

A. Typical Abbreviations

AD	area drain	MECH	mechanical
AFF	above finished floor	MEP	mechanical, electrical, plumbing
ALUM	aluminum	MIN	minimum
BFM	by floor manufacturer	OBC	Ontario Building Code
BRM	by roof manufacturer	O/C	on center
BSE	by structural engineer	OH	overhead
BG	fixed glass with black backing	O/O	outside to outside
BM	beam	OSB	oriented strand board
CRF	conventional roof framing	OTA	open to above
COL	column	OTB	open to below
CONC	concrete	PL	point load
CONT	continuous	POLY	polyethylene
CT	ceramic tile	PSL	parallel strand lumber
C/W	complete with	PT	pressure treated
DEMO	demolish	PTD	paint or painted
DJ	double joist	PVC	polyvinyl chloride
DN	down	RD	roof drain
D/O	do over	RT	roof truss
DROP	dropped	RWL	rain water leader
DS	downspout	SB	solid bearing
EIFS	exterior insulated finish system	SBFA	solid bearing from above
ELEC	electrical	SJ	single joist
EQ	equal	SPEC	specified or specification
EW	each way	SPF	spruce, pine, fir
EXT	exterior	STC	sound transmission coefficient
FA	flat arch	STL	steel
FD	floor Drain	TG	tongue and groove
FG	fixed glass	TJ	triple joist
FL	flush	T/O	top of
FND	foundation	TOC	top of concrete
FRR	fire resistance rating	TOS	top of steel
GT	girder truss	TOW	top of window
HB	hose bib	TYP	typical
HP	high point	UNO	unless noted otherwise
HVAC	heating, ventilating, and air conditioning	U/S	underside
I/I	inside to inside	W/	with
INSUL	insulated or insulation	WD	wood
LVL	laminated veneer lumber	WIC	Walk-in closet
LSL	laminated strand lumber	WP	weather proof
MAX	maximum		

B. Common Conversion Factors

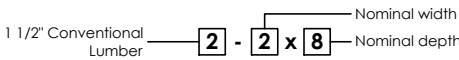
Multiply	by	To Obtain / Multiply	by	To Obtain
mm	0.03937	in	25.4	mm
cm	0.3937	in	2.54	cm
m	39.37	in	0.0254	m
ft	3.2808	in	0.3048	ft
cm ²	0.1550	in ²	6.4516	cm ²
m ²	10.764	ft ²	0.0929	m ²
m ³	35.314	ft ³	0.0283	m ³
kg	2.205	lb	0.4536	kg
RSI	5.679	R	0.176	RSI
RSI/mm	144	R/in	0.00695	RSI/mm
MPa	145.03	lbf/in ² (psi)	0.006895	MPa
kPa	0.14503	psi (lbf/in ²)	6.89476	kPa
kg/m ²	0.204816	lb/ft ²	4.88243	kg/m ²
kPa	20.886	lbf/ft ²	0.04788	kPa
kW	3412.1	Btu/h	0.000293	kW

C. Legend of Typical Symbols

31.4	Mackitecture Construction Note part 2 (MCN2) reference number
26	Door width reference (inches) (Refer to MCN2 number 6.)
V	Mechanical Ventilation (Refer to MCN2 number 35.)
F	Flashing at exterior wall cladding and roofing
S	Smoke alarm (Refer to MCN2 number 7.)
C	Carbon monoxide alarm (Refer to MCN2 number 8.)
EWB1	Typical construction assembly
5	Structural engineering letter reference number
2	Revision note
2	Drawing or detail number
A5.1	Sheet number
#J/#K	Number of required jack and king studs

D. Lintels

Wood Lintels (Refer to MCN2 number 25.)



Steel Lintel Legend, Size and Span Table

(Refer to MCN2 number 26.)

Table 9.20.5.2.B. Max. Allowable Spans for Stl. Lintels Supporting Masonry Veneer

Label	Angle size (Vert. x Horiz. x Thick.)	90mm Brick	100mm Stone
L2	3 1/2" x 3 1/2" x 1/4" (89 x 89 x 6.4)	8'-1" (2.47m)	7'-6" (2.30m)
L3	4" x 3 1/2" x 1/4" (102 x 89 x 6.4)	8'-9" (2.66m)	8'-1" (2.48m)
L4	4 7/8" x 3 1/2" x 5/16" (127 x 89 x 7.9)	10'-10" (3.31m)	10'-1" (3.08m)
L5	4 7/8" x 3 1/2" x 7/16" (127 x 89 x 11)	11'-5" (3.48m)	10'-8" (3.24m)
L6	4 7/8" x 3 1/2" x 17/32" (127 x 89 x 13)	11'-9" (3.59m)	10'-11" (3.33m)
L7	5 7/8" x 3 1/2" x 7/16" (152 x 89 x 11)	12'-6" (3.82m)	11'-7" (3.54m)
L8	5 7/8" x 3 1/2" x 17/32" (152 x 89 x 13)	13'-4" (4.07m)	12'-4" (3.77m)
L9	5 7/8" x 4" x 17/32" (152 x 102 x 13)	13'-6" (4.12m)	12'-6" (3.82m)
L10	7 1/8" x 4" x 7/16" (178 x 102 x 11)	14'-1" (4.30m)	13'-1" (3.99m)
L11	7 1/8" x 4" x 17/32" (178 x 102 x 13)	15'-1" (4.59m)	13'-11" (4.25m)

E. Stud Wall Reinforcement (9.5.2.3.)

All grab bars shall be installed to resist a load of at least 1.3 kN applied vertically or horizontally and have a slip-resistant surface.

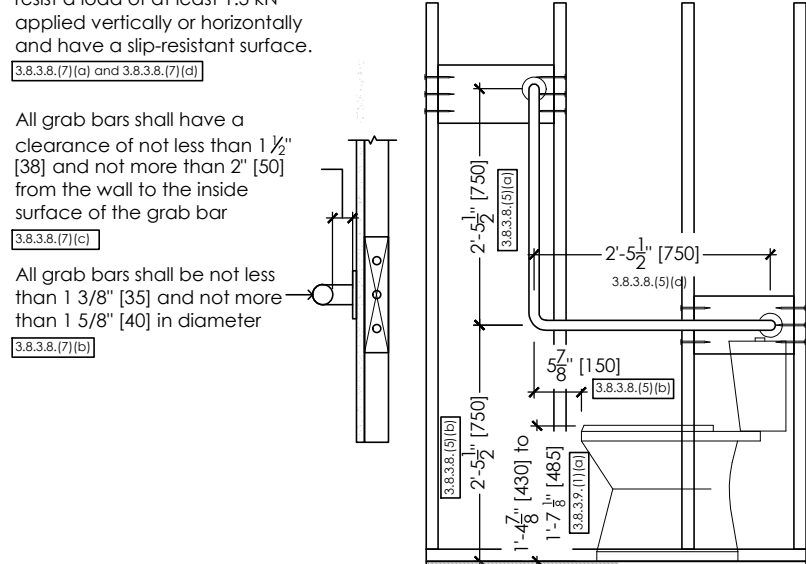
3.8.3.8.(7)(a) and 3.8.3.8.(7)(d)

All grab bars shall have a clearance of not less than 1 1/2" [38] and not more than 2" [50] from the wall to the inside surface of the grab bar

3.8.3.8.(7)(c)

All grab bars shall be not less than 1 3/8" [35] and not more than 1 5/8" [40] in diameter

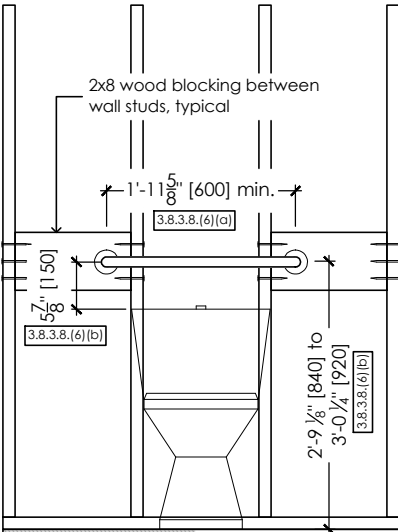
3.8.3.8.(7)(b)



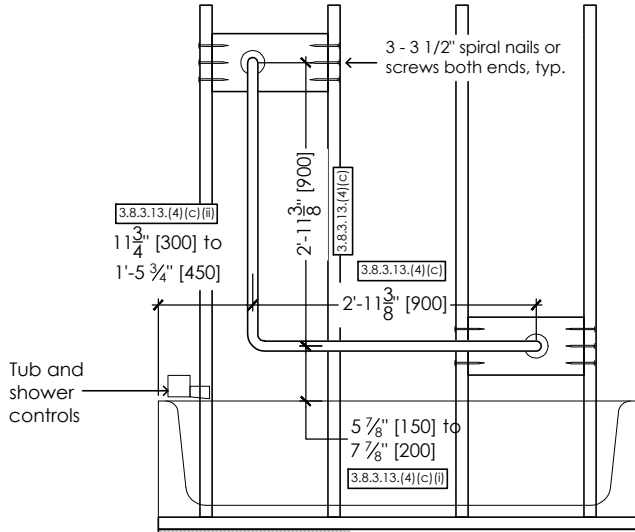
Water Closet Side Elevation

9.5.2.3. Stud Wall Reinforcement

- (1) If wood wall studs or sheet steel wall studs enclose the main bathroom in a dwelling unit, reinforcement shall be installed to permit the future installation of the following:
- (a) for a water closet, a grab bar described in Clauses 3.8.3.8.(3)(a) and a grab bar described in Clause 3.8.3.8.(3)(c).
- (b) for a shower, a grab bar described in Clause 3.8.3.13.(2)(f), and
- (c) for a bathtub, a grab bar described in Clause 3.8.3.13.(4)(c).



Water Closet Front Elevation



Shower/Tub Wall Side Elevation

(August 17, 2021)



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The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

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title	marketing	version
-	-	-
project name	municipality	sheet no.
-	-	-
project no.	drawn by	checked by
-	-	-
date	scale	filename
-	-	-

- DETAILS 14 - POURED CONCRETE STAIRS

A1

CONSTRUCTION NOTES (UNLESS OTHERWISE NOTED)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12 - 2012 OBC.

1 ROOF CONSTRUCTION (*SEE OBC 9.19.)

NO. 210 (10.25kg/m²) ASPHALT SHINGLES. 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @600mm 24" o.c. MAX. APPROVED EAVE PROTECTION TO EXTEND 900mm (3'-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL. 38x89 (2"x4") TRUSS BRACING @ 1830mm (6'-0") o.c. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. PROVIDE ICE & WATER SHIELD TO ALL ROOF / WALL SURFACES SUSCEPTIBLE TO DAMMING. ROOF SHEATHING TO BE FASTENED 150 (6") c.c. ALONG EDGES & INTERMEDIATE SUPPORTS WHEN TRUSSES SPACED GREATER THAN 406 (16"). ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA WITH 50% AT EAVES.

2 FRAME WALL CONSTRUCTION (2"x6")

SIDING, HARDIE BOARD, STUCCATO BOARD OR EQUAL AS PER ELEVATION. 19X64 (1"x3") VERTICAL WOOD FURRING, APPROVED SHEATHING PAPER, 7/16" O.S.B. EXTERIOR SHEATHING OR OBC COMPLIANT EQUIVALENT. 38X140 (2"x6") STUDS @ 400mm (16") O.C. W/APPROVED DIAGONAL WALL BRACING, RSI 3.87 (R22) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH.

3 BRICK VENEER CONSTRUCTION (2"x6")

90mm (4") FACE BRICK 25mm (1") AIR SPACE. 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") o.c. HORIZONTAL 600mm (24") o.c. VERTICAL. APPROVED SHEATHING PAPER, 7/16" O.S.B. EXTERIOR SHEATHING OR OBC COMPLIANT EQUIVALENT. 38X140 (2"x6") STUDS @ 400mm (16") o.c. W/APPROVED DIAGONAL WALL BRACING, RSI 3.87 (R22) INSUL. APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE WEEP HOLES @ 800mm (32") o.c. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER.

3A STUCCO WALL CONSTRUCTION (2"x6")

STUCCO CLADDING SYSTEM CONFIRMING TO OBC 9.27.1.1.(2) & 9.28 THAT EMPLOY A MINIMUM 6mm (1/4") DRAINAGE CAVITY BEHIND THE CLADDING WITH POSITIVE DRAINAGE TO THE EXTERIOR AND APPLIED AS PER MANUFACTURERS SPECIFICATION ON 25mm (1") MINIMUM EXTRUDED OR EXPANDED RIGID INSULATION, APPROVED SHEATHING PAPER, 7/16" O.S.B. EXTERIOR SHEATHING OR OBC COMPLIANT EQUIVALENT. 38X140 (2"x6") STUDS @ 400mm (16") o.c. W/APPROVED DIAGONAL WALL BRACING, RSI 3.87 (R22) INSUL. APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. STUCCO TO BE MIN.200mm (8") ABOVE FINISH GRADE.

4 INTERIOR STUD PARTITIONS

(*SEE OBC 9.23.10.&9.23.11.)

BEARING PARTITION 38x89 (2"x4") @ 400mm (16") o.c. FOR 2 STOREYS AND 300mm (12") o.c. FOR 3 STOREYS. NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") o.c.. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2-2"x4") TOP PLATE. 13mm (1/2") INTERIOR DRYWALL BOTH SIDES OF STUD, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

5 FOUNDATION WALL/FOOTINGS:

(*SEE OBC 9.15.3 & 9.15.4.)

MIN. 200mm (8") POURED CONC. FDTN. WALL 15MPa (2200psi) WITH BITUMENOUS DAMPROOFING AND DRAINAGE LAYER. MIN. 480x155 (19"x6") CONTIN. KEYED CONC. FTG. BRACE FOUNDATION WALL PRIOR TO BACKFILLING. ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL WITH MINIMUM BEARING CAPACITY OF 120kPa (17.4 psi) OR GREATER.

STRUDET INC.



FOR STRUCTURE ONLY

6 WEEPING TILE (*SEE OBC 9.14.3.)

100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES.

7 BASEMENT SLAB (*SEE OBC 9.16.-)

80mm (3") MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL. OR 15MPa (2200psi) CONC. WITH DAMPROOFING BELOW SLAB.

8 WOOD SUBFLOORS (*SEE OBC 9.23.14. & 9.30.2.)

19mm (3/4") T&G SUBFLOOR UNDER GROUND FLOOR FINISH FLOOR. 16mm (5/8") T&G SUBFLOOR UNDER SECOND FLOOR FINISH FLOOR. 16mm (5/8") PANEL-TYPE UNDERLAY FOR CERAMIC TILE APPLICATION. 6mm (1/4") PANEL-TYPE UNDERLAY UNDER RESILIENT & PARQUET FLOORING.

9 ROOF INSULATION (*SEE SB12 - 2.1.1.2.A & 2.1.1.7)

RSI 10.57 (R60) ROOF INSULATION AND APPROVED VAPOUR BARRIER. 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL.

10 ALL STAIRS/EXTERIOR STAIRS (*SEE OBC 9.8.-)

MAX. RISE	=200	(7 7/8")
MIN. RUN	=255	(10 1/4")
MIN. TREAD	=280	(11")
MAX. NOSING	=25	(1")
MIN. HEADROOM	=1950	(6'-5")
RAIL @ LANDING	=900	(2'-11")
RAIL @ STAIR	=865	(2'-10")
MIN. STAIR WIDTH	=860	(2'-10")

FOR CURVED STAIRS
MIN. AVG. RUN = 200 (8")
MIN. RUN = 150 (6")

11 RAILING (*SEE OBC 9.8.8.)

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") BETWEEN PICKETS.

INTERIOR GUARDS:	= 900mm	(2'-11") MIN.
EXTERIOR GUARDS:	= 1070mm	(3'-6") MIN.

12 SILL PLATE (*SEE OBC 9.23.6 & 9.23.7.)

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") o.c. CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND TOP OF FDTN. WALL. USE MORTAR TO LEVEL SILL PLATE WHEN REQUIRED.

13 BASEMENT INSULATION (*SEE OBC 12.3.)

FOUNDATION WALLS ENCLOSING HEATED SPACE SHALL BE INSULATED FROM THE UNDERSIDE OF THE SUBFLOOR TO NOT MORE THAN 152mm (6") ABOVE THE FINISHED FLOOR OF THE BASEMENT AND NOT LESS THAN 50mm (2") TO THE SLAB. FOUNDATION WALL INSULATION SHALL BE MINIMUM RSI. 3.52 (R20) BLANKET INSULATION, APPROVED VAPOUR BARRIER, DAMPROOFING W/BLDG. PAPER BETWEEN THE FDTN. AND INSUL.

14 BASEMENT BEARING STUD PARTITION

(*SEE OBC 9.23.10.)

38x89 (2"x4") STUDS @400mm (16") o.c. 38x89 (2"x4") SILL PLATE ON DAMPROOFING MATERIAL. 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") o.c. (4") HIGH CONC. CURB ON 305x155 (12"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.

15 STEEL BASEMENT COLUMN (*SEE OBC 9.17.3.)

90mm (3-1/2") DIA. x 4.78mm (.188) STL. COL. WITH 150x150x9.5mm (6"x6"x3/8") STL. TOP & BOTTOM PLATE.

15A STEEL COLUMN (*SEE OBC 9.17.3.)

90mm (3-1/2") DIA. x 4.78mm (.188) STL. COLUMN WITH 100x100x6.4mm (4"x4"x1/4") STEEL TOP & BOTTOM PLATE. FIELD WELD BOTTOM PLATE TO 250x100x12.5mm (10"x4"x1/2") BASE PLATE C/W 2-13mm (1/2") DIA. x 300mm (12") LONG x 50mm (2") HOOK ANCHORS.

16 NIB WALLS (*SEE OBC 9.23.8.)

BEAM POCKET OR 200x200 (8"x8") POURED CONCRETE NIB WALLS. MINIMUM BEARING 90mm (3-1/2")

17 STEEL BEAM STRAPPING (*SEE OBC 9.23.4.3.(3)(c))

19x38 (1"x2") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM.

18 GARAGE SLAB (*SEE OBC 9.16.-)

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT 1% MIN.

19 INTERIOR GARAGE WALLS & CEILING

(*SEE OBC 9.10.9.16.)

13mm (1/2") GYPSUM BOARD ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, RSI 3.87 (R22) IN WALLS, RSI 5.46 (R31) IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT.

20 GARAGE DOOR GASPROOFING

(*SEE OBC 9.10.13.15.)

DOOR AND FRAME GASPROOFING. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHER STRIPPING.

21 EXTERIOR STEP

(*SEE OBC 9.8.9.2, 9.8.9.3 & 9.8.10.)

PRECAST CONCRETE STEP OR WD. STEP WHERE NOT EXPOSED TO WEATHER MAX. RISE 200mm (7-7/8"); MINIMUM TREAD 250mm (9-1/2")

22 DRYER VENT

(*SEE OBC 6.2.3.8.(7))

CAPPED DRYER EXHAUST VENTED TO EXTERIOR. USE 1000mm (4") DIA. SMOOTH WALL VENT PIPE.

23 ATTIC ACCESS

(*SEE OBC 9.19.2.)

ATTIC ACCESS HATCH 545x700 (22"x28") WITH WEATHERSTRIPPING. RSI 5.46 (R31) RIGID INSULATION BACKING.

24 FIREPLACE CHIMNEYS

(*OBC 9.21.-)

TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.

25 LINEN CLOSET

4 SHELVES MIN. 350mm (14") DEEP.

26 MECHANICAL EXHAUST

(*SEE OBC 9.32.3.5, 9.32.3.10.)

MECHANICAL EXHAUST FAN VENTED TO EXTERIOR.

27 STEEL BEARING PLATE FOR MASONRY WALLS

280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL. ANCHORED W/ 2-19mm (3/4") x200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT.

28 CLASS "B" VENT

U.L.C. RATED CLASS "B" VENT 610mm (2'-0") ABOVE THE POINT IN CONTACT WITH THE ROOF FOR SLOPES UP TO 9/12. REFER TO THE ONTARIO GAS UTILIZATION CODE.

29 WOOD BASEMENT POST

(*OBC 9.17.4.)

3-38x140 (3-2"x6") BUILT-UP POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 (1/2") DIA. BOLT ON 406x406x203 (16"x16"x8") CONC. FOOTING.

30 STEP FOOTINGS

(*OBC 9.15.3.9.)

MIN. HORIZ. STEP = 610mm (24"). MAX. VERT. STEP = 610mm (24")

31 SLAB ON GRADE

(*SEE OBC 9.16.-)

100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. REINFORCED W/ 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB.

32 DIRECT VENT FURNACE

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DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN 300mm (12") ABOVE FIN. GRADE. FROM ALL OPENINGS, EXHAUST & INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6'-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE. ALL AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE SEPARATED FROM KITCHEN EXHAUST BY 3.0m IN COMPLIANCE WITH O.B.C. DIV.-B TABLE 6.2.3.12..

33 DIRECT VENT GAS FIREPLACE

DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE

34 JOIST STRAPPING & BRIDGING (*SEE OBC 23.9.4.)

ALL FLOOR JOISTS TO BE BRIDGED WITH 38x38 (2"x2") CROSS BRACING OR SOLID BLOCKING @2100mm (6'-11") o.c. MAX. 19x64 (1"x3") @2100mm (6'-11") o.c. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

35 EXPOSED BUILDING FACE

(*SEE OBC 9.10.15.)

EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45min. WHERE LIMITING DISTANCE IS LESS THAN 1.2M (3'-11") WHERE THE LIMITING DISTANCE IS LESS THAN 600mm (1'-11") THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTABLE MATERIAL.

36 COLD CELLAR PORCH SLAB

(*SEE OBC 9.40.)

