOTING DETAILS ON ENGINEERED FILL)

ASSUME THE LARGER FOOTING SIZE

WHEN TWO CONDITIONS APPLY  
ASSUMED 120 KPa (16 p.s.i.) SOIL BEARING CAPACITY OR 90 KPa ENGINEERED SOIL FILL, TO BE VERIFIED ON SITE.

PAD FOOTINGS

120 KPa NATIVE SOIL

F1 = 42"x42"x18" CONCRETE PAD  
F2 = 36"x36"x16" CONCRETE PAD  
F3 = 30"x30"x12" CONCRETE PAD  
F4 = 24"x24"x12" CONCRETE PAD  
F5 = 16"x16"x8" CONCRETE PAD

90 KPa ENGINEERED FILL SOIL

F1 = 48"x48"x20" CONCRETE PAD  
F2 = 40"x40"x16" CONCRETE PAD  
F3 = 34"x34"x14" CONCRETE PAD  
F4 = 28"x28"x12" CONCRETE PAD  
F5 = 18"x18"x8" CONCRETE PAD

(REFER TO FLOOR PLAN FOR UNUSUAL SIZE PADS NOT ON CHART)

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of OSHAWA

RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023

REVISIONS

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

28770  
SIGNATURE

BCIN

Region Design Inc.  
8700 Dufferin St.

Concord, Ontario

L4K 4S6

(416) 736-4096

fax (905) 660-0746

REGION  
DESIGN  
INC.

TITLE SHEET

MODEL RIVER 5 LOT ---

DATE MAR 2023 SCALE 3/16"=1'

BY VG AREA -

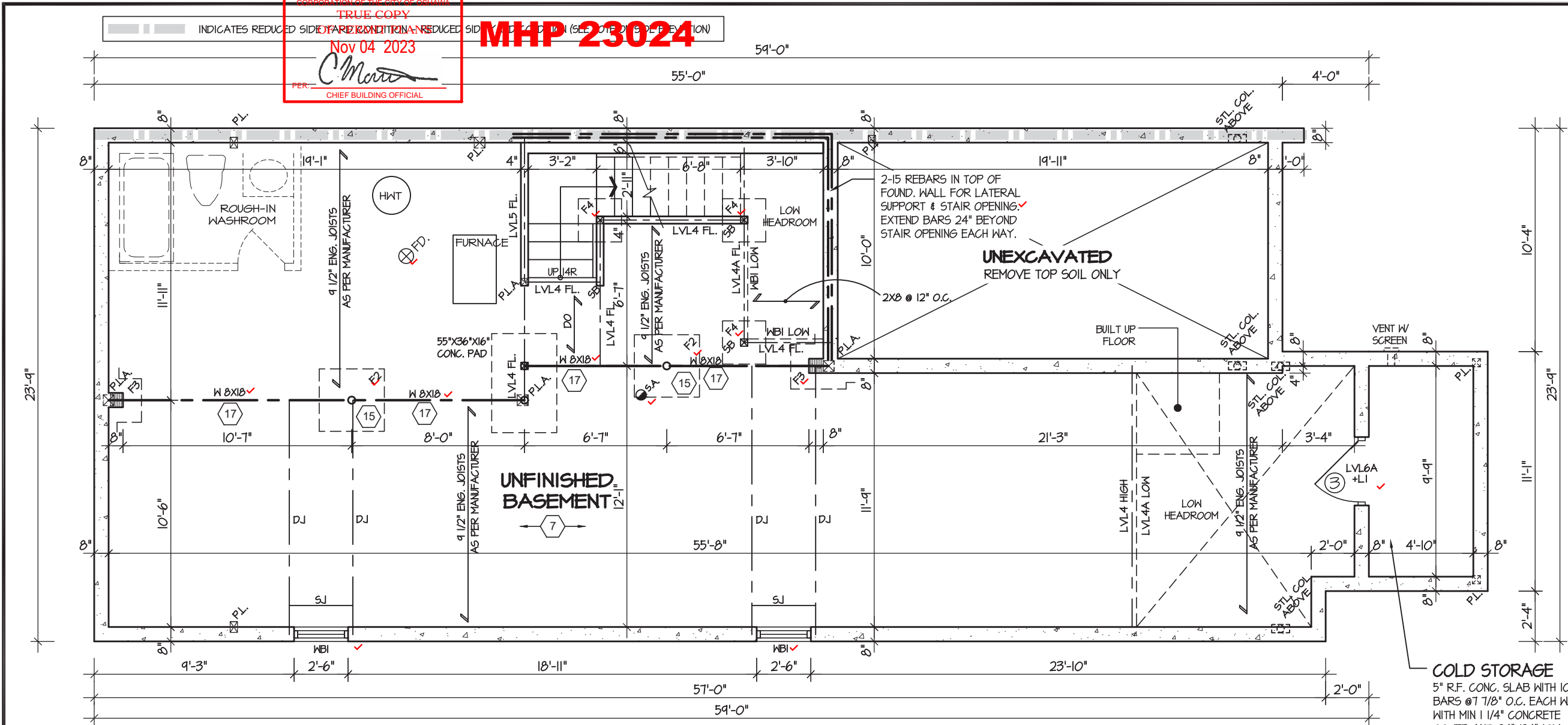
PROJECT NO. -

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

PROJECT: ZADORRA PAGE NO. 0





REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

BASEMENT PLAN 'I'

**COLD STORAGE**  
5" R.F. CONC. SLAB WITH 10M BARS @ 7 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"X24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

STRUDET INC.

REGISTERED PROFESSIONAL ENGINEER

B. MARINKOVIC

MAY 15, 2023

PROVINCE OF ONTARIO

FOR STRUCTURE ONLY

RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR

NAME

28770

BCIN

SIGNATURE

Region Design Inc.

8700 Dufferin St.

Concord, Ontario

L4K 4S6

(416) 736-4096

fax (905) 660-0746

Region Design Inc.

REGION DESIGN INC.

TITLE	BASEMENT FLOOR PLAN 1	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

Greenpark.

PROJECT: ZADORRA

PAGE NO. 1

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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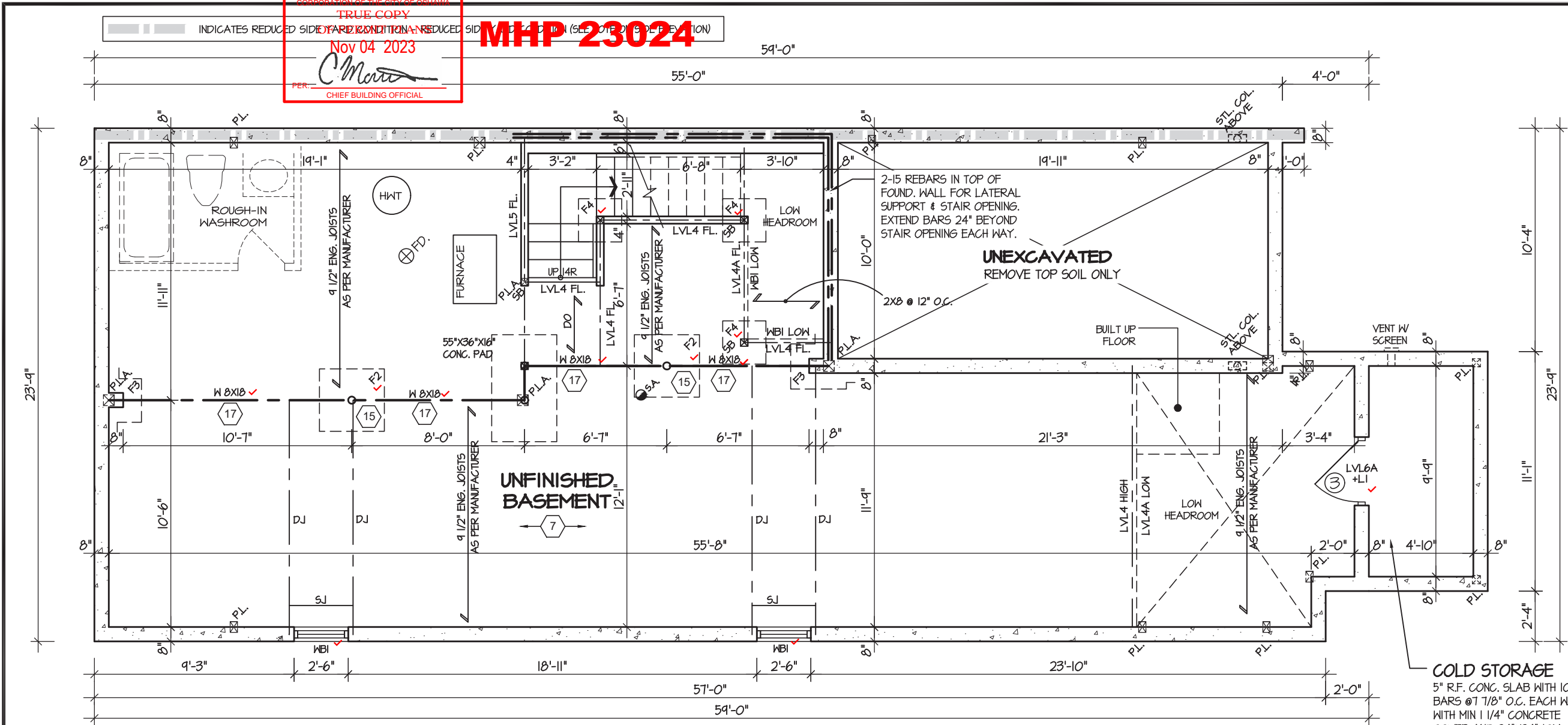
JOHN G. WILLIAMS LTD., ARCHITECT

ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]

DATE: JUL 31, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS. PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

BASEMENT PLAN '2'

**COLD STORAGE**  
5" R.F. CONC. SLAB WITH 10M BARS @ 7 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.



It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW AND APPROVAL

APPROVED BY: [Signature]  
DATE: JUL 31, 2023

This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

28770  
BCIN

SIGNATURE

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746



TITLE BASEMENT FLOOR PLAN 2		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

**Greenpark.**

PROJECT: ZADORRA  
PAGE NO. 1-2

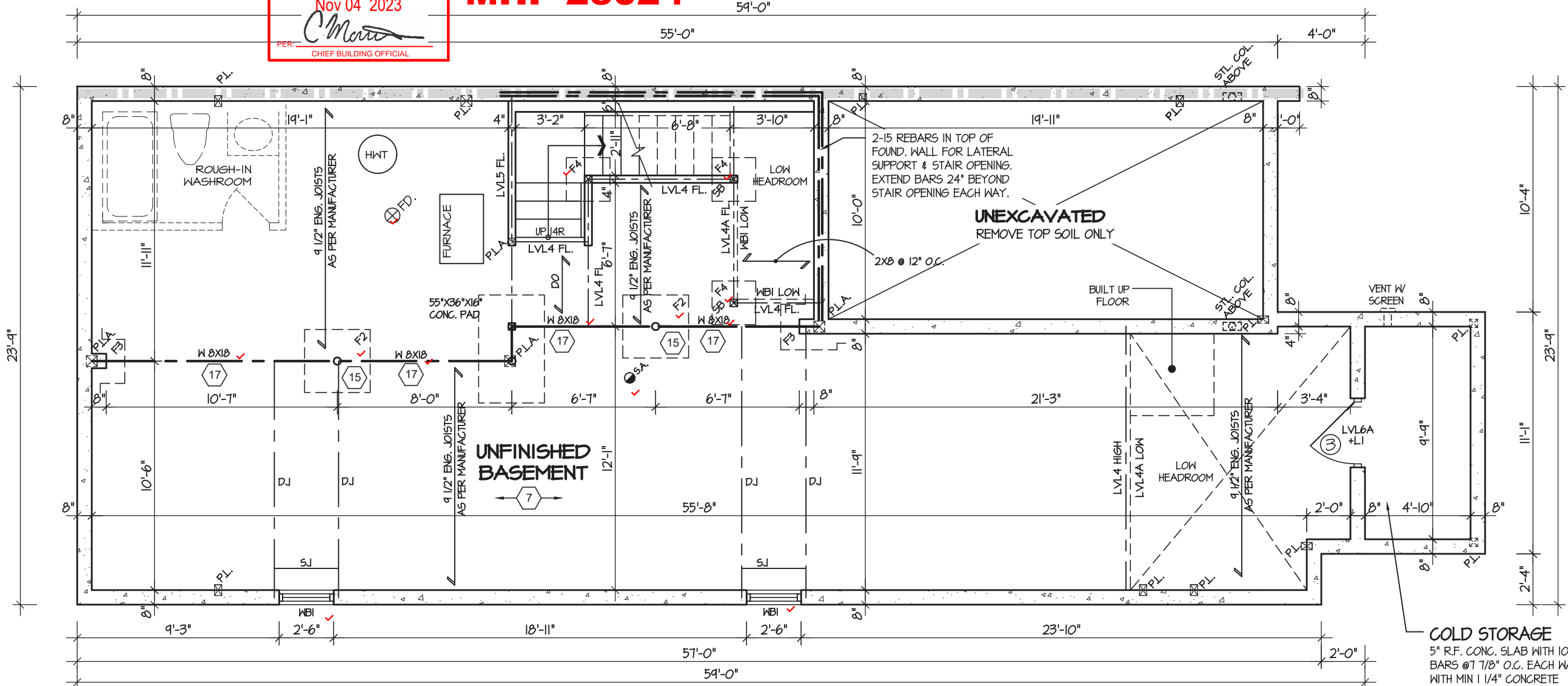
CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
Nov 04 2023  
PER: *C. Marra*  
CHIEF BUILDING OFFICIAL