FOR MAX. 2500mm (8'-2") PORCH DEPTH. 125mm (5") 32Mpa (4640 psi) CONC. SLAB WITH 5-8% AIR ENTRAINMENT. REINF. WITH 10M BARS @200mm (8") o.c. EACH WAY IN BOTTOM THIRD OF SLAB. ANCHORED IN PERIMETER FDTN. WALLS W/ 610x610 (24"x24") 10M @600mm (24") o.c. DOWELS. SLOPE SLAB MIN. 1.0% FROM DOOR. SLAB TO HAVE A MIN. 75mm (3") BEARING ON FDTN. WALLS. PROVIDE (WL1) LINTELS OVER CELLAR DOOR.

37 FDTN. WALL REDUCTION IN THICKNESS

(*SEE OBC 9.15.4.7.)

FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 660mm (26") FOR 8" FDTN. WALL. 10" FDTN. WALL WHEN REDUCTION IN THICKNESS IS GREATER THAN 26". FDTN. WALL SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (8") o.c. VERTICALLY AND 900mm (36") o.c. HORIZONTALLY. FILL SPACE BETWEEN WALL AND FACING SOLID WITH MORTAR.

38 CONVENTIONAL ROOF FRAMING

(*SEE OBC 9.23.4.2.(1))

FOR MAX. 2240mm (7'-4") SPAN. 38x89 (2"x4") RAFTERS @400mm (16") o.c.. FOR MAX. 3530mm (11'-7") SPAN. 38x140 (2"x6") RAFTERS @400mm (16") o.c.. RIDGE BOARD TO BE 51mm (2") DEEPER. 38x39 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @400mm (16") o.c. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400 (16") o.c. FOR MAX. 4450mm (14'-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @600mm (24") o.c. WITH A 38x89 (2"x4") CENTER POST TO THE TRUSS BELOW, Laterally Braced @1800mm (6'-0") o.c. VERTICALLY.

39 TWO STOREY VOLUME SPACES

FOR A MAXIMUM 5490mm (18'-0") HEIGHT, PROVIDE 2-38x140 (2-2"x6") CONTINUOUS STUDS @300mm (12") o.c. FOR BRICK AND 400mm (16") o.c. FOR SIDING. PROVIDE SOLID WOOD BLOCKING BETWEEN STUDS @1220mm (4'-0") o.c. VERT. 7/16" EXT. PLYWOOD.

40 EXPOSED FLOOR TO EXTERIOR (*SB12 - 2.1.1.2.A)

PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.

41 PARTYWALLS

TYPICAL 1 HOUR RATED PARTYWALL. REFER TO DETAILS FOR TYPE AND SPECIFICATIONS.

42 EXTERIOR WALLS FOR WALK-OUT CONDITION

THE EXTERIOR BASEMENT STUD WALL TO BE 38x140mm (2"x6") STUDS @400mm (16") o.c. MATCH FLOOR JOIST SPACING WHEN PARALEL WITH FLOOR JOISTS.

43 SMOKE ALARM

• (*OBC 9.10.19)

PROVIDE 1 PER FLOOR, NEAR THE STAIRS CONNECTING THE FLOOR LEVEL AND ALSO 1 IN EACH BEDROOM NEAR HALL DOOR. ALARMS TO BE CONNECTED TO AN ELECTRICAL CIRCUIT AND INTERCONNECTED TO ACTIVATE ALL ALARMS IF ONE SOUNDS. BATTERY BACK-UP REQUIRED. SMOKE ALARMS TO INCORPORATE VISUAL SIGNALLING COMPONENT. (9.10.19.3.(3)).

44 CARBON MONOXIDE ALARM

• (*OBC 9.33.4.)

WHERE A FUEL-BURNING APPLIANCE IS INSTALLED IN A DWELLING UNIT, A BARBON MONOXIDE DETECTOR CONFORMING TO CAN./CGA-6.19, CSA 6.19 OR UL2034 SHALL BE INSTALLED ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED SO THAT IT IS ACTIVATION WILL ACTIVATE ALL CARBON MONOXIDE DETECTORS AND BE EQUIPPED WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED

45 SOIL GAS CONTROL

(*OBC 9.13.4.)

PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING AS REQUIRED.



MHP 23039

Compliance Package A1



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project name

Zadorra Estates Inc.

The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack

35923

Name

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Registration Information

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Construction Notes

scale

not to scale

date

2023-07-18

by

Greenpark

type

-

area

-

project no.

22-012

sheet no.

1



MHP 23039

CORPORATION OF THE CITY OF OSHAWA
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CANADA
Nov 14, 2023

IM BEDROOM WINDOW (*OBC 9.9.10.1.)
ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN.
8 SQ. FT.) UNOBSTRUCTED GLAZED OPENABLE AREA WITH MIN.
CLEAR WIDTH OF 380mm (1'-3")

GLASS AREA NOT MORE THAN 17% OF GROSS PERIPHERAL WALL AREA.
MAXIMUM U-VALUE 0.28

(2) WINDOW GUARDS (*OBC 9.8.8.1(6))

A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED
LESS THAN 480mm (1'-6") ABOVE FIN. FLOOR AND THE DISTANCE FROM
THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm
(5'-11")

GENERAL:

(1) MECHANICAL VENTILATION

MECHANICAL VENTILATION IS REQUIRED TO PROVIDE 0.3 AIR CHANGES
PER HOUR AVERAGED OVER 24 HOURS.
SEE MECHANICAL DRAWINGS.

(2) OUTDOOR AIR INTAKE ●

ALL OUTDOOR AIR INTAKES SHALL BE LOCATED SO THAT THEY ARE
SEPARATED FROM SOURCES OF CONTAMINATION (EXHAUST VENTS) IN
COMPLIANCE WITH O.B.C. DIV.-8 6.2.3.12. AND TABLE 6.2.3.12.

(3) REINFORCEMENT FOR GRAB BARS (*OBC 9.5.2.3.) ●

REINFORCEMENT OF STUD WALLS SHALL BE INSTALLED ADJACENT TO
WATER CLOSETS AND SHOWER OR BATHTUB IN MAIN BATHROOM. REFER
TO O.B.C. 9.5.2.3, 3.8.3.8.(3)(a), 3.8.3.8.(3)(c), 3.8.3.13.(2)(g) &
3.8.3.13.(4)(e).
SEE DETAIL ON PAGE 11.

LUMBER:

1.) ALL LUMBER SHALL BE SPRUCE-PINE-FIR No.1&2 GRADE, UNLESS NOTED
OTHERWISE.

2.) LUMBER EXPOSED TO THE EXTERIOR TO BE SPRUCE-PINE-FIR No.1&2
GRADE PRESSURE TREATED OR CEDAR, UNLESS NOTED OTHERWISE.

ALL BEAMS, GIRDER TRUSSES, AND METAL HANGER CONNECTIONS
3.) SUPPORTING ROOF FRAMING TO BE DESIGNED & CERTIFIED BY TRUSS
MANUFACTURER.

LVL BEAMS SHALL BE 2.0E (Fb=2800psi MIN.). NAIL EACH PLY OF LVL
4.) WITH 89mm (3-1/2") LONG COMMON WIRE NAILS @300mm (12") o.c.
STAGGERED IN 2 ROWS FOR 184, 240, & 300mm (7-1/4", 9-1/2", 11-7/8")
DEPTHS AND STAGGERED IN 3 ROWS FOR GREATER DEPTHS AND FOR 4
PLY MEMBERS ADD 1/2" (13mm) DIA. GALVANIZED BOLTS BOLTED AT
MID-DEPTH OF BEAM @ 915mm (3'-0")o.c.

PROVIDE TOP MOUNT BEAM HANGERS FOR ALL LVL BEAM TO BEAM
CONNECTIONS UNLESS NOTED OTHERWISE.

5.) PROVIDE METAL JOIST HANGERS FOR ALL JOISTS AND BUILT-UP WOOD
MEMBERS INTERSECTING FLUSH BUILT-UP WOOD MEMBERS.

6.) WOOD FRAMING NOT TREATED WITH A WOOD PRESERVATIVE, IN
CONTACT WITH CONCRETE, SHALL BE SEPARATED FROM THE CONC. BY
AT LEAST 2mil. POLYETHYLENE FILM, No.50 (45lbs) ROLL ROOFING OR
OTHER DAMPROOFING MATERIAL, EXCEPT WHERE THE WOOD MEMBER
7.) IS AT LEAST 150mm (6") ABOVE THE GROUND.

STEEL:

STRUCTURAL STEEL AND HOLLOW STRUCTURAL SECTIONS SHALL
CONFORM TO CAN/CSA-G40-21 GRADE 350W.

REINFORCING STEEL SHALL CONFORM TO CSA-G30-18M GRADE 400R.

REVISION:

- ONT. REG. 332/12-2012 OBC AMENDMENT O. REG. 88/19 JAN. 01, 2020

**STABILITY OF NARROW (20'-25')
& TALL (±30') HOUSES**

BUILDER TO PROVIDE SUFFICIENT TEMPORARY BRACING TO RESIST WIND
LOADING WHEN UNDER CONSTRUCTION. FURTHER
RECOMMENDATIONS:

- 1.) REDUCE THE FOUNDATION WALL SILL PLATE ANCHOR BOLT SPACING
FROM 2400mm o.c. (7'-10") TO 1220mm o.c. (4'-0") FOR STANDARD
CONDITIONS.
- 2.) USE 9.5mm (3/8") THICK PLYWOOD OR WAFERBOARD FOR THE EXTERIOR
WALL SHEATHING.
- 3.) TO STIFFEN THE STRUCTURE IN TRANSVERSE DIRECTION USE 9.5mm (3/8")
THICK PLYWOOD NAILED TO THE INTERIOR PARTITIONS ON EACH FLOOR
FOR A MINIMUM 2 INTERIOR PARTITION WALLS ON BOTH SIDES AND
PERPENDICULAR TO THE LONG WALLS.

BRICK VENEER LINTELS

WL1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L) + 2-2"x8" SPR. No.2
WL2 = 4"x3-1/2"x5/16"L (100x90x8.0L) + 2-2"x8" SPR. No.2
WL3 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x10" SPR. No.2
WL4 = 6"x3-1/2"x3/8"L (150x90x10.0L) + 2-2"x12" SPR. No.2
WL5 = 6"x4"x3/8"L (150x100x10.0L) + 2-2"x12" SPR. No.2
WL6 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 2-2"x12" SPR. No.2
WL7 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x10" SPR. No.2
WL8 = 5"x3-1/2"x5/16"L (125x90x8.0L) + 3-2"x12" SPR. No.2
WL9 = 6"x4"x3/8"L (150x100x10.0L) + 3-2"x12" SPR. No.2

WOOD LINTELS AND BEAMS

WB1 = 2-2"x8" SPR. No.2 (2-38x184 SPR. No.2)
WB2 = 3-2"x8" SPR. No.2 (3-38x184 SPR. No.2)
WB3 = 2-2"x10" SPR. No.2 (2-38x235 SPR. No.2)
WB4 = 3-2"x10" SPR. No.2 (3-38x235 SPR. No.2)
WB5 = 2-2"x12" SPR. No.2 (2-38x286 SPR. No.2)
WB6 = 3-2"x12" SPR. No.2 (3-38x286 SPR. No.2)
WB7 = 5-2"x12" SPR. No.2 (5-38x286 SPR. No.2)
WB11 = 4-2"x10" SPR. No.2 (4-38x235 SPR. No.2)
WB12 = 4-2"x12" SPR. No.2 (4-38x286 SPR. No.2)

LOOSE STEEL LINTELS

L1 = 3-1/2"x3-1/2"x1/4"L (90x90x6.0L)
L2 = 4"x3-1/2"x5/16"L (100x90x8.0L)
L3 = 5"x3-1/2"x5/16"L (125x90x8.0L)
L4 = 6"x3-1/2"x3/8"L (150x90x10.0L)
L5 = 6"x4"x3/8"L (150x100x10.0L)
L6 = 7"x4"x3/8"L (175x100x10.0L)

LAMINATED VENEER LUMBER (LVL) BEAMS

LVL1A = 1-1 3/4" x 7 1/4" (1-45x184)
LVL1 = 2-1 3/4" x 7 1/4" (2-45x184)
LVL2 = 3-1 3/4" x 7 1/4" (3-45x184)
LVL3 = 4-1 3/4" x 7 1/4" (4-45x184)
LVL4A = 1-1 3/4" x 9 1/2" (1-45x240)
LVL4 = 2-1 3/4" x 9 1/2" (2-45x240)
LVL5 = 3-1 3/4" x 9 1/2" (3-45x240)
LVL5A = 4-1 3/4" x 9 1/2" (4-45x240)
LVL6A = 1-1 3/4" x 11 7/8" (1-45x300)
LVL6 = 2-1 3/4" x 11 7/8" (2-45x300)
LVL7 = 3-1 3/4" x 11 7/8" (3-45x300)
LVL7A = 4-1 3/4" x 11 7/8" (4-45x300)
LVL8 = 2-1 3/4" x 14" (2-45x356)
LVL9 = 3-1 3/4" x 14" (3-45x356)
LVL10 = 2-1 3/4" x 18" (2-45x456)

DOOR SCHEDULE

1 = 2'-10" x 6'-8"	(865x2033)	- INSULATED ENTRANCE DOOR
1a = 2'-8" x 6'-8"	(815x2033)	- INSULATED FRONT DOORS
2 = 2'-8" x 6'-8"	(815x2033)	- WOOD & GLASS DOOR
3 = 2'-8" x 6'-8" x 1-3/4"	(815x2033x45)	- EXTERIOR SLAB DOOR
4 = 2'-8" x 6'-8" x 1-3/8"	(815x2033x35)	- INTERIOR SLAB DOOR
5 = 2'-6" x 6'-8" x 1-3/8"	(760x2033x35)	- INTERIOR SLAB DOOR
6 = 2'-2" x 6'-8" x 1-3/8"	(660x2033x35)	- INTERIOR SLAB DOOR
7 = 1'-6" x 6'-8" x 1-3/8"	(460x2033x35)	- INTERIOR SLAB DOOR

LEGEND

DJ	DOUBLE JOIST
TJ	TRIPLE JOIST
GT	GIRDER TRUSS
PL	POINT LOAD
SB	SOLID WOOD BEARING. SOLID BEARING TO BE WIDE AT LEAST AS SUPPORTED MEMBER. MIN. 3 PIECES.
LB	LOAD-BEARING WALL
TS	TWO-STOREY WALL. SEE NOTE
FA	FLAT ARCH
F.D.	FLOOR DRAIN
SA	SMOKE ALARM. SEE NOTE
SA	SMOKE ALARM & CARBON MONOXIDE ALARM. SEE NOTE
CMA	

39

43

44

STRUDET INC.



FOR STRUCTURE ONLY

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as well as having the qualifications and requirements mandated by the
Ontario Building Code (O.B.C.) to be a Designer.

Qualification Information

Jamie Mack	35923	Signature
Name	BCIN	
Registration Information	Mackitecture	103532



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General Notes

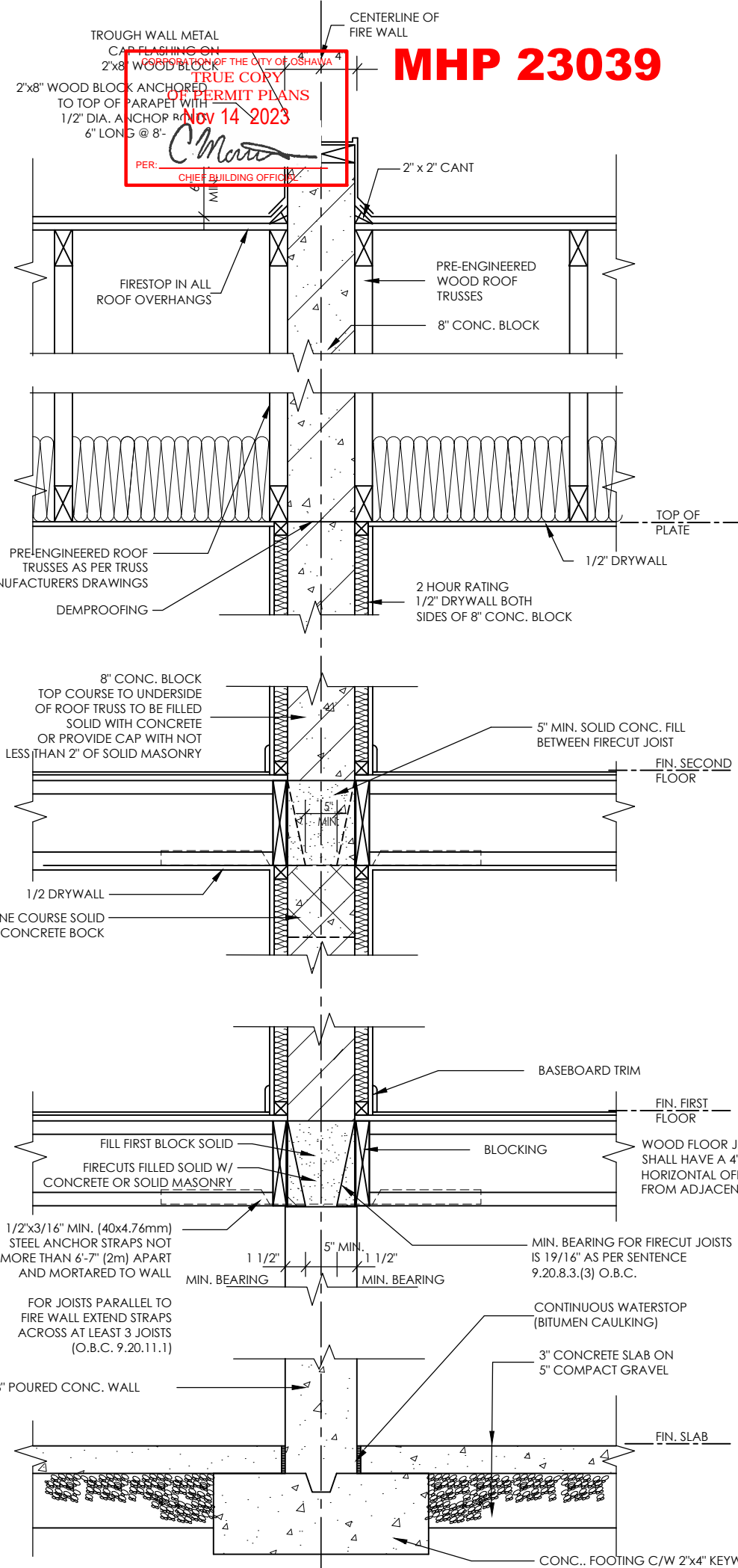
scale	by	area	sheet no.
not to scale	Greenpark	-	2
date	type	project no.	
2023-04-28	-	21-018	



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project name
Zadorra Estates Inc.

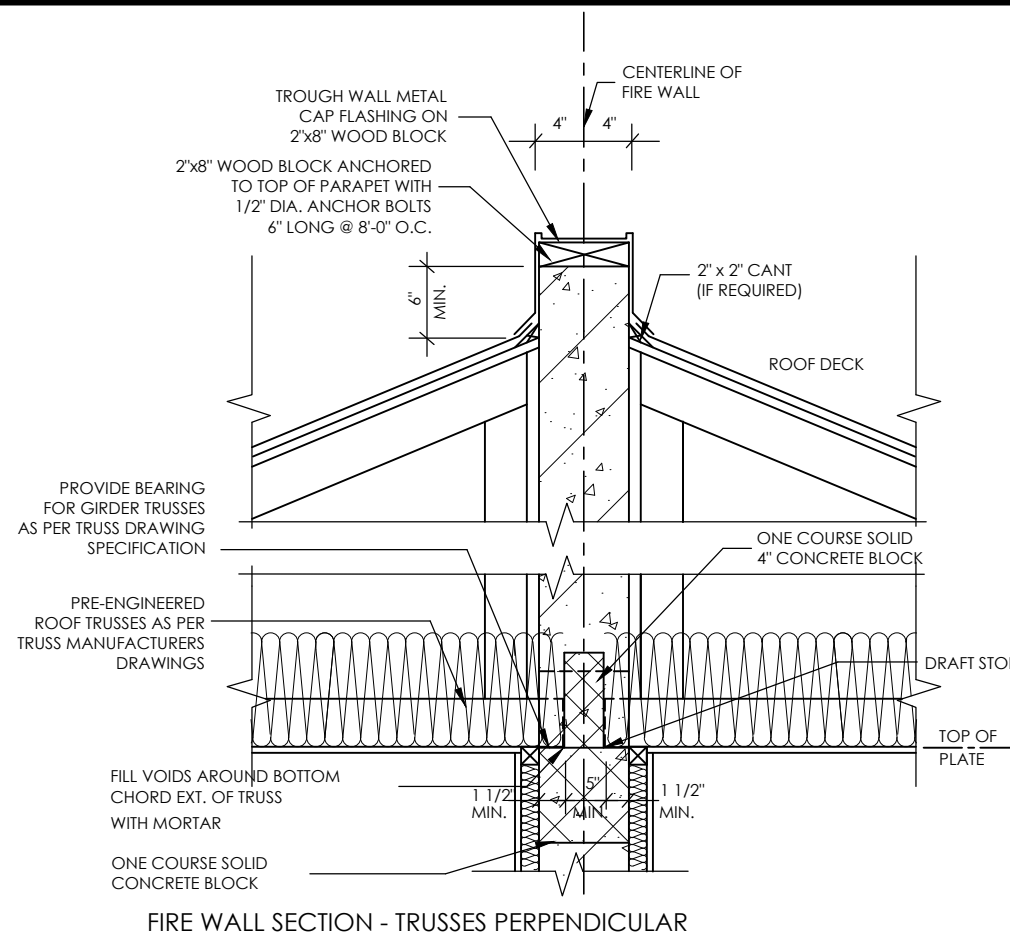
Compliance Package A1



MHP 23039

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OF PERMIT PLANS
Nov 14 2023

PER: *[Signature]*
CHIEF BUILDING OFFICER



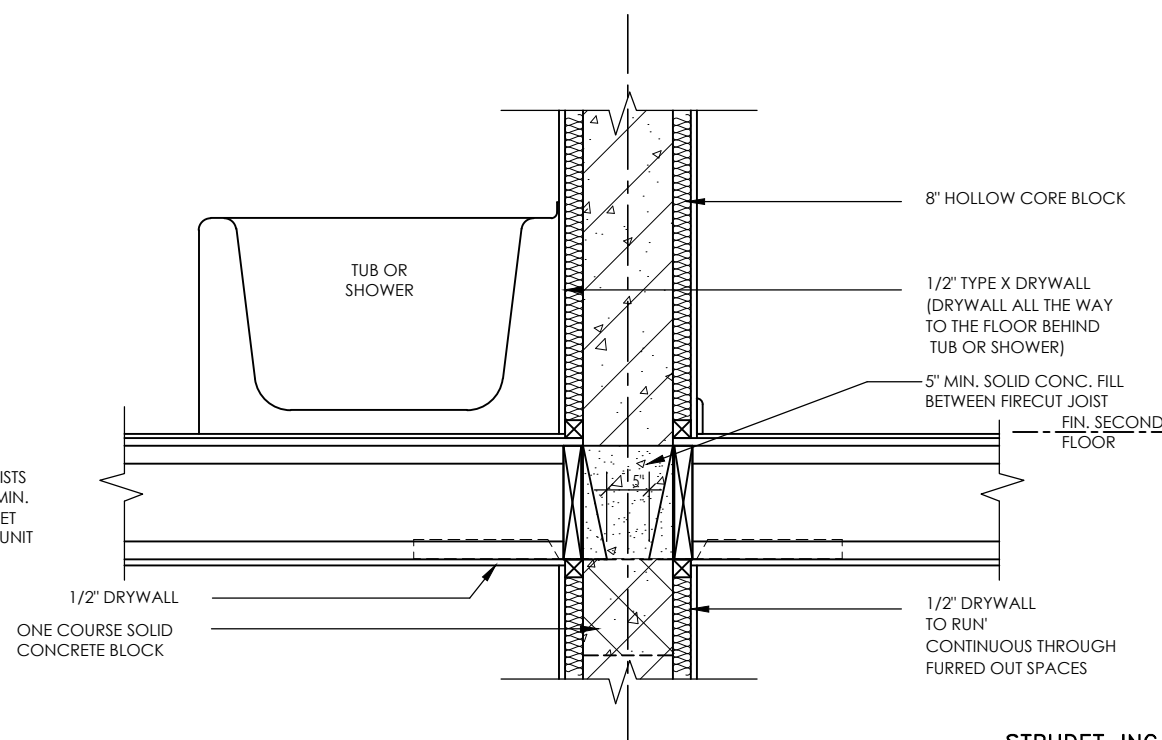
FIRE WALL SECTION - TRUSSES PERPENDICULAR

SOUND ABSORPTIVE MATERIAL REQUIREMENTS
SOUND ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE FIBRE. IT MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS FOR THE WALL TO PROVIDE THE LISTED STC VALUE.

SOUND TRANSMISSION RATING
MINIMUM REQUIRED S.T.C. RATING OF 50 (O.B.C. DIV. B 9.11.2.1(1))

FIRE RESISTANCE RATING
FIRE RESISTANCE RATING REQUIRED IS 2 HR. MIN. (AS PER SENTENCE DIV. B 3.1.10.2 O.B.C.)

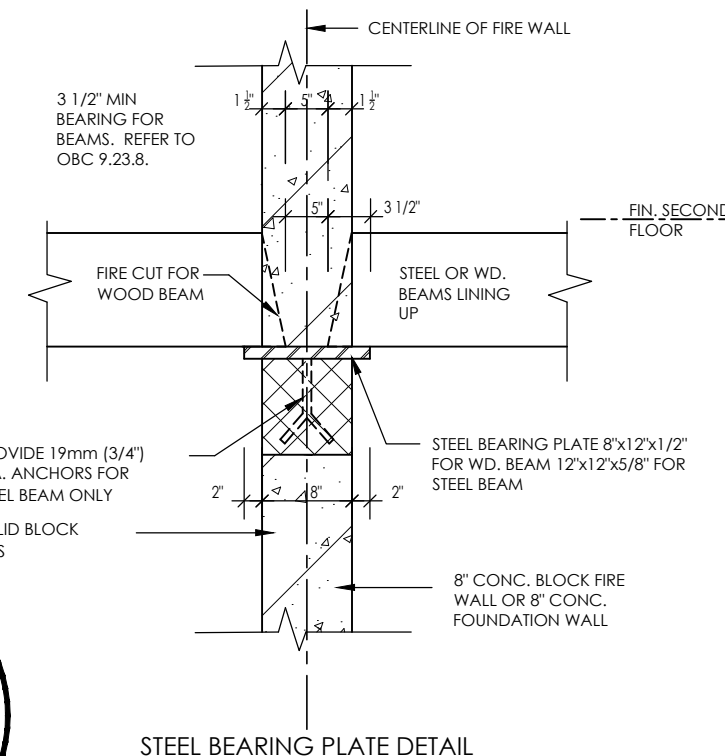
WALL TYPE
SEE SUPPLEMENTARY STANDARDS SB3 TABLE 1. (WALL NO. B6E) 8" (190MM) CONCRETE BLOCK WALL: WITH 1 1/2" x 1 1/2" STRAPPING & 1/2" DRYWALL FILLED W/ SOUND ABSORPTIVE MATERIAL EACH SIDE. (FRR 2H) (STC 57)



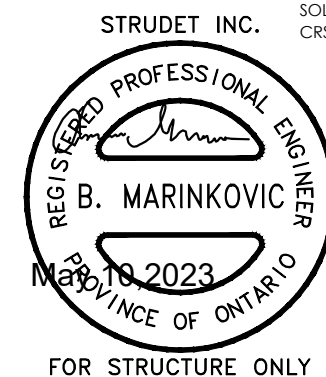
FIRE WALL SECTION @ BATH TUB

A FIREWALL SHALL EXTEND FROM THE GROUND CONTINUOUSLY THROUGH, OR ADJACENT TO, ALL STOREYS OF A BUILDING. (O.B.C. 3.1.10.3 (1))

ENGINEERED FLOOR SYSTEM INSTALLATION TO CONFORM TO MANUFACTURES APPROVED DETAILS AND SPECIFICATIONS



STEEL BEARING PLATE DETAIL



FOR STRUCTURE ONLY

TYPE. 2 STOREY FIRE WALL SECTION
TRUSSES PARALLEL TO PARTY WALL

Compliance Package A1

	<p>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</p> <p>Qualification Information</p> <table><tr><td>Jamie Mack</td><td>35923</td><td></td></tr><tr><td>Name</td><td>BCIN</td><td>Signature</td></tr><tr><td>Registration Information</td><td>Mackitecture</td><td>103532</td></tr></table>	Jamie Mack	35923		Name	BCIN	Signature	Registration Information	Mackitecture	103532	 <p>www.mackitecture.ca 975A Elgin Street West, Suite 353 Cobourg, ON K9A 5J3 Tel: 416-735-8190 Email: info@mackitecture.ca</p>	<table><tr><td colspan="4">title Fire Wall</td></tr><tr><td>scale 3/4" = 1'-0"</td><td>by Greenpark</td><td>area -</td><td rowspan="2">sheet no. 3</td></tr><tr><td>date 2023-04-28</td><td>type -</td><td>project no. 21-018</td></tr></table>	title Fire Wall				scale 3/4" = 1'-0"	by Greenpark	area -	sheet no. 3	date 2023-04-28	type -	project no. 21-018	 <p>www.greenparkgroup.ca</p> <p>project name Zadorra Estates Inc.</p>
Jamie Mack	35923																							
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date 2023-04-28	type -	project no. 21-018																						
<p>Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.</p>																								

TIGHTLY SEAL ANY GAPS WITH MINERAL WOOL OR NON-COMBUSTIBLE MATERIAL AS PER O.B.C. 9.10.11.2(3)

CORPORATION OF THE CITY OF OSHAWA
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Nov 14 2023
PER: *C. Marinkovic*
CHIEF BUILDING OFFICIAL

MHP 23039

STRUDET INC.



FOR STRUCTURE ONLY

38x89 (2"x4") STUDS @ 400 O.C. WITH 15.9mm (5/8") TYPE 'X' GYPSUM BOARD ONE LAYER ON EACH SIDE. SUPPLEMENTARY STANDARDS SB3, TABLE 1, W/d WALL ASSEMBLY.

SOUND ABSORPTIVE MATERIAL REQUIREMENTS
SOUND ABSORPTIVE MATERIAL INCLUDES FIBRE PROCESSED FROM ROCK, SLAG, GLASS OR CELLULOSE FIBRE. IT MUST FILL AT LEAST 90% OF THE CAVITY THICKNESS FOR THE WALL TO PROVIDE THE LISTED STC VALUE.

SOUND TRANSMISSION RATING
MINIMUM REQUIRED S.T.C. RATING OF 50 (O.B.C. DIV. B 9.11.2.1(1))

WALL TYPE
SEE SUPPLEMENTARY STANDARDS SB3 TABLE 1, W/13A BEARING WALL WITH 2 ROWS OF 2X4 SPR. @ 16" O.C. ON SEPARATE 2X4 PLATES SET 1" APART WITH 4" ABSORPTIVE MATERIAL AND 1 LAYER 5/8" TYPE 'X' GYPSUM WALL BOARD ON EACH SIDE (SEE NOTES 5 TO TABLE 1)

FIRE RESISTANCE RATING
FIRE RESISTANCE RATING REQUIRED IS 1 HR. MIN. (AS PER SENTENCE DIV. B 9.10.11.2.1(1) O.B.C.)

ALL GYPSUM BOARD TO BE TIGHT FIR AGAINST ROOF SHEATHING AND ROOF TRUSSES. MIDDLE GYPSUM BOARD BETWEEN TWO TRUSSES TO BE TIGHTLY SCREWED TO BOTH TRUSSES.

PER-ENGINEERED ROOF TRUSSES BY TRUSS MFG. @ 24" O.C.

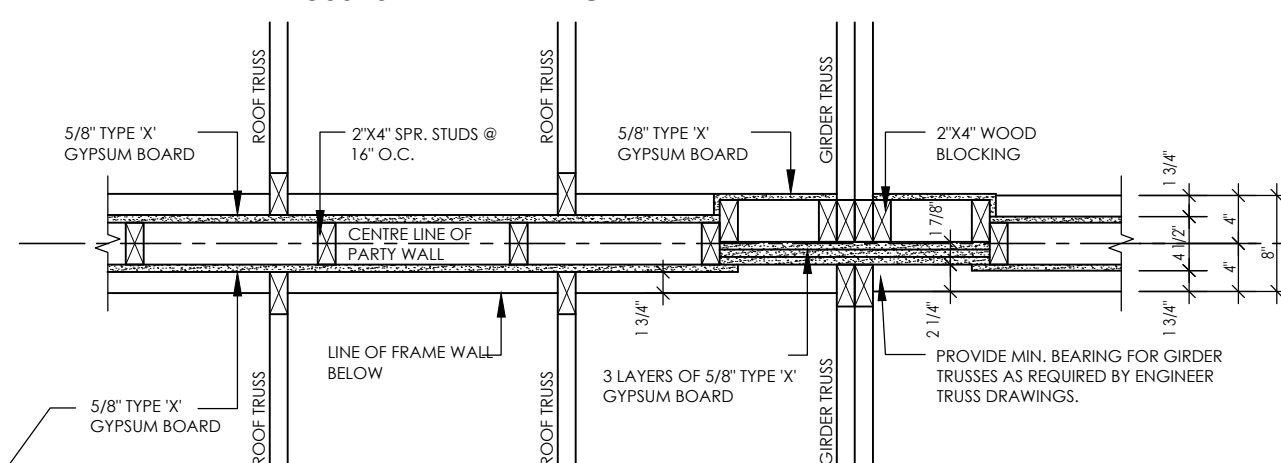
5/8" TYPE 'X' GYPSUM WALL BOARD

TOP OF PLATE

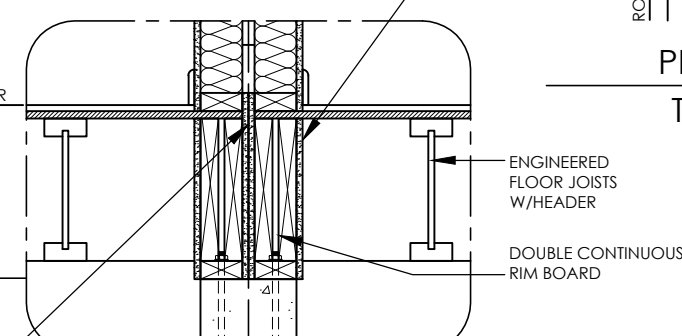
2 LAYERS OF 1/2" GYPSUM WALL BOARD FOR FIRE-STOPPING CONTINUOUS

3 ROWS (TOP, MIDDLE AND BOTTOM) OF 1"x4" STRAPPING TO RESTRAIN INSULATION FROM FALLING OUT.

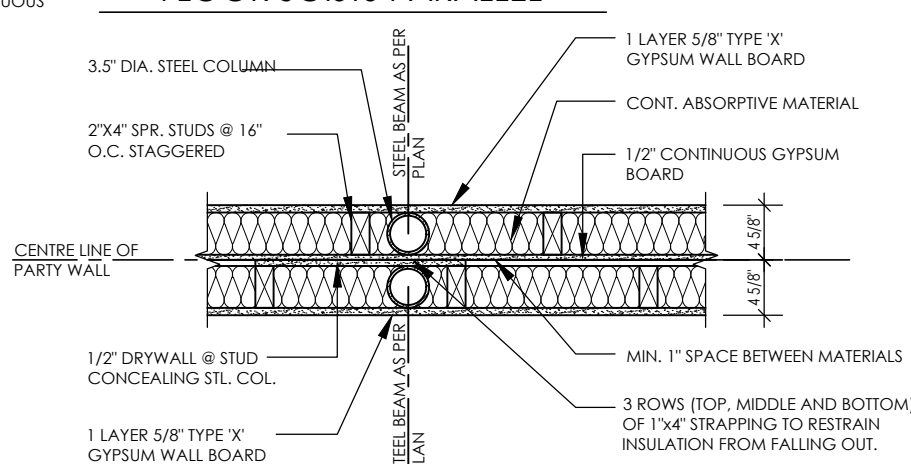
SECTION @ FIRE SEPARATION IN ROOF SPACE TRUSSES PARALLEL TO PARTY WALL



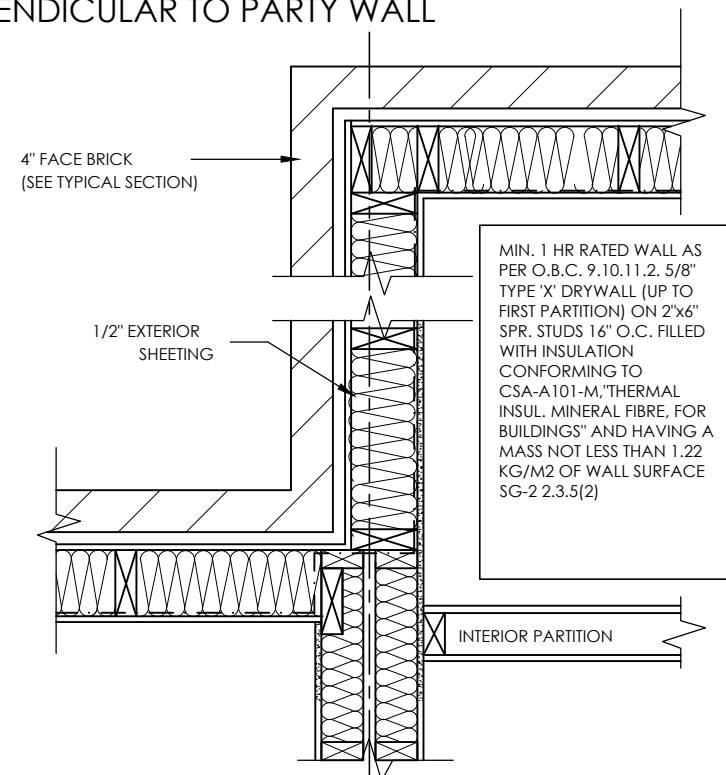
PLAN OF FIRE SEPARATION IN ROOF SPACE TRUSSES PERPENDICULAR TO PARTY WALL



FLOOR JOISTS PARALLEL



PLAN OF PARTY WALL IN GARAGE



PARTY WALL PLAN SECTION

Compliance Package A1

WOOD FRAME PARTY WALL

TRUSSES PERPENDICULAR TO PARTY WALL



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Qualification Information

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Name BCIN Signature
Registration Information Mackitecture 103532



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Tel: 416-735-8190 Email: info@mackitecture.ca

Party Wall - Wood

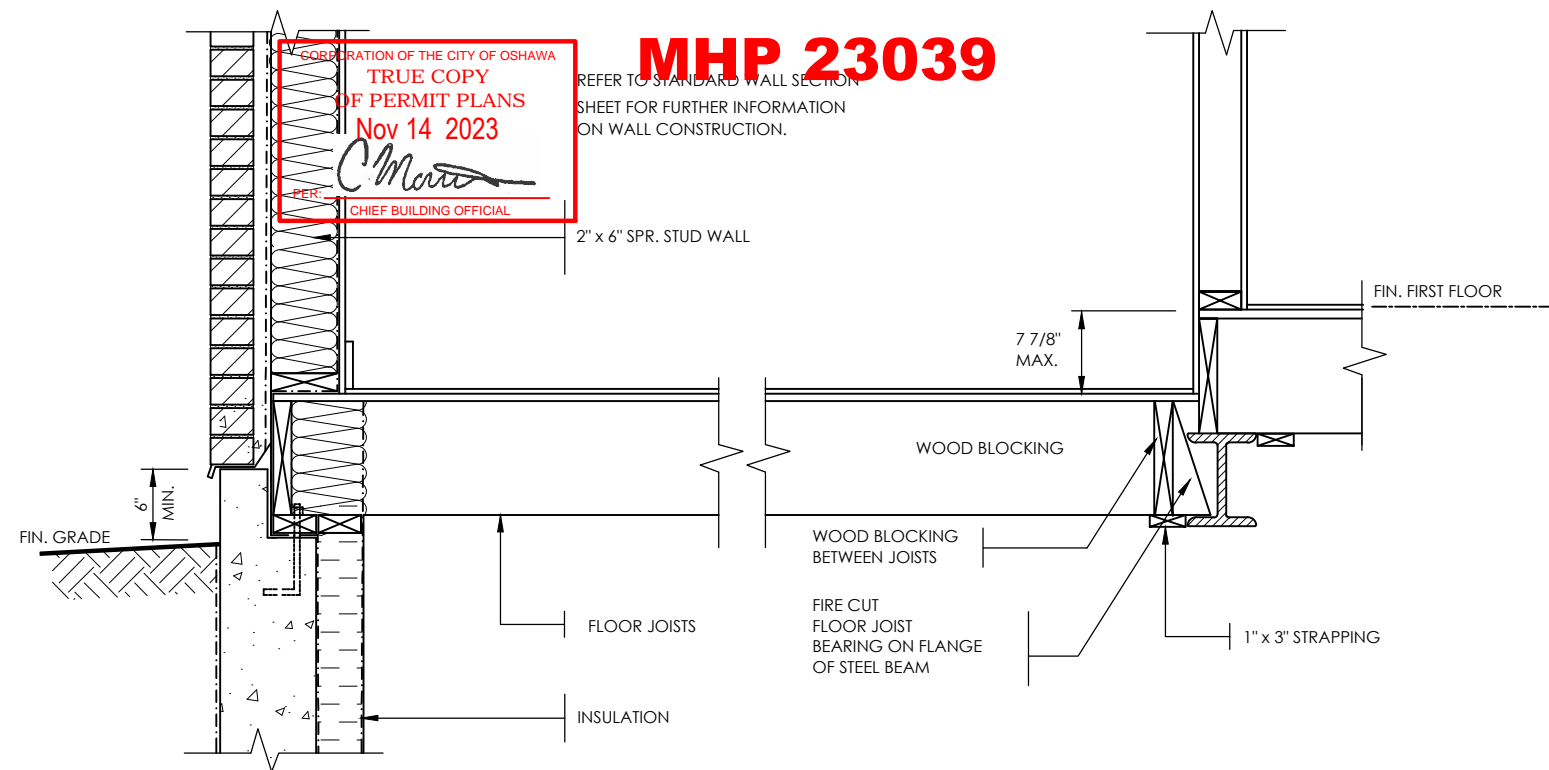
scale 3/4" = 1'-0" by Greenpark area - sheet no. 4
date 2023-04-28 type - project no. 21-018