MHP 23024

It is the builder's complete responsibility to ensure that all plans submitted for approval fully comply with the Architectural Guidelines and all applicable regulations and requirements including zoning provisions and any provisions in the subdivision agreement. The Control Architect is not responsible in any way for examining or approving site (lotting) plans or working drawings with respect to any zoning or building code or permit matter or that any house can be properly built or located on its lot.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: JUL 31, 2023  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.



REFER TO SHEET NO. 0 FOR LINTEL, BEAMS AND DOOR SIZES

SPACE CONVENTIONAL FLOOR JOISTS @ 12" O.C. BELOW ALL CERAMIC TILE AREAS.  
PROVIDE 1 ROW BRIDGING FOR SPANS OF 5'-7", 2 ROWS FOR SPANS GREATER THAN 7'

REFER TO FLOOR FRAMING SHOP DRAWINGS FOR ENGINEERED FRAMING LAYOUTS

ALL SUBFLOORS TO BE 3/4" PLYWOOD AND TO BE GLUED AND NAILED ON THIS FLOOR.

BASEMENT PLAN '3'

COLD STORAGE  
5" R.F. CONC. SLAB WITH 10M BARS @ 7 1/8" O.C. EACH WAY WITH MIN 1 1/4" CONCRETE COVER AND 24"x24" 10M BENT DOWELS SPACED NOT MORE THAN 23 5/8" O.C.

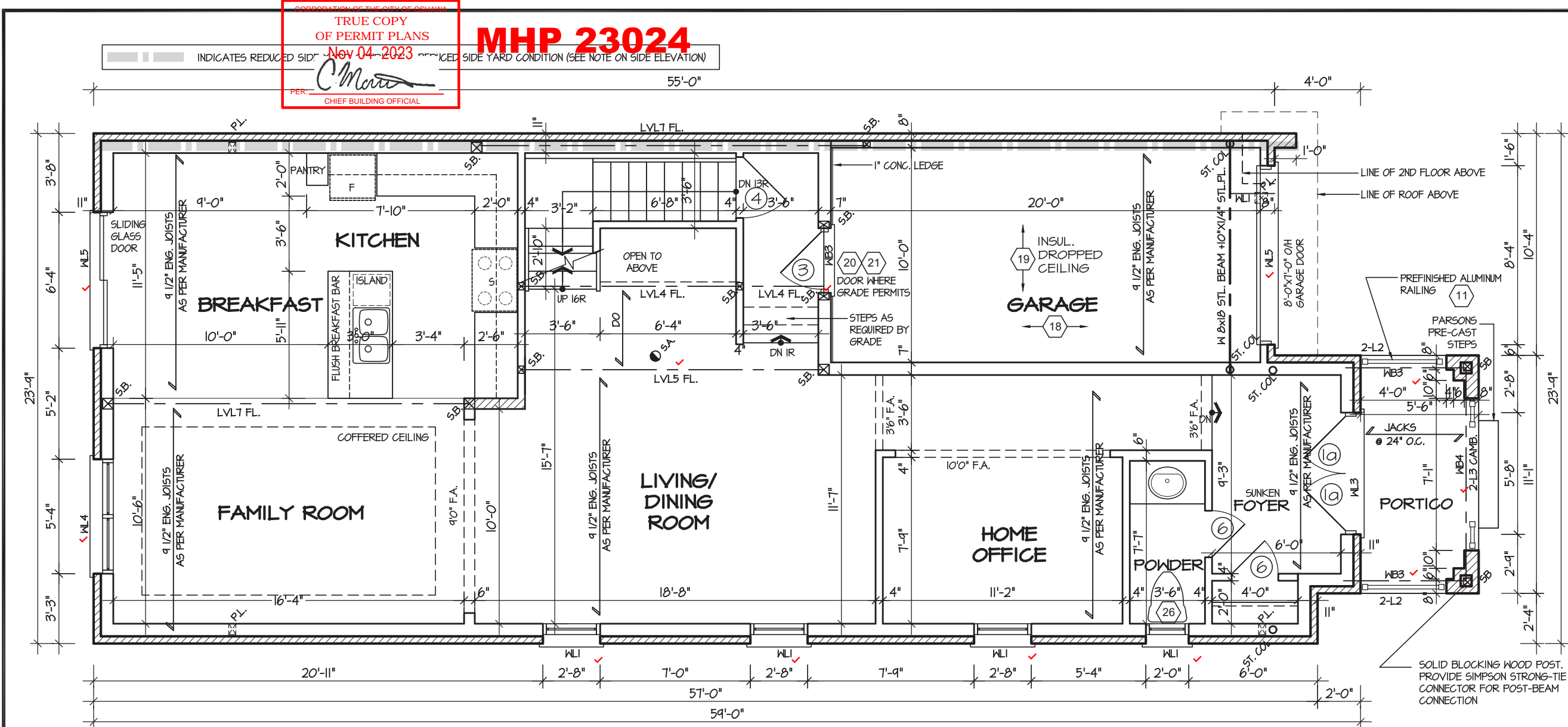
STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROV. 15, 2023  
PROVINCE OF ONTARIO  
FOR STRUCTURE ONLY

# RIVER 5

COMPLIANCE PACKAGE "A1"

5.			<p>The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.</p> <p>QUALIFICATION INFORMATION</p> <p>Required unless design is exempt under Division C, Subsection 3.2.5 of the building code</p> <p>VIKAS GAJJAR NAME</p> <p> 28770 SIGNATURE BCIN</p>	<p>Region Design Inc. 8700 Dufferin St. Concord, Ontario L4K 4S6 (416) 736-4096 fax (905) 660-0746</p>	<p><b>REGION DESIGN INC.</b></p>	TITLE BASEMENT FLOOR PLAN 3	Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.			
4.						MODEL RIVER 5	LOT ---		PROJECT: ZADORRA	PAGE NO. 1-3
3.						DATE MAR 2023	SCALE 3/16"=1'			
2.						BY VG	AREA -			
1.	NEW DESIGN	MAR 2023				PROJECT NO. -				
REVISIONS										





FIRST FLOOR PLAN I

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY:   
DATE: JUL 31, 2023  
This stamp certifies compliance with the applicable Design Guidelines only and bears no further professional responsibility.

STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROV. NO. 152023  
MAY 15, 2023  
FOR STRUCTURE ONLY

# RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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QUALIFICATION INFORMATION  
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VIKAS GAJJAR  
NAME  
28770  
BCIN  
SIGNATURE

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
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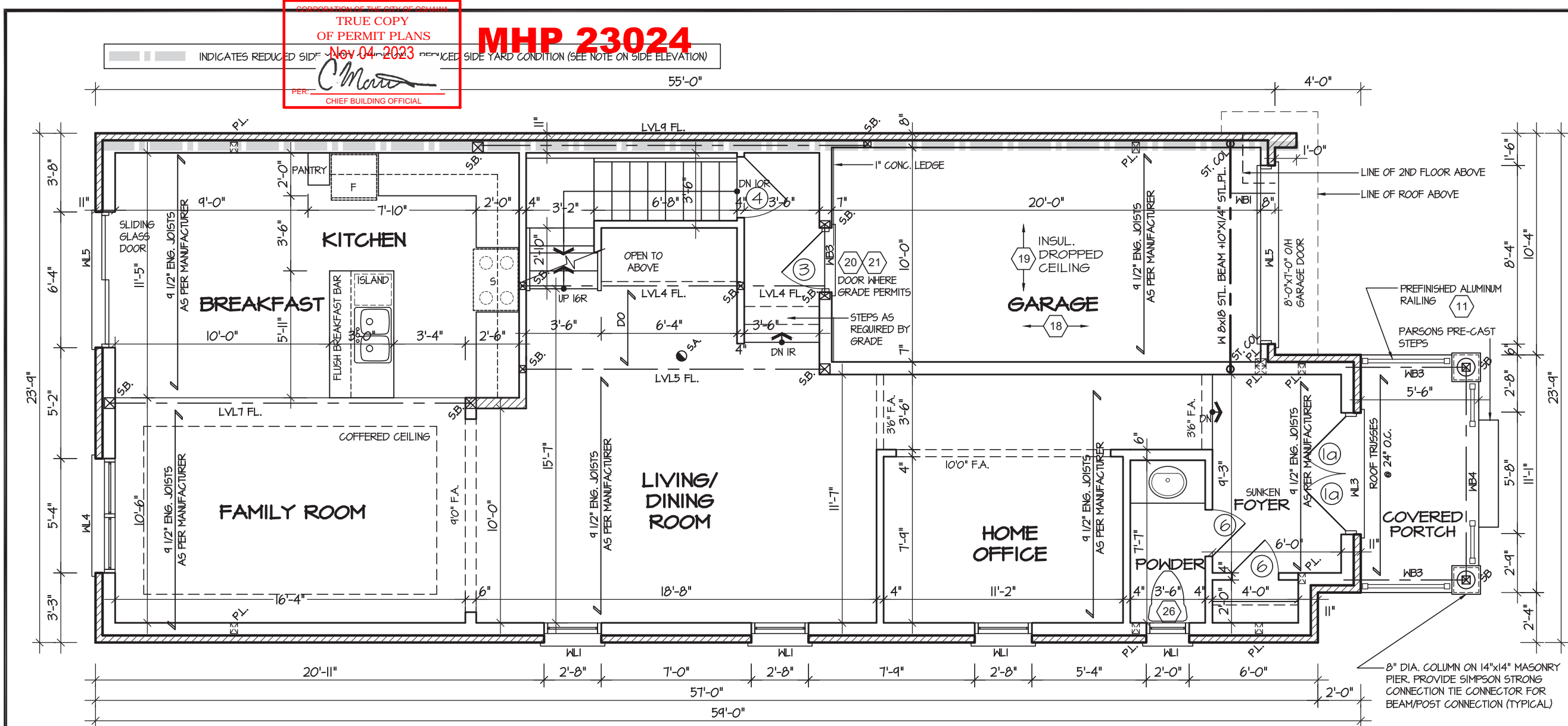
REGION  
DESIGN  
INC.

TITLE	FIRST FLOOR PLAN 1
MODEL	RIVER 5
DATE	MAR 2023
BY	VG
PROJECT NO.	-

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

PROJECT: ZADORRA  
PAGE NO. 2





FIRST FLOOR PLAN 2

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: JUL 31, 2023  
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STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROV. 15, 2023  
MAY 15, 2023  
FOR STRUCTURE ONLY

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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QUALIFICATION INFORMATION  
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VIKAS GAJJAR  
NAME  
28770  
BCIN  
[Signature]

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746

REGION  
DESIGN  
INC.