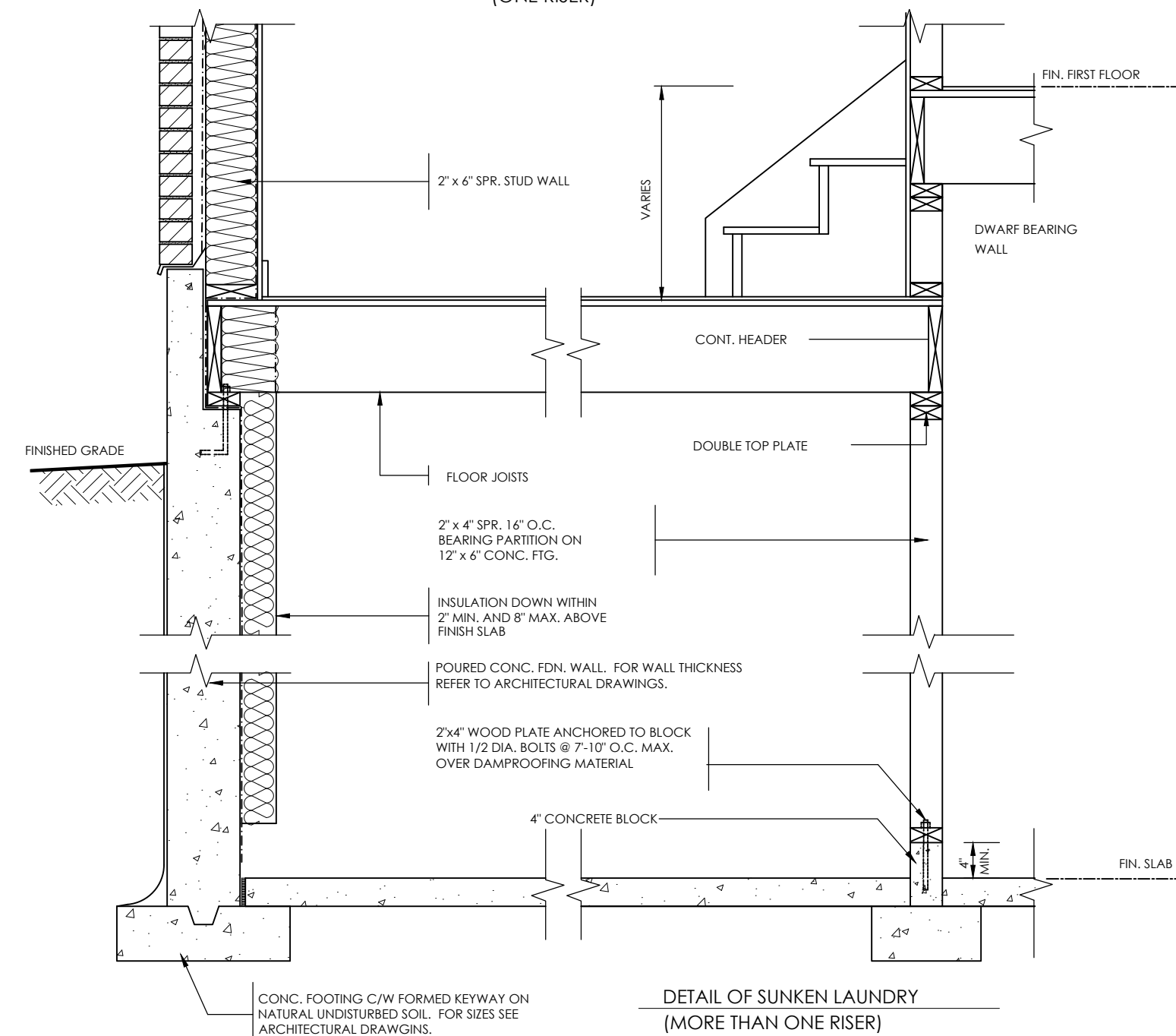
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project name
Zadorra Estates Inc.

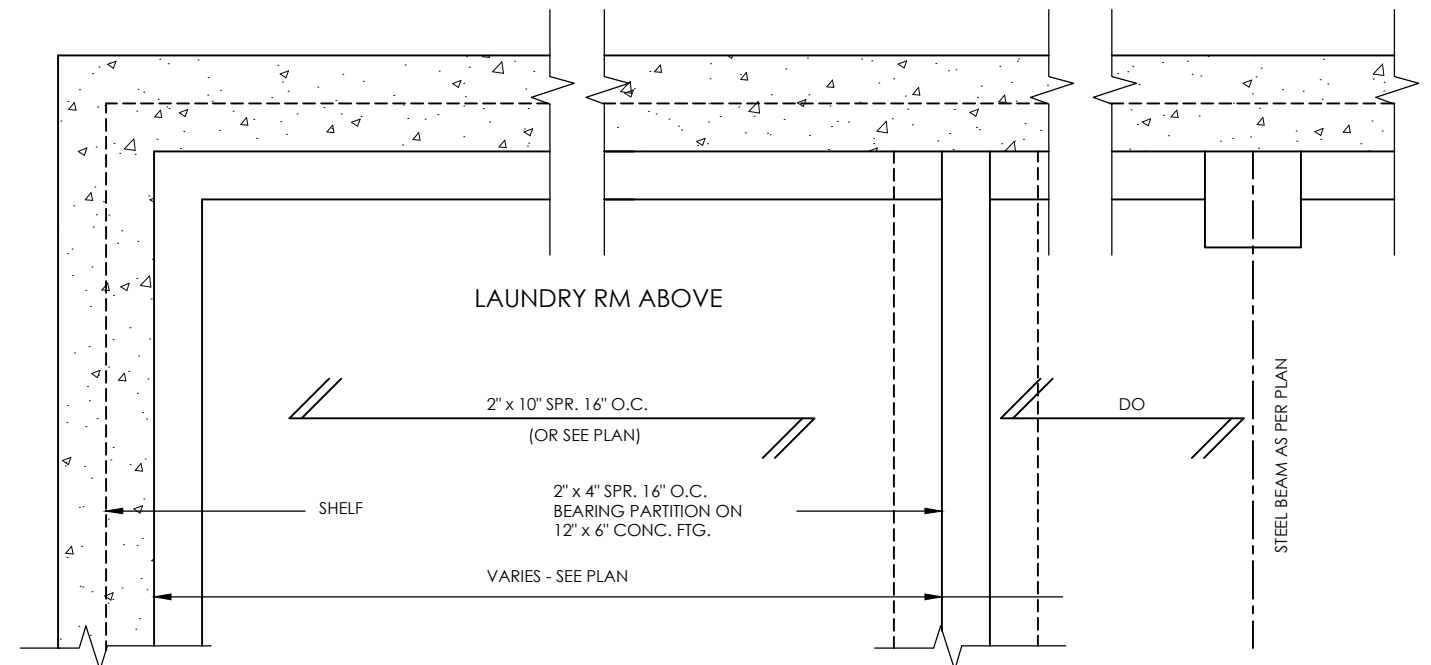
Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.



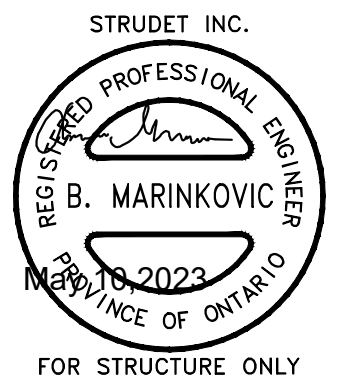
DETAIL OF SUNKEN LAUNDRY
(ONE RISER)



DETAIL OF SUNKEN LAUNDRY
(MORE THAN ONE RISER)



PARTIAL PLAN



Compliance Package A1

Sunken Laundry Details

scale	by	area	sheet no.
3/4" = 1'-0"	Greenpark	-	5
date	type	project no.	
2023-04-28	-	22-012	

Greenpark
www.greenparkgroup.ca

Zadorra Estates Inc.

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EAVE PROTECTION SHALL BE PROVIDED FROM THE EDGE OF ROOF A MIN. 3'-0" (900mm) UP FROM THE ROOF SLOPE TO A LINE NOT LESS THAN 1'-0" (300mm) INSIDE THE INNER FACE OF THE EXTERIOR WALL. EAVE PROTECTION SHALL BE LAID BENEATH THE STARTER STRIP AND SEAL CONSISTING OF TWO LAYERS OF ASPHALT CEMENT ROOFING SHEETS.

BAFFLES AS REQUIRED FOR ROOF VENTILATION

PROVIDE ROOF VENTILATION @ A RATE OF 1:300 OF INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

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OF PERMIT PLANS
NOV 14 2023
PER: *Chen*
CHIEF BUILDING OFFICIAL

210 ASPHALT SHINGLES ON 3/8" T&G SHEATHING USE "H" CLIPS FOR TRUSSES

STARTER STRIP OF ROOF SHINGLES REQUIRED

2"x5" FASCIA BOARD
PREFINISHED METAL GUTTER,
FASCIA AND VENTED SOFFIT

4" FACE BRICK TIED TO STUDS WITH GALVANIZED 7/8" WIDE METAL TIES @ 16" o.c. HORIZONTAL AND 24" o.c. VERTICAL

1" AIR SPACE

#15 BUILDING PAPER OVER 7/16" O.S.B. EXTERIOR SHEATHING, 2"x6" SPR. STUDS @ 16" o.c. FILLED WITH R-22 INSULATION AND 6 MIL. POLY VAPOUR BARRIER

CONTINUOUS HEADER JOIST W/ R-22 INSULATION W/ 6 MIL. VAPOUR BARRIER AND SEAL TO JOIST AND SUBFLOOR

SCREENED WEEPING HOLES 3/8" DIA. AT 24" o.c. AT BOTTOM OF CAVITY 6 MIL. POLYETHYLENE BASE FLASHING BENEATH WEEPING AND 6" UP BEHIND BUILDING PAPER

HEAVY COAT OF BITUMEN OVER CONC. WALL

FOUNDATION WALLS TO BE WATER PROOFED OR PROVIDE A DRAINAGE LAYER ADJACENT TO EXT. SURFACE OF FOUNDATION WALL AND EXTEND TO FOOTING LAYER OR PROVIDE 'SYSTEM PLANTON AIR GAP MEMBRANE'

CEMENT COVE

4" DIA. WEEPING TILES W/ 6" CRUSHED STONE COVER

FIN. SLAB

CONC. FOOTING C/W FORMED KEYWAY ON NATURAL UNDISTURBED SOIL. FOR FOOTING SIZES SEE ARCHITECTURAL DRAWINGS.

2 STOREY WALL SECTION

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www.mackitecture.ca

975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

title

2x6 Brick Veneer 2 Storey

scale
3/4" = 1'-0"

by
Greenpark

area
-

sheet no.

6

date
2023-04-28

type
-

project no.
22-012

project name

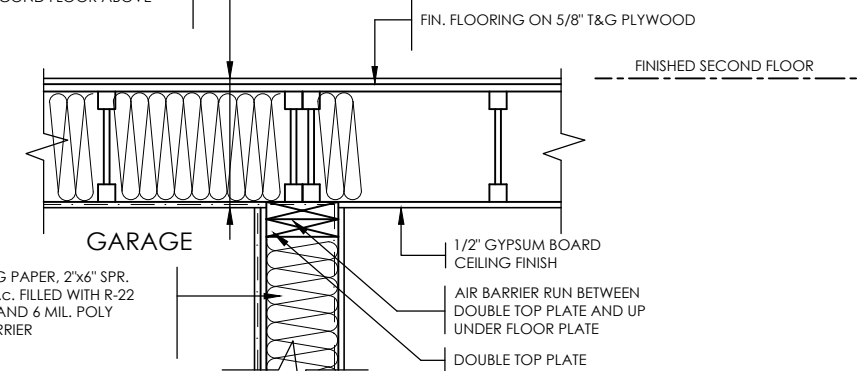
Zadorra Estates Inc.

STRUDET INC.

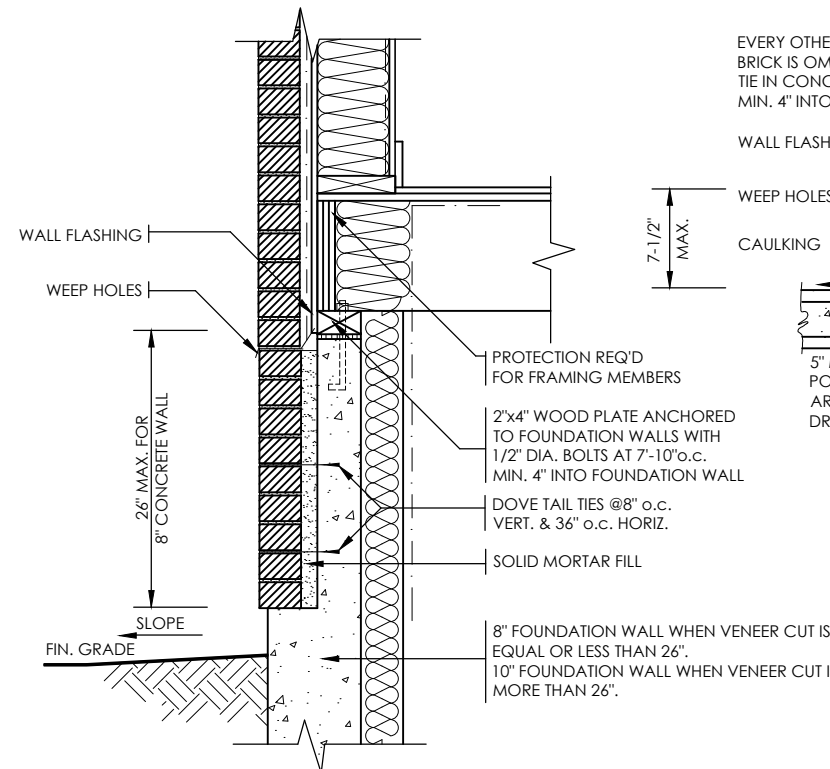


FOR STRUCTURE ONLY

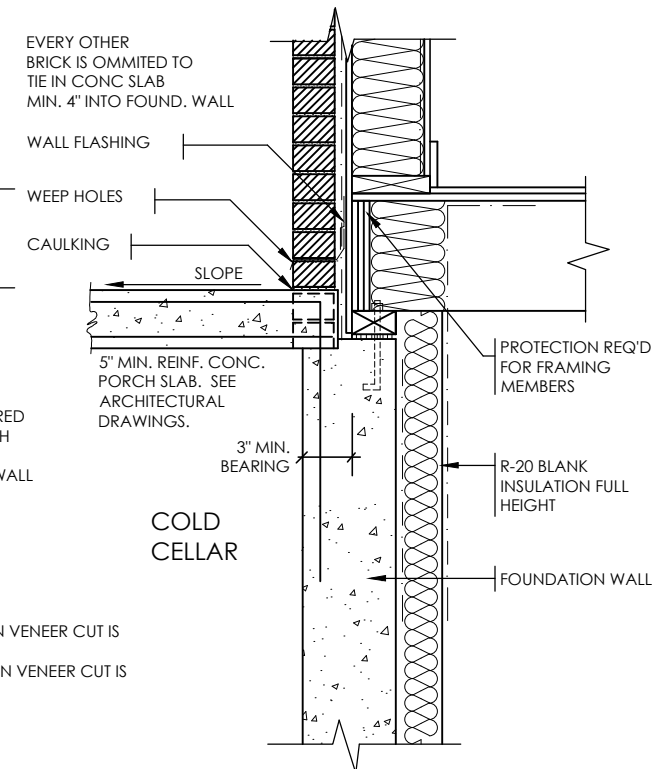
1/2" (13mm) DRYWALL FINISH OVER CONT. 6 MIL. POLY VAPOUR/AIR BARRIER & MIN. R-31 INSULATION. (DRYWALL ON THE CEILING ONLY WHEN THERE IS NO SECOND FLOOR ABOVE GARAGE)



DETAIL FOR INTERIOR GARAGE WALLS & CEILINGS



DETAIL FOR CONCRETE VENEER DROPPED GRADE



DETAIL FOR COLD CELLAR PORCH SLAB

Compliance Package A1

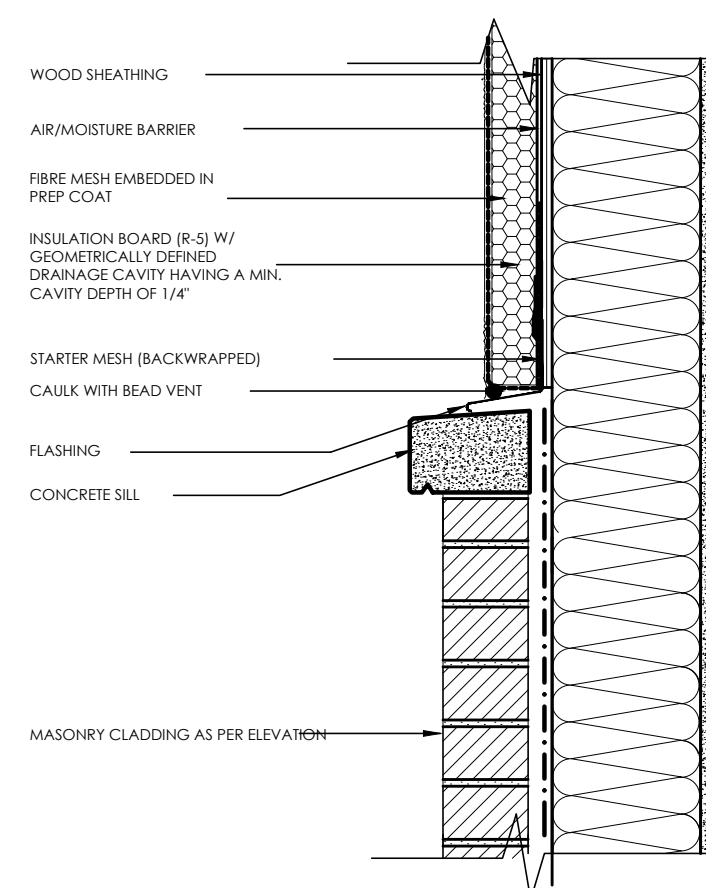
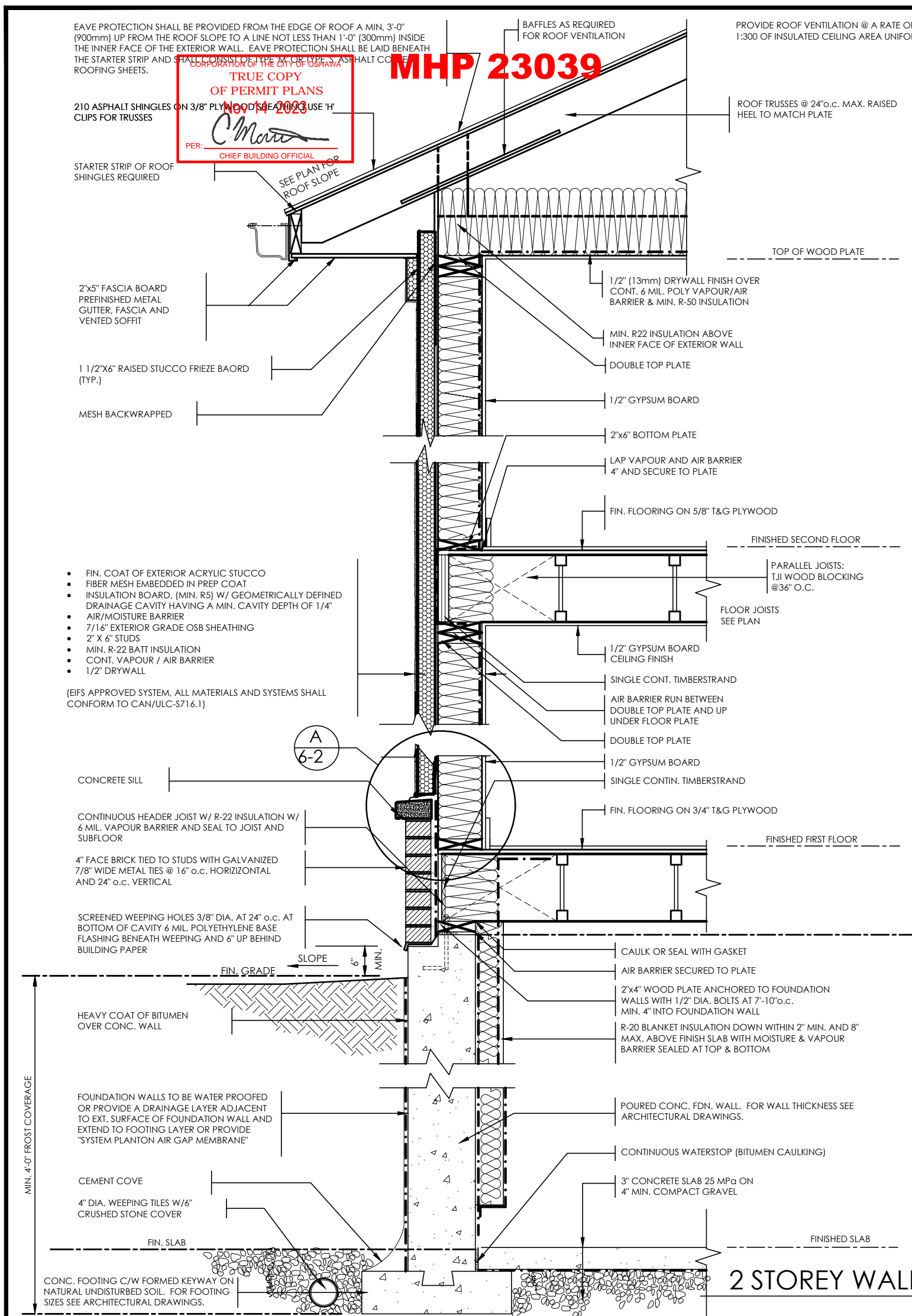
Greenpark

www.greenparkgroup.ca

project name

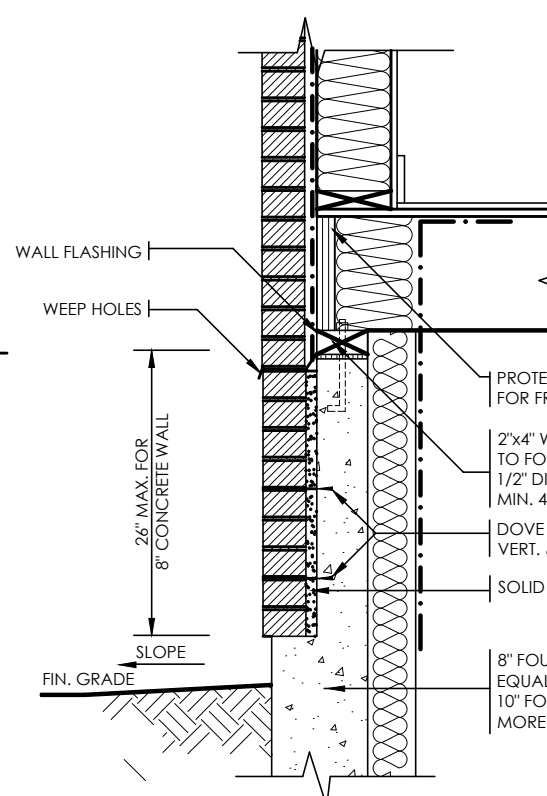
Zadorra Estates Inc.