TITLE	FIRST FLOOR PLAN 2	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.  
PROJECT: ZADORRA  
PAGE NO. 2-2

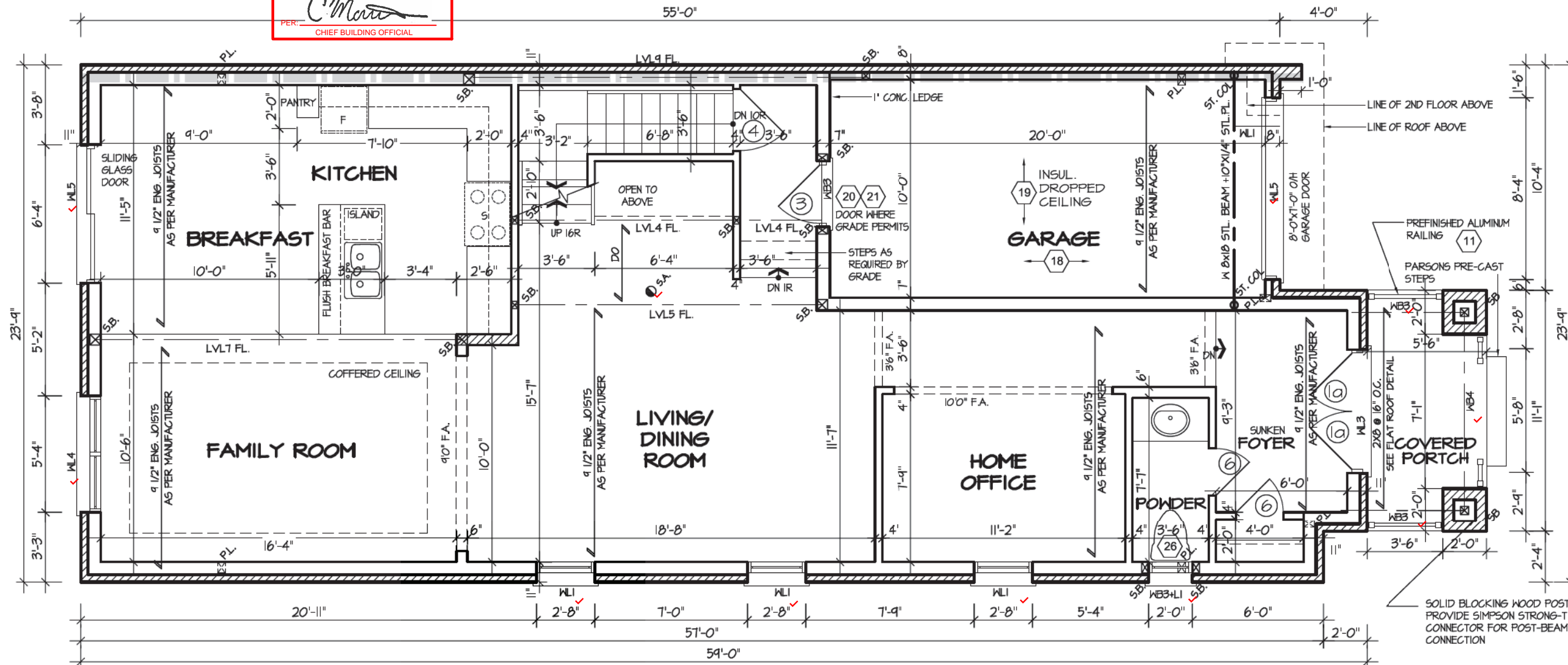




# MHP 23024

*M. Costa*

PER: [Signature]  
CHIEF BUILDING OFFICIAL



FIRST FLOOR PLAN 3

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of OSHAWA

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STRUDET INC.

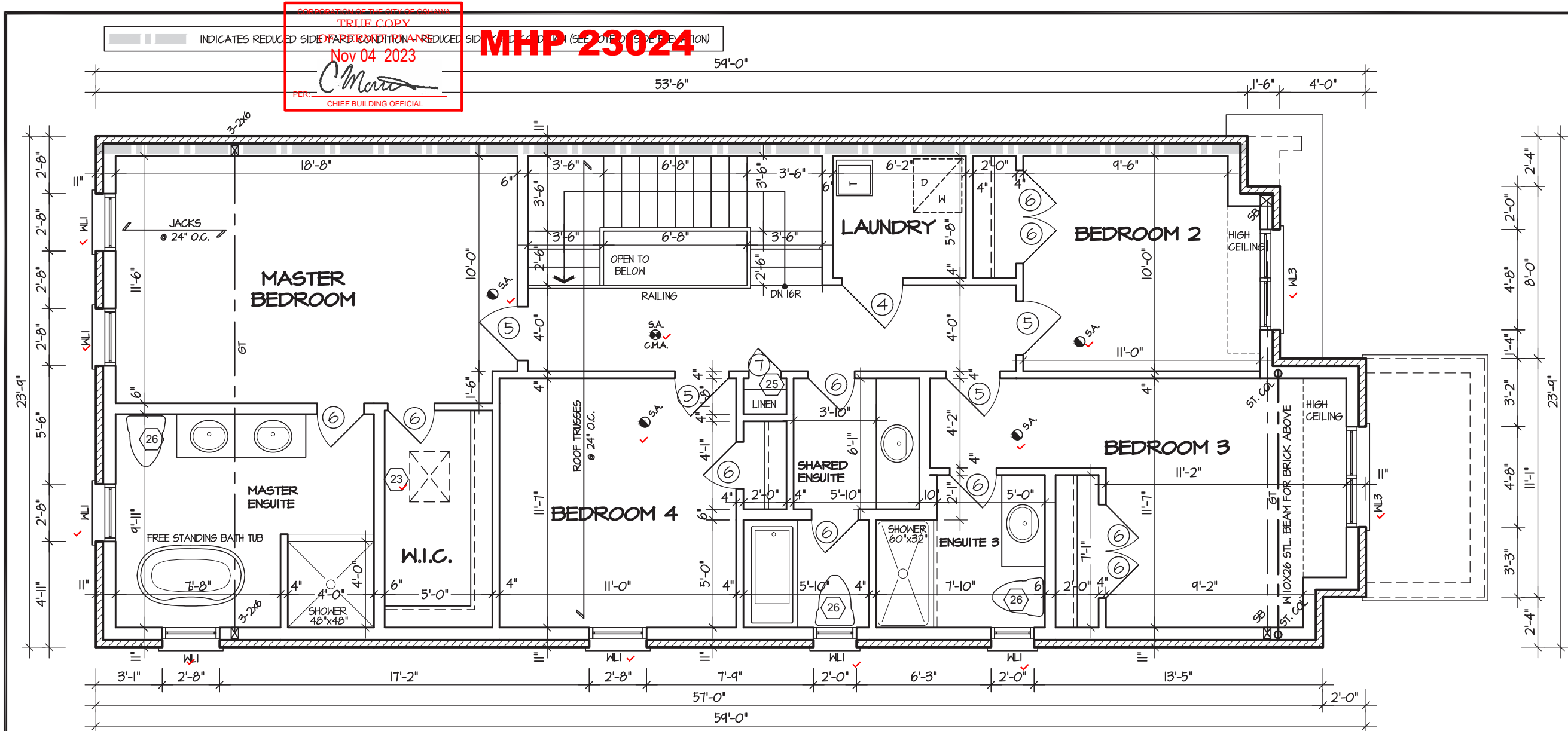


FOR STRUCTURE ONLY

## RIVER 5

COMPLIANCE PACKAGE "A1"

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4.						MODEL RIVER 5		LOT -		PROJECT: ZADORRA	PAGE NO. 2-3
3.						DATE MAR 2023	SCALE 3/16"=1'				
2.						BY VG	AREA -				
1.	NEW DESIGN	MAR 2023				PROJECT NO. -					
REVISIONS											



SECOND FLOOR PLAN I

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: [Signature]  
DATE: JUL 31, 2023  
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STRUDET INC.  
REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROX 5/2023  
MAYNANCE OF ONTARIO  
FOR STRUCTURE ONLY

# RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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QUALIFICATION INFORMATION  
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VIKAS GAJJAR  
NAME  
28770  
BCIN

SIGNATURE

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746



TITLE SECOND FLOOR PLAN		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

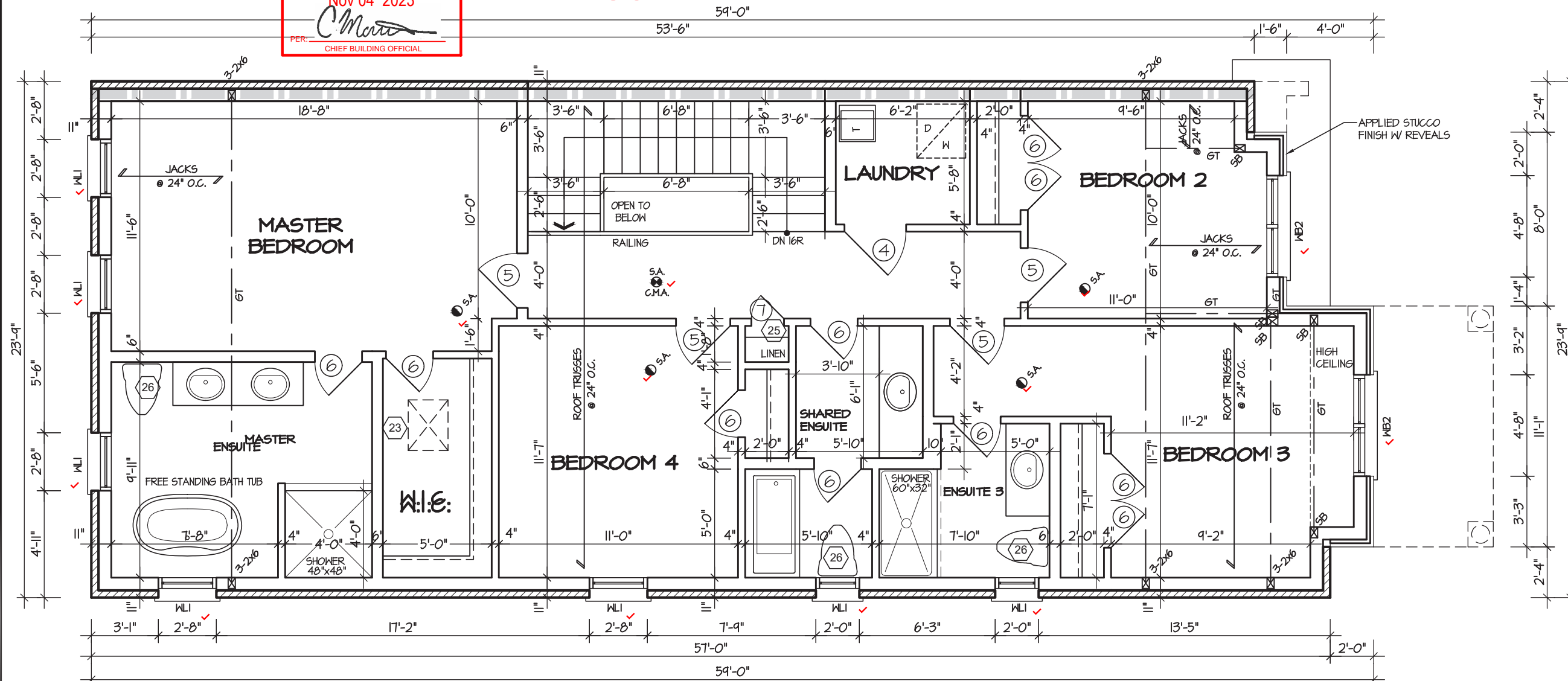
Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

**Greenpark.**

PROJECT: ZADORRA  
PAGE NO. 3

TRUE COPY  
NOV 04 2023  
C. Morris  
PER: CHIEF BUILDING OFFICIAL

**MHP 23024**



## SECOND FLOOR PLAN 2

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**JOHN G. WILLIAMS LTD., ARCHITECT**  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_

DATE: JUL 31, 2023

This stamp certifies compliance with the applicable  
Design Guidelines only and bears no further  
professional responsibility.

STRUDET INC.