Contractor shall check all dimensions and elevations before commencing with work and report any discrepancies to the Designer. Prints are not to be scaled.

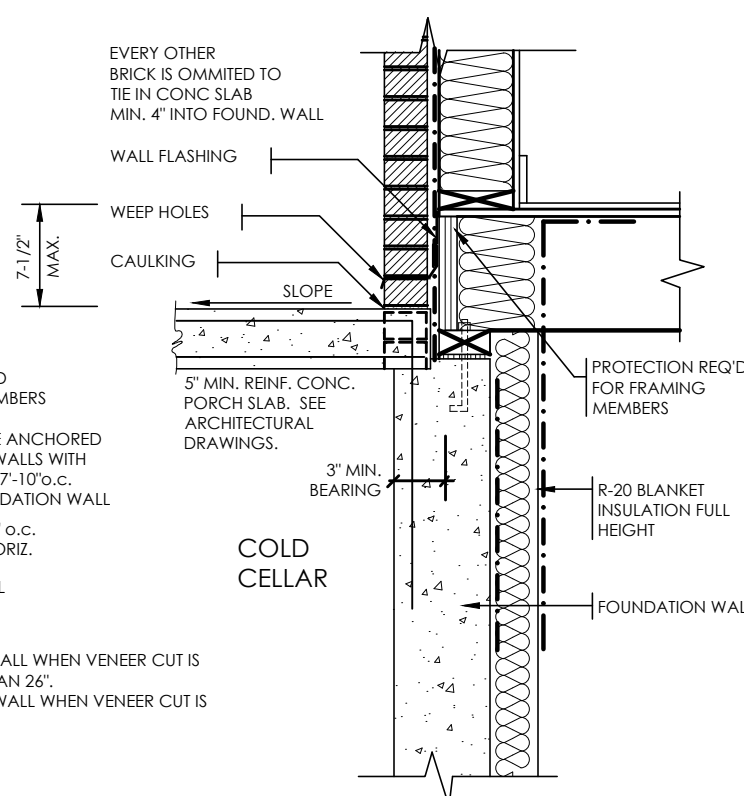


A. TERMINATION AT MASONRY CLADDING WITH SEALANT

1 1/2" = 1'0"



DETAIL FOR CONCRETE VENEER DROPPED GRADE



DETAIL FOR COLD CELLAR PORCH SLAB

Compliance Package A1

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Qualification Information

Jamie Mack 35923
Name BCIN Signature

Registration Information **Mackitecture** 103532

www.mackitecture.ca

975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

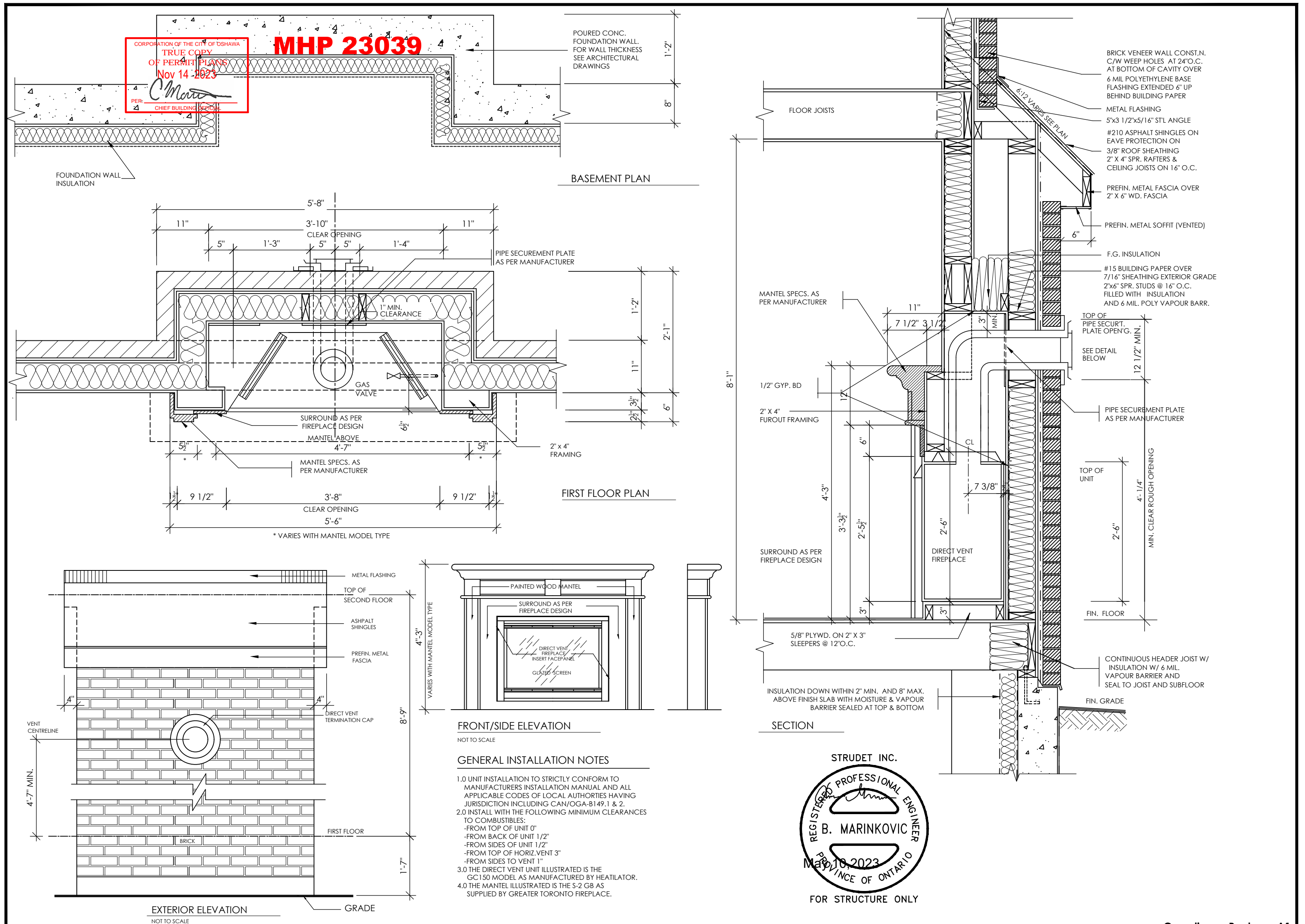
Title **2x6 Stucco Wall 2 Storey**

scale as noted	by Greenpark	area -	sheet no. 6-2
date 2023-04-28	type -	project no. 22-012	

Greenpark

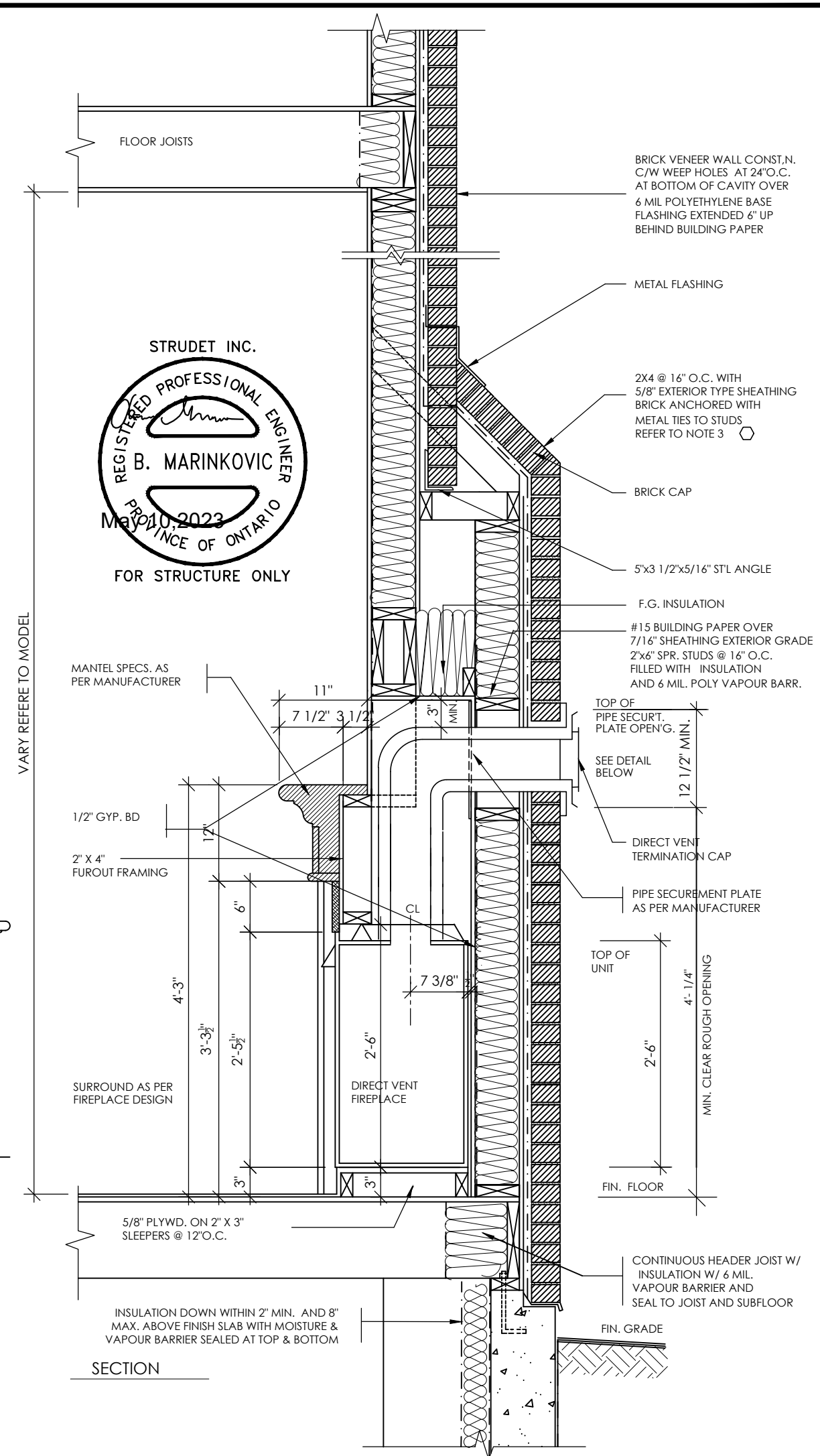
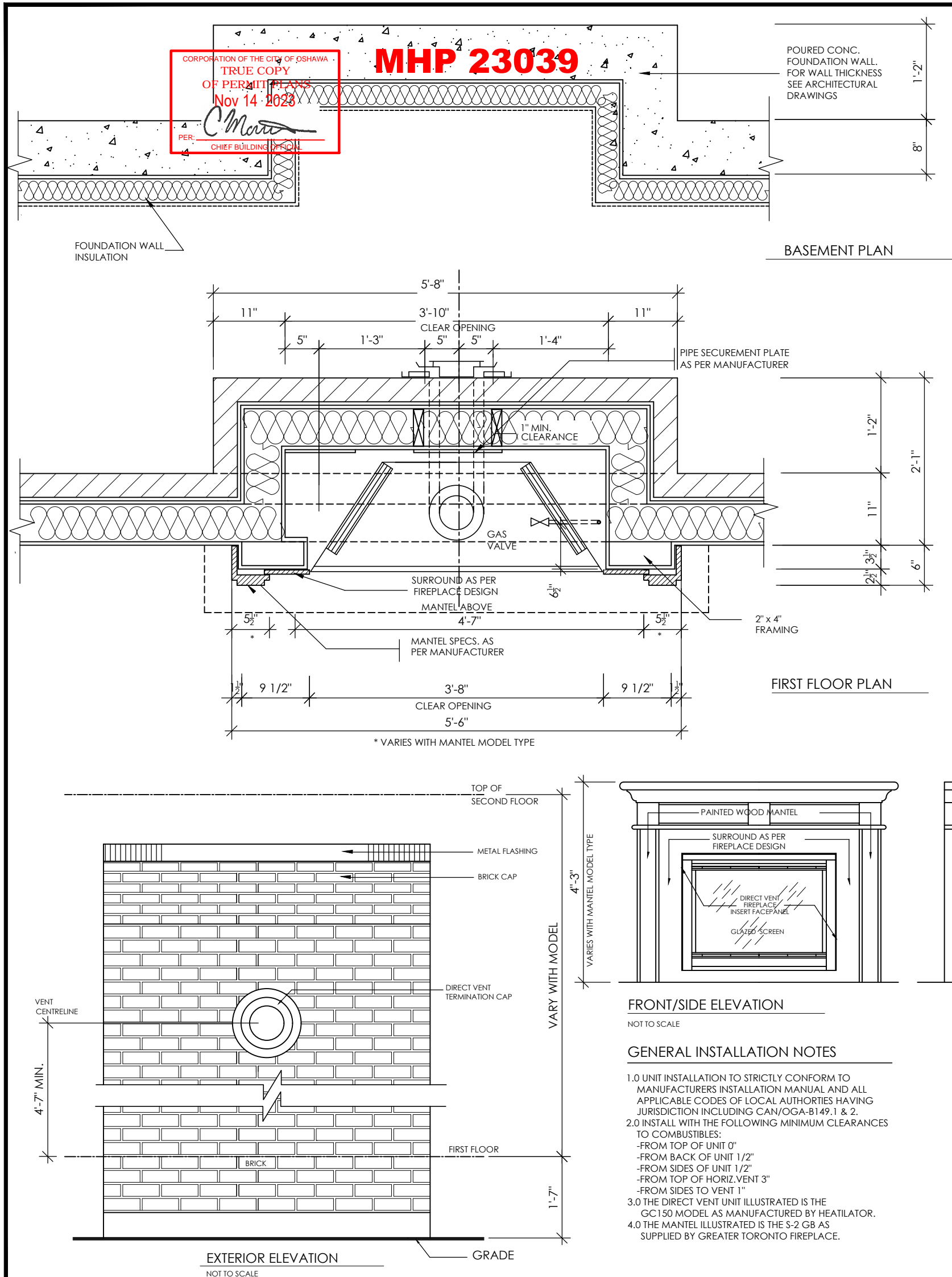
www.greenparkgroup.ca

project name
Zadorra Estates Inc.



Compliance Package A1

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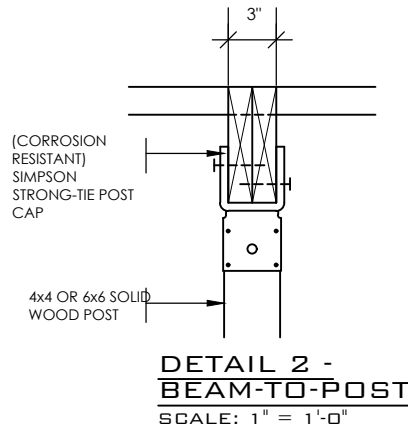


Compliance Package A1

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2" x 2" PICKETS CHAMFERED AT BOTTOM WITH 2" x 6" TOP CAP AND 2" x 4" TOP RAIL (REFER TO DETAIL 1)

3'-6" HIGH WOOD RAILING IF DECK FLOOR IS MORE THAN 5'-11" ABOVE GRADE AND 3'-0" HIGH WOOD RAILING IF DECK IS LESS THAN 5'-11" ABOVE GRADE

MAX. 4" OPENING BETWEEN PICKETS

5/4x6 (PRESSURE TREATED) DECKING WITH 1/4" GAP

RIM JOISTS (PRESSURE TREATED)

GUARDS FOR STAIRS SHALL NOT BE LESS THAN 2'-11" HIGH MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF THE STAIR NOSINGS

47/8" MIN.
77/8" MAX.

2x4 WOOD BLOCKING @ 4'-0" O.C. MIN. BETWEEN STRINGERS

2x12 STRINGER

PRECAST CONCRETE SLAB

(CORROSION RESISTANT) SIMPSON STRONG-TIE COLUMN BASE. 1/2" DIA. ANCHOR BOLT.

12" CONC. PIER

DECK SECTION WITH BRICK VENEER

SCALE: 1/2" = 1'-0"

D1

D1

D2

D3

D4

D5

D6

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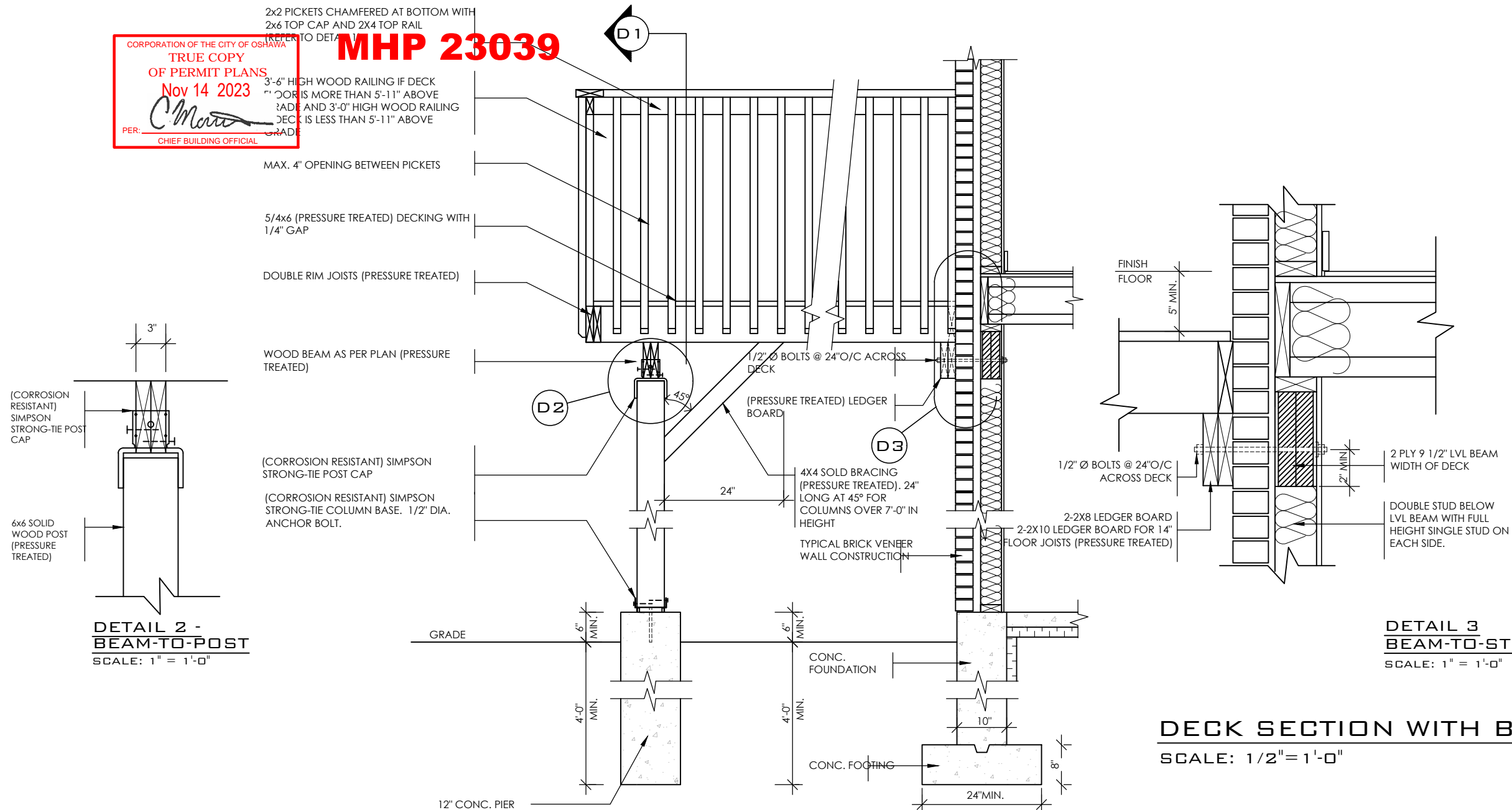
D299

D300

D301

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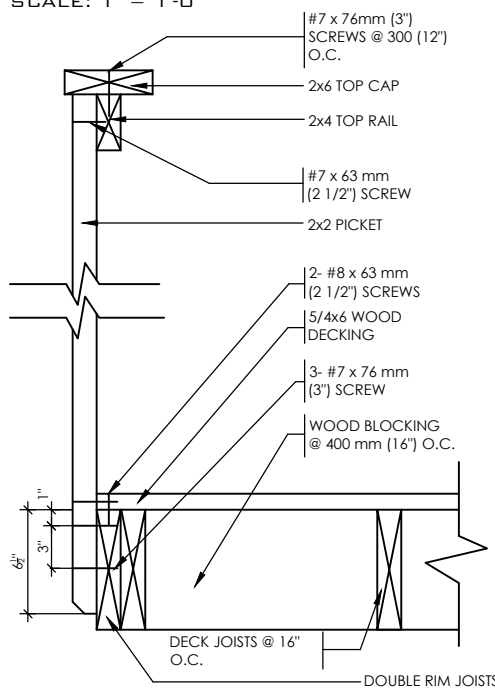


DETAIL 2 -
BEAM-TO-POST
SCALE: 1" = 1'-0"

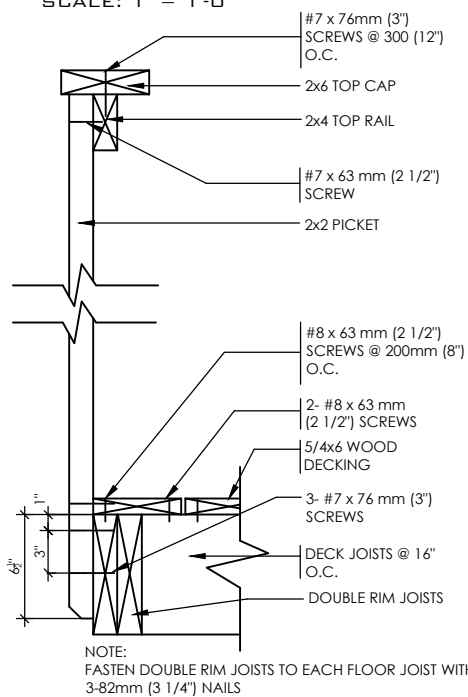
DETAIL 3
BEAM-TO-STUD WALL
SCALE: 1" = 1'-0"

DECK SECTION WITH BRICK VENEER
SCALE: 1/2" = 1'-0"

DETAIL 1
CANTILEVERED PICKET SCREWED TO RIM JOIST AND DECK
GUARD PARALLEL
TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GUARD PERPENDICULAR
TO FLOOR JOISTS
SCALE: 1" = 1'-0"



GENERAL NOTES

1. THE DECK HAS BEEN DESIGNED TO SAFELY SUPPORT A SUPERIMPOSED LOAD OF 1.9kPa [40psf]
2. ALL NAILS AND SCREWS TO BE GALVANIZED
3. WOOD FOR CANTILEVERED PICKETS SHALL BE DOUGLAS FIR-LARCH, SPRUCE-PINE-FIR, OR HEM-FIR SPECIES
4. CONCRETE SHALL HAVE COMPRESSIVE STRENGTH OF 20MPa AT 28 DAYS AND 5-8% AIR ENTRAINMENT
5. FOOTING TO BE PLACED ON UNDISTURBED SOIL WITH MIN. BEARING PRESSURE OF 150kPa [3130psf]



Compliance Package A1

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Qualification Information

Jamie Mack 35923
Name BCIN Signature
Registration Information Mackitecture 103532



www.mackitecture.ca

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Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

Walk-out Deck Details

scale	by	area	sheet no.
As shown	Greenpark	-	8-2
date	type	project no.	
2023-04-28	-	22-012	

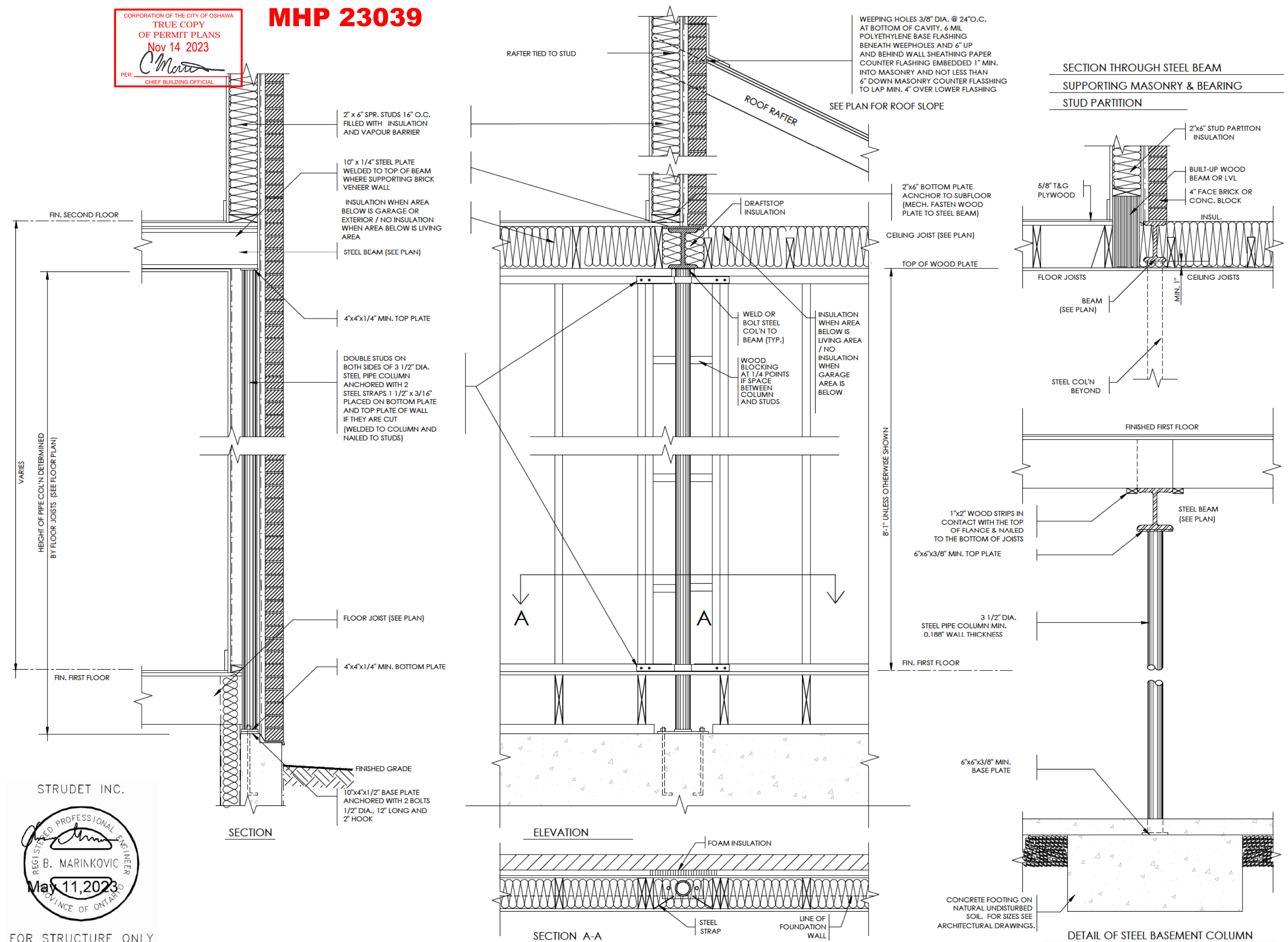


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project name
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CHIEF BUILDING OFFICIAL

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STRUDET INC.
REGISTERED PROFESSIONAL ENGINEER
B. MARINKOVIC
May 11, 2023
PROVINCE OF ONTARIO
FOR STRUCTURE ONLY

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Qualification Information

Jamie Mack	35923	<i>J. Mack</i>
Name	BCIN	Signature
Registration Information	Mackitecture	103532

Mackitecture
www.mackitecture.ca
975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

title Steel Column Details			
scale 3/4" = 1'-0"	by Greenpark	area -	sheet no. 9
date 2023-05-12	type -	project no. 22-012	

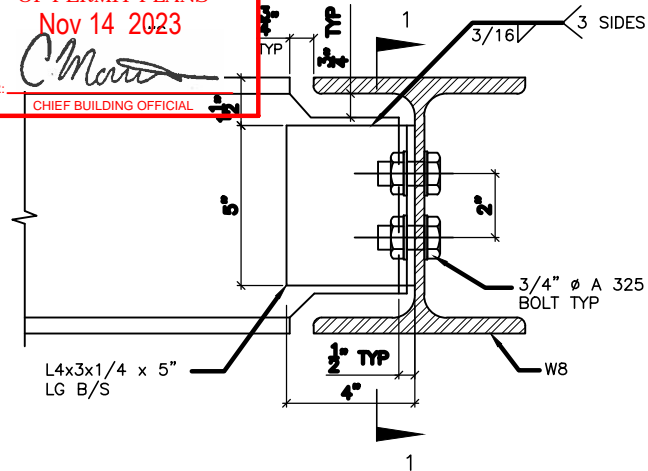
Greenpark
www.greenparkgroup.ca

project name
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Compliance Package A1

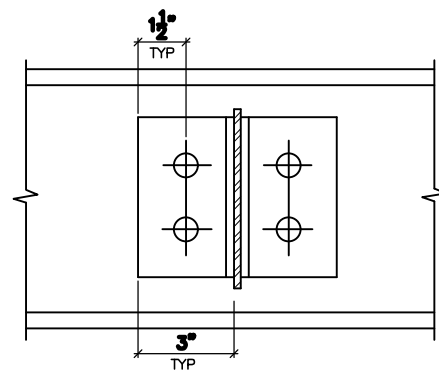
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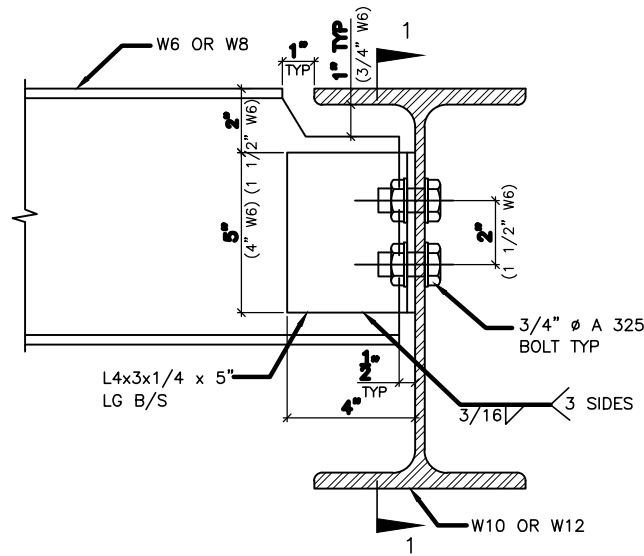


DETAIL 1.

W8
TO
W8
CONNECTION

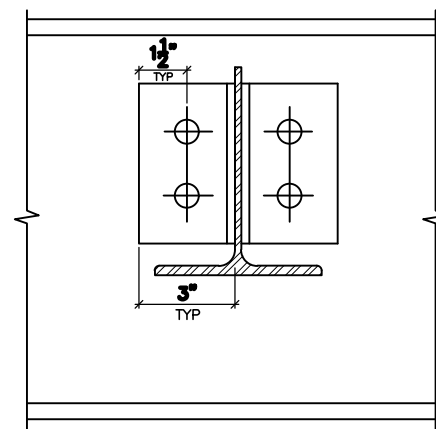


SECTION 1-1

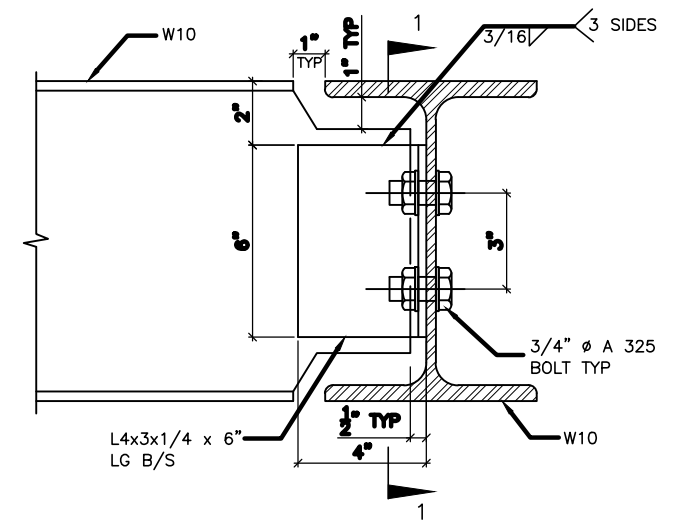


DETAIL 2.

W6(W8)
TO
W10(W12)
CONNECTION

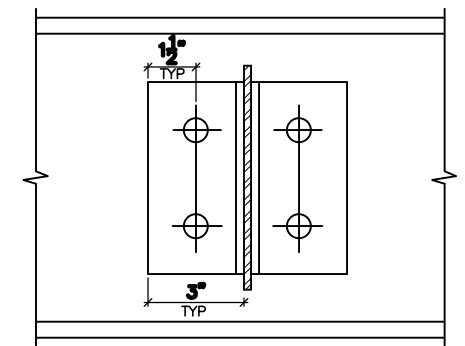


SECTION 1-1

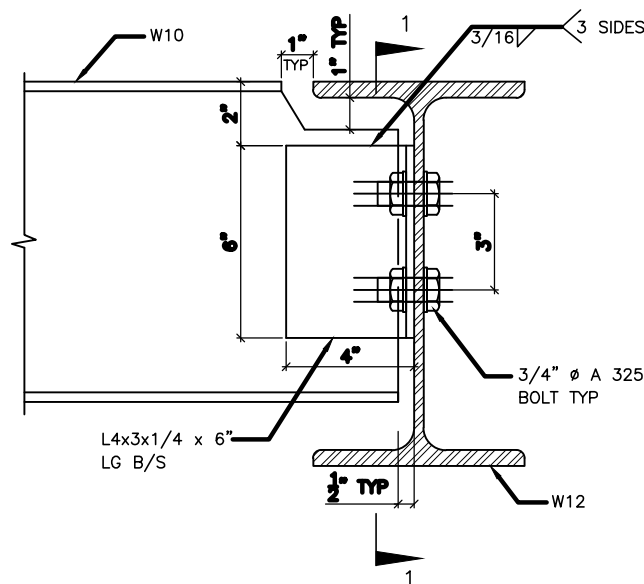


DETAIL 3.

W10
TO
W10
CONNECTION

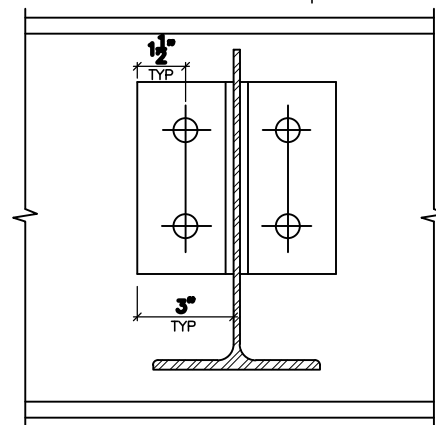


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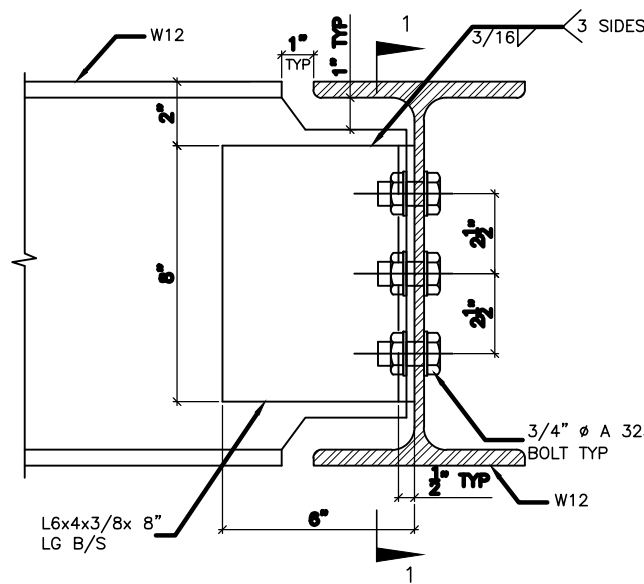


DETAIL 4.

W10
TO
W12
CONNECTION

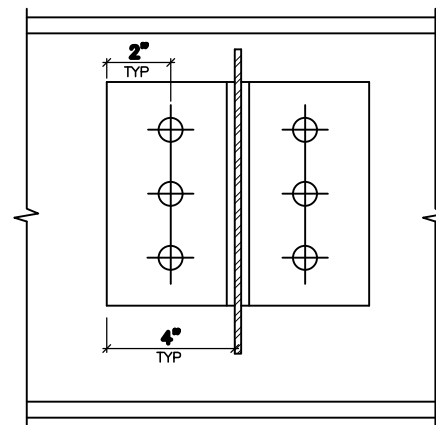


SECTION 1-1



DETAIL 5.

W12
TO
W12
CONNECTION



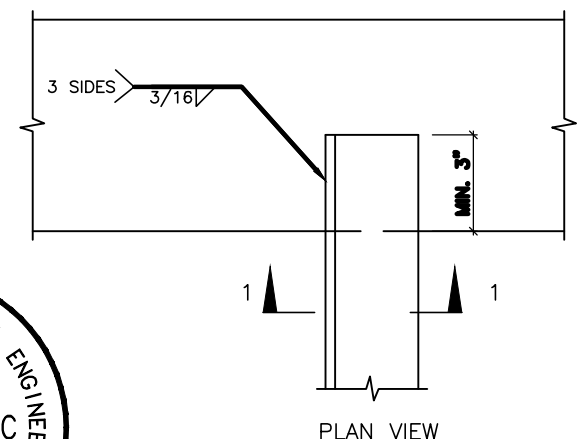
SECTION 1-1



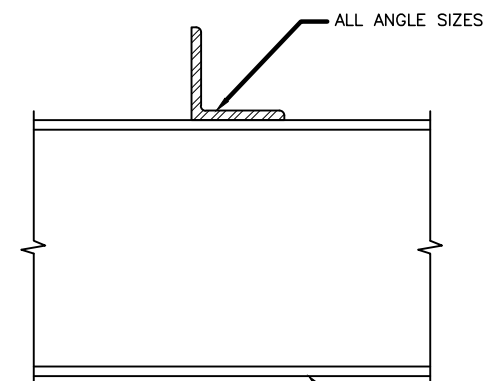
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DETAIL 6.

ANGLE
TO
BEAM
CONNECTION



PLAN VIEW



SECTION 1-1 ALL BEAM SIZES

Compliance Package A1

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Tel: 416-735-8190 Email: info@mackitecture.ca

Steel Beam Connection Details

scale not to scale by Greenpark area - sheet no. 10
date 2023-04-28 type - project no. 22-012



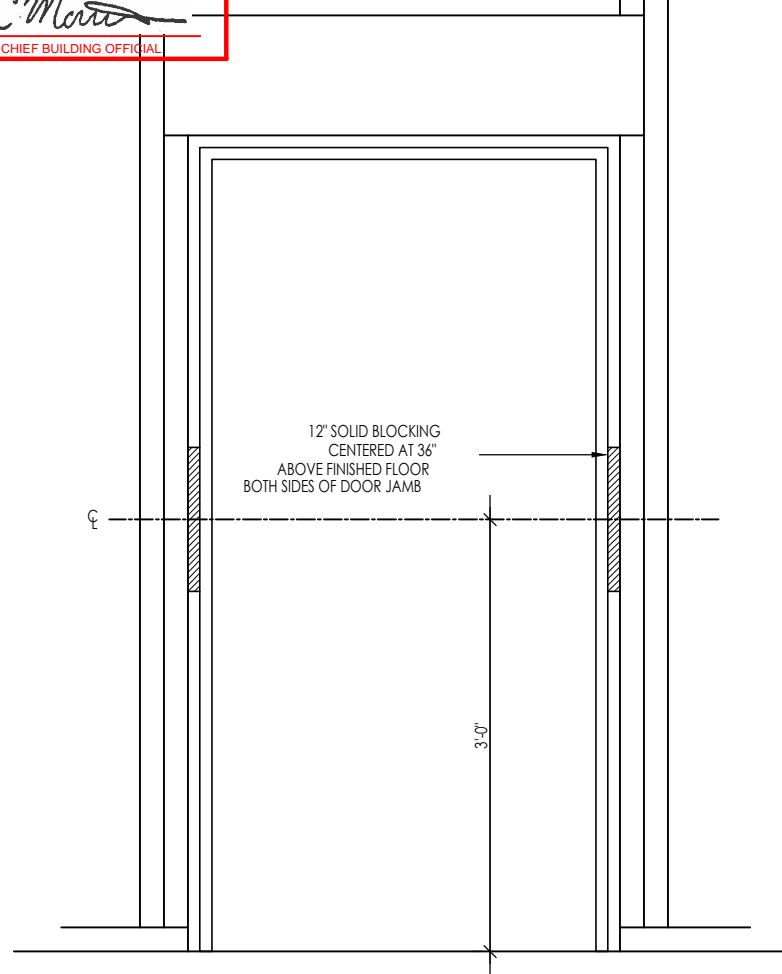
www.greenparkgroup.ca

project name Zadorra Estates Inc.