FOR STRUCTURE ONLY

# RIVER 5

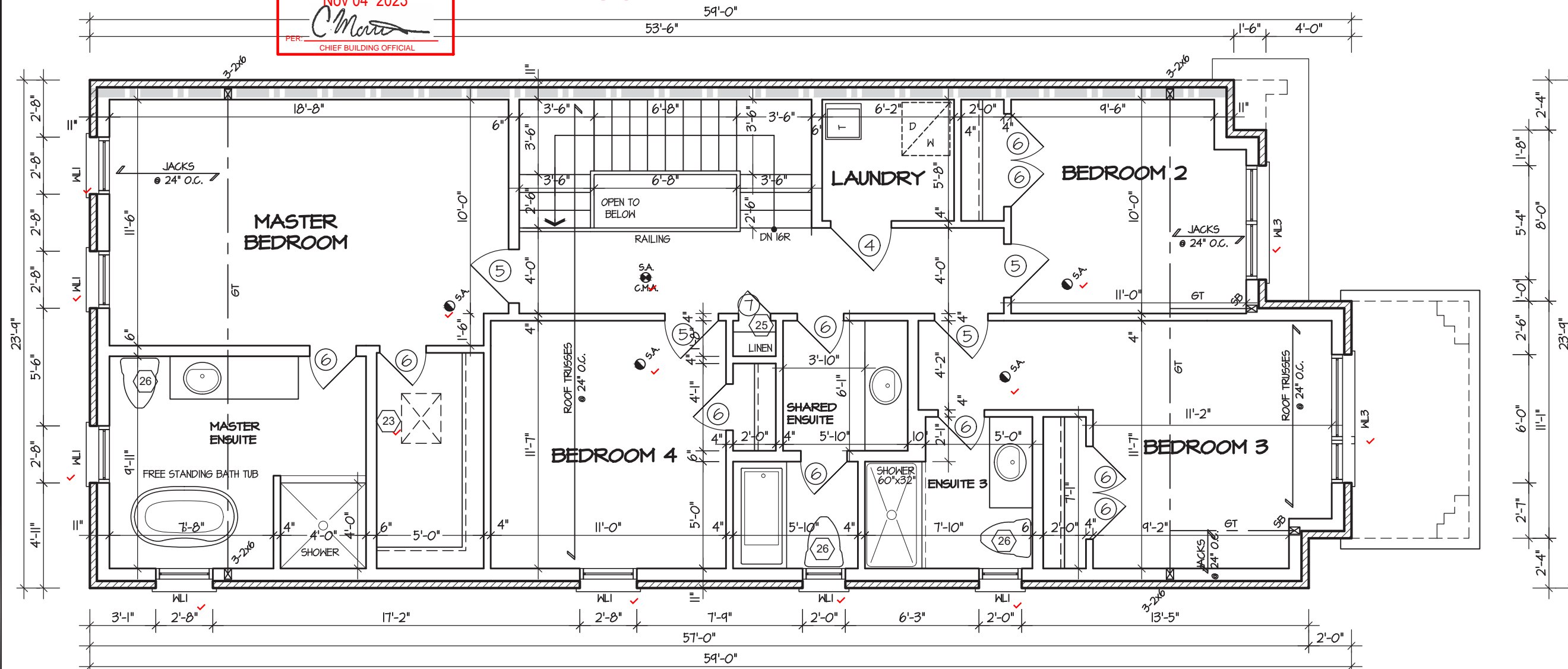
COMPLIANCE PACKAGE "A1"

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4.					MODEL	RIVER 5		LOT	---		
3.					DATE	MAR 2023	SCALE	3/16"=1'			
2.					BY	VG	AREA	-			
1.	NEW DESIGN				MAR 2023						
REVISIONS								PROJECT:	ZADORRA	PAGE NO.	3-2



TRUE COPY  
NOV 04 2023  
C. Moore  
PER: CHIEF BUILDING OFFICIAL

**MHP 23024**



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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: \_\_\_\_\_  
DATE: JUL 31, 2023

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REGISTERED PROFESSIONAL ENGINEER  
B. MARINKOVIC  
PROVINCE OF ONTARIO  
MAY 15 2023

## RIVER 5

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

28770

BCIN

REGION  
DESIGN  
INC.

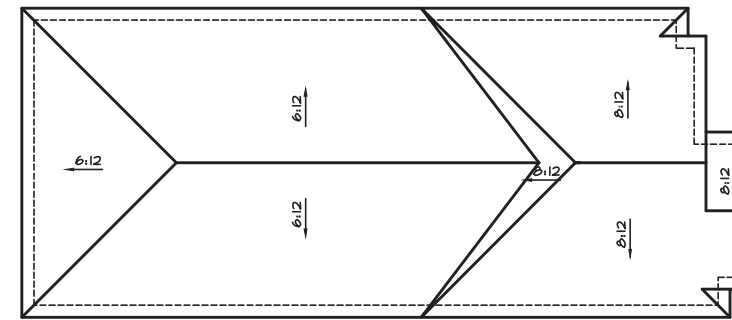
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MODEL			LOT
RIVER 5			---
DATE		SCALE	
MAR 2023		3/16"=1'	
BY		AREA	
VG			
PROJECT NO.			

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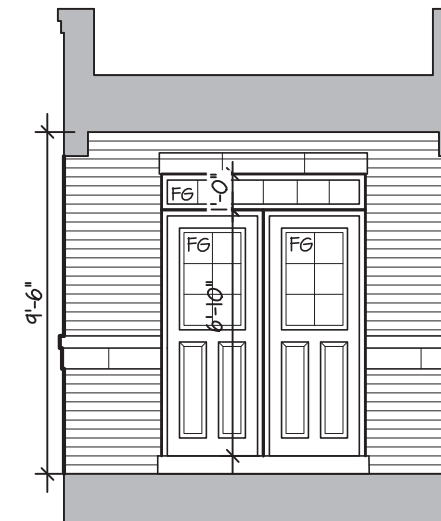


PROJECT:	PAGE NO.
ZADORRA	3-3

# MHP 23024



ROOF PLAN I  
SCALE- N.T.S.



# INSIDE PORTICO ELEVATION 1

This is to certify that these plans comply with the applicable Architectural Design Guidelines approved by the City of OSHAWA

APPROVED BY: \_\_\_\_\_  
DATE: JUL 31, 2023

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FRONT ELEVATION 1

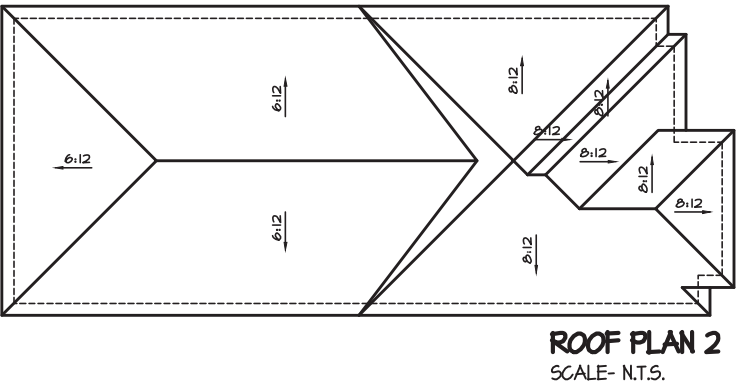
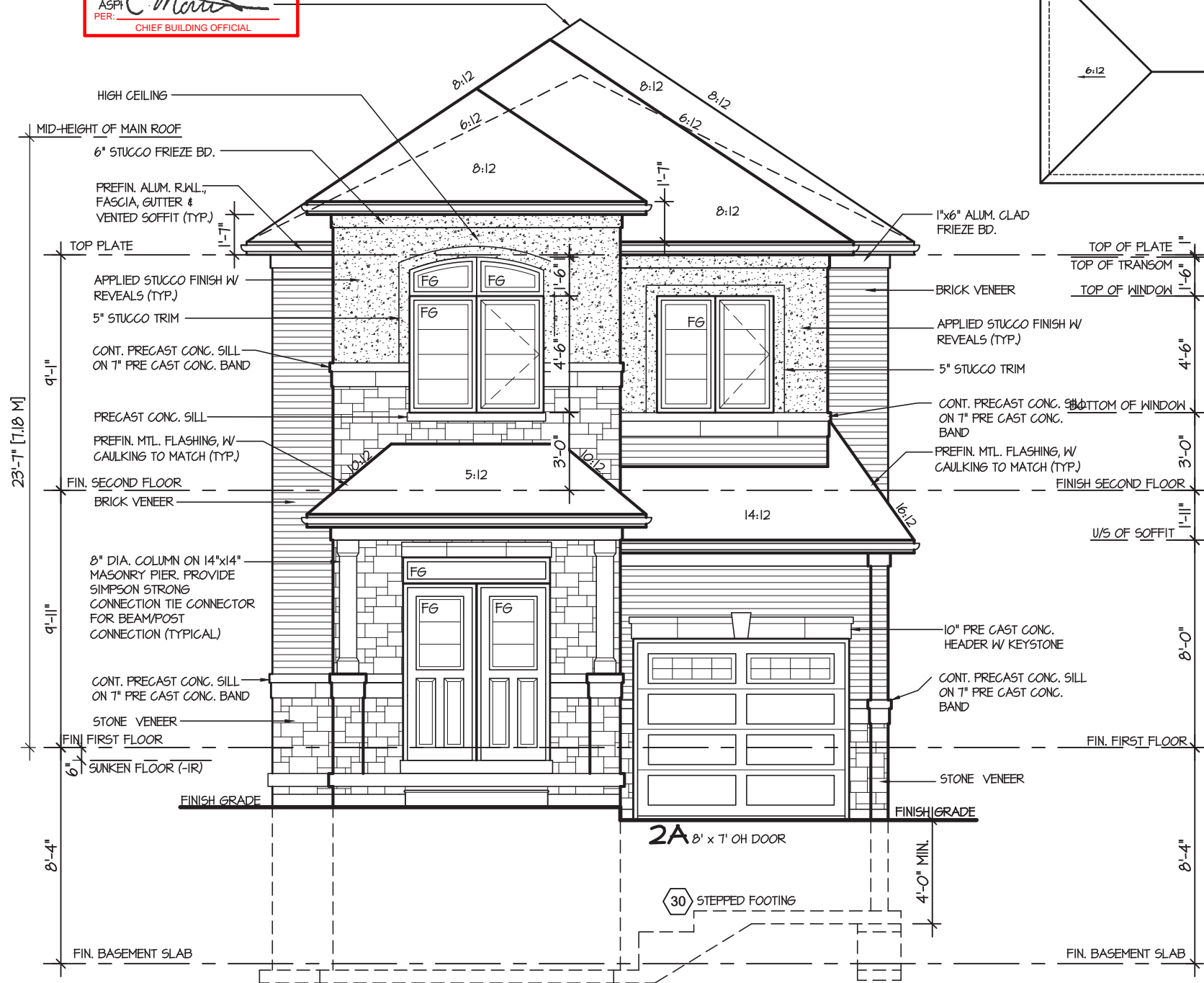
## RIVER 5

COMPLIANCE PACKAGE "A1"

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4.					MODEL RIVER 5		LOT ---		PROJECT: ZADORRA	PAGE NO. 4
3.					DATE MAR 2023		SCALE 3/16"=1'			
2.					BY VG		AREA -			
1.	NEW DESIGN				PROJECT NO. -					
REVISIONS										

CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
ASPH  
PER: *C. Morris*  
CHIEF BUILDING OFFICIAL

MHP 23024



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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: JUL 31, 2023  
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FRONT ELEVATION 2

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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VIKAS GAJJAR  
NAME  
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BCIN  
*[Signature]*  
SIGNATURE

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746



TITLE FRONT ELEVATION 2		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		


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PROJECT:	ZADORRA	PAGE NO.	4-2
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TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023

PER: 

CHIEF BUILDING OFFICER

CONTEMPORARY  
STONE PATTERN

MAIN BRICK

STUCCO W/ REVEALS

WOOD GRAIN  
STUCCO FINISH


MHP 23024

ROOF PLAN 3  
SCALE- N.T.S.

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL

APPROVED BY: 

DATE: JUL 31, 2023




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FRONT ELEVATION 3

INSIDE PORTICO  
ELEVATION 3

# RIVER 5

COMPLIANCE PACKAGE "A1"

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4.					MODEL RIVER 5	LOT ---						
3.					DATE MAR 2023	SCALE 3/16"=1'						
2.					BY VG	AREA -						
1. NEW DESIGN		MAR 2023			PROJECT NO. -							
REVISIONS												

M:\PROJECTS\ZADORRA OSHAWA\STANDARD\RIVER 5 MASTER\RIVER 5.DWG 2:05:48 PM May 12, 2023

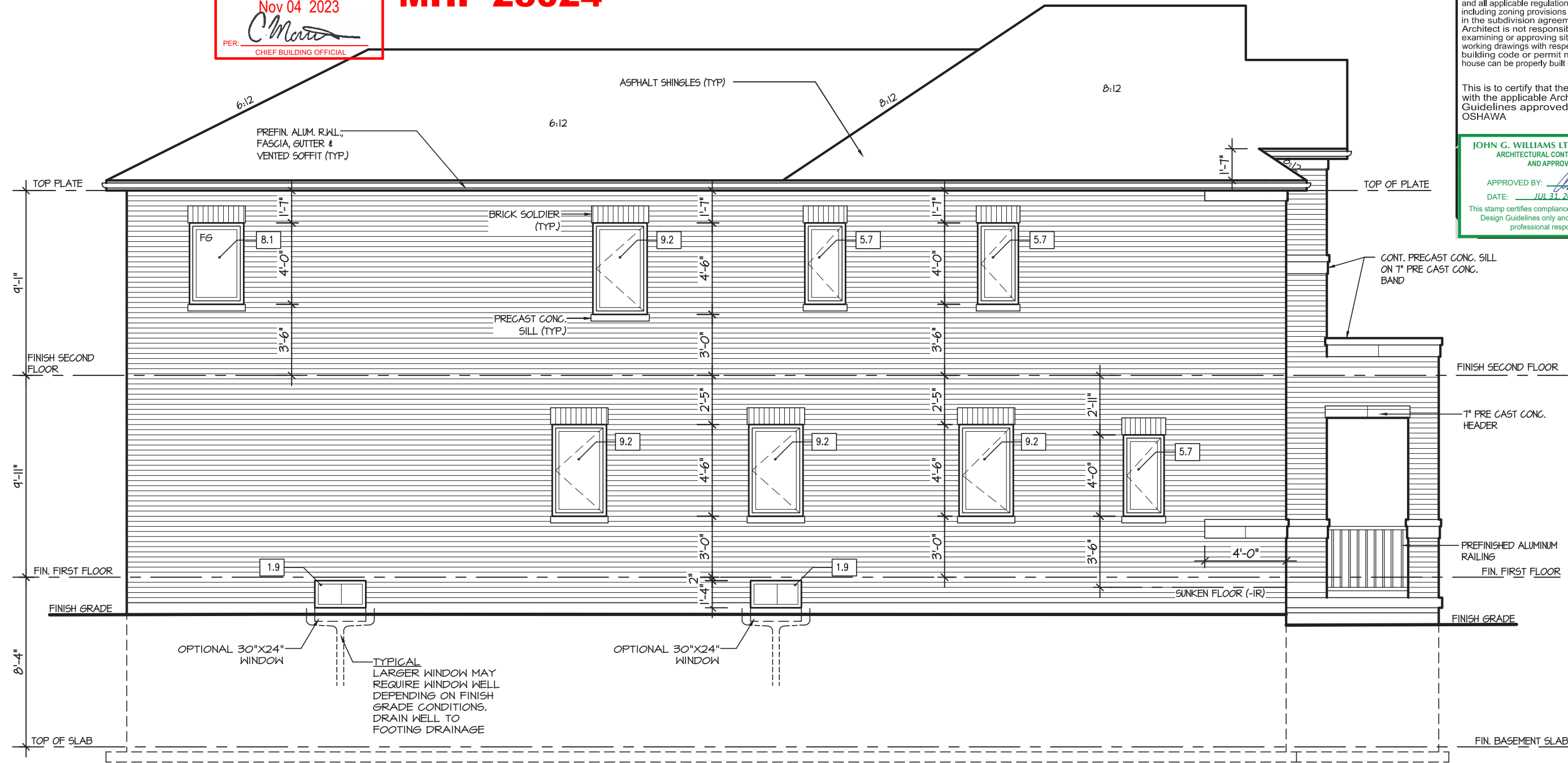
CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER: *C. Morris*  
CHIEF BUILDING OFFICIAL

MHP 23024

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ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: JUL 31, 2023  
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ALLOWABLE GLAZING			
WALL AREA	=	1224	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	86.03	Sq. Ft.
ACTUAL GLAZED AREA	=	65.8	Sq. Ft. ✓
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	68.6	Sq. Ft.

LEFT SIDE ELEVATION I

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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VIKAS GAJJAR  
NAME  
28770  
BCIN  
*[Signature]*  
SIGNATURE

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746



TITLE	LEFT ELEVATION 1	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

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**Greenpark.**  
PROJECT: ZADORRA  
PAGE NO. 5

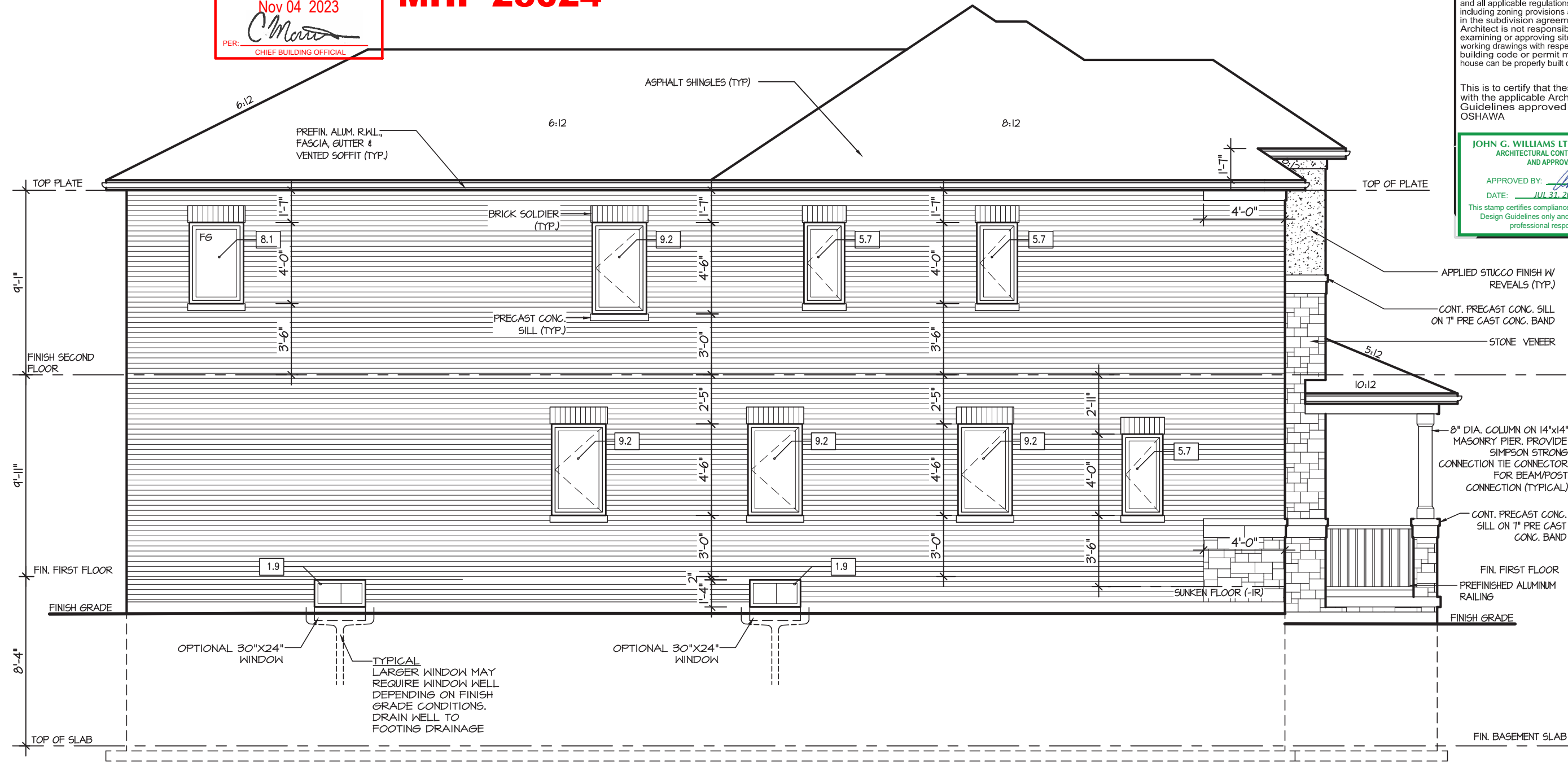
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PER: *C. Morris*  
CHIEF BUILDING OFFICIAL

MHP 23024

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APPROVED BY: *[Signature]*  
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LEFT SIDE ELEVATION 2

ALLOWABLE GLAZING			
WALL AREA	=	1224	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	86.03	Sq. Ft.
ACTUAL GLAZED AREA	=	65.8	Sq. Ft.
WITH OPTIONAL 30"x24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	68.6	Sq. Ft.

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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QUALIFICATION INFORMATION  
Required unless design is exempt under Division C, Subsection 3.2.5 of the building code

VIKAS GAJJAR  
NAME

*[Signature]*  
SIGNATURE

28770  
BCIN

Region Design Inc.  
8700 Dufferin St.  
Concord, Ontario  
L4K 4S6  
(416) 736-4096  
fax (905) 660-0746

REGION  
DESIGN  
INC.

TITLE	LEFT ELEVATION 2	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the designer. Prints are not to be scaled.

**Greenpark.**

PROJECT: ZADORRA

PAGE NO. 5-2



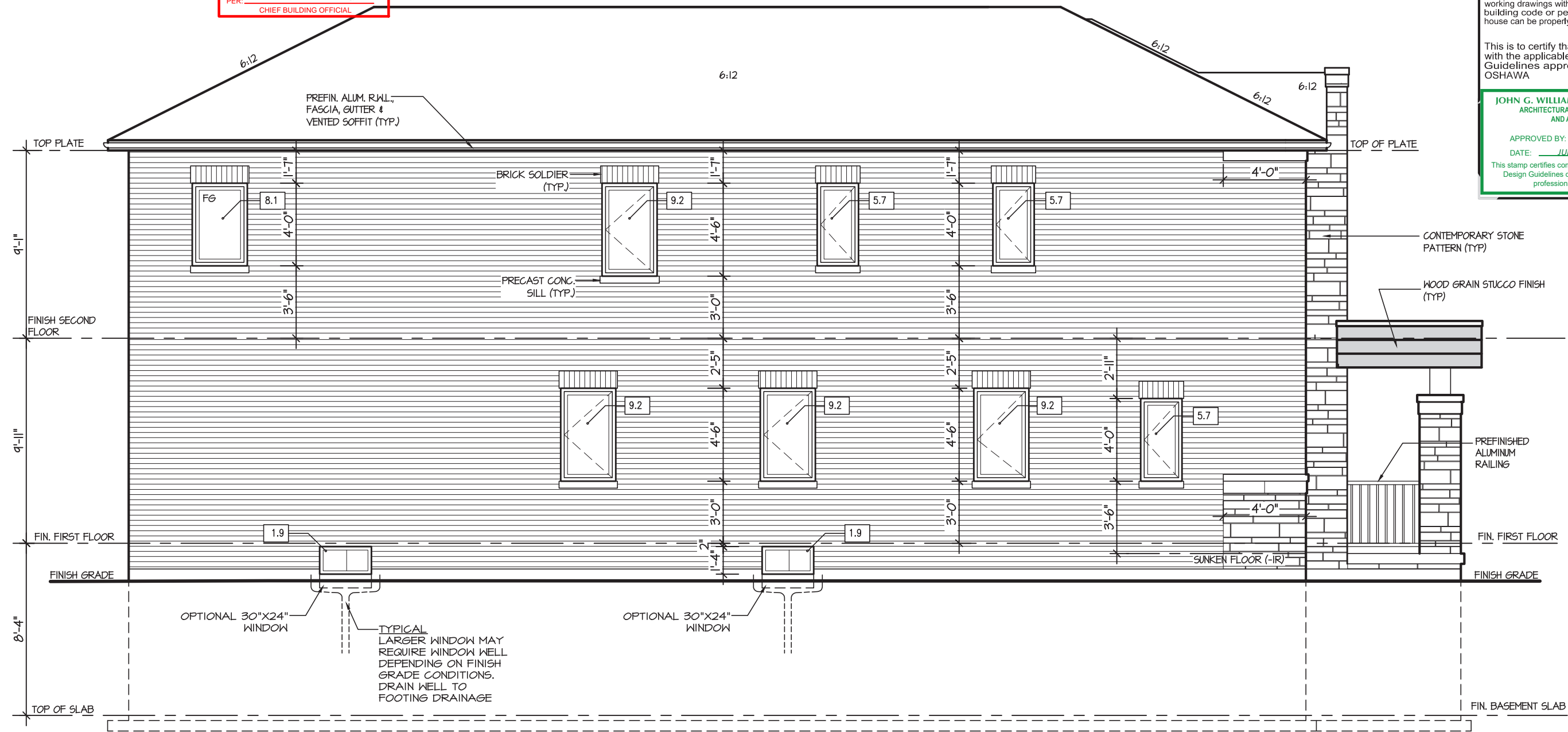
CORPORATION OF THE CITY OF OSHAWA  
TRUE COPY  
OF PERMIT PLANS  
Nov 04 2023  
PER: *C. Morris*  
CHIEF BUILDING OFFICIAL