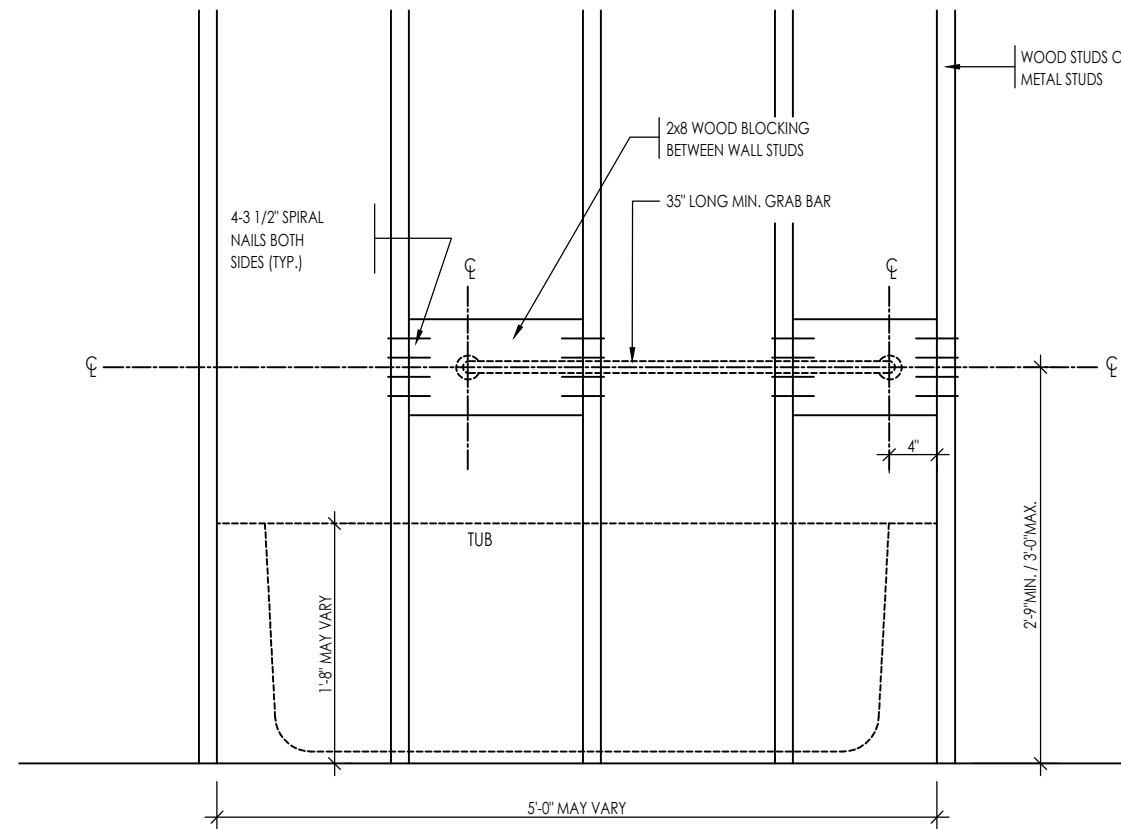
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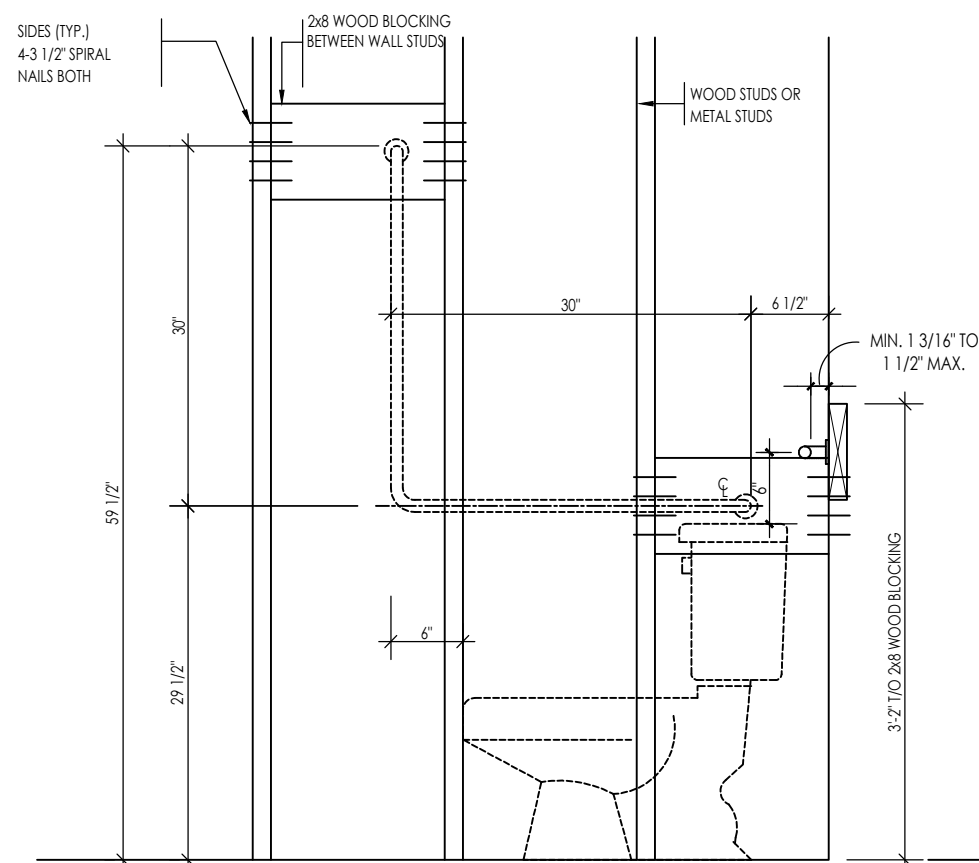
MHP 23039



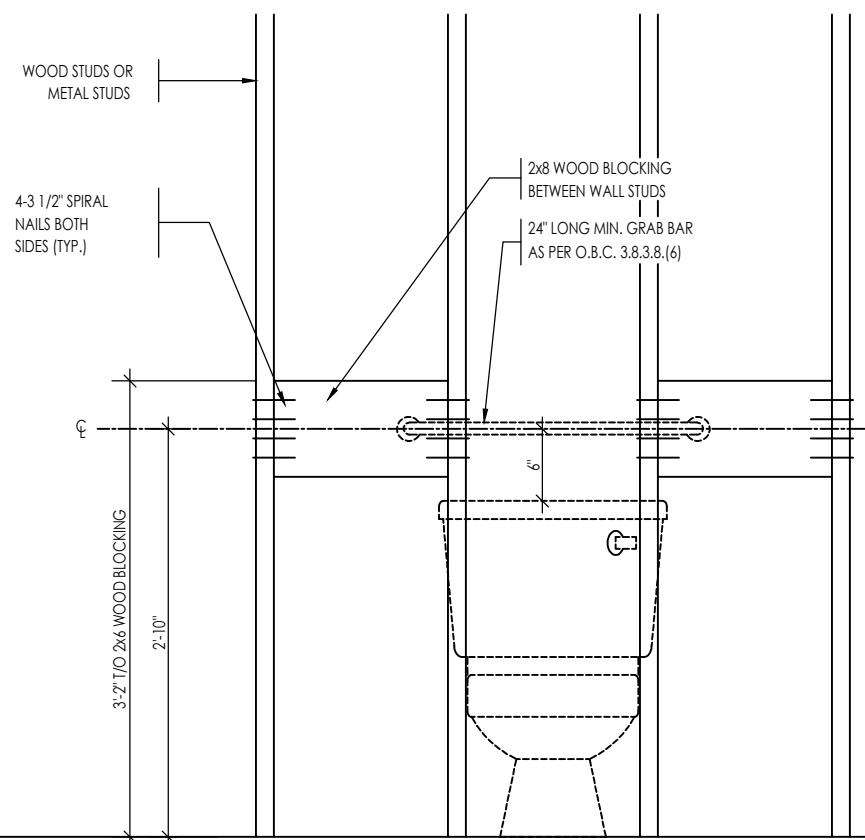
RESISTANCE TO FORCED ENTRY (OBC 9.6.8.)



BATH TUB FRONT ELEVATION

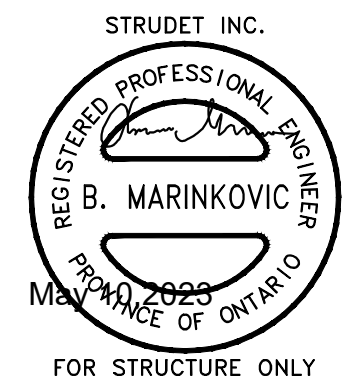


TOILET SIDE ELEVATION



TOILET FRONT ELEVATION

STRUCTURAL REINFORCEMENT FOR GRAB BAR (OBC 9.5.2.3.)

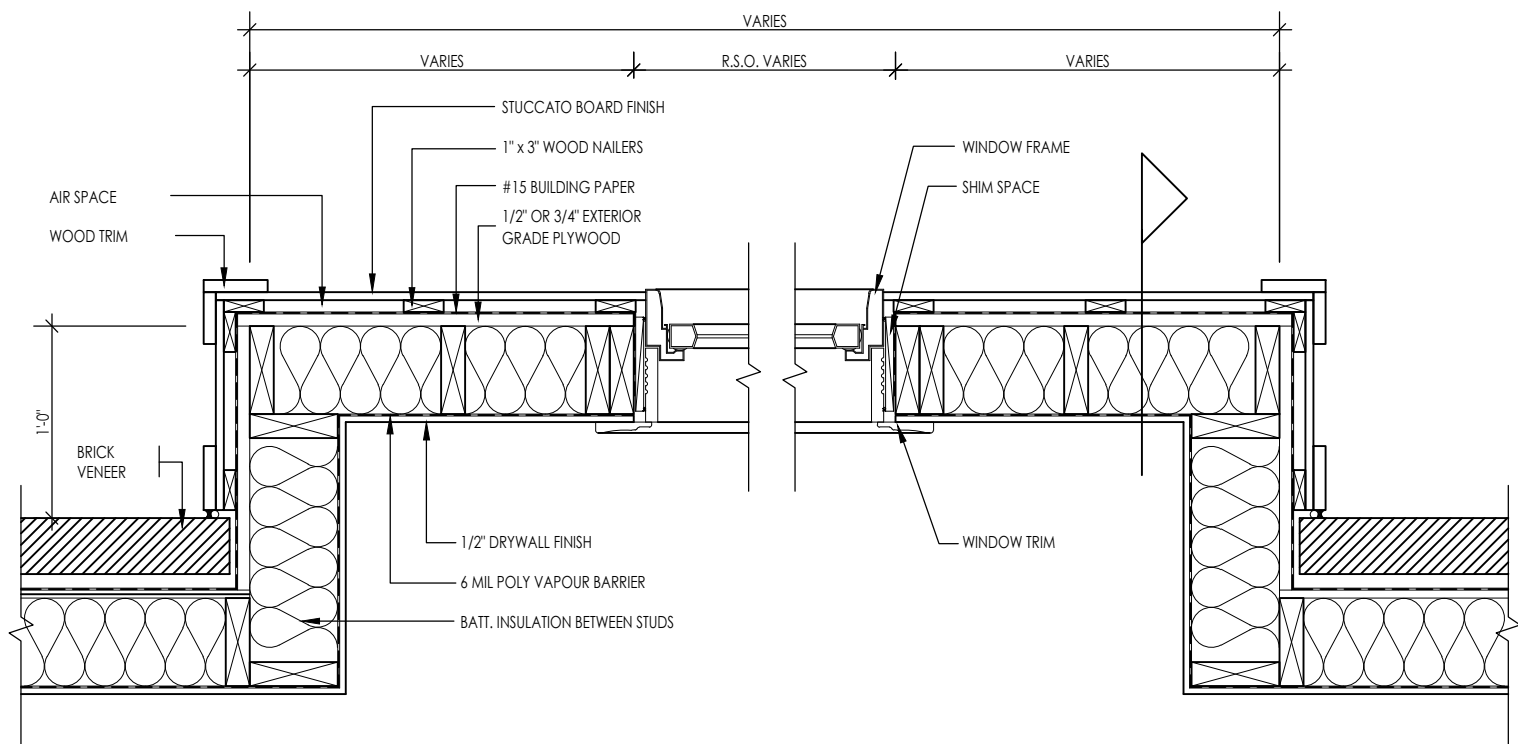


Compliance Package A1

	<div>The undersigned has reviewed and takes responsibility for this design, as well as having the qualifications and requirements mandated by the Ontario Building Code (O.B.C.) to be a Designer.</div> <div>Qualification Information</div> <div><div>Jamie Mack</div><div>35923</div><div></div><div>Name</div><div>BCIN</div><div>Signature</div></div> <div><div>Registration Information</div><div>Mackitecture</div><div>103532</div></div>	<div><div>www.mackitecture.ca</div><div>975A Elgin Street West, Suite 353</div><div>Cobourg, ON K9A 5J3</div><div>Tel: 416-735-8190 Email: info@mackitecture.ca</div></div>	<div><div>Title</div><div>Blocking Details for Forced Entry and Main Bath Grab Bars</div></div> <table><tr><td><div>scale</div><div>3/4" = 1'-0"</div></td><td><div>by</div><div>Greenpark</div></td><td><div>area</div><div>-</div></td><td rowspan="2"><div>sheet no.</div><div>11</div></td></tr><tr><td><div>date</div><div>2023-04-28</div></td><td><div>type</div><div>-</div></td><td><div>project no.</div><div>22-012</div></td></tr></table>	<div>scale</div> <div>3/4" = 1'-0"</div>	<div>by</div> <div>Greenpark</div>	<div>area</div> <div>-</div>	<div>sheet no.</div> <div>11</div>	<div>date</div> <div>2023-04-28</div>	<div>type</div> <div>-</div>	<div>project no.</div> <div>22-012</div>	<div><div>www.greenparkgroup.ca</div></div> <div><div>project name</div><div>Zadorra Estates Inc.</div></div>
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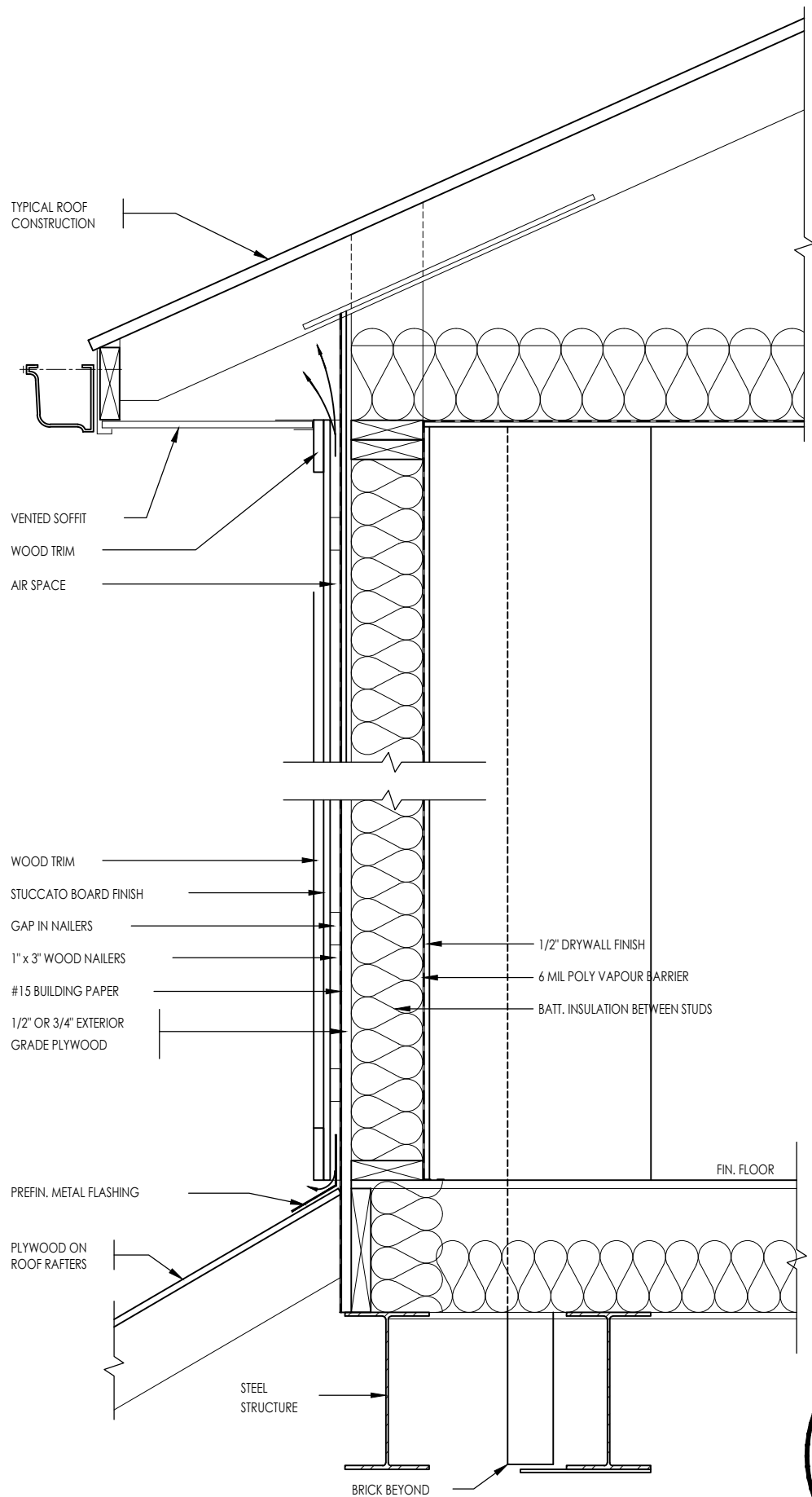


MHP 23039



PLAN VIEW

STUCCATO BOARD FINISH CLADDING (OBC 9.27.)