MHP 23024

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JOHN G. WILLIAMS LTD., ARCHITECT  
ARCHITECTURAL CONTROL REVIEW  
AND APPROVAL  
APPROVED BY: *[Signature]*  
DATE: JUL 31, 2023  
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ALLOWABLE GLAZING			
WALL AREA	=	1224	Sq. Ft.
ALLOWABLE GLAZED AREA @ 1 % 1.2 M SIDE YARD	=	86.03	Sq. Ft.
ACTUAL GLAZED AREA	=	65.8	Sq. Ft.
WITH OPTIONAL 30"X24" BASEMENT WINDOWS ACTUAL GLAZED AREA	=	68.6	Sq. Ft. ✓

LEFT SIDE ELEVATION 3

RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
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2.		
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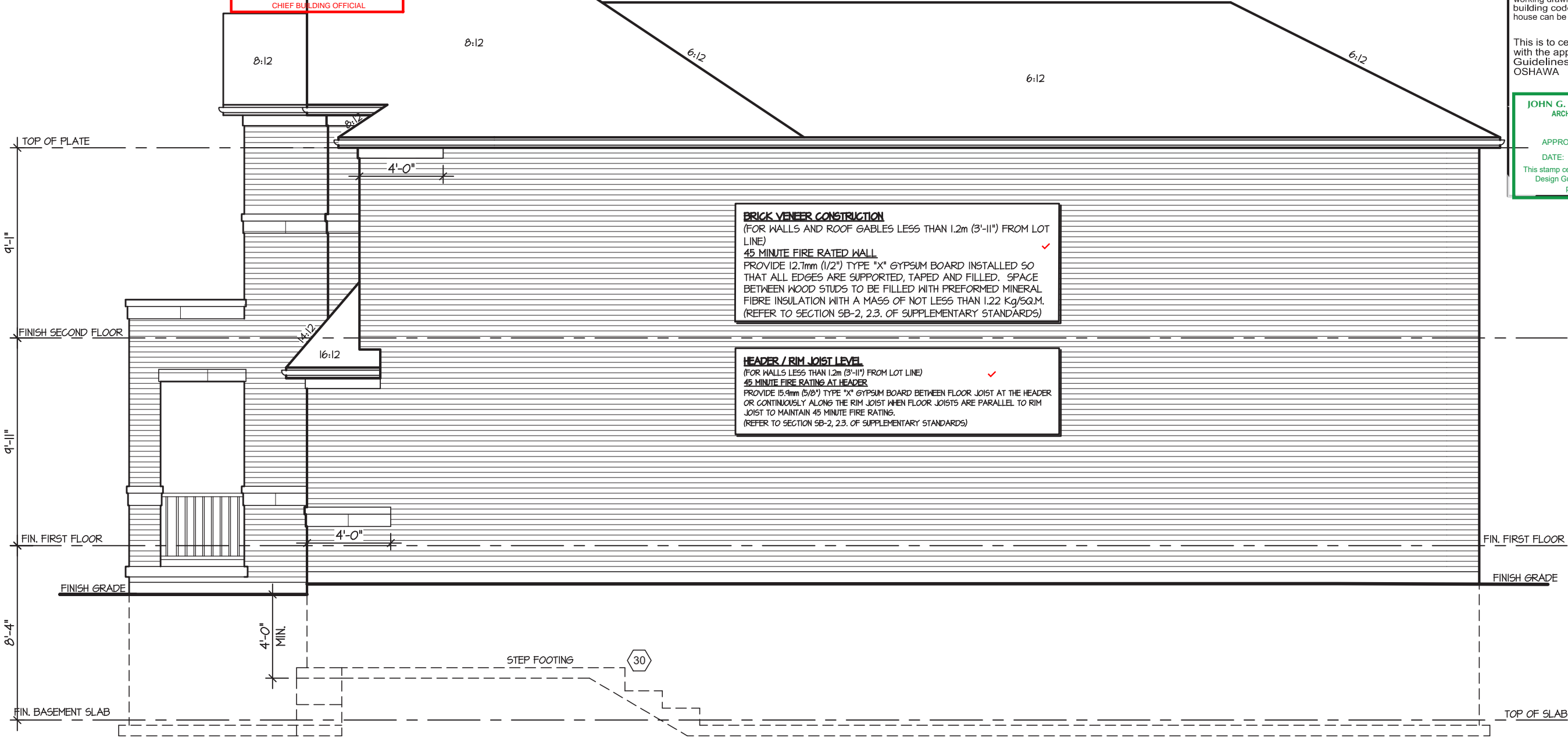


TITLE LEFT ELEVATION 3		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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PROJECT: ZADORRA		PAGE NO. 5-3


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RIGHT SIDE ELEVATION I

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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SIGNATURE

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REGION  
DESIGN  
INC.

TITLE RIGHT ELEVATION 1		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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PROJECT:	PAGE NO.
ZADORRA	6

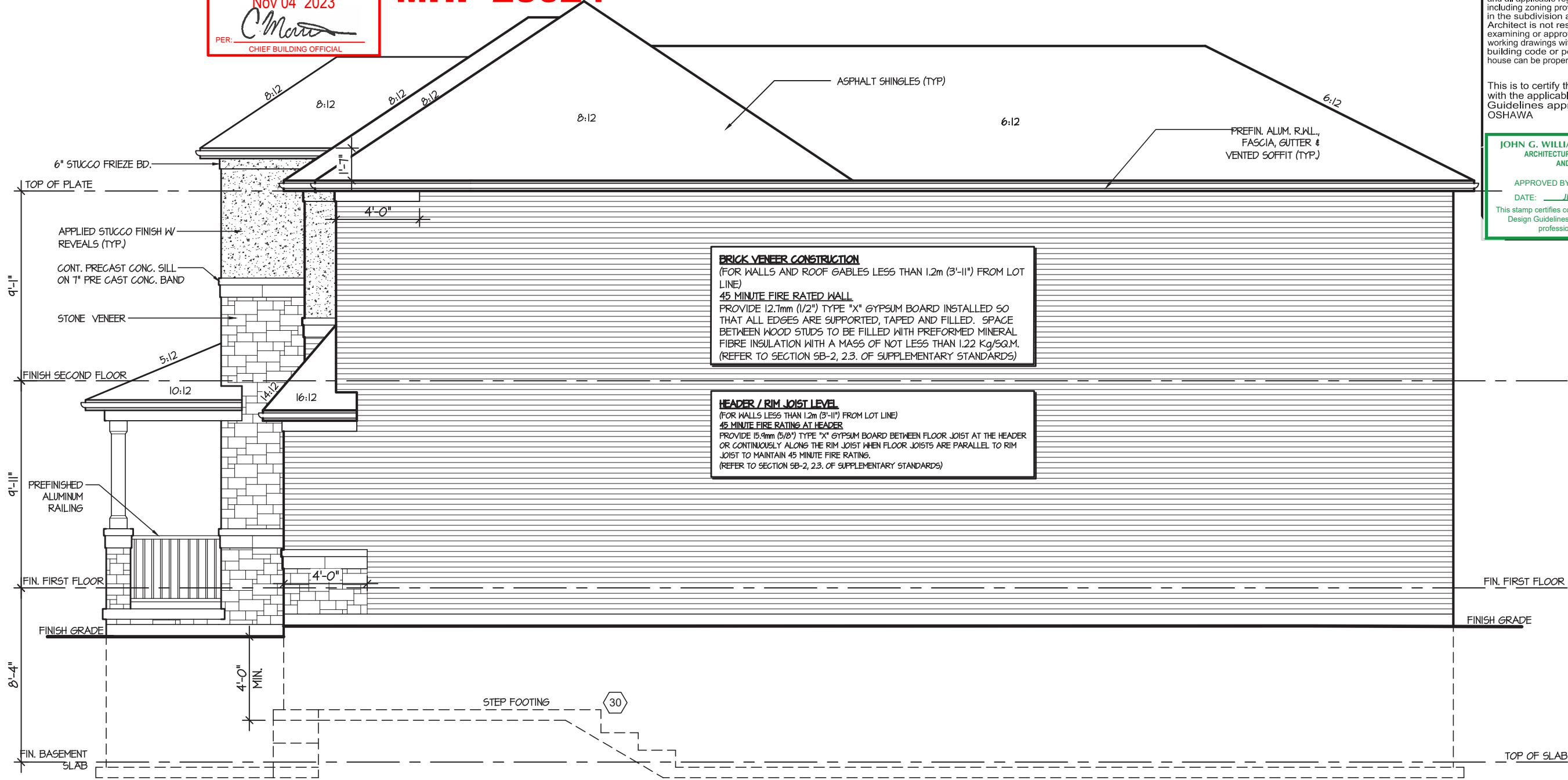
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Nov 04 2023  
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CHIEF BUILDING OFFICIAL

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RIGHT SIDE ELEVATION 2

# RIVER 5

COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
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REVISIONS		

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NAME

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TITLE RIGHT ELEVATION 2		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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**Greenpark.**

PROJECT: ZADORRA

PAGE NO. 6-2



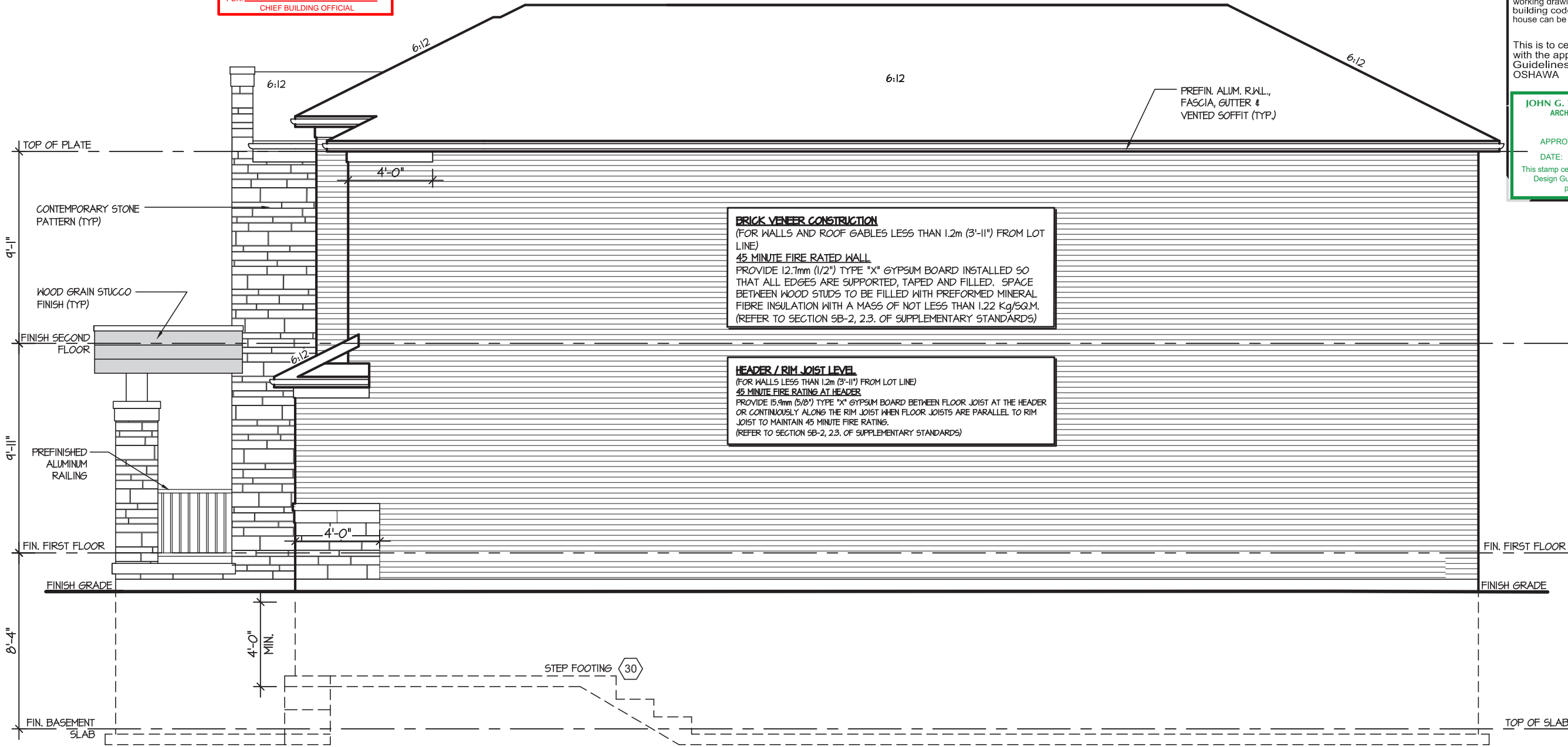
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RIGHT SIDE ELEVATION 3

RIVER 5  
COMPLIANCE PACKAGE "A1"

5.		
4.		
3.		
2.		
1.	NEW DESIGN	MAR 2023
REVISIONS		

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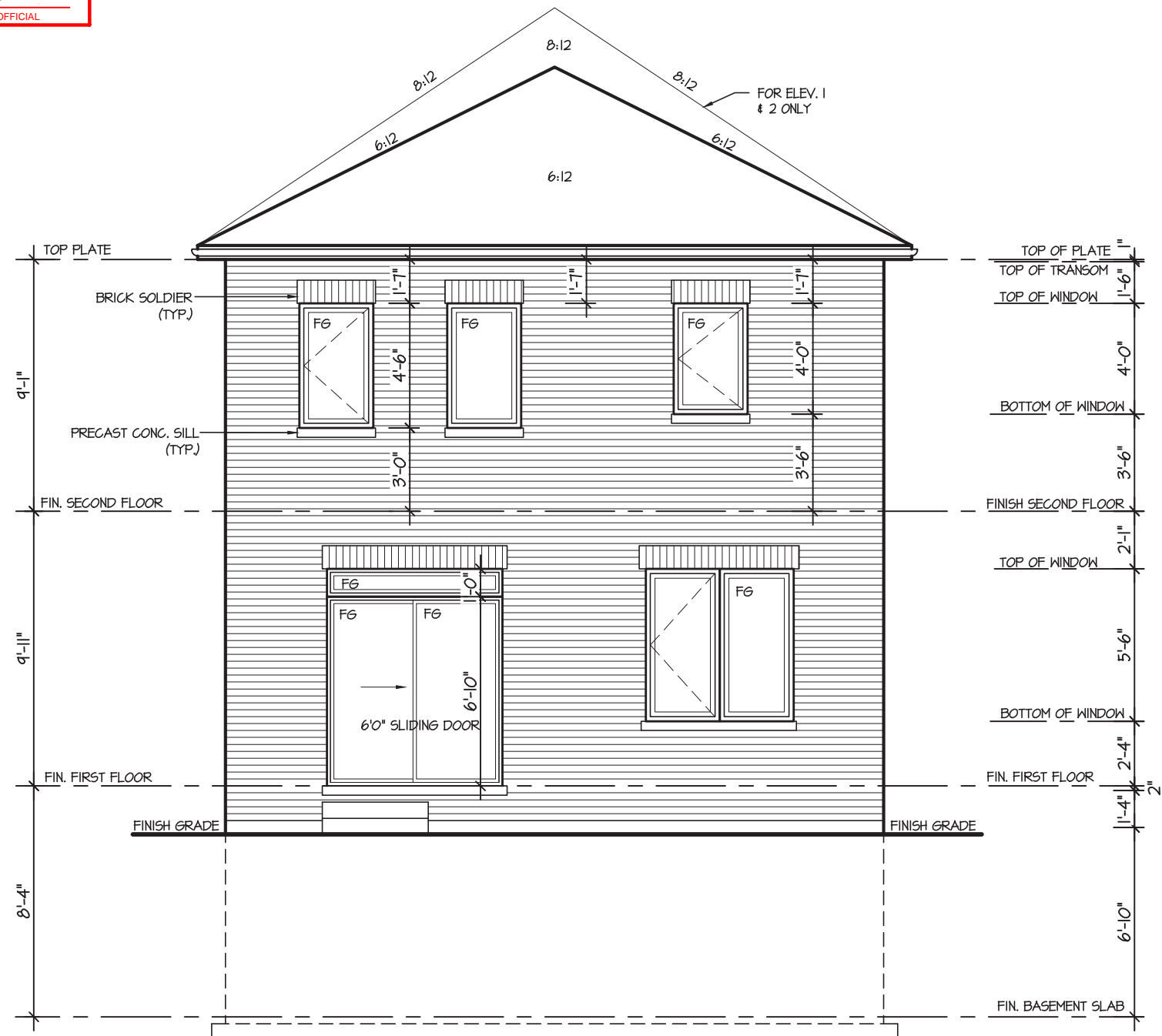


TITLE	RIGHT ELEVATION 3	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

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PROJECT:	ZADORRA	PAGE NO. 6-3

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PER:   
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REAR ELEVATION 1, 2 & 3

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APPROVED BY:   
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# RIVER 5


COMPLIANCE PACKAGE "A1"

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**REGION  
DESIGN  
INC.**

TITLE	REAR ELEVATION 1	
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO.	-	

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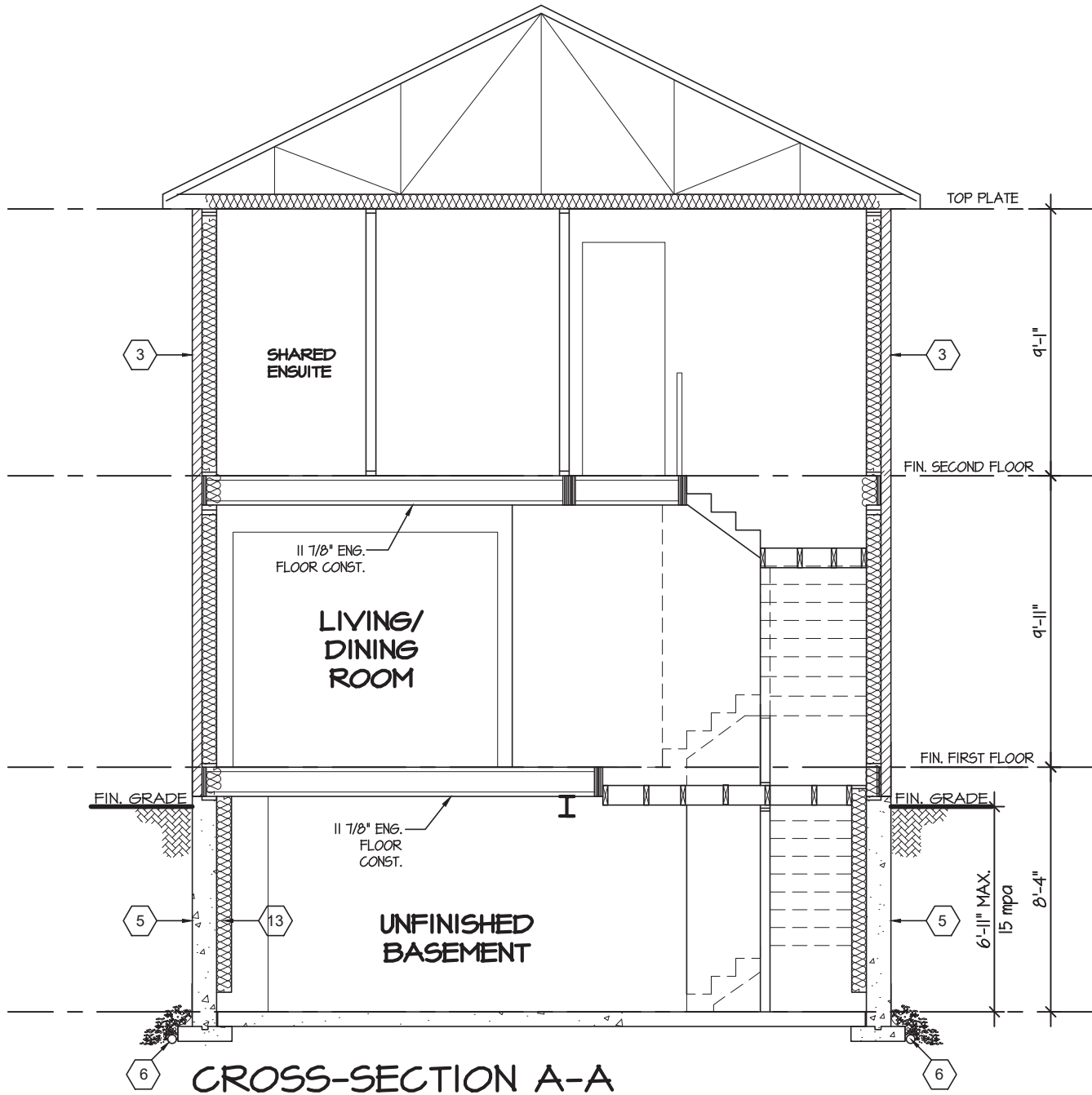


PROJECT: ZADORRA

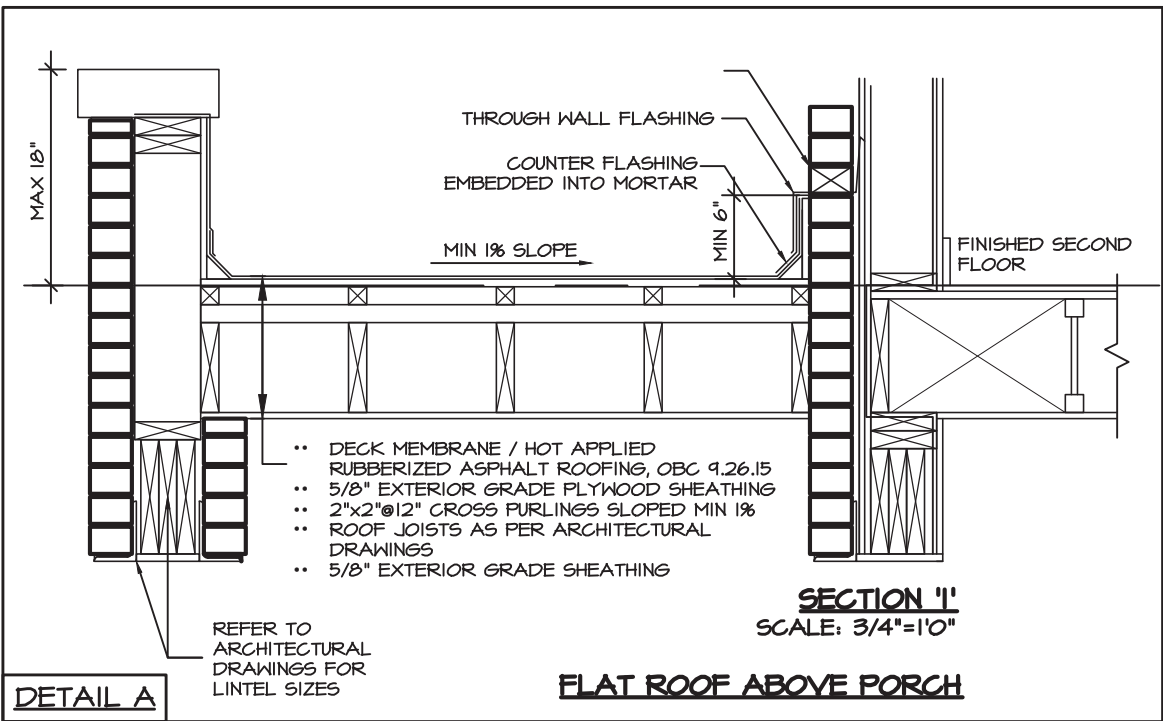
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Nov 04 2023  
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CHIEF BUILDING OFFICIAL