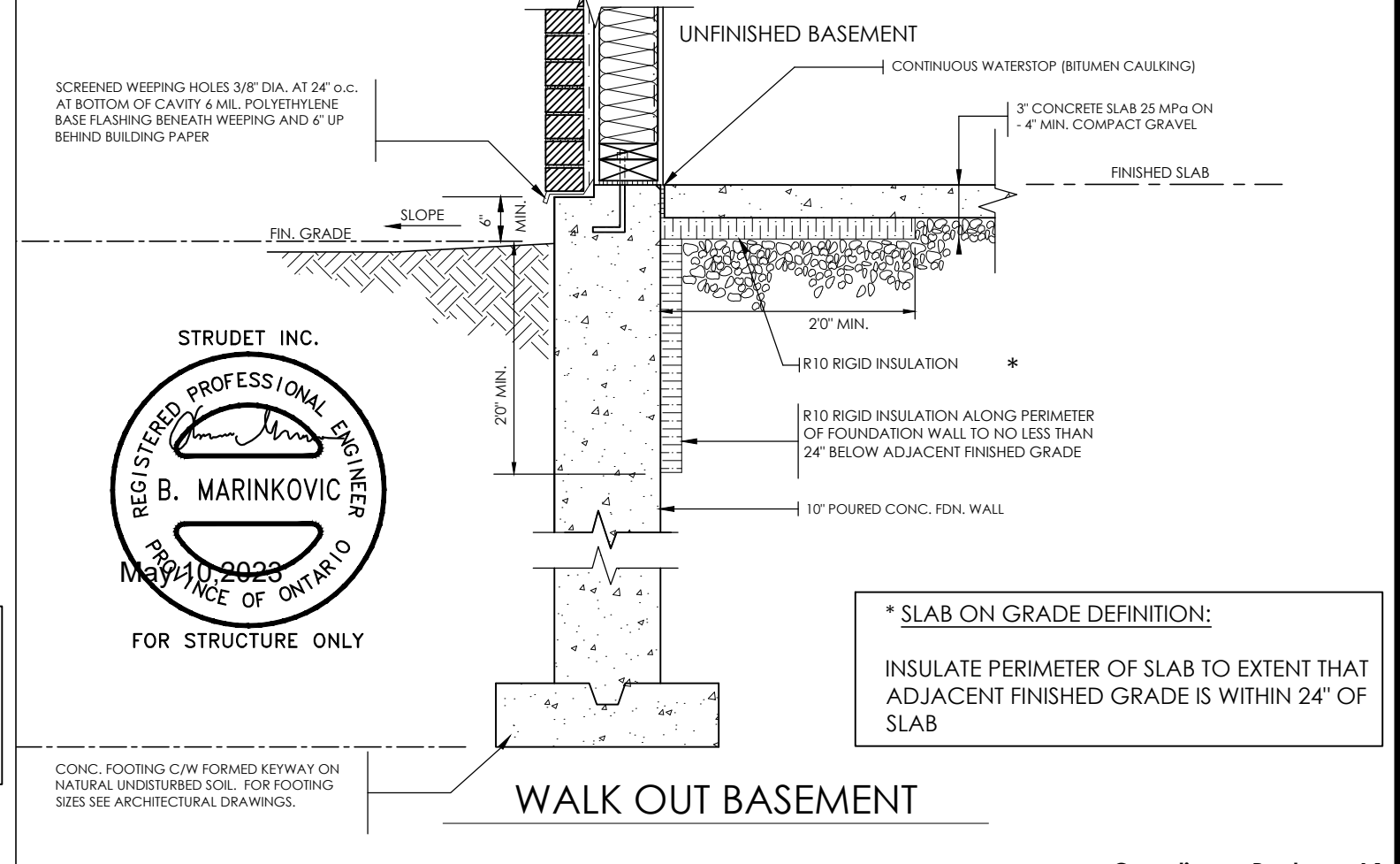
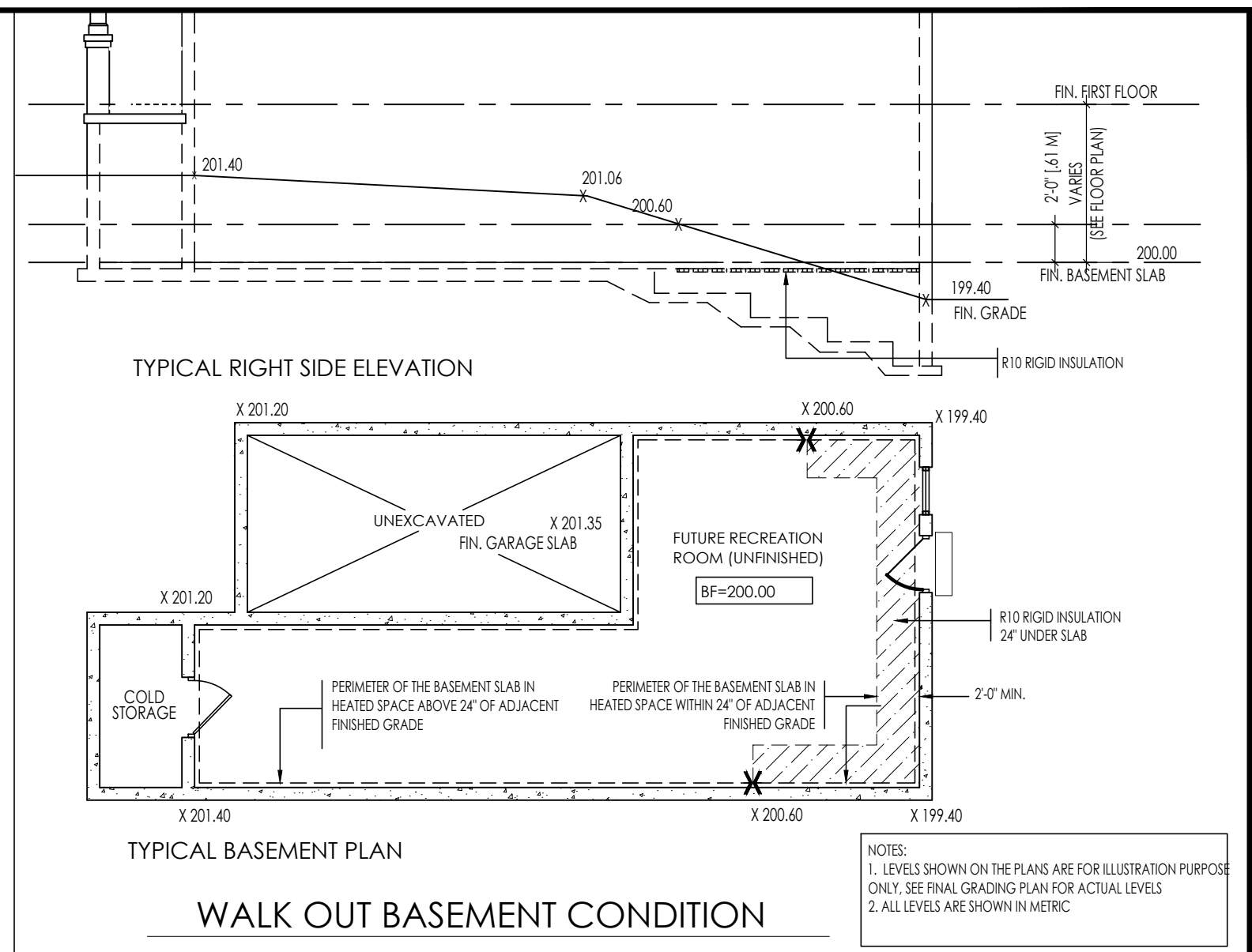
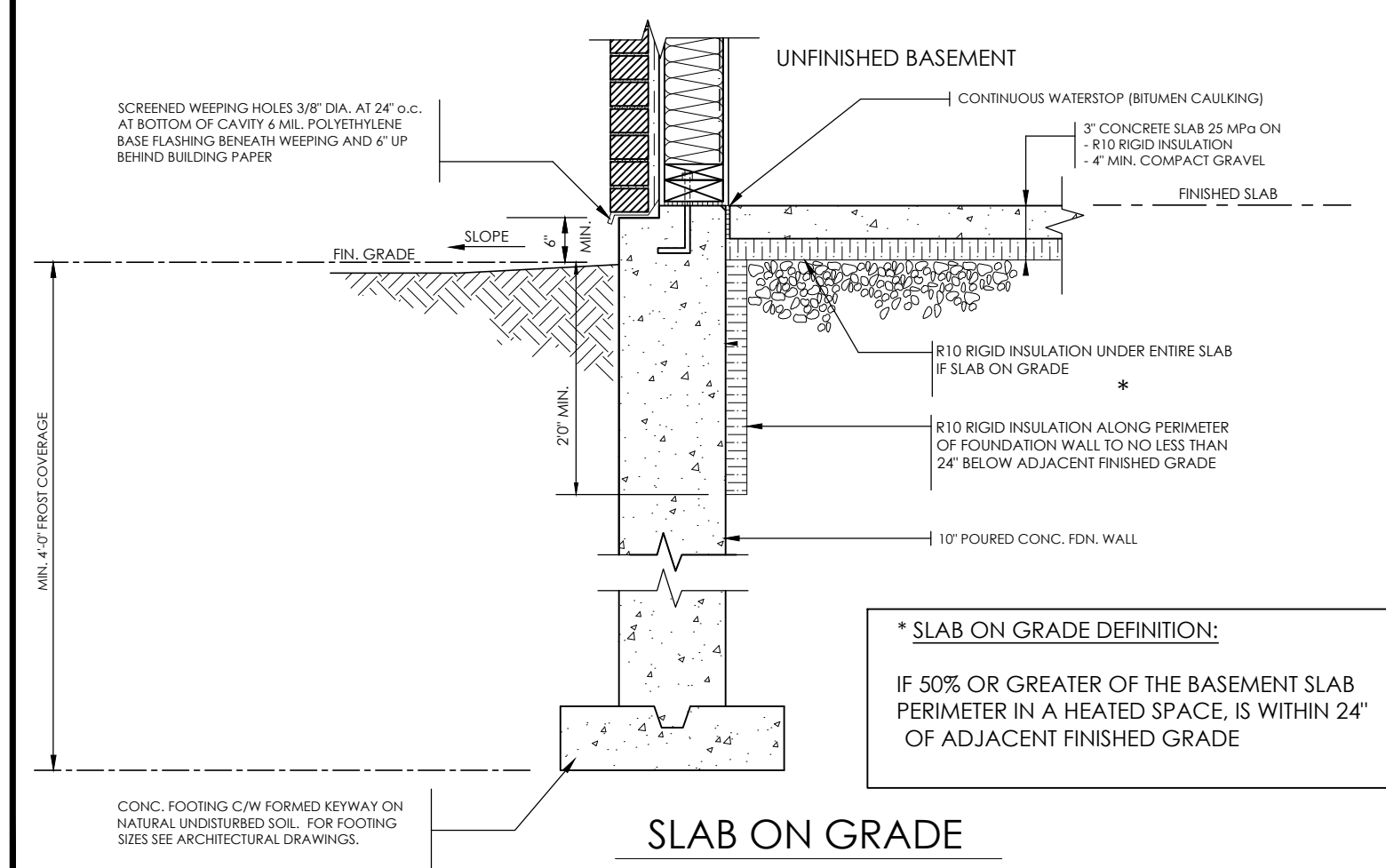
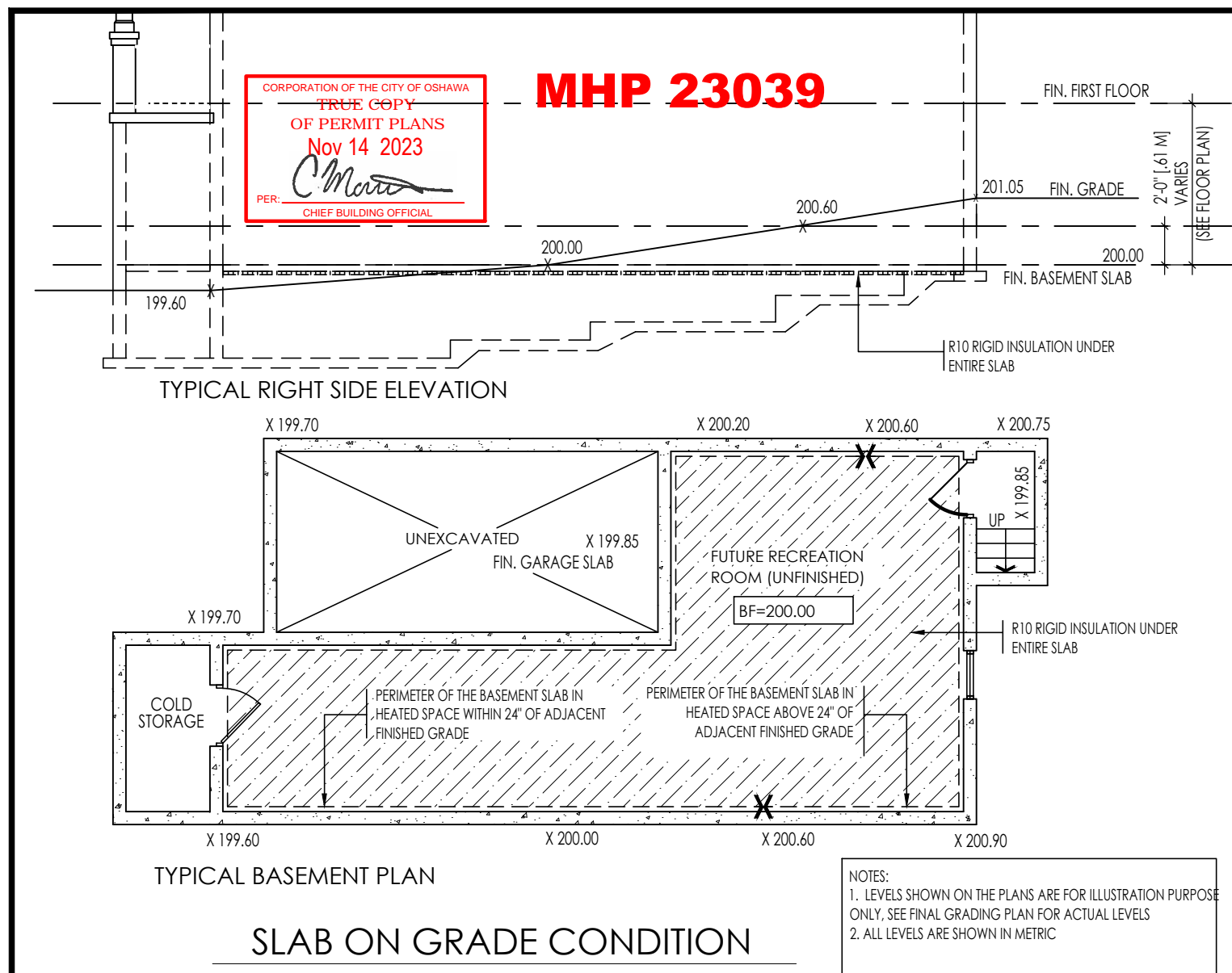


CROSS SECTION



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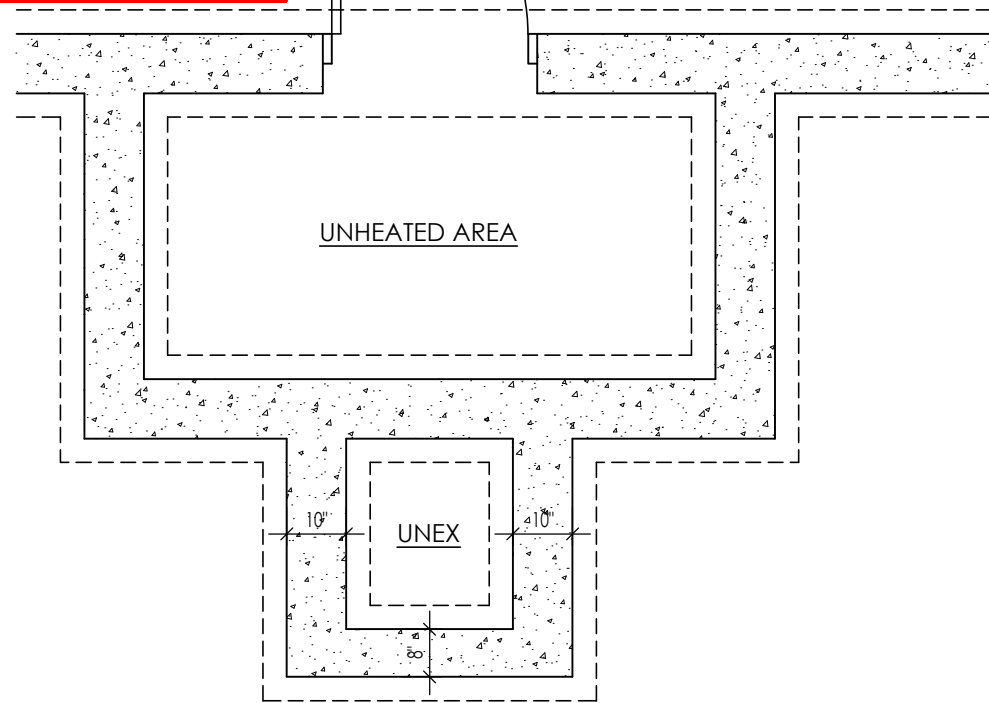


Compliance Package A1

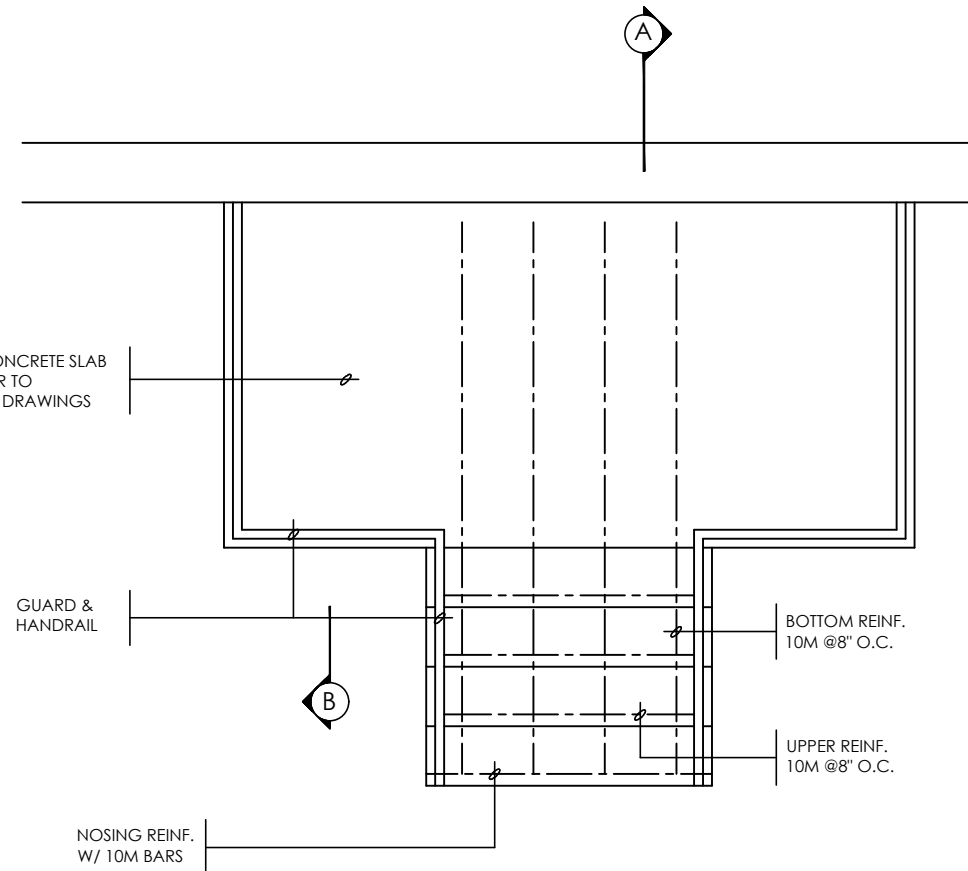
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	Jamie Mack Name BCIN Registration Information	35923 BCIN MackitECTURE		103532	scale not to scale	by Greenpark	area -	sheet no. 13



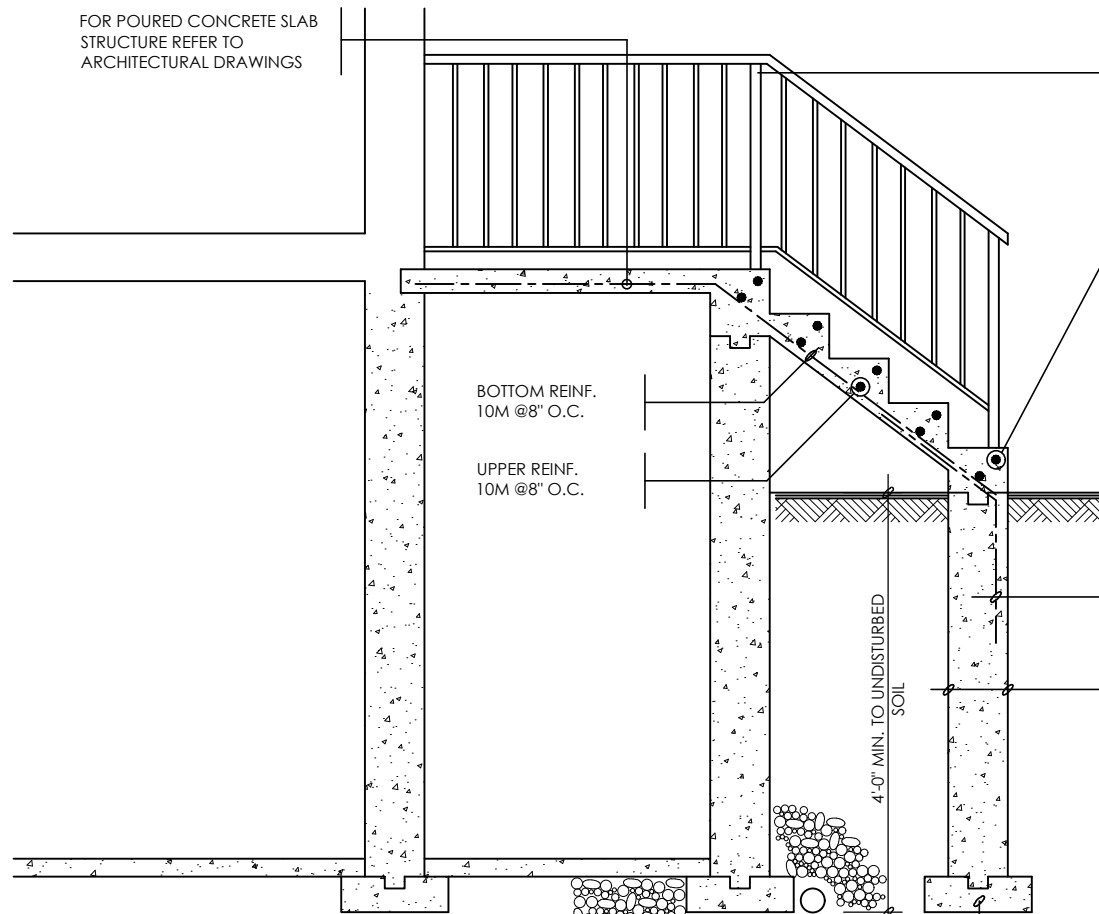
MHP 23039



FOUNDATION PLAN



GROUND FLOOR PLAN



SECTION 'A'

CLEAR SPACING BETWEEN PICKETS TO BE 4\"/>

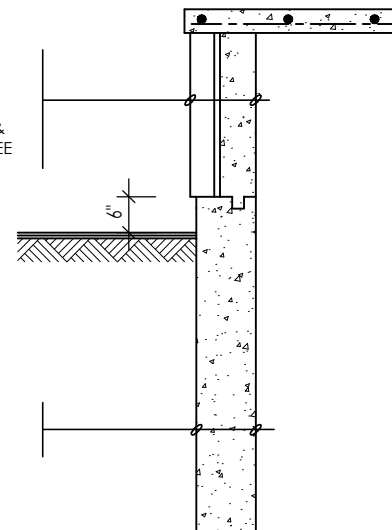
NOSING REIN. W/ 10M BARS

MASONRY EXTERIOR FACING. FILL SPACE BETWEEN WALL & FACING W/ MORTAR & PROVIDE METAL TIES SEE NOTE '2'

10M @ 8\"/>

POURED FDN. WALL

6\"/>

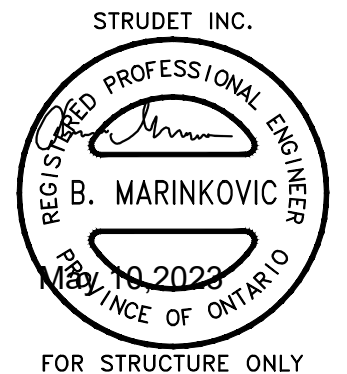


SECTION 'B'

NOTE: FOR MORE THAN 8 RISERS

GENERAL NOTES

- EXTERIOR STAIRS**
7 7/8\"/>
- MASONRY TIES**
WHEN BRICK FACING IS USED ABOVE GROUND LEVEL, PROVIDE 3/16\"/>
- GUARDS**
ARE REQUIRED AROUND CONCRETE SLAB IF MORE THAN 2'-0\"/>
- HANDRAIL**
ARE REQUIRED WHERE STEPS HAVE MORE THAN 3 RISERS. HANDRAIL HEIGHT 31\"/>
- FOUNDATION WALLS**
THICKNESS OF FOUNDATION WALLS IS DEPENDANT UPON VENEER CUT 8\"/>
- CONCRETE**
MINIMUM CONCRETE STRENGTH SHALL BE 4650 PSI [32MPa] W/ 5%-8% AIR ENTRAINMENT MINIMUM CONCRETE SLAB THICKNESS 5\"/>
- CONCRETE COVER**
PROVIDE MINIMUM 3/4\"/>



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Qualification Information

Jamie Mack 35923
Name BCIN Signature

Registration Information **Mackitecture** 103532


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975A Elgin Street West, Suite 353
Cobourg, ON K9A 5J3
Tel: 416-735-8190 Email: info@mackitecture.ca

title **Poured Concrete Stairs**

scale 3/8" = 1'-0"	by Greenpark	area -	sheet no. 14
date 2023-04-28	type -	project no. 22-012	


www.greenparkgroup.ca

project name **Zadorra Estates Inc.**