MHP 23024



CROSS-SECTION A-A



DETAIL A

FLAT ROOF ABOVE PORCH

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# RIVER 5

COMPLIANCE PACKAGE "A1"

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*[Signature]*  
SIGNATURE

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TITLE CROSS SECTION		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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PROJECT: ZADORRA		PAGE NO. 8



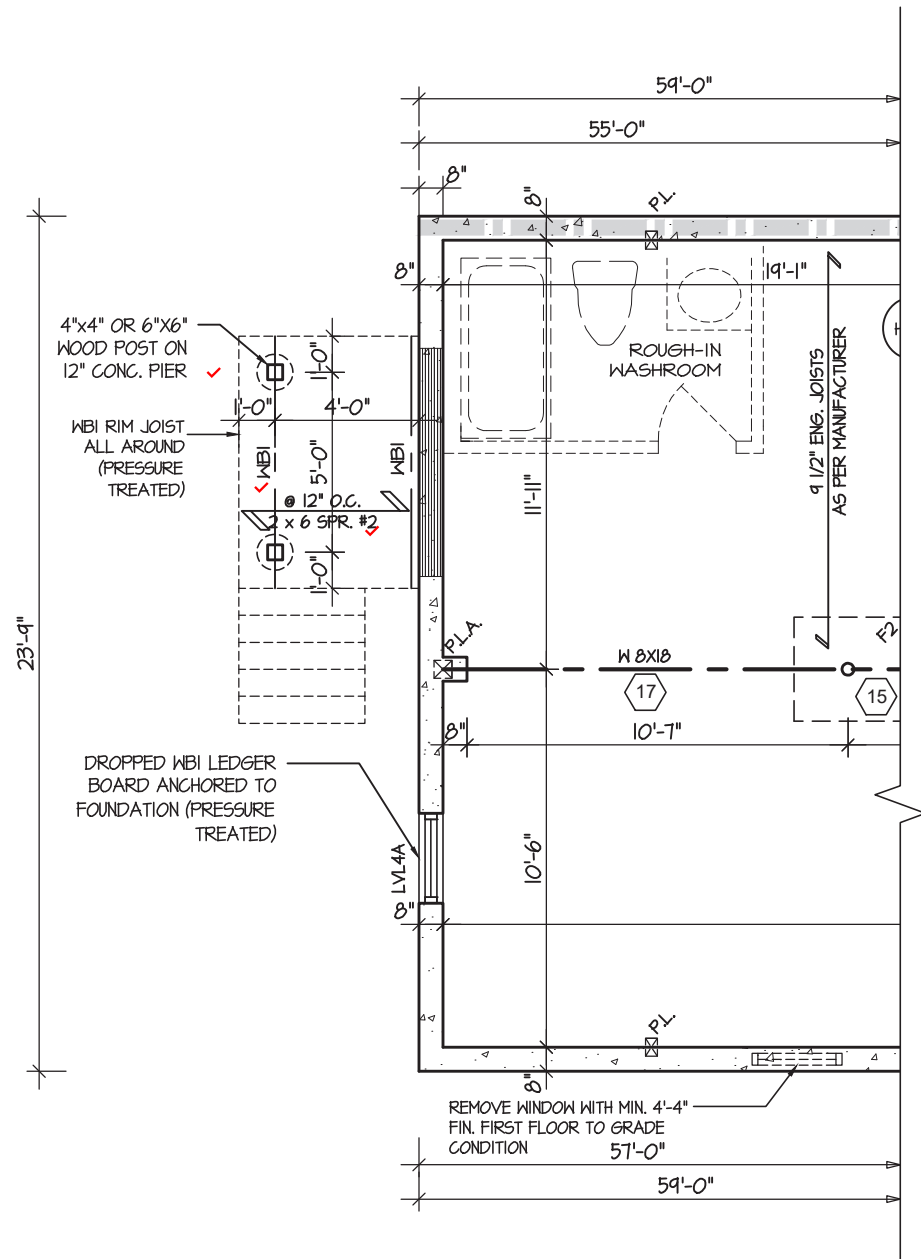
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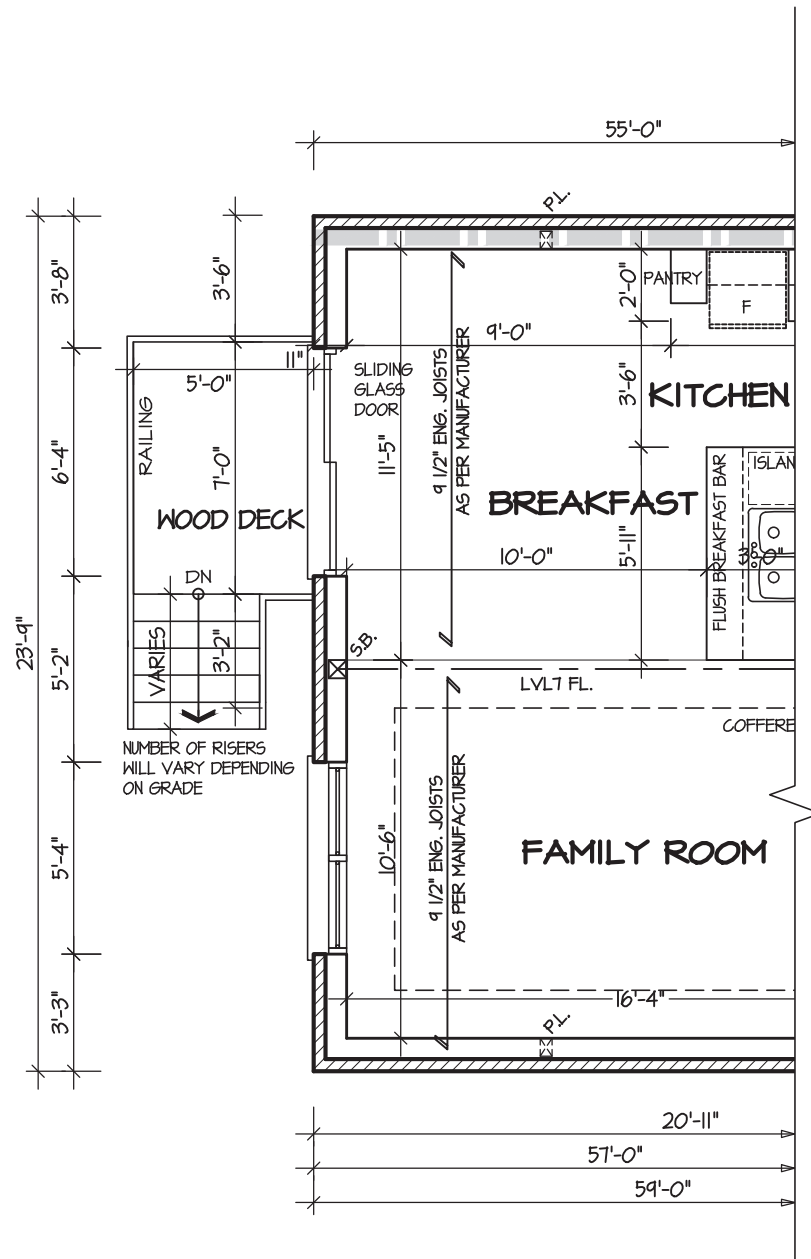
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APPROVED BY:   
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PARTIAL FIRST FLOOR PLAN  
DECK CONDITION



PARTIAL BASEMENT PLAN  
DECK CONDITION



# RIVER 5

COMPLIANCE PACKAGE "A1"


5.		
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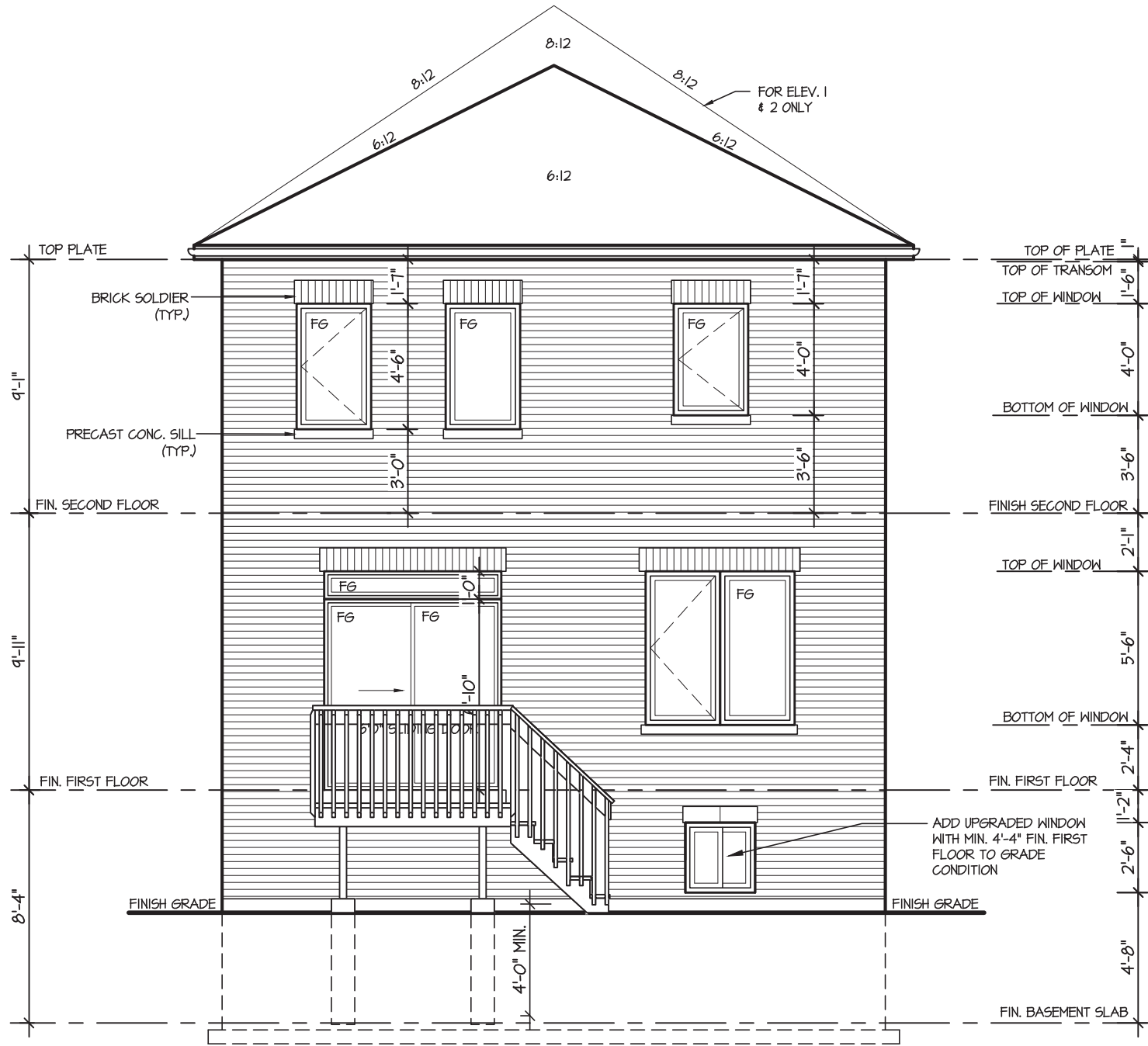


TITLE DECK PLANS		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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PROJECT: ZADORRA		PAGE NO. 9

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# RIVER 5

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TITLE CROSS SECTION		
MODEL	RIVER 5	LOT ---
DATE	MAR 2023	SCALE 3/16"=1'
BY	VG	AREA -
PROJECT NO. -		

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PROJECT:	PAGE NO.
ZADORRA	10